



Planning & Zoning Agenda

April 13th, 2026

Regular Meeting 6:00 P.M.

CITY OF APALACHICOLA
PLANNING AND ZONING BOARD
REGULAR MEETING
Monday, April 13th, 2026

City Meeting Room – 74 6th Street

Agenda

Regular Meeting: 6:00 PM

1. Approval of March 9th, 2026 regular meeting minutes.
2. Review, Discussion and Decision for Accessory Structure. **(R-2) @ 170 19th Avenue**. Block 247 Lots 1-13 and Lots 29-30. Owner: Edward Pearsall;
Contractor: Self.
3. Review, Discussion and Decision for Certificate of Appropriateness & Fence. **(R-1) @ 126 Avenue D**. Block 43 Lots 4-5. Owner: Conrad Walser; Contractor: Self.
4. Review, Discussion and Decision for Certificate of Appropriateness & Fence. **(R-1) @ 140 Avenue D**. Block 48 NW 15' Lot 14 and Lot 15. Owner: John Cooke;
Contractor: Self.
5. Review, Discussion and Decision for Certificate of Appropriateness & Fence. **(R-1) @ 179 Avenue F**. Block 93 Lots 1-2. Owner: Marjorie Howard; Contractor: Curtis Allen.
6. Review, Discussion and Decision for Certificate of Appropriateness & New Residential Construction. **(C-2) @ 190 7th Street**. Block 170 Lot 3. Owners: Robert and Joyce Hall; Contractor: Hall Contracting and Construction Inc.

7. Review, Discussion and Decision for New Residential Construction (Renewal).
(R-2) @ 197 22nd Avenue. Block 263 Lots 16-19. Owners: Ron and Regina Ramfjord; Contractor: Tyler Poloronis.
8. Review, Discussion and Decision for New Residential Construction. **(R-2) @ 126 18th Avenue**. Block 251. Owners: Robert and Andrea Brown; Contractor: Bryce Ward.
9. Review, Discussion and Decision for Certificate of Appropriateness & Fence.
(R-1) @112 7th Street. Block 60 Lot 3. Owner: Josh Porter; Contractor: NRG Industries.
10. Review, Discussion and Decision for Certificate of Appropriateness, New Residential Construction, Accessory Structure & Fence. **(R-1) 104 9th Street**. Block 70 Lot 1. Owners: Stephen and Betty Bailer; Contractor: Construct Group SE Inc.

Other/New Business:

Outstanding/Unresolved Issues:

Motion to adjourn the meeting.

CITY OF APALACHICOLA

PLANNING AND ZONING BOARD

REGULAR MEETING

Monday, March 9th, 2026

City Meeting Room – 74 6th Street

Minutes

Attendance: Jim Bachrach, Greg Golgowski, Myrtis Wynn, Bobby Miller, Lee McLemore

Regular Meeting: 6:00 PM

1. Approval of February 9th, 2026 regular meeting minutes.
 - a. Motion to approve by Greg Golgowski; 2nd by Myrtis Wynn – all in favor, motion carried.
2. Review, Discussion and Decision for Accessory Structure. (R-2) @ 202 17th Street. Block 121 Lot 1. Owners: Terry Raymond and Lisa Coates; Contractor: Better Built Barns LLC.
 - a. Terry Raymond and Lisa Coates, Owners – Present. No comment or questions from the Board.
 - b. Motion to approve by Bobby Miller; 2nd by Greg Golgowski – all in favor, motion carried.
3. Review, Discussion and Decision for Fence. (R-2) @ 99 Butler Street. Block 1 Lots 15 and east 10' Lot 14, Neels Addition. Owners: Andrew Schriever and Dawn Michele; Contractor: GeoFlora Group LLC.
 - a. Drew Roberston, Contractor – Present. Explained to the Board that the owners had applied around 1 year ago for a concrete block fence on this property which was never built. This application requests a custom wood fence in the same location. Asked about the possibility of building within the setbacks and how doing so would effect the height of the fence.
 - b. City Planner explained that fences can be built within the required setback area and can abut the property line. If the owners opt to place the fence along the property lines rather than the setback lines, the height for portions of the fence will have to be lowered to 2½ feet. If the Owners wish

to change the placement and height of the fence they will need to reapply with a revised site plan.

- c. Bobby Miller asked the Contractor what he would tell the Owners following the meeting. Contractor replied that he would let them know building closer to the property lines is an option. However, he did not think it was likely that they would want to change their request.
 - d. Motion to approve by Greg Gologowski; 2nd by Bobby Miller – all in favor, motion carried.
4. Review, Discussion and Decision for Certificate of Appropriateness. (R-1) @ 67 Avenue C. Block 15 Lots 1-2. Owner: Randy Fike; Contractor: GeoFlora Group LLC.
- a. Drew Roberston, Contractor – Present. Explained that the current 4" x 4" posts are very dainty looking, and the owner would like to change the appearance for aesthetic reasons. He also noted that it's not clear if the current posts are original to the house or if they were added more recently.
 - b. City Planner clarified that because this request only requires a Certificate of Appropriateness, the Board's role is primarily to determine whether the change will be visually compatible with the surrounding area.
 - c. Bobby Miller asked if the Owner intended to maintain any of the decorative elements at the top of the existing posts. He stated that the Board's role in this item is to protect the historic integrity of the home and therefore the area. The new columns should not look too modern.
 - d. Greg Gologowski stated that he looked around the surrounding area and did not see any columns larger than 8" x 8" by his estimation. Contractor stated that 8" x 8" could achieve the Owner's goal.
 - e. Jim Bachrach asked for clarification that the change would only be for aesthetic and not structural purposes. Contractor confirmed the change would be aesthetic only. The existing posts themselves would remain; they would be wrapped to achieve the desired size. The new wrapping would be properly attached to the floor and the roof of the porch.

- f. Motion to approve on the condition that the posts not exceed 8" x 8" by Bobby Miller; 2nd by Lee McLemore – all in favor, motion carried.
5. Review, Discussion and Decision for Certification of Appropriateness & Addition / Alteration. (R-1) @ 122 Avenue L. Block 161 Lot 6. Owners: Mark and Terry Galbraith; Contractor: Chris Presnell.
- a. Mark and Terry Galbraith, Owners – Present. Explained the request to create a screened porch to serve as part of the entry to the house. Also noted that the large brick house will likely be demolished in the future, as it is in the worst condition. Interestingly, this house started as shotgun houses, and multiple additions over the years resulted in the structure seen today.
 - b. City Planner explained that all three structures are nonconforming in terms of both minimum setbacks and impervious lot coverage.
 - c. Jim Bachrach stated the Planning and Zoning Board has never approved an addition to a nonconforming structure. A variance from the Board of Adjustment would likely be needed to move forward with the proposal.
 - d. City Attorney added that it is ultimately the choice of the applicant to apply for a variance, but that obtaining one requires meeting a very high bar. Lee McLemore asked for the price of a variance application. City Planner stated it was \$1,600. Additionally, the City Planner further explained that to grant a variance, the Board of Adjustment must find that strict application of the Land Development Code deprives the Owner of reasonable use of the property and/or structure, among other things.
 - e. Greg Golgowski asked if a pervious deck or pavers could be approved. City Planner stated it could be possible, as the Land Development Code expressly prohibits an expansion in square footage of a nonconforming structure. Pavers which are not actually attached to the structure could potentially be approvable.
 - f. Owner withdrew application. No motion made.

Other/New Business:

N/A

Outstanding/Unresolved Issues:

N/A

**Motion to adjourn the meeting by Lee McLemore; 2nd by Bobby Miller.
All in favor - meeting adjourned at 6:55 P.M.**



Accessory Structure

170 19th Avenue



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____
 Meeting Date: _____
 Fees Due: _____
 Date Fees Paid: _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner EDWARD F. PEARSELL II
 Address 170 19TH AVE
 City APALACHICOLA State FL Zip 32320
 Phone 540 449 1816

Contractor Name _____
 State License # _____ City License # _____
 Email _____
 Phone _____

PROJECT TYPE

New Construction

Fence

Addition

Accessory Structure

Alteration/Renovation

Certificate of Appropriateness

Relocation

Other _____

Demolition

PROPERTY INFORMATION

Street Address (911 Address): 170 19TH AVE
 City & State: APALACHICOLA FL Zip: 32320
 Parcel ID #: 0109808W833002470020 Block: 247 Lot: 6
 Zoning District: R2 [] Historic District [] Non-Historic District
 FEMA Flood Zone: X

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y N
 Setback Requirements of Property:
 Front: 15 Rear: 5 Side: 7 1/2 OR 5+10
 Corner Lot? Y N Street Sides: _____
 Lot Coverage: 30' x 100'

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

STAFF NOTES/RECOMMENDATIONS:

City Staff

Date Approved

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

STAND ALONE ~~12' x 12'~~ METAL CARPORT WITH DIRT FLOOR
12' x 20'

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other	AMERICAN METAL BUILDINGS		

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, fence heights, and the location, size and species of protected trees (refer to tree permit for a list of protected trees). Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.
11. I/We understand that the City of Apalachicola will never request a P&Z fee greater than the amount(s) outlined in the adopted fee schedule, nor will the City of Apalachicola request the payment be made by wire transfer. Please contact City Hall directly with any questions regarding fee payment.

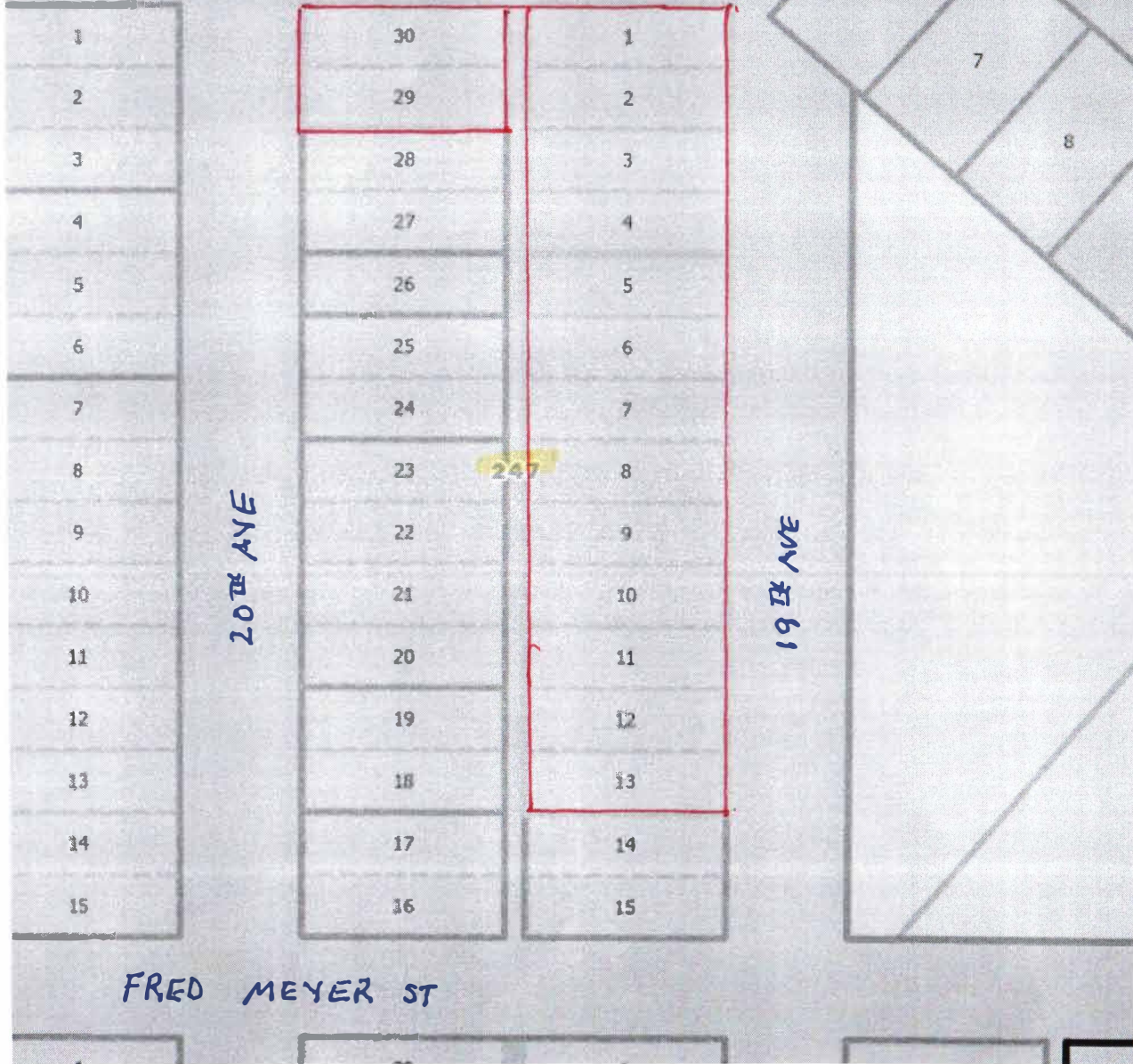
2/24/2026

DATE

Edward J. Carroll

SIGNATURE OF APPLICANT

CORNELIUS RIZER



PARCEL ID # 0109S08W833002470020



12' x 20'
~~12' x 20'~~ CARPORT

STAFF FINDINGS REPORT

PROPERTY OWNER: Edward F. Pearsall

CONTRACTOR: Self

PROPERTY ADDRESS (if available): 170 19th Avenue

→ Block 247 Lots 1-13 and Lots 29-30.

PARCEL ID: 01-09S-08W-8330-0247-0020

HISTORIC DISTRICT: No

CORNER LOT: Yes

ACREAGE: ~1.63 acres (~ 71,003 SF)

FUTURE LAND USE: R-2 Multifamily Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

- Installation of a stand-alone 12' x 20' metal carport with dirt floor.
 - Original request for 12' x 12', application edited to reflect change to 12' x 20'.

STAFF FINDINGS:

Code of Ordinances:

- **Section 101-8. Definitions.**
 - **Corner lot** means a lot abutting upon two or more streets at their intersection. All boundaries abutting streets shall be considered front yards, and all other boundaries shall be considered side yards.

- **Section 111-269. R-2 Multifamily Residential.**
 - **Development standards:**
 - **Minimum lot size:**
 - Single-family & home occupations: 6,000 SF (60' x 100').
 - **Minimum building size:**
 - Single-family: 800 SF.
 - **Minimum building setbacks:**
 - Front: 15 ft.

- Side (interior): 7½ ft. each side, or any combination on each side that equals at least 15 ft. No such setback shall be less than 5 ft.
- Side (corner): 15 ft.
- Rear: 25 ft. (principal structure); 5 ft. (accessory structure).
 - Minimum 5' setback will be met; increase to 12' x 20' from 12' x 12' will bring the structure closer to the house, not closer to the property line.
- **Maximum building restrictions:**
 - Lot coverage:
 - Single-family: 40%.
 - Existing: 2,799 SF
 - Proposed: 240 SF
 - Total: 3,039 SF (4%)
 - Building height: 35 ft.
- **Applicable regulations:**
 - In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.
 - The proposed accessory pole barn will not extend past the front façade of the house on the 19th Avenue side of the lot.

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances.



**Certificate of Appropriateness
& Fence
126 Avenue D**



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____
 Meeting Date: _____
 Fees Due: _____
 Date Fees Paid: _____

OWNER INFORMATION	CONTRACTOR INFORMATION
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Owner <u> COWARD WALTER </u> Address <u> 126 AVE. D </u> City <u> Apalachicola </u> State <u> FLA </u> Zip <u> 32320 </u> Phone <u> 305-849-5262 </u>	Contractor Name _____ State License # _____ City License # _____ Email _____ Phone _____
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PROJECT TYPE

<input type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Fence <input type="checkbox"/> Accessory Structure <input type="checkbox"/> Certificate of Appropriateness <input type="checkbox"/> Other _____
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PROPERTY INFORMATION

Street Address (911 Address): 126 AVE. D
 City & State: Apalachicola, FLA. Zip: 32320
 Parcel ID #: _____ Block: 43 Lot: 4+5
 Zoning District: _____ Historic District Non-Historic District
 FEMA Flood Zone: _____

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N _____ Setback Requirements of Property: Front: _____ Rear: _____ Side: _____ Corner Lot? Y / N _____ Street Sides: _____ Lot Coverage: _____ STAFF NOTES/RECOMMENDATIONS: _____ _____ _____ _____	<p><i>This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.</i></p> <hr/> City Staff _____ <hr/> Date Approved _____
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NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

 C.W.
 Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

REPLACING EXISTING FENCE MADE OF WOOD WITH NEW BOARDS. THE NEW BOARDS ARE HORIZONTAL THE EXISTING WOOD IS VERTICAL THIS THE USED FOR APPROVAL THE FENCE IS 103' 3" (BORDERING NEIGHBOR) BY 75' ON THE ALLEY.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing		PURCHASED AT ALE HARDWARE APPROX 10/11	
Driveways/Sidewalks			
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, fence heights, and the location, size and species of protected trees (refer to tree permit for a list of protected trees). Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

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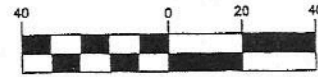
1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
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11. **I/We understand that the City of Apalachicola will never request a P&Z fee greater than the amount(s) outlined in the adopted fee schedule, nor will the City of Apalachicola request fee payment be made by wire transfer. Please contact City Hall directly with any questions regarding fee payment.**

March 5, 2026
DATE

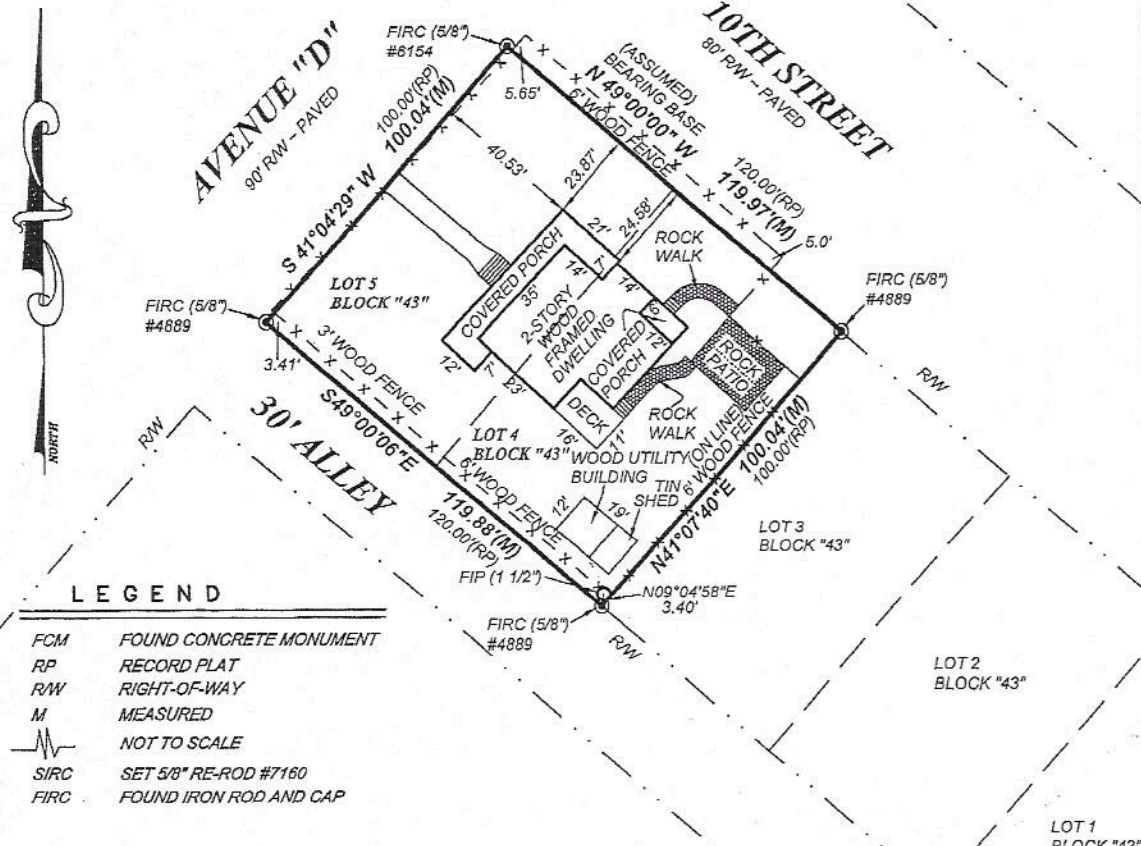
Conrad Weber
SIGNATURE OF APPLICANT

**PLAT OF BOUNDARY SURVEY CERTIFIED TO:
KATHRYN CHESSER and CONRAD WALSER,
DODD TITLE COMPANY, INC.,
FIRST AMERICAN TITLE INSURANCE COMPANY**

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



LEGEND

- FCM FOUND CONCRETE MONUMENT
- RP RECORD PLAT
- RW RIGHT-OF-WAY
- M MEASURED
- NOT TO SCALE
- SIRC SET 5/8" RE-ROD #7160
- FIRC FOUND IRON ROD AND CAP

LEGAL DESCRIPTION:

Lots 4 & 5, Block "43" of THE CITY OF APALACHICOLA, a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

NOTES:

1. SURVEY SOURCE: Record plat, and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwest right-of-way boundary of 10 th Street having an assumed bearing of North 49 degrees 00 minutes 00 seconds West
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

REVISED 08/25/17: RECERTIFICATION ONLY-NOT FIELD UPDATED (BB)

FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120090 0526F index date: February 5, 2014, Franklin County, Florida.

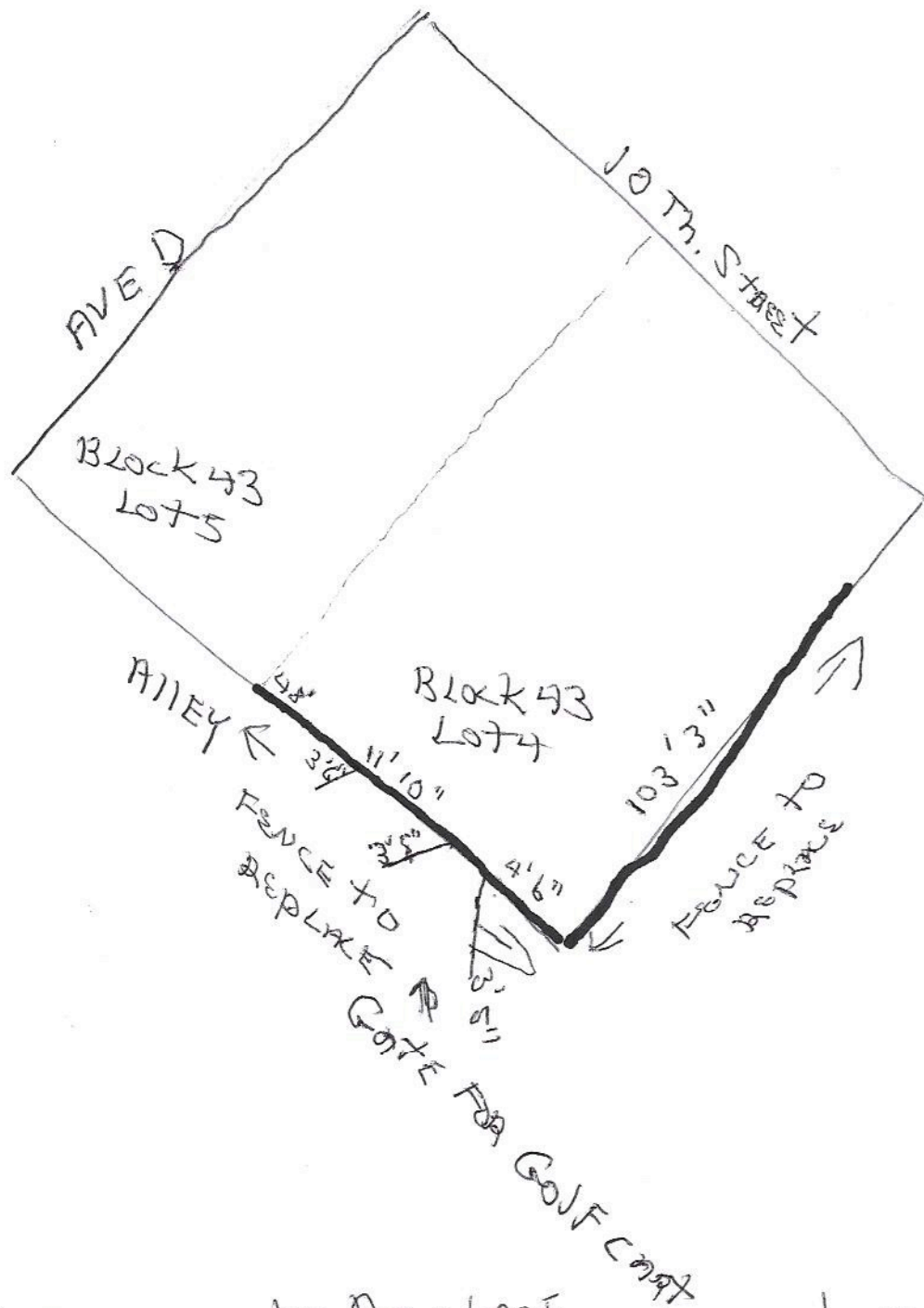
I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 53-17, Florida Administrative Code).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry

JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No: 4251

TR & A	THURMAN RODDENBERRY & ASSOCIATES, INC		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 160 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 904-962-2334 FAX NUMBER: 904-962-1193 L.S. 3 7168		
DATE: 07/22/14	DRAWN BY: MMD	N.B. Folder	COUNTY: Franklin
FILE: 05031.DWG	DATE OF LAST FIELD WORK: 07/21/14	JOB NUMBER: 05-031	



FENCE TO REPLACE
 BOUNDARY NEIGHBOR ON
 ALLEY. ONE GATE ON ALLEY TO PERMIT
 ENTRANCE OR GOLF CART AND ANOTHER GATE
 TO ALLEY TO TAKE GARBAGE OUT.

New fence



New fence



Existing fence



Existing fence



STAFF FINDINGS REPORT

PROPERTY OWNER: Conrad Walser

CONTRACTOR (if applicable): Self

PROPERTY ADDRESS (if available): 126 Avenue D

→ Block 43 Lots 4-5

PARCEL ID: 01-09S-08W-8330-0043-0040

HISTORIC DISTRICT: Yes

CORNER LOT: Yes

ACREAGE: -- (~12,000 SF)

FUTURE LAND USE: R-1 Single-Family Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

→ Replacement of vertical wood privacy fence with horizontal wood privacy fence.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 111-288(e).**

- Requirements apply to **all zoning districts** and the **historic district**.
 - a.** Application for approval of any new fence or material alteration of an existing fence must be made in the same manner as for authorization of a building permit with a full description of materials to be used, dimensions and placement clearly stated on the plans. It is not necessary for a landscape architect or engineer to draw or sign and seal the plans.
 - b.** Fences shall be erected on the lot of the applicant and shall not extend into a public right-of-way. Fences may be erected within the required setback area (i.e., area between the front, side, and rear property lines and the front, side, and rear setback lines).
 - c.** A fence may abut but shall not be located on any property line.
- **All residential districts.**

- No fence or wall in excess of four feet (48 inches) in height shall be allowed in the front yard (for corner lots, the two sides of the lot paralleling the two street).
 - The replacement fence will not be in the front yard.
- As required in section 111-288(b) above, front-yard fences on corner lots may not exceed two and one-half feet (30 inches) in height within 50 feet of the point of intersection of two streets.
 - The replacement fence will not be in the front yard.
- A fence extending from the side of a principal structure to the side lot line shall attach to the structure no closer to the front lot line than where the facade (not including any covered front porch, uncovered porch, uncovered steps, and uncovered balconies) is located. These fences shall not exceed six feet (72 inches) in height.
 - The replacement fence is not attached to the principal structure.
- No fence or wall in excess of six feet (72 inches) in height shall be allowed in side and/or rear yards. These fences may begin from the rear of the principal structure facade.
 - The proposed replacement fence in the side/rear will be 7' in height.
- All fence construction, repair and replacement of any section or portion thereof must be consistent with the remaining fence on the property. The intent of this section is to ensure that all fencing erected on a property is uniform and consistent in construction and appearance.

RECOMMENDATION: Approval, on the condition that the fence cannot exceed 72" or 6' in height.



**Certificate of Appropriateness
& Fence
140 Avenue D**



**City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval**

Official Use Only

Date Received: _____
Meeting Date: _____
Fees Due: _____
Date Fees Paid: _____

OWNER INFORMATION

Owner John Cooke
Address 140 Avenue D
City Apalachicola State FL Zip 32320
Phone 609 304 6090

CONTRACTOR INFORMATION

Contractor Name Owner
State License # _____ City License # _____
Email Cookers2@msn.com
Phone 609 304 6090

PROJECT TYPE

- | | |
|--|---|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Fence |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Relocation | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Demolition | |

PROPERTY INFORMATION

Street Address (911 Address): 140 Avenue D
City & State: Apalachicola Zip: 32320
Parcel ID #: 01-095-08W-8330-0048-0040 Block: 48 Lot: 4
Zoning District: _____ [] Historic District [] Non-Historic District
FEMA Flood Zone: X

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y/N
Setback Requirements of Property:
Front: _____ Rear: _____ Side: _____
Corner Lot? Y/N Street Sides: _____
Lot Coverage: _____
STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

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Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

4 ft high Picket Fence from the exist fence along the Alley to within 15 ft of Avenue D extending across the front of the house to within 15 ft of 11th st down to the exist car port.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing	TBD	Wooden Picket fence Painted white	
Driveways/Sidewalks			
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, fence heights, and the location, size and species of protected trees (refer to tree permit for a list of protected trees). Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

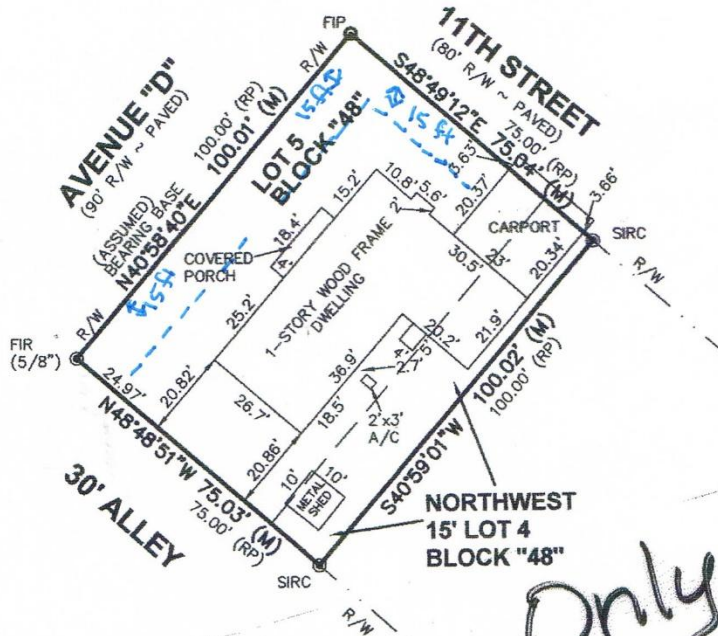
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2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
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3/15/26

DATE


SIGNATURE OF APPLICANT

**PLAT OF BOUNDARY SURVEY CERTIFIED TO:
PATTI J. CHASTAIN and TERRY J. CHASTAIN**



Copy Only

LEGAL DESCRIPTION:

Lot 5 and Northwest 15' of Lot 4, Block "48" of THE CITY OF APALACHICOLA, a subdivision as per map or plat in common use on file at the Clerk of the Circuit Court in Franklin County, Florida

LEGEND

FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
SIRC	SET 5/8" RE-ROD
R/W	RIGHT-OF-WAY
RP	RECORD PLAT
M	MEASURED

NOTES:

1. SURVEY SOURCE: Previous survey performed by this firm (Job #01-027 Dated; 01/21/01), record plat, and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southerly right-of-way boundary of Avenue "D" having an assumed bearing of North 40 degrees 58 minutes 40 seconds East
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0526E, index date: June 17, 2002, Franklin County, Florida.

I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 61G17-5, Florida Administrative Code).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No: 4261

THURMAN RODDENBERRY & ASSOCIATES, INC.

Professional Surveyors & Mappers
L.A. NO. 7160
P.O. Box 100 • 125 Sheldon Street • Seepchopy, FL 32358-0100 • (850) 982-2538

DATE: 04/25/05	DRAWN BY: MMD	N.B. 428 PG 58	COUNTY: Franklin
FILE: 05348.DWG	DATE OF LAST FIELD WORK: 04/21/05	JOB NUMBER: 05-348	



*Note fence will be painted white.

STAFF FINDINGS REPORT

PROPERTY OWNER: John Cooke

CONTRACTOR: Self

PROPERTY ADDRESS (if available): 140 Avenue D

→ Block 48 NW 15' Lot 14 and Lot 15

PARCEL ID: 01-09S-08W-8330-0048-0040

HISTORIC DISTRICT: Yes

CORNER LOT: Yes

ACREAGE: -- (~7,800 SF)

FUTURE LAND USE: R-1 Single-Family Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

→ Installation of a new 4' white picket wood fence in the front yard.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 111-288(e).**

- Requirements apply to **all zoning districts** and the **historic district**.
 - a.** Application for approval of any new fence or material alteration of an existing fence must be made in the same manner as for authorization of a building permit with a full description of materials to be used, dimensions and placement clearly stated on the plans. It is not necessary for a landscape architect or engineer to draw or sign and seal the plans.
 - b.** Fences shall be erected on the lot of the applicant and shall not extend into a public right-of-way. Fences may be erected within the required setback area (i.e., area between the front, side, and rear property lines and the front, side, and rear setback lines).
 - c.** A fence may abut but shall not be located on any property line.
- **All residential districts.**

- No fence or wall in excess of four feet (48 inches) in height shall be allowed in the front yard (for corner lots, the two sides of the lot paralleling the two street).
 - The entire section of the fence in the front yard will not exceed 4'.
- As required in section 111-288(b) above, front-yard fences on corner lots may not exceed two and one-half feet (30 inches) in height within 50 feet of the point of intersection of two streets.
 - Distance from the lot corner to the edge of the pavement of the intersection is approximately 33'.
 - Distance from the lot corner to the centerline of the intersection is approximately 56'.
 - * Measured from Franklin County Property Appraiser.
 - Proposed fence will be 15' from the property line on each street side.
- All fence construction, repair and replacement of any section or portion thereof must be consistent with the remaining fence on the property. The intent of this section is to ensure that all fencing erected on a property is uniform and consistent in construction and appearance.
 - Existing fence in the rear yard is 6' stockade privacy fence; per the front yard height requirements above it is not possible for the front yard fence to match this construction/appearance.

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances.



**Certificate of Appropriateness
& Fence
179 Avenue F**



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____
 Meeting Date: 4/13/26
 Fees Due: _____
 Date Fees Paid: _____

OWNER INFORMATION

Owner MARJORIE ALLEN HOWARD
 Address 179 AVE F
 City APALACHICOLA State FL Zip 32320
 Phone 850 653 1503

CONTRACTOR INFORMATION

Contractor Name Curtis Allen
 State License # _____ City License # _____
 Email KG0050660
 Phone 850 653 7680

PROJECT TYPE

- | | |
|--|---|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Fence |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Relocation | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Demolition | |

PROPERTY INFORMATION

Street Address (911 Address): 179 AVE F (COACH WAGONER BLVD)
 City & State: APALACHICOLA FL Zip: 32320
 Parcel ID #: 01-095-08W-8380-0093-010 Block: _____ Lot: _____
 Zoning District: _____ [] Historic District [] Non-Historic District
 FEMA Flood Zone: _____

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N
 Setback Requirements of Property:
 Front: 5' Rear: 5' Side: 5'
 Corner Lot? Y / N Street Sides: _____
 Lot Coverage: _____
 STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____

Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

MAH
 Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

REPLACING CHAIN LINK W/ WOODEN FENCE

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing	↙ PINE LUMBER		
Driveways/Sidewalks			
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, fence heights, and the location, size and species of protected trees (refer to tree permit for a list of protected trees). Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

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3/19/2024

DATE

Marjorie Howard

SIGNATURE OF APPLICANT

I am 87. My husband is 97.
We like sitting out on carpet in
the mornings. We like the pretty
side of fence. We won't be here
much longer, let us die happy.
There is a lot of traffic on 14th St.
At the school we have buses loading
and food trucks bringing food and
all the cars going all day long.

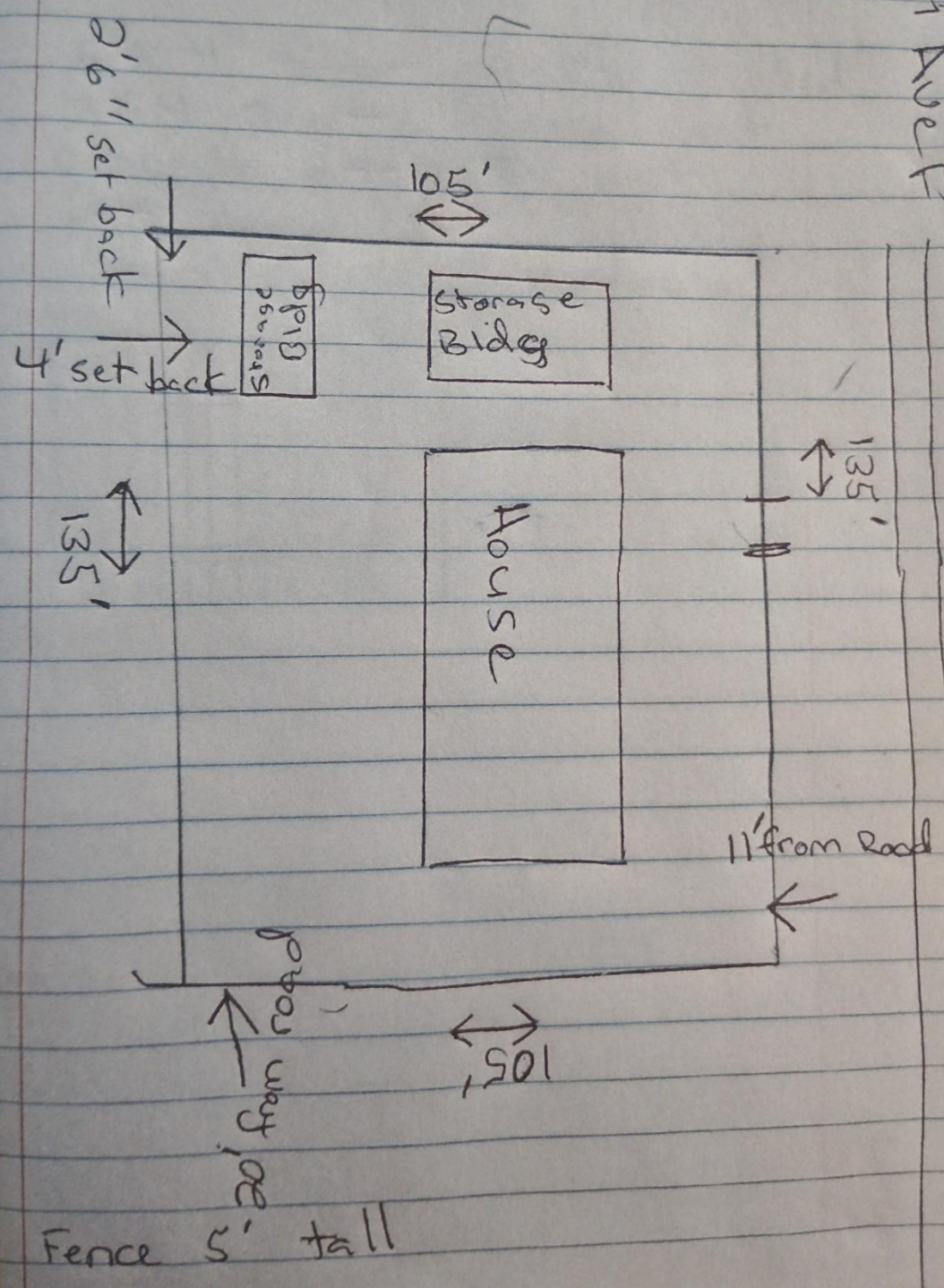
My dog is here to protect us.
The 6 ft. fence will be fine for
him. He could jump over a
3 ft. fence.

Kids go up and down 14th on
electric bikes and scooters just to
get him to run and bark.

Please consider leaving it like
it is. We would thank you very
much.

Marjorie A. Howard

179 Ave E



Existing Condition



Existing Condition



STAFF FINDINGS REPORT

PROPERTY OWNER: Marjorie Howard

CONTRACTOR: Curtis Allen

PROPERTY ADDRESS (if available): 179 Avenue F

→ Block 93 Lots 1-2

PARCEL ID: 01-09S-08W-8330-0093-0010

HISTORIC DISTRICT: Yes

CORNER LOT: Yes

ACREAGE: -- (~12,000 SF)

FUTURE LAND USE: R-1 Single-Family Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

→ Replacement of chain link fence with 5' wood fence

STAFF FINDINGS:

Code of Ordinances:

→ **Section 111-288(e).**

- Requirements apply to **all zoning districts** and the **historic district**.
 - a.** Application for approval of any new fence or material alteration of an existing fence must be made in the same manner as for authorization of a building permit with a full description of materials to be used, dimensions and placement clearly stated on the plans. It is not necessary for a landscape architect or engineer to draw or sign and seal the plans.
 - b.** Fences shall be erected on the lot of the applicant and shall not extend into a public right-of-way. Fences may be erected within the required setback area (i.e., area between the front, side, and rear property lines and the front, side, and rear setback lines).
 - c.** A fence may abut but shall not be located on any property line.
- **All residential districts.**

- **No fence or wall in excess of four feet (48 inches) in height shall be allowed in the front yard (for corner lots, the two sides of the lot paralleling the two street).**
 - The fence in the front yard cannot exceed 48” or 4’ in height.
- As required in section 111-288(b) above, front-yard fences on corner lots may not exceed two and one-half feet (30 inches) in height within 50 feet of the point of intersection of two streets.
 - Distance from the lot corner to the edge of the pavement of the intersection is approximately 30’.
 - Distance from the lot corner to the centerline of the intersection is approximately 62’.
 - * Measured from Franklin County Property Appraiser.
- A fence extending from the side of a principal structure to the side lot line shall attach to the structure no closer to the front lot line than where the facade (not including any covered front porch, uncovered porch, uncovered steps, and uncovered balconies) is located. These fences shall not exceed six feet (72 inches) in height.
- No fence or wall in excess of six feet (72 inches) in height shall be allowed in side and/or rear yards. These fences may begin from the rear of the principal structure facade.
- All fence construction, repair and replacement of any section or portion thereof must be consistent with the remaining fence on the property. The intent of this section is to ensure that all fencing erected on a property is uniform and consistent in construction and appearance.

Appendix A. Historic Apalachicola Design Guidelines:

→ **Section 43. Fences and walls.**

- Fencing should be constructed so the finished face is toward the street or neighboring property.
- Fence heights will be measured from the sidewalk or from the level of the grade, whichever is highest.

RECOMMENDATION: Approval on the following conditions:

1. The fence in the front yard cannot exceed 4’ in height;
2. The finished face of the fence should face the street right-of-way;
3. The chain link fence should not be visible from the street right-of-way.



**Certificate of Appropriateness
& New Residential Construction
190 7th Street**



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____
 Meeting Date: _____
 Fees Due: _____
 Date Fees Paid: _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Robert & Joyce Hall
 Address 5217 Pine Ridge Dr
 City Chipley State FL Zip 32428
 Phone 850-258-6234

Contractor Name Hall Contracting & Construction
 State License # CBC059205 City License # _____
 Email hcci6234@gmail.com
 Phone 850-258-6234

PROJECT TYPE

- | | |
|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Relocation | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Demolition | |

PROPERTY INFORMATION

Street Address (911 Address): 190 7th Street
 City & State: Apalachicola FL Zip: 32320
 Parcel ID #: 01-095-08W-8330-0170-0030 Block: 170 Lot: 3
 Zoning District: Hill [Historic District [] Non-Historic District
 FEMA Flood Zone: X

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y/N
 Setback Requirements of Property:
 Front: _____ Rear: _____ Side: _____
 Corner Lot? Y/N Street Sides: _____
 Lot Coverage: _____
 STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____
 Date Approved _____

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[Signature]
 Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	James Hardi	Hardi Panel Siding	13223.4
Doors	Plast Pro	6 Panel 1/2 Glass	15221.1 17347.
Windows	MI	Single Hung Vinyl Impact	21637
Roofing	Baker Metal	Tuff Rib Screw down	10094.2
Trim			
Foundation	concrete		
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

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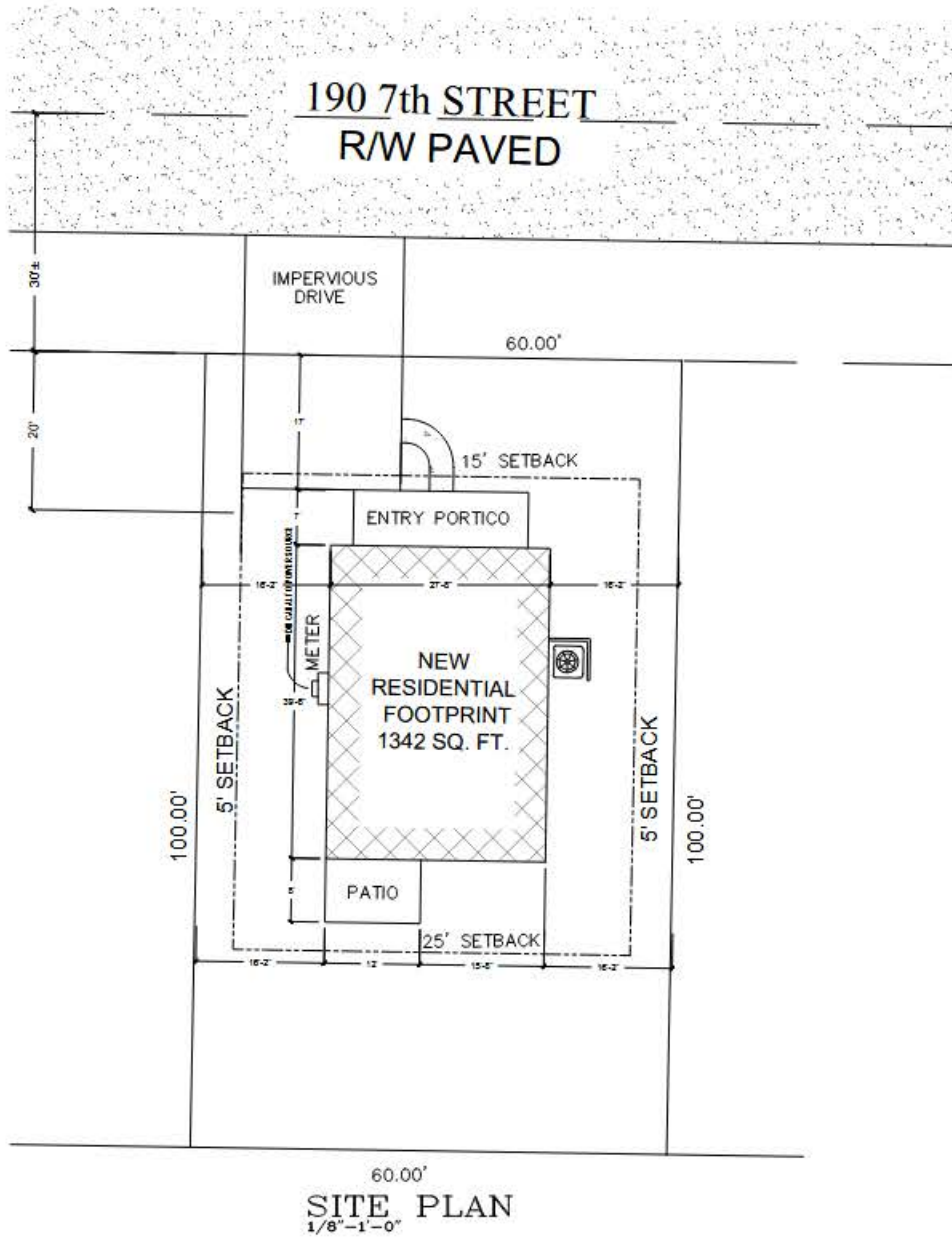
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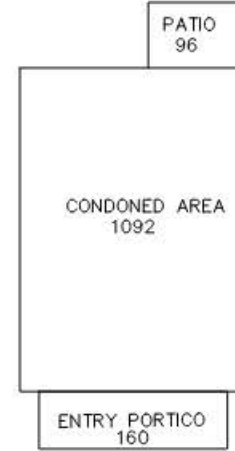
3/20/26
DATE


SIGNATURE OF APPLICANT

SDD 2323 FRANKLIN COUNTY RESIDENCE- 190 7TH STREET SET 030626.DWG



THE NEW
RESIDENCE
AT
PARCEL NUMBER : 19130-005-000
190 7th STREET
APALACHICOLA, FLORIDA



AREA PLAN
N.T.S.

AREA TABLE	
LAND AREA	6000.00 SQ.FT.
CONDONED	1092 SQ.FT
ENTRY PORTICO	160 SQ.FT.
PATIO	96 SQ.FT.
WALK	28 SQ.FT.
TOTAL FOOTPRINT	1376.00 SQ.FT.
ISR% =	22.94%
FOOTAGE BASED ON LINE OF OUTSIDE EXTERIOR FRAMED WALL.	

INDEX OF DRAWINGS	
SHEET	DESCRIPTION
A-1	TITLE SHEET, INDEX, SITE PLAN, & AREA PLAN
A-2	STRUCTURAL NOTES
A-3	CONNECTION DETAILS, WIND LOADS, & NOTES
A-4	FOUNDATION PLAN & DETAILS
A-5	FLOOR PLAN & ROOF PLAN
A-6	SECTION & DETAILS
A-7	EXTERIOR ELEVATIONS
E-1	ELECTRICAL PLAN

This is a basic set of contract plans for permitting and general construction. Architect/Designer is not performing construction administration nor providing detailed specifications. Contractor shall be responsible for construction procedures, building to applicable code and following manufacturers specifications for proper installation of each product. Any discrepancy in these plans must be brought to Architect/Designer's attention prior to commencing construction.

SURBER'S
DRAFTING & DESIGNS
William H. Surber
5000 CROSBY DR. SUITE 100
MARIETTA, GA 30067
(770) 942-7888

THE NEW
RESIDENCE
AT
PARCEL NUMBER : 19130-005-000
190 7th STREET
APALACHICOLA, FLORIDA

DRAWN BY:
WHS

DATE
03/06/26

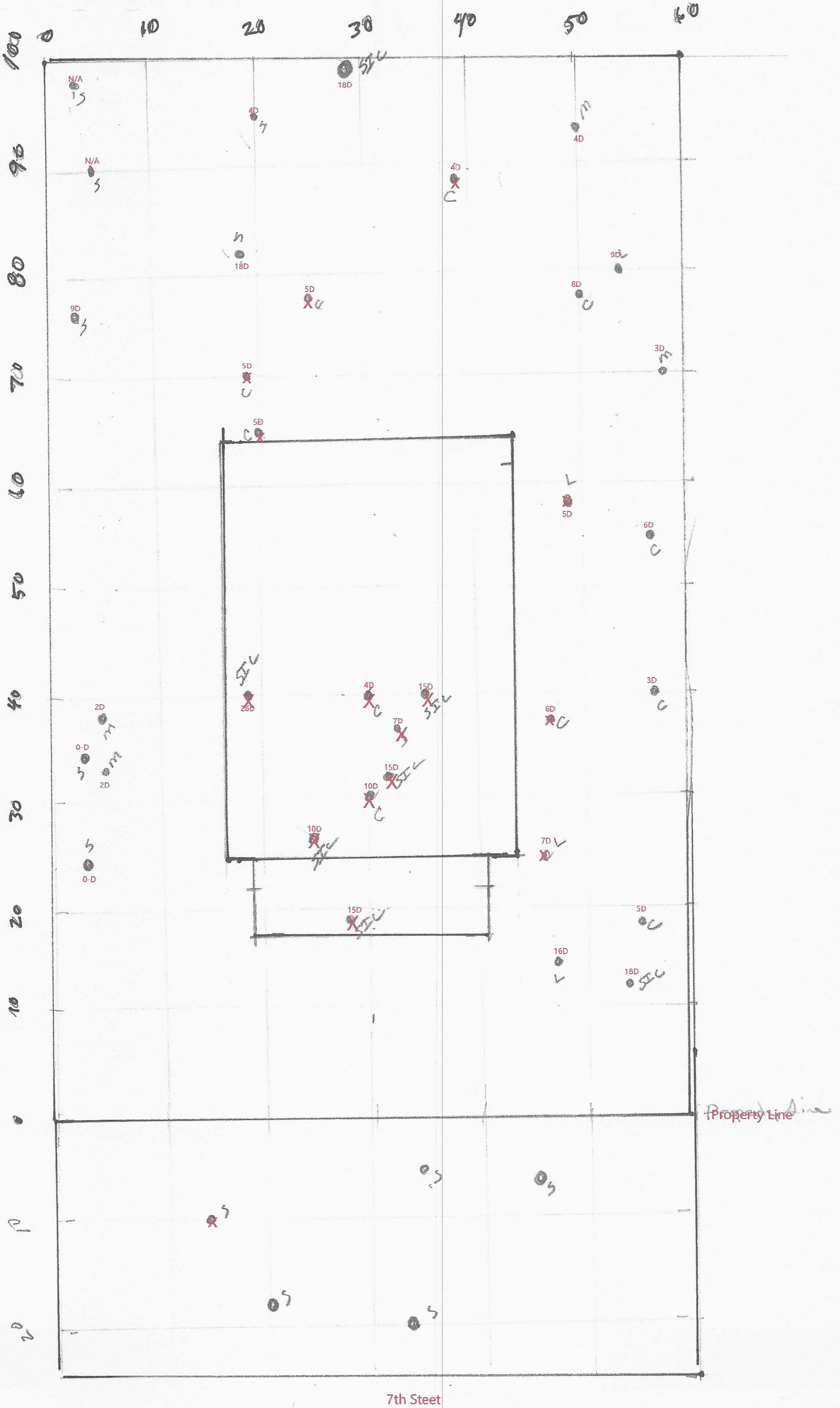
JOB No.
180 2323

SHEET
A-1
OF **8**

C-CEDAR SIC --Sycamore M- Magnolia S- Sable Palm L-Live Oak

D-Diameter

190 7 th Street Apalachicola

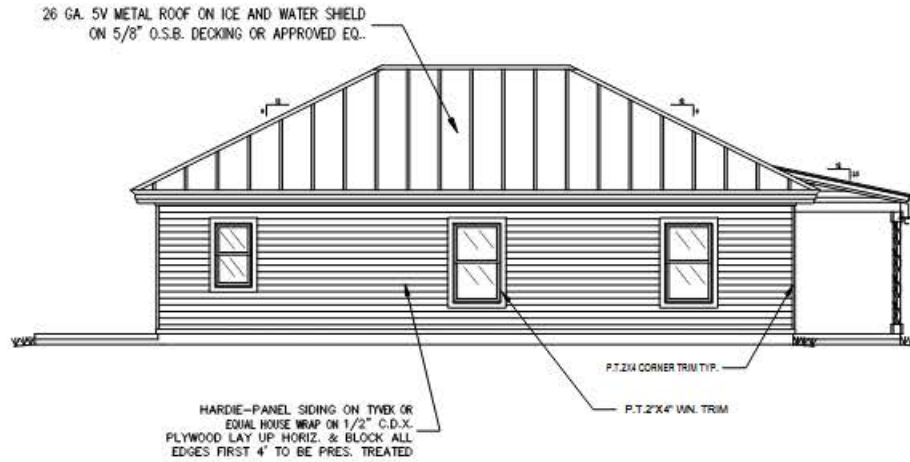


7th Street

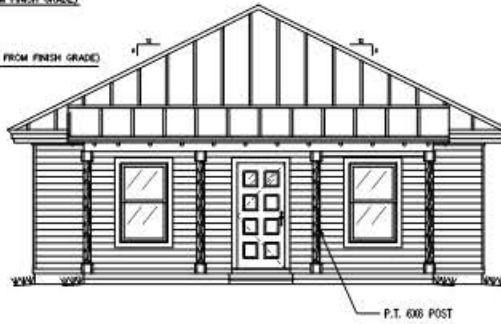


190 7th St
Apalachicola

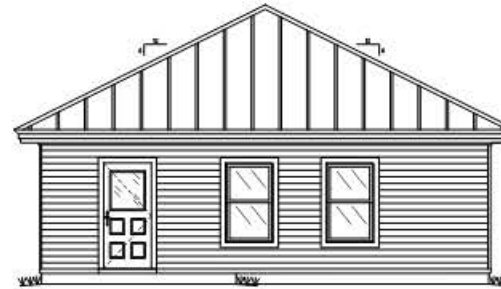




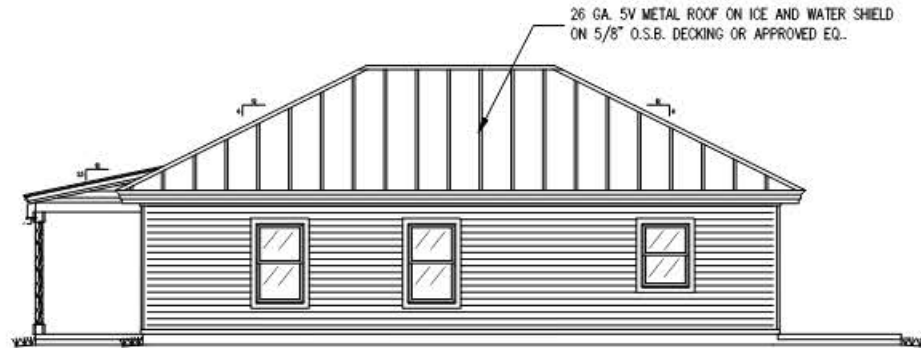
- EL. 17'-4" (HIGHEST RIDGE FROM FINISH GRADE)
- EL. 13'-5" (MEAN ROOF HEIGHT FROM FINISH GRADE)
- EL. 9'-0" T.B.
- EL. 6'-8" W.N. & DR. HD.
- FINISHED FLOOR
MIN. 12" A.R.C.
- FIN. GR. EL. -3"±



EAST ELEVATION
1/4"-1'-0"



WEST ELEVATION
1/4"-1'-0"



SOUTH ELEVATION
1/4"-1'-0"

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**SURBER'S
DRAFTING & DESIGNS**
 William H. Surber
 4000 CANTON RD
 MOBILE, AL 36688-0001
 (904) 684-1000 ext. 100

THE NEW
RESIDENCE
 AT
 PARCEL NUMBER: 00180100100
 190 7TH STREET
 APALACHICOLA, FLORIDA

CERTIFICATION	
I CERTIFY THAT THE DESIGN PLANS AND SPECIFICATIONS FOR THIS CONSTRUCTION ARE IN COMPLIANCE WITH THE ORDINANCE ESTABLISHED BY THE 2023 FLORIDA BUILDING CODE.	
THIS BUILDING AND/OR STRUCTURE IS ENGINEERED TO WITHSTAND A WIND VELOCITY OF 140 MPH PER ASCE 7-10.	
I UNDERSTAND THAT ANY CHANGE IN DESIGN OR SPECIFICATION MUST BE SUBMITTED IN WRITING BY ME TO THE BUILDING DEPARTMENT.	
ALL DRAWINGS AND/OR CORRESPONDENCE SHALL BE SIGNED AND SEALED, SIGNED AND SEALED.	
KURT BLOOM ENGINEER STATE OF FLORIDA STATE NUMBER 41137	

DRAWN BY:	WH5
DATE	03/06/26
JOB No.	380 2502
SHEET	
A-7	
OF	8

STAFF FINDINGS REPORT

PROPERTY OWNER: Robert and Joyce Hall

AGENT (if applicable): N/A

CONTRACTOR: Hall Contracting and Construction Inc

PROPERTY ADDRESS (if available): 190 7th Street

→ Block 170 Lot 3

PARCEL ID: 01-09S-08W-8330-0170-0030

HISTORIC DISTRICT: Yes

CORNER LOT: No

ACREAGE: -- (~6,000 SF)

FUTURE LAND USE: C-2 Neighborhood Commercial

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

→ New residential construction on vacant parcel.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 111-274. C-2 Neighborhood Commercial.**

○ **Development standards:**

▪ **Minimum lot size:**

- Single-family: 6,000 SF (60' x 100').

▪ **Minimum building size:**

- Single-family: 800 SF.

▪ **Minimum building setbacks:**

- Single-family:

○ Front: 15 ft.

▪ Proposed: 17'.

○ Side (interior lot): 7½ ft. each side, or any combination on each side that equals at least 15 ft. No such setback shall be less than 5 ft.



**New Residential Construction
(Renewal)
197 22nd Avenue**



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: 2/19/25
 Meeting Date: 3/10/25
 Fees Due: \$200.00
 Date Fees Paid: paid

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner <u>Ron Ramfjord</u>	Contractor Name <u>Tyler Polonius</u>
Address <u>37 Tricias way</u>	State License # <u>22222122</u> City License # _____
City <u>Eastpoint</u> State <u>FL</u> Zip <u>32328</u>	Email <u>myboy@tleg2@gmail.com</u>
Phone _____	Phone <u>850 570 1976</u>

PROJECT TYPE

<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Fence
<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> Alteration/Renovation	<input type="checkbox"/> Certificate of Appropriateness
<input type="checkbox"/> Relocation	<input type="checkbox"/> Other _____
<input type="checkbox"/> Demolition	

197 22nd

PROPERTY INFORMATION

Street Address (911 Address): 22nd Avenue, Apalachicola - need 911 Address
 City & State: Apalachicola FL Zip: 32328
 Parcel ID #: _____ Block: 236 Lot: 18019
 Zoning District: R-2 [Y] Historic District [X] Non-Historic District
 FEMA Flood Zone: X 16-19

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y/ <u>N</u> Setback Requirements of Property: Front: <u>15</u> Rear: <u>25</u> Side: <u>5</u> Corner Lot <u>Y</u> /N Street Sides: <u>15</u> Lot Coverage: <u>40%</u> STAFF NOTES/RECOMMENDATIONS: <u>192 22nd Ave</u> <u>meets LDC</u>	This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.
_____	City Staff _____
_____	Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

TRP
 Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Small home between two lots in historic district. The home is approx 1200 sq ft on a concrete slab. Home owner is wanting the home gray or gray-blue painted hardy on exterior. with white windows

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding		Hardy	
Doors		Fiberglass J	
Windows		Silverline	
Roofing		Shingles	
Trim		1 x 4 radiat	
Foundation		concrete slab	
Shutters		X	
Porch/Deck		5/4 deck boards 5 1/4	
Fencing		X	
Driveways/Sidewalks		X	
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

2/19/25

DATE

SIGNATURE OF APPLICANT

RAMFJORD RESIDENCE

LOT 18 & 19, 22ND AVENUE, APALACHICOLA, FL 32320

17&18
16-19

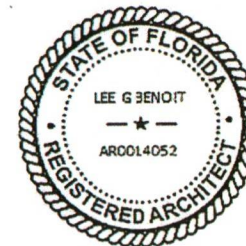
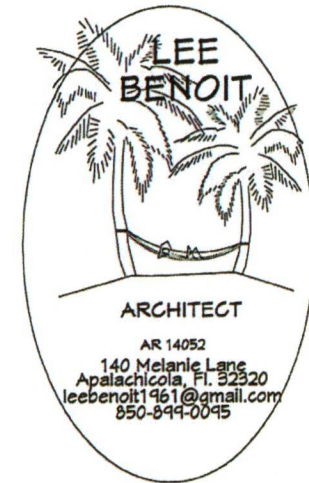
DRAWING INDEX:

- S-1 SURVEY (BY OTHERS)
- S-2 SURVEY (BY OTHERS)
- A-1 SITE PLAN
- A-2 FLOOR PLAN
- A-3 ELEVATIONS
- A-4 FOUNDATION
- A-5 ROOF PLAN
- A-6 STRUCTURAL SECTION
- A-7 ELECTRICAL

PLANS CONFORM TO THE 2020 F.B.C.

INFORMATION ON DRAWINGS AS PER 1606.1.7 FLORIDA BUILDING CODE

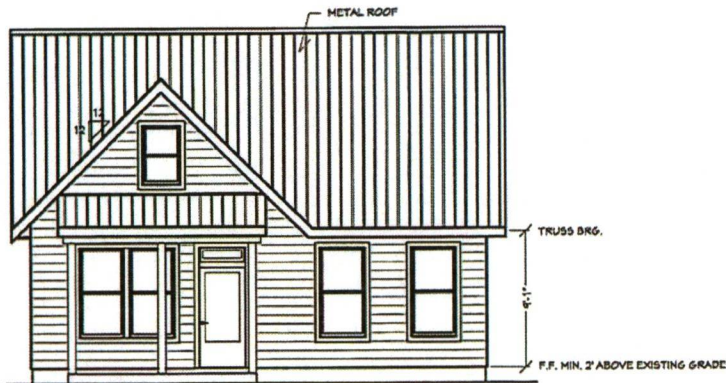
- 1 BASIC WIND SPEED: 140 MPH
- 2 WIND IMPORTANCE FACTOR: 1.0 / BUILDING CATEGORY: LOW RISE, HURRICANE PROTECTED
- 3 WIND EXPOSURE: C
- 4 APPLICABLE INTERNAL PRESSURE COEFFICIENT: +/- .55
- 5 COMPONENTS AND CLADDING DESIGN PRESSURE: 45 PSF



Lee G Benoit

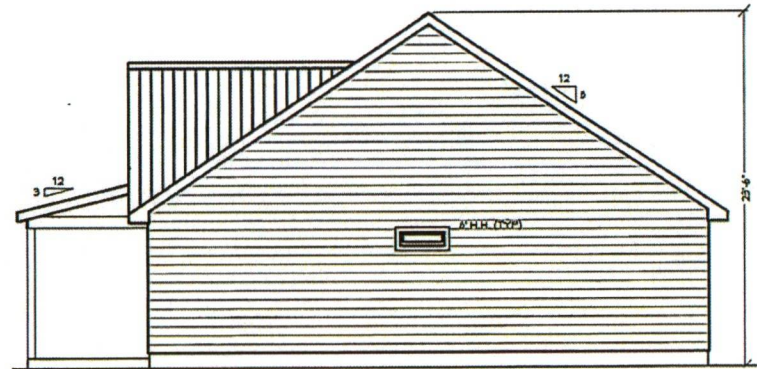
date	02/11/2025
rev	2
drawn	ZACH WARD

plans/1stst/crum



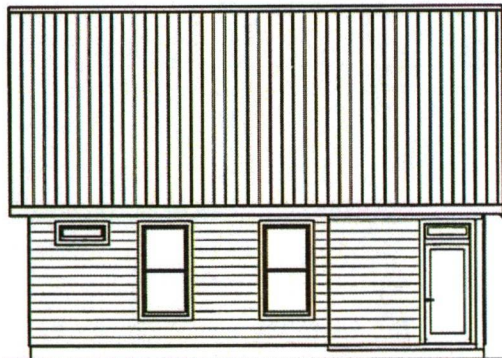
FRONT ELEVATION

1/8" = 1' (11"x17" @ 100%)
 1/4" = 1' (24"x36" @ 200%)



RIGHT ELEVATION

1/8" = 1' (11"x17" @ 100%)
 1/4" = 1' (24"x36" @ 200%)



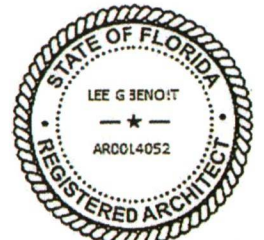
REAR ELEVATION

1/8" = 1' (11"x17" @ 100%)
 1/4" = 1' (24"x36" @ 200%)



LEFT ELEVATION

1/8" = 1' (11"x17" @ 100%)
 1/4" = 1' (24"x36" @ 200%)

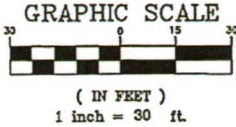


Lee G Benoit

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 RON P. RAMFJORD and REGINA P. RAMFJORD,
 KRISTY BRANCH BANKS, P.A.,
 OLD REPUBLIC NATIONAL TITLE
 INSURANCE COMPANY

BOBBY CATO STREET/ AVENUE "L"
 (50' R/W ~ 12TH STREET ~ PAVED)

SURVEY
NOT TO SCALE



LEGEND

- RP RECORD PLAT
- M MEASURED
- R/W RIGHT-OF-WAY
- NOT TO SCALE
- SIRC SET IRON ROD & CAP #7160-5/8"
- FIRC FOUND IRON ROD AND CAP-5/8"
- FIP FOUND IRON PIPE
- FIR FOUND IRON ROD
- FCM FOUND CONCRETE MONUMENT
- △ POINT NOT SET OR FOUND

LEGAL DESCRIPTION:

Lots 18 & 19, Block "236" of THE CITY OF APALACHICOLA, as per map or plot in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

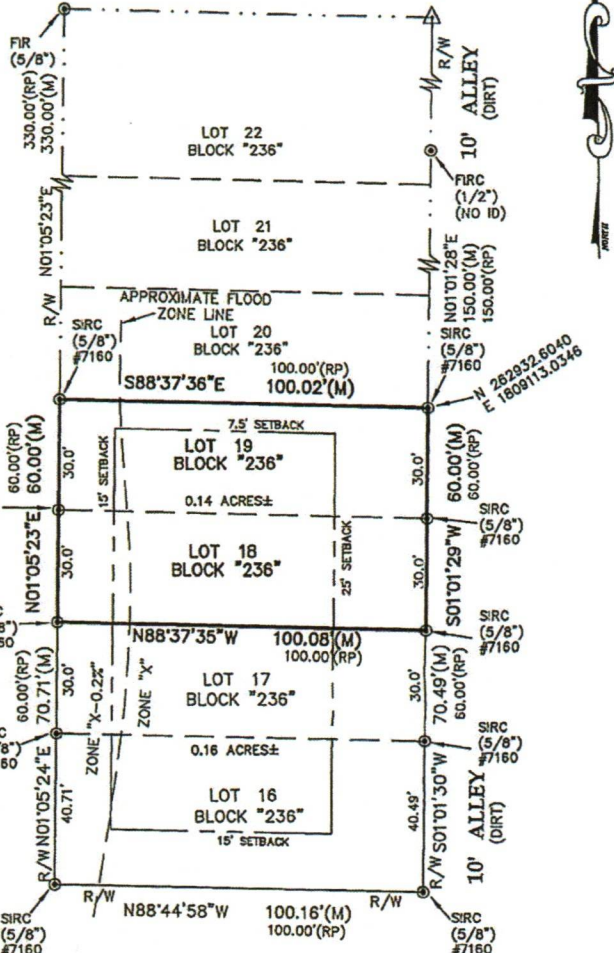
EFFECTIVE FLOOD ZONE INFORMATION:

Subject property is located in Zones "X" and "X-0.2%" as per Flood Insurance Rate Map Community Panel No: 120089 0507G, index date: October 10, 2024, Franklin County, Florida.

I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 5J-17, .051/.052 Florida Administrative Code).

The undersigned surveyor has provided a current title opinion or abstract of title reflecting title or boundary to the subject property. It is the responsibility of the deeds of records, unrecorded state instruments or other instruments which could affect the boundaries.

James T. Roddenberry
 JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 2881



CORNELLIUS RIZER STREET
 (50' R/W ~ 10TH STREET ~ PAVED)

NOTES:

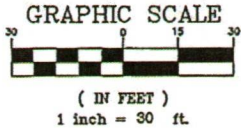
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: ALL BEARINGS established using Florida Grid North datum.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.
8. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.

TR & A			
THURMAN RODDENBERRY & ASSOCIATES, INC.			
PROFESSIONAL SURVEYORS AND MAPPERS			
P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358			
PHONE NUMBER: 850-962-2538		FAX NUMBER: 850-962-1133	
LB # 7160			
DATE: 01/31/25	DRAWN BY: BB	N.B. PER PLAT	COUNTY: FRANKLIN
FILE: 25061.DWG	DATE OF LAST FIELD WORK: 01/28/25	CHECKED BY: AW	JOB NO: 25-061

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 RON P. RAMFJORD and REGINA P. RAMFJORD,
 KRISTY BRANCH BANKS, P.A.,
 OLD REPUBLIC NATIONAL TITLE
 INSURANCE COMPANY

BOBBY CATO STREET/ AVENUE "L"
 (50' R/W ~ 12TH STREET ~ PAVED)

SURVEY
NOT TO SCALE



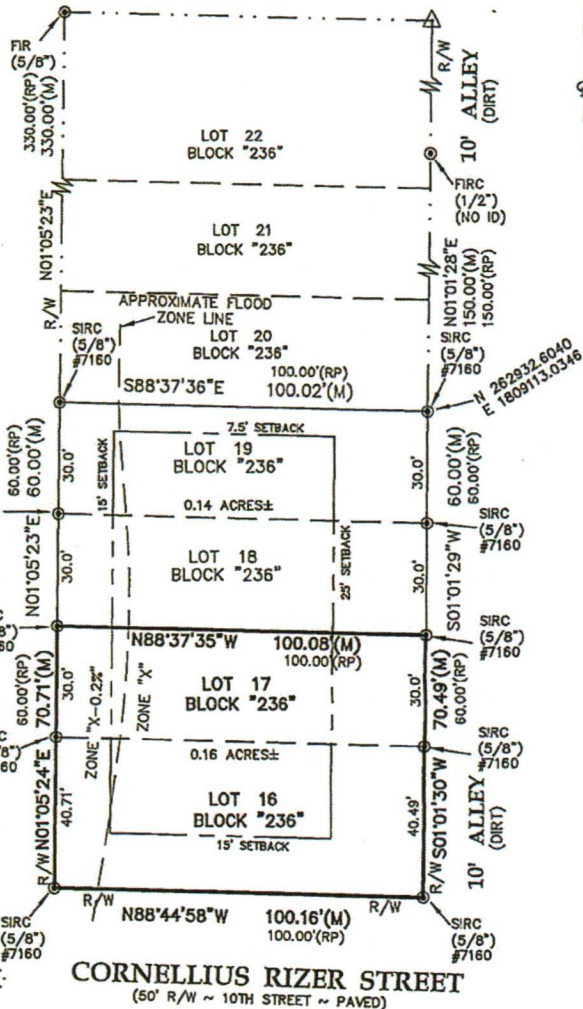
LEGEND

RP	RECORD PLAT
M	MEASURED
R/W	RIGHT-OF-WAY
---	NOT TO SCALE
SIRC	SET IRON ROD & CAP #7160-5/8"
FIRC	FOUND IRON ROD AND CAP-5/8"
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FCM	FOUND CONCRETE MONUMENT
△	POINT NOT SET OR FOUND

LEGAL DESCRIPTION:

Lots 16 & 17, Block "236" of THE CITY OF APALACHICOLA, as per map or plat in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

22nd AVENUE
 (50' R/W ~ PAVED)
 EDGE OF PAVEMENT
 EDGE OF PAVEMENT



CORNELLIUS RIZER STREET
 (50' R/W ~ 10TH STREET ~ PAVED)

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: ALL BEARINGS established using Florida Grid North datum.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
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8. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.

EFFECTIVE FLOOD ZONE INFORMATION:

Subject property is located in Zones "X" and "X-0.2%" as per Flood Insurance Rate Map Community Panel No: 120089 0507G, index date: October 10, 2024, Franklin County, Florida.

I hereby certify that this is a true and correct representation of the property shown hereon. This survey meets the minimum standards of professional land surveying (Chapter 5J-17, .051/.052 Florida Administrative Code).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is advised that records of records, unrecorded copies, easements or other instruments which could affect the boundaries.

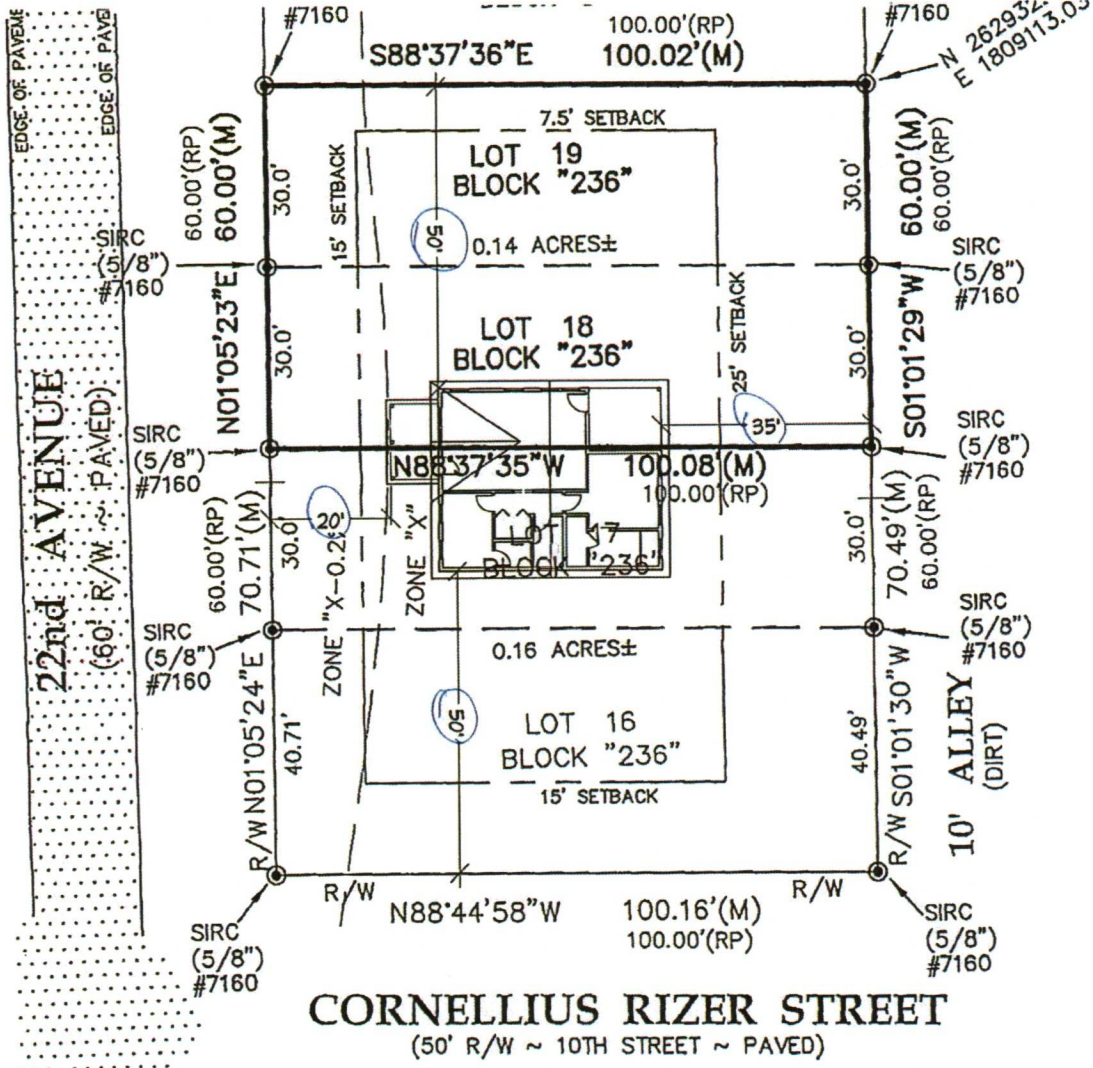
JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4261

TR & A THURMAN RODDENBERRY & ASSOCIATES, INC
 PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358
 PHONE NUMBER: 850-942-5554 FAX NUMBER: 850-942-4110
 LB # 7140

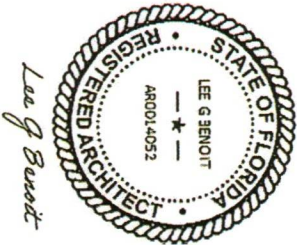
DATE: 01/31/25	DRAWN BY: BB	N.B. PER PLAT	COUNTY: FRANKLIN
FILE: 25061.DWG	DATE OF LAST FIELD WORK: 01/28/25	CHECKED BY: AW	JOB NO: 25-061



SITE PLAN
 1" = 20' (11"x17" @ 100%)
 1" = 10' (24"x36" @ 200%)



CORNELLIUS RIZER STREET
 (50' R/W ~ 10TH STREET ~ PAVED)



Lee G Benoit

FLOOD ZONE INFORMATION:
 SUBJECT PROPERTY IS LOCATED IN ZONE "X" & "X-0.25" AS PER
 FIRM COMMUNITY PANEL NO. 12094 0916 COUNTY, FL
 INDEX DATE OCTOBER 10, 2024, FRANKLIN COUNTY, FL
 THE GEORICONTACTOR SHALL VERIFY THE HOUSE
 LOCATION PRIOR TO CONSTRUCTION.
 SURVEY PROVIDED BY OTHERS

INTERPOLAR SURFACE BATHYMETRY & A.D.
 RESIDENCE: -1.210 SQ FT
 LOT AREA: -1,200 SQ FT
 BENCHMARK SURFACE ELEVATION: -2.101



Planning & Zoning Agenda

March 10th, 2025

RON & REGINA RAMFJORD

CELL 478 808 7048

EMAIL KASSIEDAWN@aol.com

FEE ATTACHED - RECEIPT

* THIS IS A RESUBMISSION FOR RE APPROVAL
AFTER INITIAL YEAR APPROVAL EXPIRED

I AM UNAWARE OF ANY CHANGES BUT
THERE MAY BE

SOME MINOR TWEAKS

IN HOUSE PLAN ETC.

Donna

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
Monday, March 10th, 2025
City Meeting Room – 74 6th Street
Agenda

Regular Meeting: 6:00 PM

1. Approval of February 10th, 2025 meeting minutes.
2. Review, Discussion and Decision for Accessory Structure (R-1)(Historic District) @ 121 Coach Wagoner Blvd., Block 89 Lot 9-10. For Jeff Stephens - Owner; Contractor: TBD
3. Review, Discussion and Decision for Certificate of Appropriateness & New Construction (R-1)(Historic District) @ 114 8th Street, Block 69 Lot 3. For Brandon Bogle - Owner; Contractor: Tyler Poloronis
4. Review, Discussion and Decision for New Construction (R-2) @ 197 22nd Avenue, Block 236 Lot 16-19. For Ron R. - Owner; Contractor: Tyler Poloronis
5. Review, Discussion and Decision for New Construction (R-2) @ 191 14th Street, Block 140 Lot 10. For RG Building & Framing Inc. - Owner; Contractor: Ronnie Gooch
6. Review, Discussion and Decision for New Construction (R-2) @ 190 13th Street, Block 140 Lot 1. For RG Building & Framing Inc. - Owner; Contractor: Ronnie Gooch
7. Review, Discussion and Decision for New Construction (R-2) @ 193 14th Street, Block 140 Lot 9. For RG Building & Framing Inc. - Owner; Contractor: Ronnie Gooch
8. Review, Discussion and Decision for Pavers (R-2) @ 108 22nd Avenue, Block 262 Lot 12-15. For James Grater & Kathleen Binder - Owner; Contractor: Self
9. Review, Discussion and Decision for Accessory Structure (R-1) @ 54 17th Street, Block 113 Lot 3. For Barbara Matheny. - Owner; Contractor: TBD
10. Review, Discussion and Decision for Parking Plan (C-1)(Historic District) @ 51 Avenue C, Block 1. For Gibson Inn LLC - Owner; Contractor: N/A

STAFF FINDINGS REPORT

PROPERTY OWNER: Ron and Regina Ramfjord

AGENT (if applicable): N/A

CONTRACTOR: Tyler Poloronis

PROPERTY ADDRESS (if available): 197 22nd Avenue

→ Block 236 Lots 16-19

PARCEL ID: 01-09S-08W-8330-0236-0160

HISTORIC DISTRICT: No

CORNER LOT: Yes

ACREAGE: -- (~12,000 SF)

FUTURE LAND USE: R-2 Multifamily Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

- Resubmission and renewal of previously approved new residential construction application.
 - Approved unanimously 4-0 at March 10, 2025 P&Z meeting.
 - No changes to site plan which would impact recommendation.

STAFF FINDINGS:

Code of Ordinances:

- **Section 111-269. R-2 Multifamily Residential.**
 - **Development standards:**
 - **Minimum lot size:**
 - 6,000 SF (60' x 100').
 - **Minimum building size:**
 - Single-family: 800 SF.
 - **Minimum building setbacks:**
 - Front: 15 ft.
 - Proposed 20'.

- Side (interior lot): 7½ ft. each side, or any combination on each side that equals at least 15 ft. No such setback shall be less than 5 ft.
 - Proposed 50' interior side lot line.
- Side (corner lot): 15 ft.
 - Proposed 50' corner side lot line.
- Rear: 25 ft. (principal structure).
 - Proposed 35'.
- **Maximum building restrictions:**
 - Lot coverage: 40% (4,800 SF).
 - Principal: ~1,210 SF.
 - Total: ~1,210 SF or 10%.
 - Building height: 35 ft.
 - Proposed ~24' (23'-6").
- **Applicable regulations:**
 - In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances.



New Residential Construction

126 18th Avenue



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____
 Meeting Date: _____
 Fees Due: _____
 Date Fees Paid: _____

OWNER INFORMATION

Owner Robert + Andrea Brown
 Address 177 Rock House Estates Dr.
 City Senoia State GA Zip 30276
 Phone 678-764-6837

CONTRACTOR INFORMATION

Contractor Name Bryce Wad
 State License # RP0066825 City License # _____
 Email Bryce@1stchoicebuilders.net
 Phone 850-653-7777

PROJECT TYPE

- | | |
|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Relocation | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Demolition | |

PROPERTY INFORMATION

Street Address (911 Address): 126 eighteenth Ave
 City & State: Apalachicola FL Zip: 32320
 Parcel ID #: 01-095-09W-8330-0251-0101 Block: 251 Lot: _____
 Zoning District: _____ [] Historic District [] Non-Historic District
 FEMA Flood Zone: _____

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: _____ Rear: _____ Side: _____

Corner Lot? Y / N Street Sides: _____

Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____

Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

 Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

*New Single Family Home please see attached plan
With details Included.*

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	<i>Hardie</i>	<i>Hardie Siding</i>	
Doors	<i>Fiberglass</i>		
Windows	<i>Vinyl Impact</i>		
Roofing	<i>Standing Seam Metal</i>		
Trim	<i>Hardie</i>		
Foundation	<i>Monolithic Slab</i>		
Shutters			
Porch/Deck	<i>concrete</i>		
Fencing			
Driveways/Sidewalks	<i>concrete</i>		
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, fence heights, and the location, size and species of protected trees (refer to tree permit for a list of protected trees). Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 30 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.
11. **I/We understand that the City of Apalachicola will never request a P&Z fee greater than the amount(s) outlined in the adopted fee schedule, nor will the City of Apalachicola request fee payment be made by wire transfer. Please contact City Hall directly with any questions regarding fee payment.**

03-23-2026

DATE



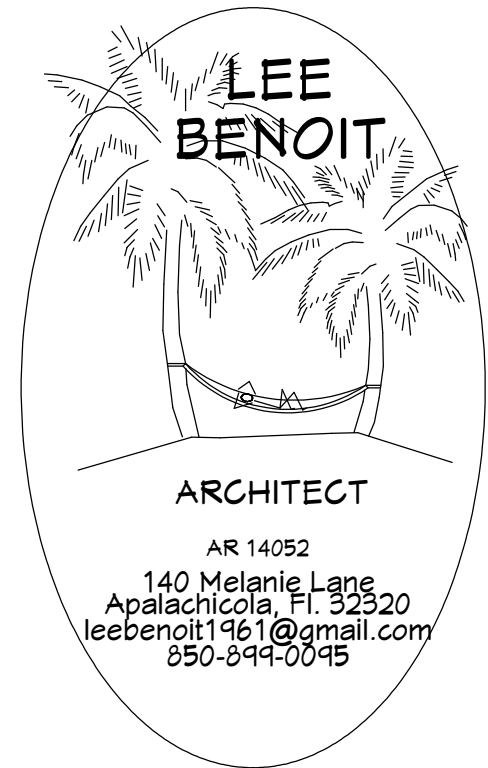
SIGNATURE OF APPLICANT

BROWN RESIDENCE

126 18TH AVENUE, APALACHICOLA, FL 32320

DRAWING INDEX:

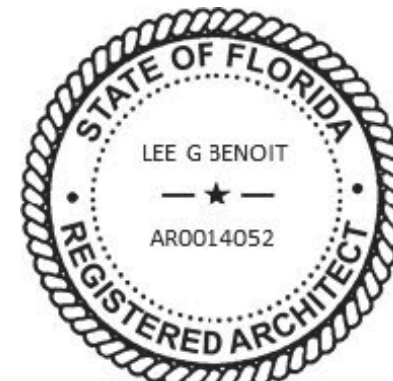
- S-1 SURVEY (BY OTHERS)
- A-1 SITE PLAN
- A-2 FLOOR PLAN
- A-3 ELEVATIONS
- A-4 FOUNDATION
- A-5 ROOF PLAN
- A-6 STRUCTURAL SECTION
- A-7 ELECTRICAL



PLANS CONFORM TO THE 2020 F.B.C.

INFORMATION ON DRAWINGS AS PER 1606.1.7 FLORIDA BUILDING CODE

- 1 BASIC WIND SPEED: 140 MPH
- 2 WIND IMPORTANCE FACTOR: 1.0 / BUILDING CATEGORY: LOW RISE, HURRICANE PROTECTED
- 3 WIND EXPOSURE: C
- 4 APPLICABLE INTERNAL PRESSURE COEFFICIENT: +/- .55
- 5 COMPONENTS AND CLADDING DESIGN PRESSURE: 45 PSF



Lee J Benoit

date	06/11/2025
rev	2
drawn	ZACH WARD

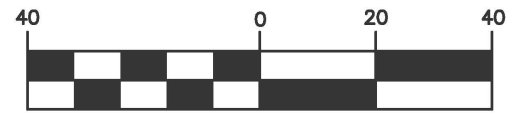
plans/1stry/webb

REV 5: ADDS DORMER DIMENSIONS ONLY

SKETCH OF PROPERTY CERTIFIED TO:

**Ronda Becker Newell,
Dodd Title, Inc.,
First American Title Insurance Company**

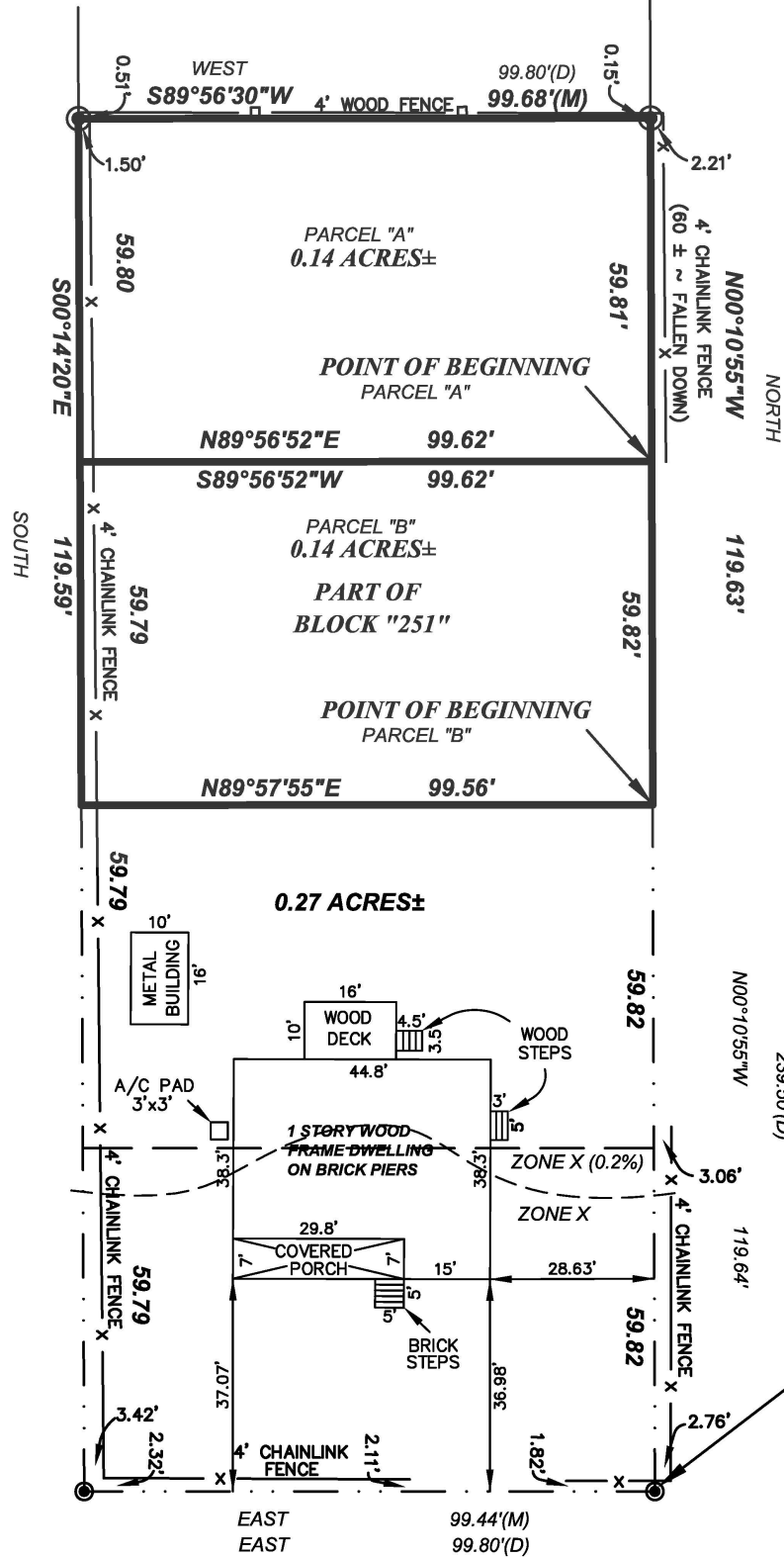
GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



10' ALLEY



18TH AVENUE
(PAVED)
(60' R/W)

ELLIS VAN FLEET STREET
(50' R/W) (6TH STREET) (PAVED)

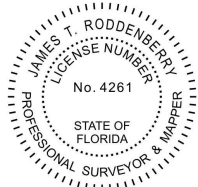
NOTES:

1. SURVEY SOURCE: Deed of record and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northerly right of way boundary of "Ellis Van Fleet Street" being East as per deed of record.
3. A current field survey has not been done to verify the accuracy of the sketch shown hereon.
4. THIS IS NOT A BOUNDARY SURVEY.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. See attached sheet for legal description.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry
JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No: 4261

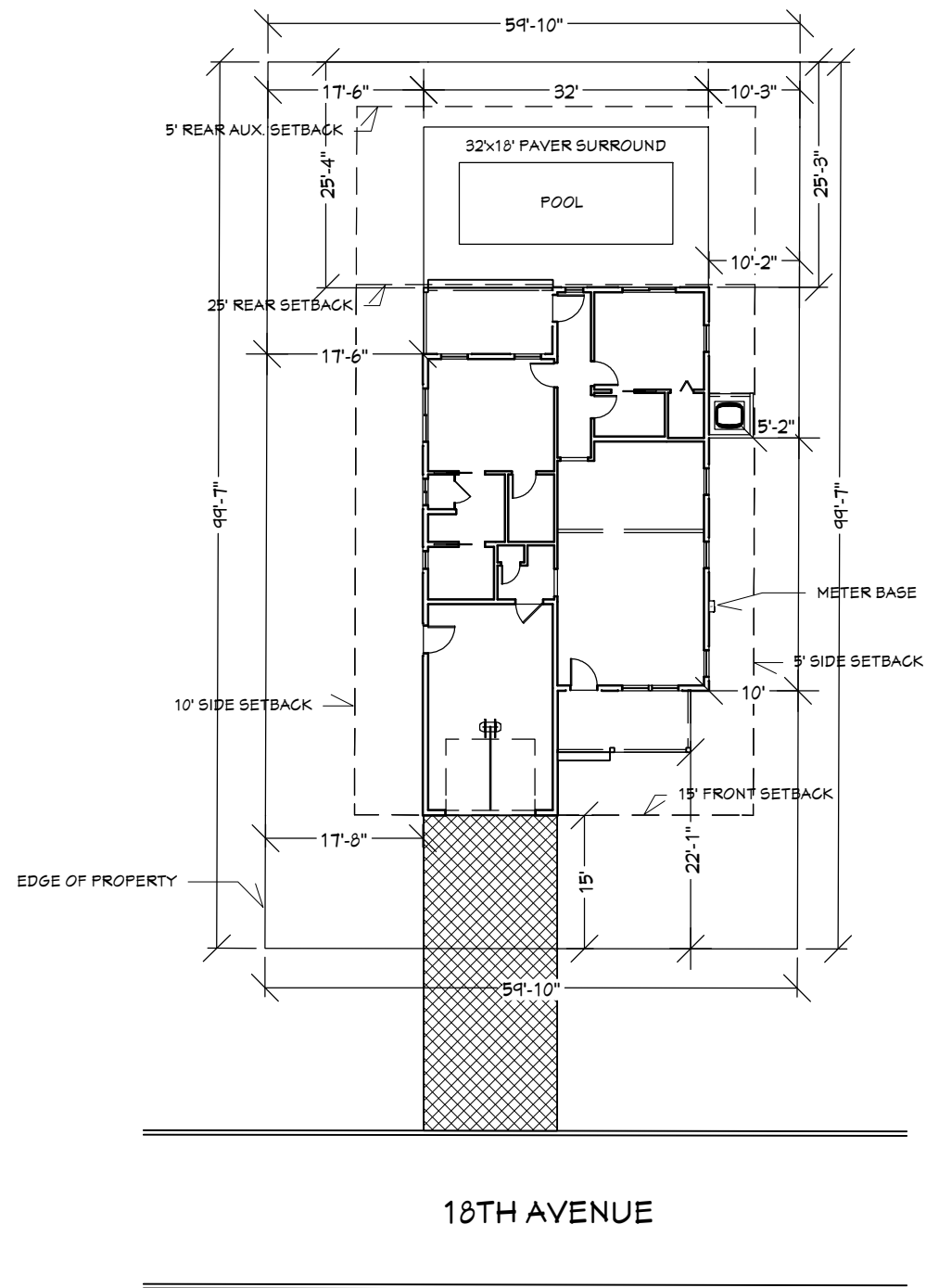


FLOOD ZONE INFORMATION:

Subject property is located in Zone X and X (0.2%) as per Flood Insurance Rate Map Community Panel No: 120090 0526F index date: February 5, 2014, Franklin County, Florida.

TR & A THURMAN RODDENBERRY & ASSOCIATES, INC			
PROFESSIONAL SURVEYORS AND MAPPERS			
P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358			
PHONE NUMBER: 850-962-2538		FAX NUMBER: 850-962-1103	
LB # 7160			
DATE: 04/20/22	DRAWN BY: MD	N.B. XXX PG XX	COUNTY: FRANKLIN
FILE: 07007.DWG	DATE OF LAST FIELD WORK:	CHECKED BY:	JOB NUMBER: 07-007

SURVEY
NOT TO SCALE

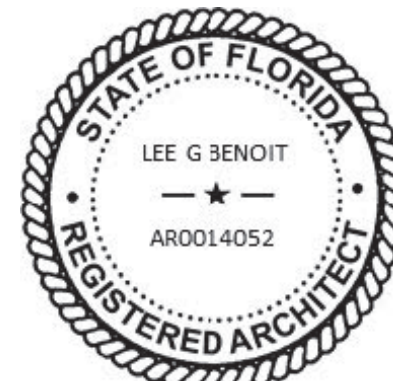


LOT COVERAGE (MAX 0.40):
 RESIDENCE DISTURBED AREA: ~1,784 SQ FT
 POOL AND SURROUND: ~577 SQ FT
 TOTAL LOT COVERAGE ~2,361 SQ FT

LOT AREA: ~5,455 SQ FT
COVERAGE AREA: ~0.396

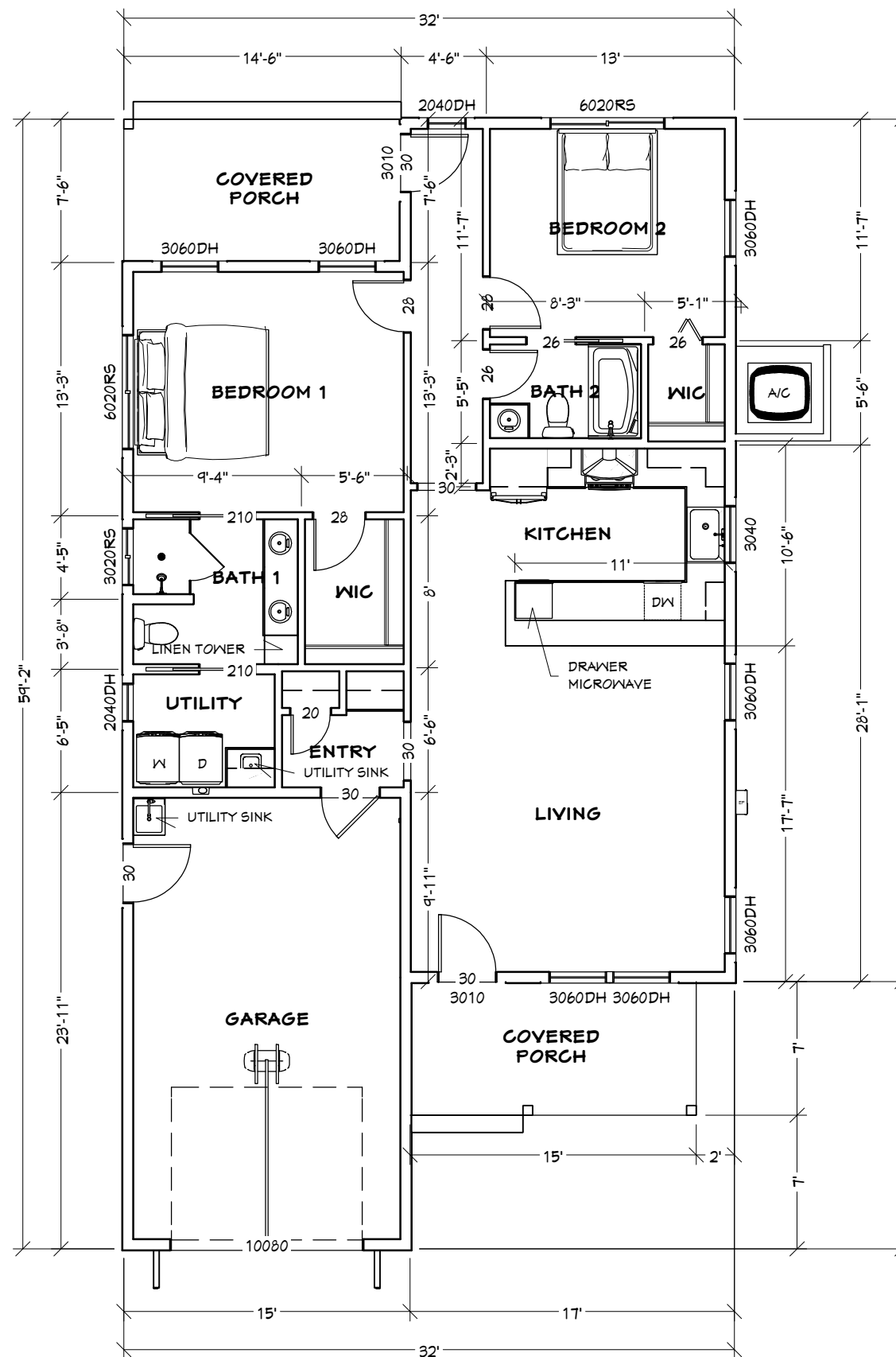
FLOOD ZONE INFORMATION:
 SUBJECT PROPERTY IS LOCATED IN ZONE X & X (0.2%) AS PER
 FIRM COMMUNITY PANEL NO. 120090 0526F
 INDEX DATE: FEBRUARY 5, 2014, FRANKLIN COUNTY, FL

THE OWNER/CONTRACTOR SHALL VERIFY THE HOUSE
 LOCATION PRIOR TO CONSTRUCTION.
 SURVEY PROVIDED BY OTHERS



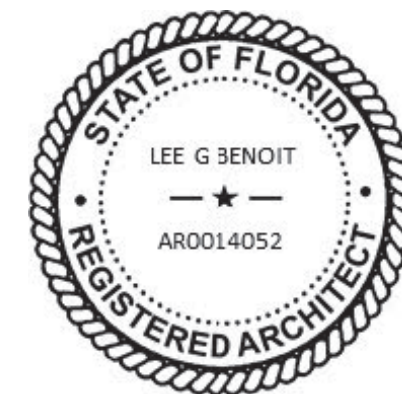
Lee G Benoit

SITE PLAN
 1" = 20' (11"x17" @ 100%)
 1" = 10' (24"x36" @ 200%)



SPECIAL NOTES RE: GARAGE:

- MINIMUM SEPARATION 1/2" GYPSUM BOARD OR EQUIV. APPLIED TO GARAGE SIDE OF WALLS FASTENED WITH 5d COOLER NAILS @ 8" c-c OR DRYWALL SCREWS @ 16" c-c
- MINIMUM SEPARATION 5/8" GYPSUM BOARD OR EQUIV. APPLIED TO GARAGE SIDE OF CEILING FASTENED WITH 6d COOLER NAILS @ 6" c-c OR DRYWALL SCREWS @ 6" c-c
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE MUST BE A MIN. OF NO. 26 GAGE SHEET METAL WITH NO REGISTER OUTLETS (OPENINGS) INTO THE GARAGE.
- PENETRATIONS THROUGH THE REQUIRED SEPARATION MUST BE PROTECTED AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
- DOORS SEPARATING THE GARAGE AND LIVING SPACES SHALL BE 1 3/8" SOLID WOOD, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20 MINUTE RATED DOORS. THESE DOORS SHALL ALSO BE EQUIPPED WITH A SELF CLOSING DEVICE. THESE DOORS SHALL NOT OPEN INTO A SLEEPING ROOM.



Lee G Benoit

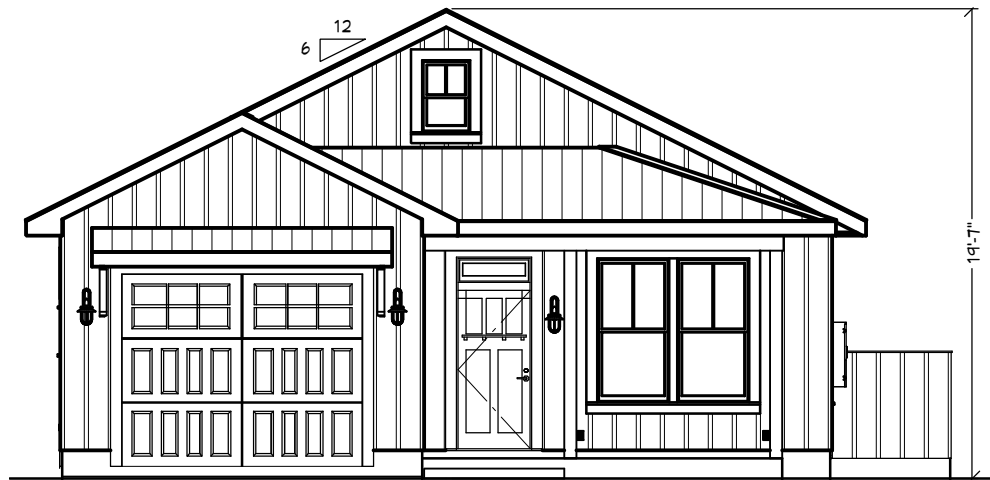
FLOOR PLAN

1/8" = 1' (11"x17" @ 100%)

1/4" = 1' (24"x36" @ 200%)

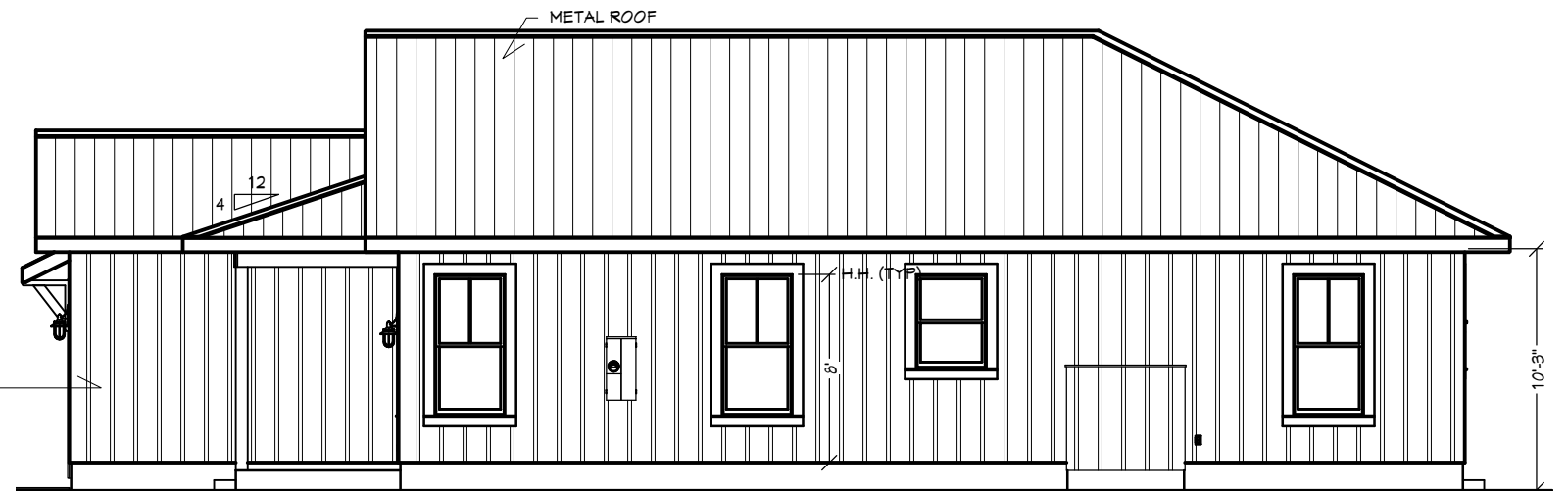
1,196 sq ft H&C

349 sq ft GARAGE



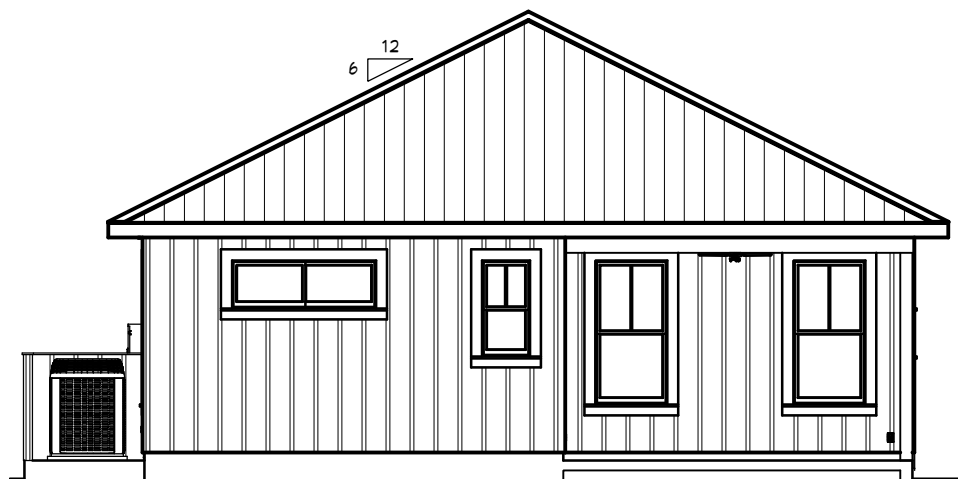
FRONT ELEVATION

1/8" = 1' (11"x17" @ 100%)
 1/4" = 1' (24"x36" @ 200%)



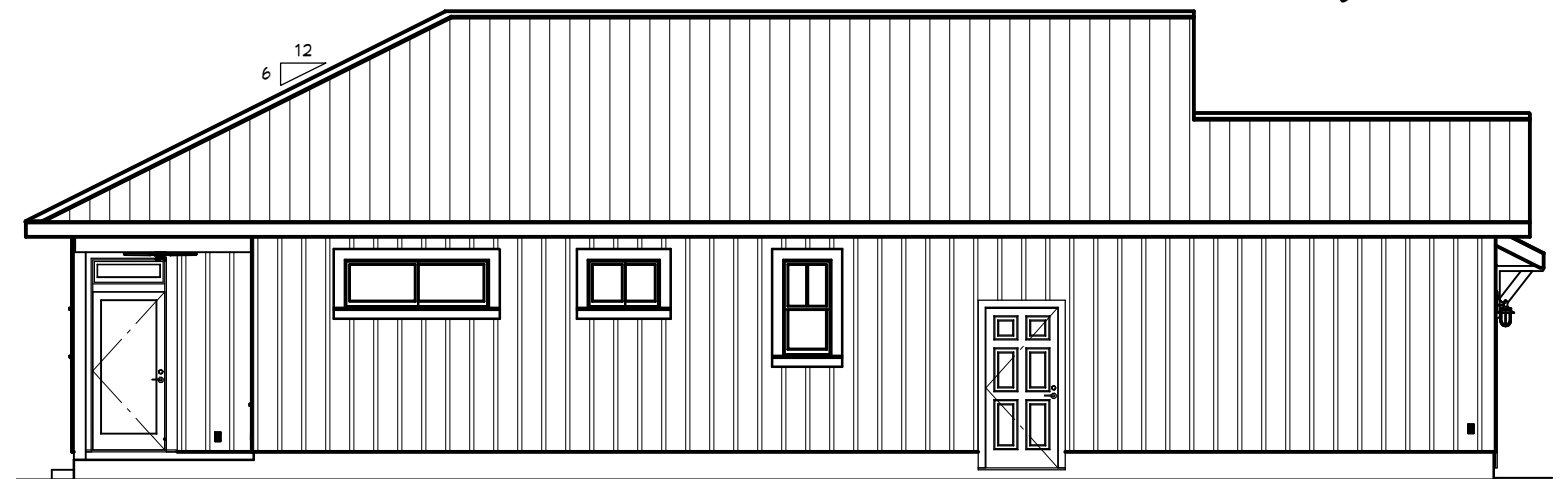
RIGHT ELEVATION

1/8" = 1' (11"x17" @ 100%)
 1/4" = 1' (24"x36" @ 200%)



REAR ELEVATION

1/8" = 1' (11"x17" @ 100%)
 1/4" = 1' (24"x36" @ 200%)



LEFT ELEVATION

1/8" = 1' (11"x17" @ 100%)
 1/4" = 1' (24"x36" @ 200%)



TREE PERMIT APPLICATION

City of Apalachicola Tree Removal or Alteration of Protected Trees

Applicant's Name: Bryce Word Email: Bryce@1stchoicebuilders.net
 Property Owner's Name: Robert + Andrea Brown Phone: 850-653-7777
 Property Address: 126 18th Street Apalachicola City, State, Zip: Apalachicola, FL 32320
 General Contractor/Tree Contractor: 1st Choice Builders Phone: 850-653-7777
 Applicants Signature/Date: Bryce Word Date: 03-23-2026

Development Plan Attached: Y N

New Construction: Y N

1. Protected trees - Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4" to 16"	Greater than 16" to less than 35"	35" and larger (Patriarch Tree)
Bald & Pond Cypress			
Eastern & Southern Red Cedar			
Live Oak			
Longleaf Pine			
Pecan			
Sabal Palm			
Slash Pine			
Southern Magnolia			
Sycamore			
Water Oak			
Total	4		

*Note Water Oaks are no longer protected trees

Size is measured at breast height (4.5 Feet above ground surface)

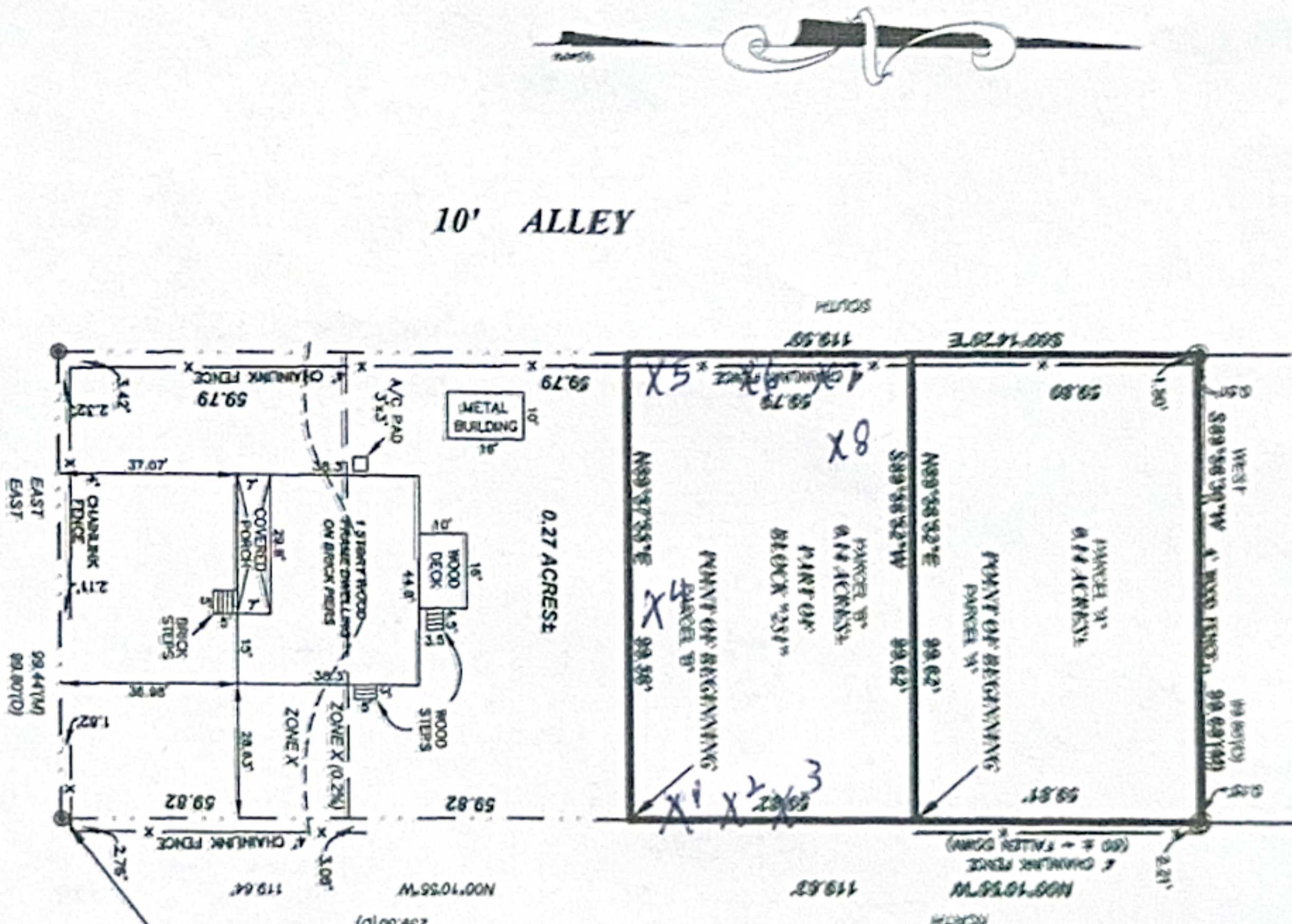
2. Reason(s) for removal or substantial alteration (Mark all that apply with "X")

***Substantial Alteration means, "the heavy cutting of top branches (topping) cutting of major lower limbs (elevating), or significant trimming of a tree that alters the natural symmetry of the tree.**

Owner's Private Property	
Removal	Substantial Alteration*
<input checked="" type="checkbox"/> Tree located within or too close to footprint of proposed new building or addition	<input checked="" type="checkbox"/> Limbs and branches encroaching where structure is to be built
<input checked="" type="checkbox"/> Tree roots damaging building foundation or underground utilities	Limbs and branches rubbing on side of roof of building
Imminent hazard to property or human safety	Imminent hazard to property or human safety
Diseased or pest-infested tree	Diseased or pest-infested tree
Storm damaged tree (other than City declared emergency; e.g., lightning)	Storm-damaged tree (other than during City declared emergency; e.g., lightning)
Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	

SKETCH OF PROPERTY CERTIFIED TO:
Ronda Becker Newell,
Dodd Title, Inc.,
First American Title Insurance Company

GRAPHIC SCALE



- X1 Popcorn tree 12"
- X2 Camphor tree 12"
- X3 Water oak 12"
- X4 Water oak 15"
- X5 Sweet Gum 8"
- X6 Water oak 8"
- X7 Camphor tree 6"
- X8 water Oak Tree 10"

NOTES:

1. **SURVEY SOURCE:** Deed of record and a field survey performed by the undersigned surveyor.
2. **BEARING REFERENCE:** Northernly right of way boundary of 'Ellis Van Fleet Street' being East as per deed of record.
3. A current field survey has not been done to verify the accuracy of the sketch shown hereon.
4. **THIS IS NOT A BOUNDARY SURVEY.**
5. This survey is dependent upon **EXISTING MONUMENTATION.**
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. See attached sheet for legal description.

I hereby certify that this was performed under my responsible direction and supervision and the plot and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for precision for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 24-17.001(9)(2).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of record, unrecorded deeds, easements or other instruments which could affect the boundaries.

Ronda Becker Newell
 Ronda Becker Newell
 Surveyor and Mapper
 Florida Certificate No. 4781



ELLIS VAN FLEET STREET
 (50' R/W) (8TH STREET) (PAVED)

18TH AVENUE
 (PAVED) (W/50')

FLOOD ZONE INFORMATION:

Subject property is located in Zone X and X (0.2%) as per Flood Insurance Rate Map Community Panel No: 120090 0526F
 Index date: February 5, 2014, Franklin County, Florida.

TR & A

THURMAN RODDENBERRY & ASSOCIATES, INC.
 PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 194 • 123 SHILOH STREET • APOUCHKOPPE, FLORIDA 32138
 PHONE NUMBER: 386-6424 FAX NUMBER: 386-6424

DATE: 04/30/23	DRAWN BY: MD	DATE OF LAST FIELD WORK: CHECKED BY:	FILE: 07007.DWG

SURVEY
 NOT TO SCALE

STAFF FINDINGS REPORT

PROPERTY OWNER: Robert and Andrea Brown

AGENT (if applicable): N/A

CONTRACTOR: Bryce Ward

PROPERTY ADDRESS (if available): 126 18th Avenue

→ Block 251

PARCEL ID: 01-09S-08W-8330-0251-0161

HISTORIC DISTRICT: No

CORNER LOT: No

ACREAGE: -- (~6,000 SF)

FUTURE LAND USE: R-2 Multi-Family Residential

WETLANDS: No

FLOODPLAIN: “X”

DESCRIPTION OF PROJECT:

- New construction of a single-family residential home on a vacant parcel.
 - **Accessory pool shown on site plan is not part of this application.**

STAFF FINDINGS:

Code of Ordinances:

- **Section 111-269. R-2 Multifamily Residential.**
 - **Development standards:**
 - **Minimum lot size:**
 - Single-family & home occupations: 6,000 SF (60' x 100').
 - **Minimum building size:**
 - Single-family: 800 SF.
 - **Minimum building setbacks:**
 - Front: 15 ft.
 - Proposed: 15'.
 - Side (interior lot):

- Single-family: 7½ ft. each side, or any combination on each side that equals at least 15 ft. No such setback shall be less than 5 ft.
- Proposed 10' and 5' each interior side lot line.
- Rear: 25 ft. (principal structure); 5 ft. (accessory structure).
 - Proposed 25' rear and 5' rear accessory.
- **Maximum building restrictions:**
 - Lot coverage:
 - Single-family: 40% or 2,400 SF.
 - Principal: 1,784 SF.
 - Concrete drive: 225 SF.
 - Total: 2,009 SF or ~33%.
 - Note that the accessory pool and pavers (~577 SF) currently shown on the site plan will need to be reduced in size (~391 SF or less) in a future application to conform with maximum lot coverage requirements.
 - Building height: 35 ft.
 - Proposed 19'-7".

→ **Section 111-288. Supplementary Regulations, in general.**

- **(c) Alleys.** Ten-foot alleys are intended to accommodate utility lines, such as water and sewer, and are not intended to support traffic. Ten-foot alleys are not to be used for ingress and egress.
- **(k)** All development shall be required to connect to the city water and sewer system where and when it is available.

→ **Section 111-288(i). Parking Requirements.**

- There shall be provided at the time of the erection of any principal building or structure parking space with adequate provisions for ingress and egress no less than the following space requirements.
 - **Dwelling.** One parking space for each dwelling unit or room for rent.
 - Attached garage will be used to meet the parking requirement.

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances.



**Certificate of Appropriateness
& Fence
112 7th Street**



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____
 Meeting Date: _____
 Fees Due: _____
 Date Fees Paid: _____

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner <u>Josh Porter</u>	Contractor Name <u>NPG Industries</u>
Address <u>1943 Nantcoke Cir</u>	State License # <u>CRC 1332374</u> City License # <u>N/A</u>
City <u>Tallahassee</u> State <u>FL</u> Zip <u>32303</u>	Email <u>decoydevelopmentllc@gmail.com</u>
Phone <u>850-508-4776</u>	Phone <u>850-508-4776</u>

PROJECT TYPE

<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Fence
<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> Alteration/Renovation	<input type="checkbox"/> Certificate of Appropriateness
<input type="checkbox"/> Relocation	<input type="checkbox"/> Other _____
<input type="checkbox"/> Demolition	

PROPERTY INFORMATION

Street Address (911 Address): 112 Dr Frederic S. Hughes St.
 City & State: Apalachicola, FL Zip: 32320
 Parcel ID #: 01-095-00W-8320-0000-0020 Block: 60 Lot: 3
 Zoning District: _____ [] Historic District [] Non-Historic District
 FEMA Flood Zone: AE

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N Setback Requirements of Property: Front: _____ Rear: _____ Side: _____ Corner Lot? Y / N Street Sides: _____ Lot Coverage: _____ STAFF NOTES/RECOMMENDATIONS: _____ _____ _____ _____	<p><i>This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.</i></p> <hr/> City Staff _____ Date Approved _____
---	---

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

new fence on new construction lot
 see red lines on site plan, nothing forward of the house.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding		N/A	
Doors		N/A	
Windows		N/A	
Roofing		N/A	
Trim		N/A	
Foundation		N/A	
Shutters		N/A	
Porch/Deck		N/A	
Fencing	YellaWood	wood - Pressure treated	
Driveways/Sidewalks		N/A	
Other		N/A	

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, fence heights, and the location, size and species of protected trees (refer to tree permit for a list of protected trees). Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

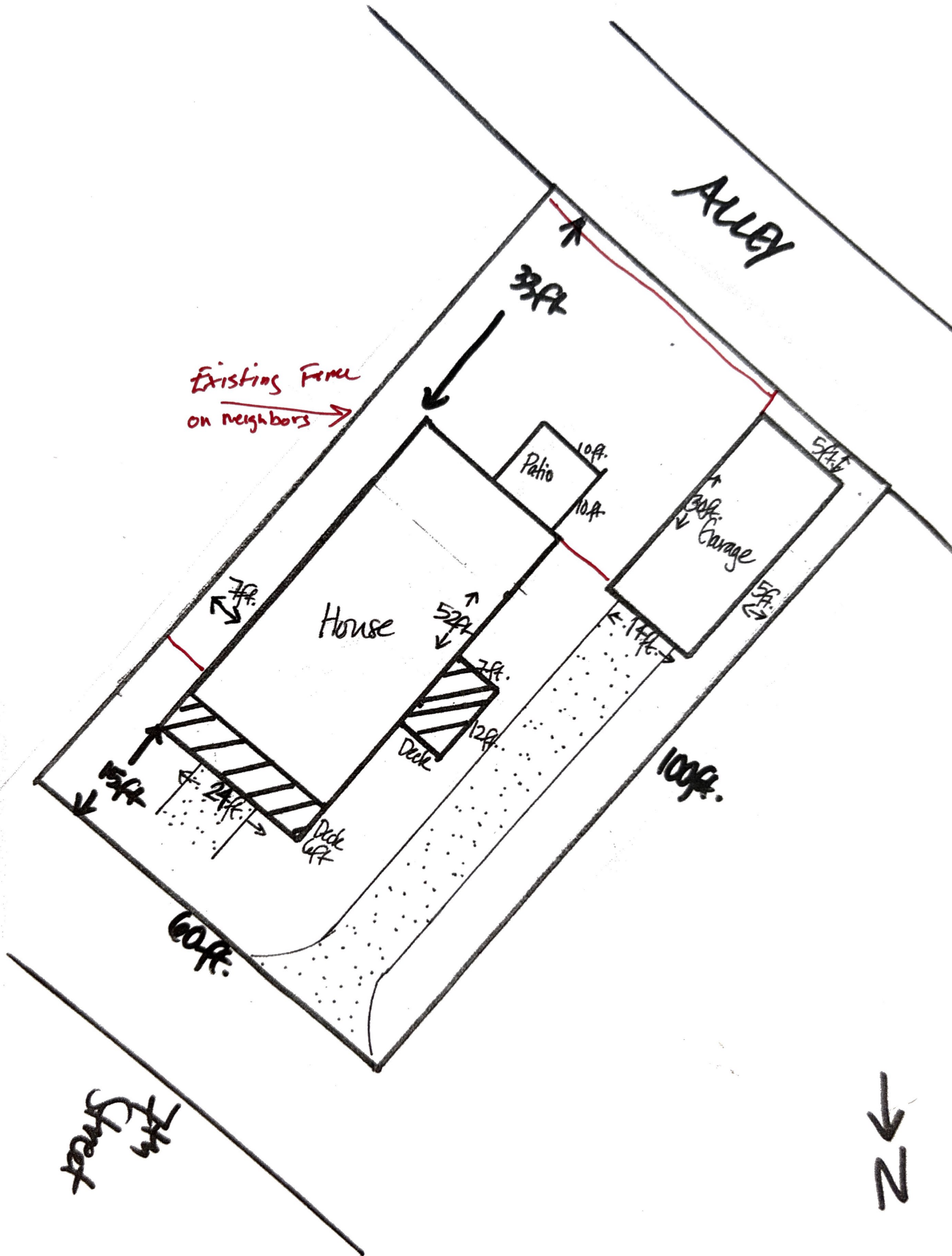
CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
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9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.
11. **I/We understand that the City of Apalachicola will never request a P&Z fee greater than the amount(s) outlined in the adopted fee schedule, nor will the City of Apalachicola request fee payment be made by wire transfer. Please contact City Hall directly with any questions regarding fee payment.**

03/27/20
DATE


SIGNATURE OF APPLICANT



Existing Fence
on neighbors →

ALLEY

39 ft

House

Patio

Garage

Deck

Deck

100 ft.

60 ft.

7th Street

→ N



STAFF FINDINGS REPORT

PROPERTY OWNER: Josh Porter

AGENT (if applicable): N/A

PROPERTY ADDRESS (if available): 112 7th Street

→ Block 60 Lot 3

PARCEL ID: 01-09S-08W-8330-0060-0020

HISTORIC DISTRICT: Yes

CORNER LOT: No

ACREAGE: -- (~6,000 SF)

FUTURE LAND USE: R-1 Single-Family Residential

WETLANDS: No

FLOODPLAIN: "AE"

DESCRIPTION OF PROJECT:

→ Installation of new 6' wood fence with 4' wood gates in the side and rear yard.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 111-288(e).**

- Requirements apply to **all zoning districts** and the **historic district**.
 - a.** Application for approval of any new fence or material alteration of an existing fence must be made in the same manner as for authorization of a building permit with a full description of materials to be used, dimensions and placement clearly stated on the plans. It is not necessary for a landscape architect or engineer to draw or sign and seal the plans.
 - b.** Fences shall be erected on the lot of the applicant and shall not extend into a public right-of-way. Fences may be erected within the required setback area (i.e., area between the front, side, and rear property lines and the front, side, and rear setback lines).
 - c.** A fence may abut but shall not be located on any property line.
- **All residential districts.**

- No fence or wall in excess of four feet (48 inches) in height shall be allowed in the front yard (for corner lots, the two sides of the lot paralleling the two street).
 - The fence will not be located in the front yard.
- A fence extending from the side of a principal structure to the side lot line shall attach to the structure no closer to the front lot line than where the facade (not including any covered front porch, uncovered porch, uncovered steps, and uncovered balconies) is located. These fences shall not exceed six feet (72 inches) in height.
 - The fence extending from the side of the house to the side lot line will not exceed 6' in height.
- No fence or wall in excess of six feet (72 inches) in height shall be allowed in side and/or rear yards. These fences may begin from the rear of the principal structure facade.
 - The 6' fence in the rear yard will begin from the rear of the principal structure façade.
- All fence construction, repair and replacement of any section or portion thereof must be consistent with the remaining fence on the property. The intent of this section is to ensure that all fencing erected on a property is uniform and consistent in construction and appearance.
 - All fencing proposed for the subject property is uniform in appearance.

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances.



**Certificate of Appropriateness,
New Residential Construction,
Accessory Structure & Fence
104 9th Street**



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____
 Meeting Date: _____
 Fees Due: _____
 Date Fees Paid: _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner STEPHEN BAILEY and BETTY BAILEY
 Address 24135 HIDDEN POND LN
 City BROOKSVILLE State FL Zip 34602
 Phone 828-564-3918

Contractor Name Construct Group SE Inc
 State License # CGC1513032 City License # _____
 Email constructgroupse@yahoo.com
 Phone 850-694-1555

PROJECT TYPE

- | | |
|--|--|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> Alteration/Renovation | <input checked="" type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Relocation | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Demolition | |

PROPERTY INFORMATION

Street Address (911 Address): 104 9th Street
 City & State: Apalachicola, Florida Zip: 32320
 Parcel ID #: 01-09S-08W-8330-0070-0010 Block: 70 Lot: 1
 Zoning District: R-1 [] Historic District [] Non-Historic District
 FEMA Flood Zone: AE-10

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N
 Setback Requirements of Property:
 Front: _____ Rear: _____ Side: _____
 Corner Lot? Y / N Street Sides: _____
 Lot Coverage: _____
 STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

 City Staff

 Date Approved

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

S.M.B.
Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

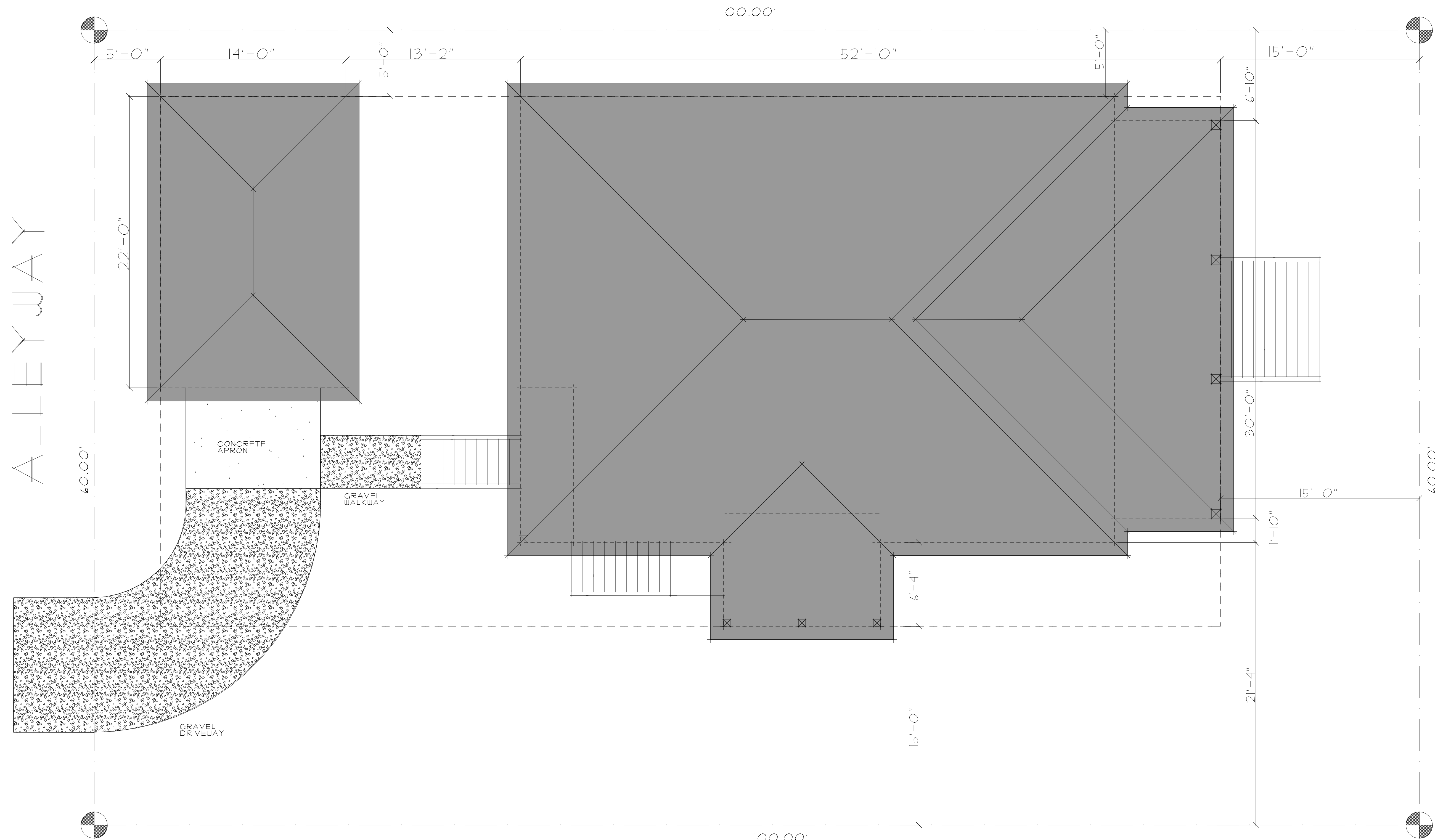
1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

1-15-2026

DATE

Steph M. Bailey

SIGNATURE OF APPLICANT



ALLEYWAY

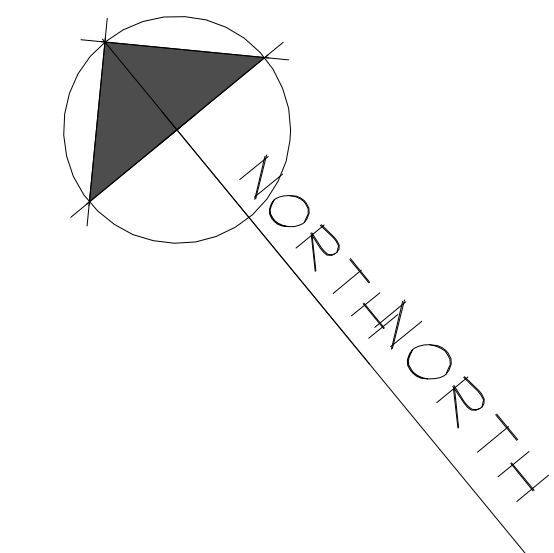
9TH ST.

100.00'
AVENUE F

IMPERVIOUS AREA	
GARAGE.....	308
House.....	1849
DRIVEWAY.....	77
TOTAL SQ FT.....	2234

Site Plan

104 9th STREET
APPALACHICOLA, FL. 32320 Scale : 1/4"=1'-0"



Design House home plans were designed and drafted to meet average conditions and codes in the State of Florida at the time they were drawn. All plans were designed to meet the specifications of seismic zone 1. Because every state, county and municipality has its own regulations, codes, ordinances and requirements, the purchaser of these plans shall be responsible for verifying or causing a third party or party to verify the scale and dimensions on the drawings, the loading capacity of structural elements and general structural integrity and the availability of certain desired products relative to the dimensions on the plans. The purchaser and/or builder of this plan releases Design House, Inc. its shareholders, officers, directors and employees from any claims or lawsuits that may arise during the construction of this home or anytime thereafter. Design House authorizes the sale and use of these plans expressly upon the purchaser's obligation to determine the suitability of these plans for your specific site and application. Certain states require the seal of an architect and/or an engineer. This service is not included in our plan prices.

These plans can be modified to meet your local codes and all requirements. It is the responsibility of the purchaser and/or builder to insure that the home is built in strict compliance with all applicable codes (city, county, state and federal).

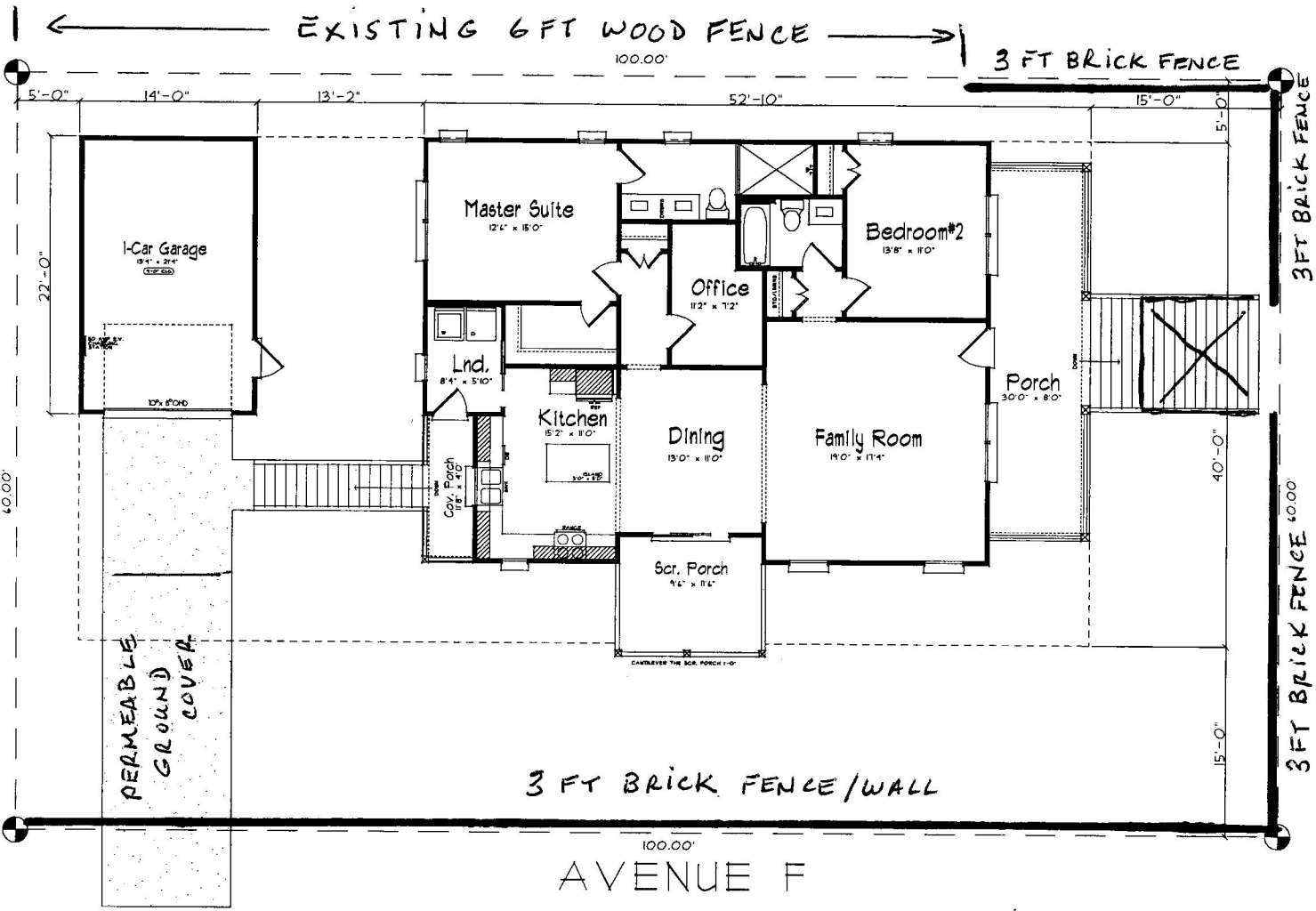
All plans published and sold by Design House, Inc. are protected under the Federal Copyright Act, Title 17 of the United States Code and Chapter 37 of the Code of Federal Regulation. The purchaser is granted a limited use of these plans for construction purposes only. Further distribution of these plans is strictly prohibited. Prices and conditions of plans subject to change without notice.

Design House
residential design services
1400 Village Square Boulevard | Unit 2-14 | Tallahassee, Florida 32312
850.309.0222 | www.designhouse.com | info@designhouse.com

DRAWN TOMH
CHECKED
DATE
SCALE AS SHOWN
JOB NO. 2024021

BAILEY RESIDENCE

ALLEYWAY



100.00'
AVENUE F

Floor Plan

Scale : 1/4"=1'-0"

1st Floor	139
Front Porch	41
Rear Porch	240
Scr. Porch	110
Garage	308
Total	2144

1/23/2021 3:48 PM

Design House
15218 Bailey Rd, Houston, TX 77058
713.464.1111

Design House shall retain the copyright and shall be the sole author of all drawings and documents prepared by or for Design House. Design House shall not be held responsible for any errors or omissions in these drawings and documents. Design House shall not be held responsible for any construction or other work that may be done in reliance on these drawings and documents. Design House shall not be held responsible for any construction or other work that may be done in reliance on these drawings and documents. Design House shall not be held responsible for any construction or other work that may be done in reliance on these drawings and documents.

Design House
15218 Bailey Rd, Houston, TX 77058
713.464.1111

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SCALE AS SHOWN	
JOB NO. 2024021	

BAILEY RESIDENCE

C:\Users\TODD\OneDrive\Documents\206 FILES\2021\2021-0004021\BAILEY RESIDENCE\FLOOR PLAN



CONSTRUCT GROUP SE

CGC1513032

City of Apalachicola

Planning and Zoning Board

Bailey Project 9th street

This letter is meant to address the flow of water on this lot.

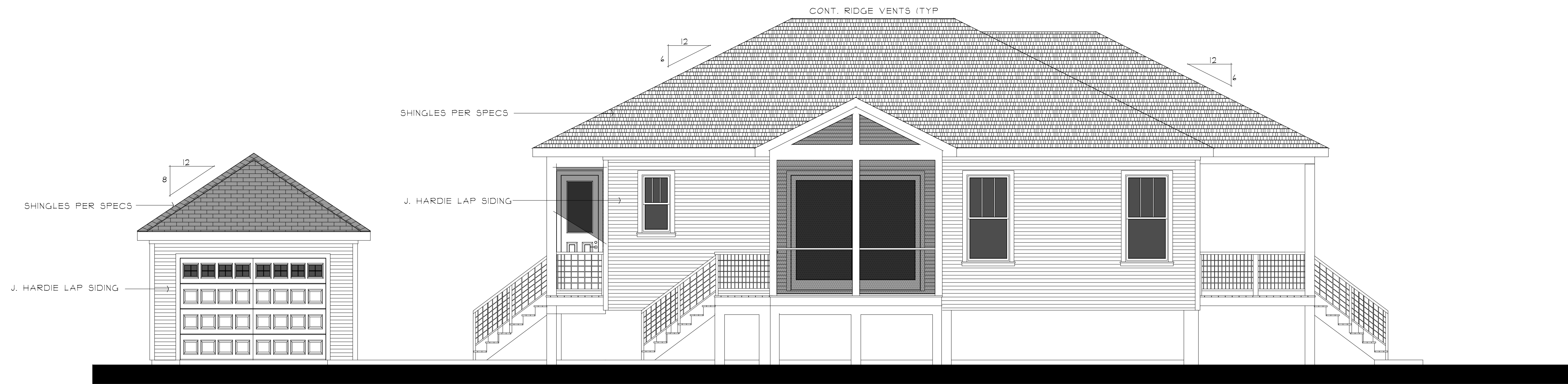
This lot as it stands is higher on the NW corner and the low side is the SE corner. I will be installing sediment control on the south and east sides of the lot to minimize any sediment or runoff during construction. The property owners have expressed the desire to install a low brick wall on the 9th and Ave F sides of the lot to help minimize the flow of water onto or off their property. This design is part of the package included.

Please let us know if you have any questions

Construct Group SE Inc



Glen F. Coxwell



Left Elevation

Scale : 1/4"=1'-0"



Front Elevation

Scale : 1/4"=1'-0"

Design House home plans were designed and drafted to meet average conditions and codes in the State of Florida at the time they were drawn. All plans were designed to meet the specifications of seismic zone 1. Because every state, county and municipality has its own regulations, codes, ordinances and requirements, the purchaser of these plans shall be responsible for verifying or causing a third party or parties to verify the scale and all dimensions on the drawings, the loading capacity of structural elements and general structural integrity and the availability of certain desired products relative to the dimensions on the plans. The purchaser and/or builder of this plan releases Design House, Inc., its shareholders, officers, directors and employees from any claims or lawsuits that may arise during the construction of this home or anytime thereafter. Design House authorizes the sale and use of these plans expressly upon the purchaser's obligation to determine the suitability of these plans for your specific site and application. Certain states require the seal of an architect and/or an engineer. This service is not included in our plan prices.

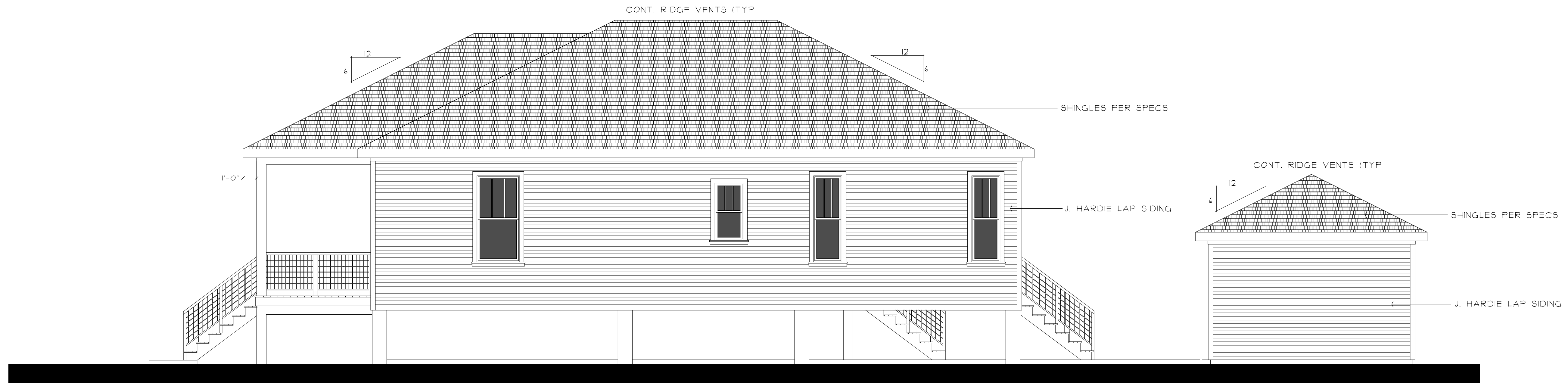
These plans can be modified to meet your local codes and all requirements. It is the responsibility of the purchaser and/or builder to insure that the home is built in strict compliance with all applicable codes (city, county, state and federal).

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850.309.0222 | www.dhplans.com | info@dhplans.com

DRAWN TOMH
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DATE
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JOB NO. 2024021

BAILEY RESIDENCE



Right Elevation

Scale : 1/4"=1'-0"



Rear Elevation

Scale : 1/4"=1'-0"

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Design House
 residential design services
 1400 Village Square Boulevard | Unit 2-114 | Tallahassee, Florida 32312
 904.809.0222 | www.dhphouse.com | e copyright 2024

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DATE
SCALE AS SHOWN
JOB NO. 2024021

BAILEY RESIDENCE



FLORIDA DEPARTMENT OF Environmental Protection

Northwest District
160 W. Government Street, Suite 308
Pensacola, Florida 32502-5794

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Alexis A. Lambert
Secretary

Permittee/Authorized Entity:

Stephen Bailey
24135 Hidden Pond Ln
Brooksville, FL 34602
baileyfarms@yahoo.com

Bailey SF Residence

Environmental Resource Permit
State-owned Submerged Lands Authorization – Not Applicable

**U.S. Army Corps of Engineers Authorization – Separate Corps Authorization
Required**

Franklin County
Permit No.: 0444735-004-EI/19

Permit Issuance Date: December 9, 2024
Permit Construction Phase Expiration Date: December 9, 2029

Environmental Resource Permit

Permittee: Stephen Bailey
Permit No: 0444735-004-EI/19

PROJECT LOCATION

The activities authorized by this permit are located at 104 9th Street, Apalachicola, Florida 32320, Parcel Nos. 01-09S-08W-8330-0070-0010 and 01-09S-08W-8330-0070-0011, Section 01, Township 09 South, Range 08 West, Franklin County: 29°43'28.3370" North Latitude, 84°59'23.7584" West Longitude.

PROJECT DESCRIPTION

The permittee is authorized to fill approximately 0.076 ac./3,325 sq. ft./64 cu. yd. of an isolated wetland for the purpose of constructing a single-family home and attendant features. Authorized activities are depicted on the attached exhibits.

AUTHORIZATIONS

Bailey SF Residence

Environmental Resource Permit

The Department has determined that the activity qualifies for an Environmental Resource Permit. Therefore, the Environmental Resource Permit is hereby granted, pursuant to Part IV of Chapter 373, Florida Statutes (F.S.), and Chapter 62-330, Florida Administrative Code (F.A.C.).

Sovereignty Submerged Lands Authorization

As staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees), the Department has determined the activity is not on submerged lands owned by the State of Florida. Therefore, your project is not subject to the requirements of Chapter 253, F.S., or Rule 18-21, F.A.C.

Federal Authorization

Your proposed activity as outlined on your application and attached drawings **does not qualify** for Federal authorization pursuant to the State Programmatic General Permit and a **SEPARATE permit** or authorization **shall be required** from the Corps. You must apply separately to the Corps using the Application for Department of the Army Permit (ENG 4345) or alternative as allowed by Corps regulations. More information on Corps permitting may be found online in the Jacksonville District Regulatory Division Sourcebook:

(<https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book/>).

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Coastal Zone Management Consistent

Issuance of this authorization also constitutes a finding of consistency with Florida's Coastal Zone Management Program, as required by Section 307 of the Coastal Zone Management Act.

Water Quality Certification Granted

This permit also constitutes a grant of water quality certification under Section 401 of the Clean Water Act, 33 U.S.C. Section 1341. Pursuant to Rule 62-330.062, F.A.C. issuance of the individual or conceptual approval permit under this chapter shall constitute certification of compliance with water quality standards.

Other Authorizations

You are advised that authorizations or permits for this activity may be required by other federal, state, regional, or local entities including but not limited to local governments or municipalities. This permit does not relieve you from the requirements to obtain all other required permits or authorizations.

The activity described may be conducted only in accordance with the terms, conditions and attachments contained in this document. Issuance and granting of the permit and authorizations herein do not infer, nor guarantee, nor imply that future permits, authorizations, or modifications will be granted by the Department.

PERMIT CONDITIONS

The activities described must be conducted in accordance with:

- **The Specific Conditions**
- **The General Conditions**
- **The limits, conditions and locations of work shown in the attached drawings**
- **The term limits of this authorization**

You are advised to read and understand these conditions and drawings prior to beginning the authorized activities, and to ensure the work is conducted in conformance with all the terms, conditions, and drawings herein. If you are using a contractor, the contractor also should read and understand these conditions and drawings prior to beginning any activity. Failure to comply with these conditions, including any mitigation requirements, shall be grounds for the Department to revoke the permit and authorization and to take appropriate enforcement action. Operation of the facility is not authorized except when determined to be in conformance with all applicable rules and this permit, as described.

SPECIFIC CONDITIONS

1. The construction phase expires at 11:59 p.m. on the date indicated on the cover page of this permit.
2. For emergencies involving a serious threat to the public health, safety, welfare, or environment, the emergency telephone contact number is (800) 320-0519 (State Warning Point). The Department telephone number for reporting nonthreatening problems or system malfunctions is (850) 595-0663, day or night.

3. The mailing address for submittal of forms for the “Construction Commencement Notice”, “As-Built Certification ...”, “Request for Conversion of Stormwater Management Permit Construction Phase to Operation and Maintenance Phase”, or other correspondence is FDEP, SLERP, 160 W Government Street, Suite 308, Pensacola, Florida 32502.

SPECIFIC CONDITIONS – PRIOR TO ANY CONSTRUCTION

4. Prior to construction, the limits of the proposed impact areas shall be clearly flagged and staked by the agent and/or contractor. All construction personnel shall be shown the location(s) of all wetland areas outside of the construction to prevent encroachment from heavy equipment into these areas.

5. Best management practices for erosion control shall be implemented prior to construction commencement and shall be maintained at all times during construction to prevent siltation and turbid discharges in excess of State water quality standards pursuant to Rule 62-302, F.A.C. Methods shall include, but not limited to the use of staked haybales, staked filter cloth, sodding, seeding, and staged construction.

6. Prior to initiation of any work authorized by this permit, all wetlands, surface waters, and storm drains, outside the specific limits of construction authorized by this permit shall be protected from erosion, siltation, sedimentation, and/or scouring, including the placement of staked erosion control devices around the project area and staging area(s) that are located outside of any authorized impact areas.

SPECIFIC CONDITIONS – CONSTRUCTION ACTIVITIES

7. Construction equipment shall not be repaired or refueled in wetlands or elsewhere within waters of the state.

8. Any damage to wetlands outside of the authorized impact areas as a result of construction shall be immediately reported to the Department at (850)595-8300 and repaired by reestablishing the pre-construction elevations and replanting vegetation of the same species, size, and density as that in the adjacent areas. The restoration shall be completed within 30 days of completion of construction, and the Department shall be notified of its completion within that same 30-day period.

9. This permit authorizes permanent impacts to the wetland fill area shown on the permit drawings of only 0.076 acres of wetlands. No other areas are to be impacted, which includes but is not limited to clearing with the use of heavy equipment, filling, or excavation.

10. The permittee shall be responsible for ensuring that erosion control devices/procedures are inspected and maintained daily during all phases of construction authorized by this permit until all areas that were disturbed during construction are sufficiently stabilized to prevent erosion, siltation, and turbid discharges.

11. The following measures shall be taken by the permittee whenever siltation, sedimentation, or erosion occurs within wetlands outside of the limits of the authorized activities:

- a. Immediately cease all work contributing to the violation.
- b. Stabilize all exposed soils contributing to the violation.
- c. Modify the work procedures that were responsible for the violation and install more erosion, sedimentation, and turbidity control devices.
- d. Notify the Department within 24 hours of the time the violation occurred at (850)595-8300.

12. This permit does not authorize the entrenchment of water, sewer, cable, or utility line within wetlands or waterbodies outside the authorized impact area.

13. There shall be no stockpiling of tools, materials, (i.e., lumber, pilings, riprap, and debris) within wetlands, along the shoreline within the littoral zone, or elsewhere within water/waters of the state.

14. All material used as fill for construction of the project shall be clean sand/shell material and shall not be contaminated with vegetation, garbage, trash, tires, hazardous, toxic waste or other materials that are not suitable for road construction within waters of the State as so determined by the Department.

15. Grass seed, or sod shall be installed and maintained on exposed slopes and disturbed soil areas within 48 hours of completing final grade, and at other times as necessary, to prevent erosion, sedimentation, or turbid discharges into the waters of the state and adjacent wetlands. A vegetative cover that stabilizes and prevents erosion of the fill material shall be established within 60 days of sodding or seeding. Turbidity barriers/erosion control devices shall be removed upon establishment of a substantial vegetative cover.

16. All cleared vegetation, excess lumber, scrap wood, trash, garbage and any other type of debris shall be removed from wetlands/waters of the state within 14 days of completion of the work authorized in this permit.

SPECIFIC CONDITIONS – OTHER LISTED SPECIES

17. This permit does not authorize the permittee to cause any adverse impact to or “take” of state listed species and other regulated species of fish and wildlife. Compliance with state laws regulating the take of fish and wildlife is the responsibility of the owner or permittee associated with this project. Please refer to Chapter 68A-27 of the Florida Administrative Code for definitions of “take” and a list of fish and wildlife species. If listed species are observed onsite, Florida Fish and Wildlife Conservation Commission (FWC) staff are available to provide decision support information or assist in obtaining the appropriate FWC permits. Most marine endangered and threatened species are statutorily protected and a “take” permit cannot be issued. Requests for further information or review can be sent to ConservationPlanningServices@MyFWC.com.

18. If new information (e.g. listing of new species, new critical habitat, etc.) shows that the magnitude of impacts to federally listed species has the potential for adverse effects, the U.S. Fish and Wildlife Service (USFWS) will notify the Department. The Department will initiate

coordination with the permittee and with the USFWS to determine what adverse impacts are likely and if additional minimization measures, reporting, or monitoring are required in order to be consistent with the Endangered Species Act, as deemed necessary by USFWS.

19. The Permittee shall report any injured, sick, or dead federally or state listed animal(s) discovered onsite to the Florida Fish and Wildlife Conservation Commission Wildlife Alert number at 888-404-FWCC (3922).

SPECIFIC CONDITIONS – OPERATION AND MAINTENANCE ACTIVITIES

20. All fill areas, fill slopes, and disturbed upland areas shall be stabilized at all times during and after construction so as to prevent any erosion, sedimentation, siltation, or scouring.

21. The remaining unimpacted wetlands onsite shall be maintained in a natural state. Removal of existing vegetation shall be minimized, with the exception of invasive exotic or nuisance species such as popcorn trees, Japanese climbing fern, cogon grass, and Chinese privet. For a more extensive list of invasive exotic and nuisance species, please go to:

www.fleppc.org/list/.htm.

GENERAL CONDITIONS FOR INDIVIDUAL PERMITS

The following general conditions are binding on all individual permits issued under this chapter, except where the conditions are not applicable to the authorized activity, or where the conditions must be modified to accommodate project-specific conditions.

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation, June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5., F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.

4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice," (October 1, 2013), (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), incorporated by reference herein, indicating the expected start and completion dates. A copy of this form may be obtained from the Agency, as described in subsection 62-330.010(5), F.A.C., and shall be submitted electronically or by mail to the Agency. However, for activities involving more than one acre of construction that also require a NPDES stormwater construction general permit, submittal of the Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities, DEP Form 62-621.300(4)(b), shall also serve as notice of commencement of construction under this chapter and, in such a case, submittal of Form 62-330.350(1) is not required.
5. Unless the permit is transferred under rule 62-330.340, F.A.C., or transferred to an operating entity under rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms, and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
 - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex – "Construction Completion and Inspection Certification for Activities Associated with a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
 - b. For all other activities – "As-Built Certification and Request for Conversion to Operation Phase" [Form 62-330.310(1)].
 - c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
 - a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.4 of Volume I) as filed with the Florida Department of State, Division of Corporations, and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
 - b. Within 30 days of submittal of the as-built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation and Maintenance Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the Agency in writing of changes required by any other regulatory agency that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:

- a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in chapter 62-330, F.A.C.;
 - b. Convey to the permittee or create in the permittee any interest in real property;
 - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
 - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the Agency in writing:
- a. Immediately if any previously submitted information is discovered to be inaccurate; and
 - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.
13. Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850)245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, F.S. For project activities subject to prior consultation with the DHR and as an alternative to the above requirements, the permittee may follow procedures for unanticipated discoveries as set forth within a cultural resources assessment survey determined complete and sufficient by DHR and included as a specific permit condition herein.

15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under rule 62-330.201, F.A.C., provides otherwise.

16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under chapter 62-330, F.A.C., or cause violations of state water quality standards.

17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.

18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with subsection 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

19. In addition to those general conditions in subsection (1), above, the Agency shall impose any additional project-specific special conditions necessary to assure the permitted activities will not be harmful to the water resources, as set forth in rules 62-330.301 and 62-330.302, F.A.C., Volumes I and II, as applicable, and the rules incorporated by reference in this chapter.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because the administrative hearing process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, any e-mail address, any facsimile number, and telephone number of the petitioner, if the petitioner is not represented by an attorney or a qualified representative; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of

the proceeding; and an explanation of how the petitioner's substantial interests will be affected by the agency determination;

(c) A statement of when and how the petitioner received notice of the agency decision;

(d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;

(e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;

(f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and

(g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. You cannot justifiably rely on the finality of this decision unless notice of this decision and the right of substantially affected persons to challenge this decision has been duly published or otherwise provided to all persons substantially affected by the decision. While you are not required to publish notice of this action, you may elect to do so pursuant Rule 62-110.106(10)(a).

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver will not apply to persons who have not received written notice of this action.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us, before the deadline for

filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

EXECUTION AND CLERKING

Executed in Pensacola, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Kimberly R. Allen
Permitting Program Administrator

KRA:re

Attachments:

Project Drawings and Design Specs., 4 pages

Copies of 62-330 forms may be obtained at: <https://floridadep.gov/water/submerged-lands-environmental-resources-coordination/content/forms-environmental-resource>

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

Stephen Bailey, Applicant, baileyfarms@yahoo.com
Kimberly R. Allen, FDEP, Kim.Allen@FloridaDEP.gov
Mark Sumner, FDEP, Mark.C.Sumner@dep.state.fl.us
Russell Sullivan, FDEP, Russell.Sullivan@FloridaDEP.gov
Blake Chapman, FDEP, Blake.A.Chapman@FloridaDEP.gov
Richard Earle, FDEP, Richard.Earle@FloridaDEP.gov
Philip Carnathan, FDEP, Philip.carnathan@floridadep.gov
Franklin County, michael@franklincountyflorida.com
City of Apalachicola, twade@cityofapalachicola.com

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F.S., with the designated Department Clerk, receipt of which is hereby acknowledged.



Clerk

December 9, 2024

Date

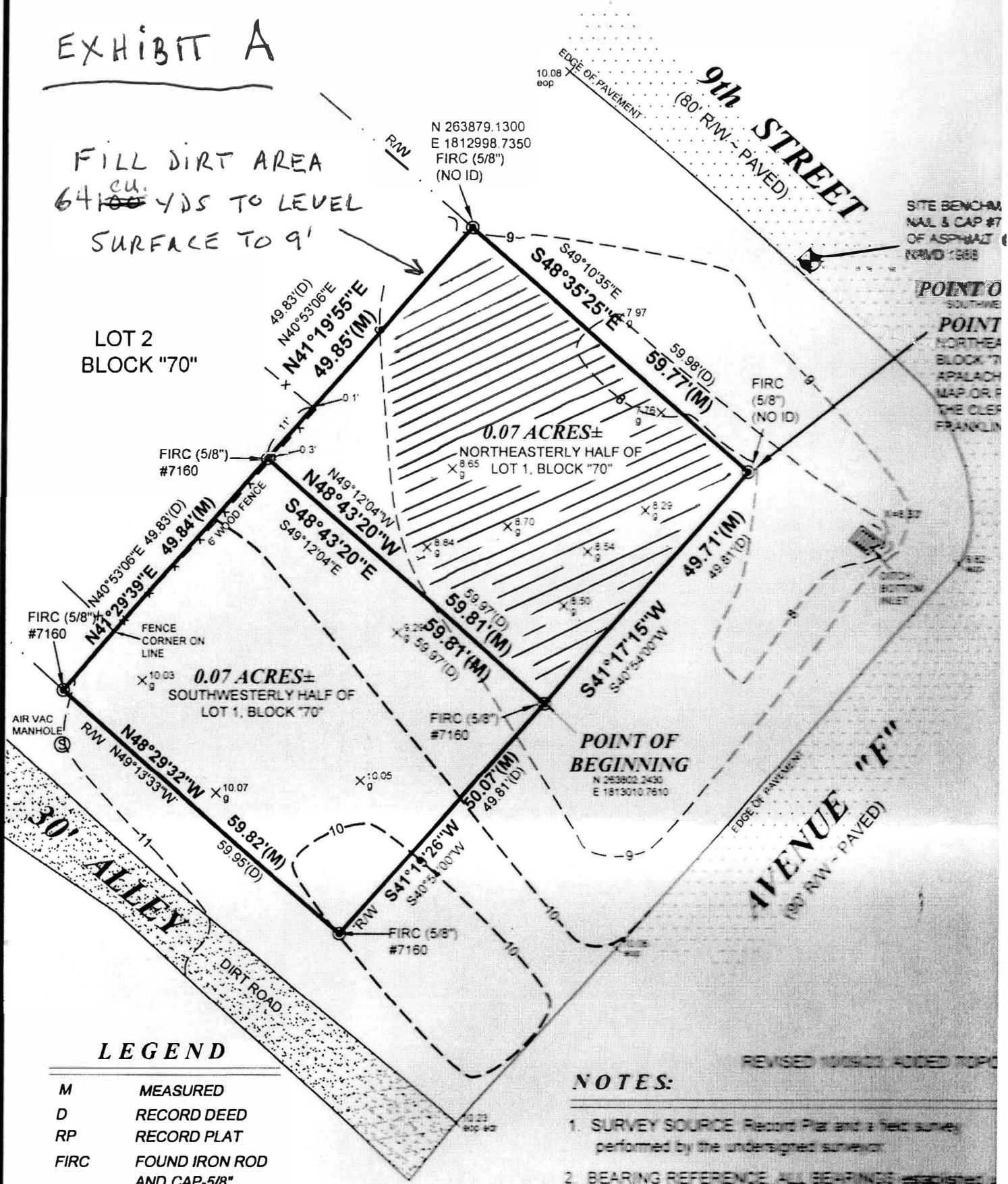
**PLAT OF BOUNDARY & TOPOGRAPHICAL SURVEY CERTIFIED TO:
 STEPHEN M. BAILEY and BETTY C. BAILEY,
 DODD TITLE COMPANY, INC.,
 FIRST AMERICAN TITLE INSURANCE COMPANY**



EXHIBIT A

FILL DIRT AREA
 641^{cu} YDS TO LEVEL
 SURFACE TO 9'

LOT 2
 BLOCK "70"



LEGEND

M	MEASURED
D	RECORD DEED
RP	RECORD PLAT
FIRC	FOUND IRON ROD AND CAP-5/8"
FCM	FOUND CONCRETE MONUMENT

NOTES:

1. SURVEY SOURCE: Record Plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: ALL BEARINGS established.
3. NO IMPROVEMENTS have been located in this survey.
4. There are NO VISIBLE ENCROACHMENTS other than

REVISED 10/19/02 ADDED TOPO

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385
LB No. 7415

(850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

APPLICANT/CLIENT: Ralph Roberson JOB: 23-039
WATERBODY/CLASS: DATE: 4/6/23
PURPOSE: DFA SHEET: 3 of 3

PROJECT LOCATION: 01-09S-08W-8330-0070-0010&0011
SECTION: TWNSHP: RNG:


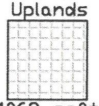


KEY			
			
Wetlands 4932 sqft (0.11 acres)	Total Uplands 1068 sqft (0.02 acres)	Buildable Uplands 0 sqft (0.0 acres)	DSTD 0 sqft (0.0 acres)



EXHIBIT B

SCALE:

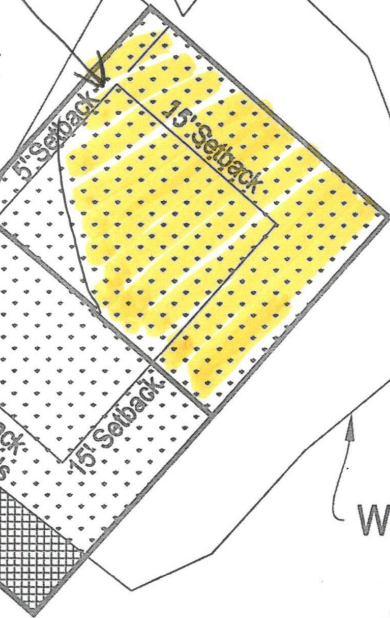
1"=30'

9th St

FILL DIRT AREA
64
~~100~~ CU. YDS TO
LEVEL SURFACE

ALLEY

UNDERGROUND
UTILITIES IN
UPLAND



Wetland Line

Avenue F

Alley

5'

15' Set back

Garage

22'

5'

34'0"

Porch

Residence

9'6"

Porch

44'8"

8'0"

Porch

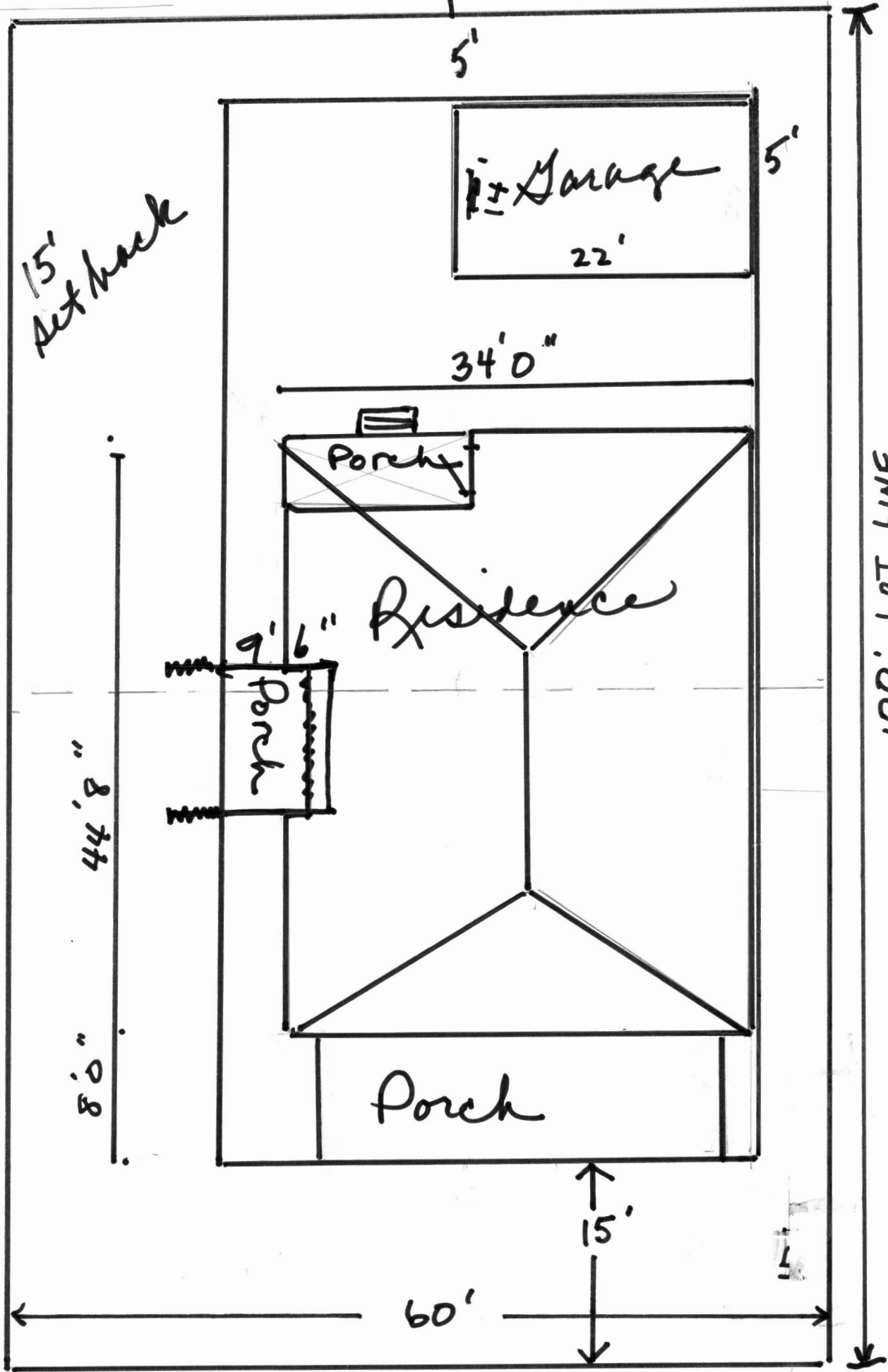
15'

60'

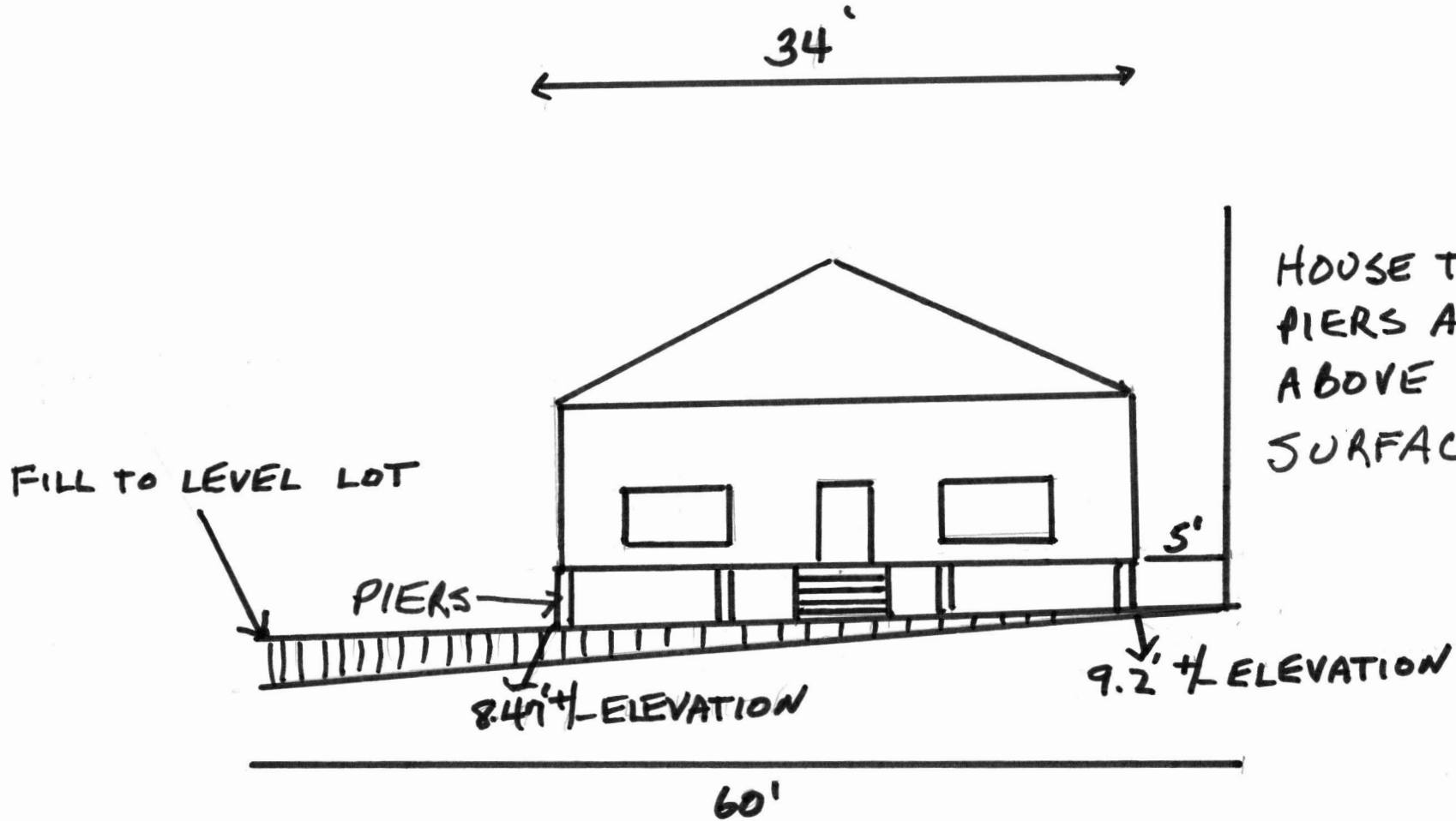
100' LOT LINE

Avenue F

104-9th St.



CROSS SECTION VIEW





DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, JACKSONVILLE DISTRICT
701 SAN MARCO BOULEVARD
JACKSONVILLE, FLORIDA 32207-8175

June 18, 2025

Regulatory Division
Permits Branch
SAJ-2024-02021 (NWP-18)

Ms. Betty Bailey
24135 Hidden Pond Lane
Brooksville, Florida 34602
Sent via email: bettycarolyn2@yahoo.com

Dear Ms. Bailey:

The U.S. Army Corps of Engineers (Corps) has completed the review of your application for a Department of the Army permit received on June 22, 2024. Your application was assigned file number SAJ-2024-02021. A review of the information and drawings provided indicates that the proposed work would result in the impacts to 0.04-acre of waters of the United States. The activities subject to this permit are authorized pursuant to authorities under Section 404 of the Clean Water Act (33 U.S.C. § 1344) and Section 14 of the Rivers and Harbors Act of 1899 (33 U.S.C. § 408). The project is located in wetlands adjacent to Apalachicola Bay at 104 9th street, in Section 01, Township 009 South, Range 008 West, Apalachicola, Franklin County, Florida.

Your project, as depicted on the enclosed drawings, is authorized by Nationwide Permit (NWP) 18 (Minor Discharges). **This verification is valid until March 14, 2026.** In order for this NWP authorization to be valid, you must ensure that the work is performed in accordance with the Nationwide Permit General Conditions, the Jacksonville District Regional Conditions, and the General and Project-Specific Special Conditions listed below. Furthermore, if you commence or are under contract to commence this activity before the date that the relevant NWP is modified or revoked, you will have 12 months from the date of the modification or revocation of the NWP to complete the activity under the present terms and conditions of this NWP. You can access the U.S. Army Corps of Engineers' (Corps) Jacksonville District's Regulatory Source Book webpage for links to view NWP information at: <https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book/>. Please be aware this Internet address is case sensitive and should be entered as it appears above. Once there, you will need to select "Nationwide Permits." Among other things, this part of the Source Book contains links to the federal register containing the text of the pertinent NWP authorization and the associated NWP general conditions, as well as separate links to the regional conditions applicable to the pertinent NWP verification.

You must comply with all of the special and general conditions for NWP-18, including any project-specific conditions included in this letter and all conditions incorporated by reference as described above.

General Conditions:

1. The time limit for completing the work authorized ends on **March 14, 2026**.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity, or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit you must obtain the signature of the new owner on the attached transfer form and forward a copy to this office to validate the transfer of this authorization.
5. You must allow a representative from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Project Specific Special Conditions:

The following project specific special conditions are included with this verification:

1. **Reporting Address:** The Permittee shall submit all reports, notifications, documentation and correspondence required by the general and special conditions of this permit to either (not both) of the following addresses:
 - a. For electronic mail (preferred): SAJ-RD-Enforcement@usace.army.mil (not to exceed 15 MB).

b. For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.

The Permittee shall reference this permit number, SAJ-2024-02021(NW-18), on all submittals.

2. **Commencement Notification:** Within 10 days from the date of initiating the work authorized by this permit the Permittee shall submit a completed "Commencement Notification" Form (Attachment A).

3. **As-Built Certification:** Within 60 days of completion of the work authorized by this permit, the Permittee shall submit as-built drawings of the authorized work and a completed "As-Built Certification by Professional Engineer or Surveyor" form (Attachment B) to the Corps. The as-built drawings shall be signed and sealed by a registered professional engineer or surveyor and include the following:

a. A plan view drawing of the location of the authorized work footprint, as shown on the permit drawings, with an overlay of the work as constructed. The plan view drawing should show all existing water management structures and the completed structures, dredge/fill activities, and wetland impacts.

b. A list of any deviations between the work authorized by this permit and the work as constructed. In the event that the completed work deviates, in any manner, from the authorized work, describe on the attached "As-Built Certification by Professional Engineer" form the deviations between the work authorized by this permit and the work as constructed. Clearly indicate on the as-built drawings any deviations that have been listed. Please note that the depiction and/or description of any deviations on the drawings and/or "As-Built Certification by Professional Engineer" form does not constitute approval of any deviations by the Corps.

c. The Department of the Army permit number on all sheets submitted.

4. **Posting of Permit:** The Permittee shall have available and maintain for review a copy of this permit and approved plans at the construction site.

5. **Cultural Resources/Historic Properties:**

a. No structure or work shall adversely affect, impact, or disturb properties listed in the *National Register of Historic Places* (NRHP), or those eligible for inclusion in the NRHP.

b. If, during permitted activities, items that may have historic or archaeological origin are observed the Permittee shall immediately cease all activities adjacent to the discovery that may result in the destruction of these resources and shall prevent his/her employees from further removing, or otherwise damaging, such resources. The applicant shall notify both the Florida Department of State, Division of Historical Resources, Compliance Review Section at (850)-245-6333 and the Corps, of the observations within the same business day (8 hours). Examples of submerged historical, archaeological or cultural resources include shipwrecks, shipwreck debris fields (such as steam engine parts, or wood planks and beams), anchors, ballast rock, concreted iron objects, concentrations of coal, prehistoric watercraft (such as log "dugouts"), and other evidence of human activity. The materials may be deeply buried in sediment, resting in shallow sediments or above them, or protruding into water. The Corps shall coordinate with the Florida State Historic Preservation Officer Choose an item to assess the significance of the discovery and devise appropriate actions. Project activities shall not resume without verbal and/or written authorization from the Corps.

c. Additional cultural resources assessments may be required of the permit area in the case of unanticipated discoveries as referenced in accordance with the above Special Condition, and if deemed necessary by the SHPO or Corps, in accordance with 36 CFR 800 or 33 CFR 325, Appendix C (5). Based on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume on non-federal lands without written authorization from the SHPO for finds under his or her jurisdiction, and from the Corps.

d. In the unlikely event that unmarked human remains are identified on non-federal lands, they will be treated in accordance with Section 872.05 Florida Statutes. All work and ground disturbing activities within a 100-meter diameter of the unmarked human remains shall immediately cease and the Permittee shall immediately notify the medical examiner, Corps, and State Archeologist within the same business day (8-hours). The Corps shall then notify the appropriate SHPO. Based on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume without written authorization from the State Archeologist and from the Corps.

6. **Erosion Control:** Prior to the initiation of any work authorized by this permit, the Permittee shall install erosion control measures along the perimeter of all work areas to prevent the displacement of fill material outside the work area into waters of the United States. The erosion control measures shall remain in place and be maintained until all authorized work is completed and the work areas are stabilized.

7. Eastern Indigo Snake Protection Measures and Inspection: Permittee shall comply with U.S. Fish and Wildlife Service's "Standard Protection Measures for the Eastern Indigo Snake" dated March 23, 2021, as provided in Attachment D of this permit. All gopher tortoise burrows, active or inactive, shall be evacuated prior to site manipulation in the vicinity of the burrow. If excavating potentially occupied burrows, active or inactive, individuals must first obtain state authorization via a Florida Fish and Wildlife Conservation Commission (FWC) Authorized Gopher Tortoise Agent permit. The excavation method selected shall minimize the potential for injury of an indigo snake. The Permittee shall follow the excavation guidance provided in the most current FWC Gopher Tortoise Permitting Guidelines found at <http://myfwc.com/gophertortoise>. If an indigo snake is encountered, the snake must be allowed to vacate the area prior to additional site manipulation in the vicinity. Holes, cavities, and snake refugia other than gopher tortoise burrows shall be inspected each morning before planned site manipulation of a particular area, and if occupied by an indigo snake, no work shall commence until the snake has vacated the vicinity of the proposed work.

This letter of authorization does not include conditions that would prevent the 'take' of a state-listed fish or wildlife species. These species are protected under sec. 379.411, Florida Statutes, and listed under Rule 68A-27, Florida Administrative Code. With regard to fish and wildlife species designated as species of special concern or threatened by the State of Florida, you are responsible for coordinating directly with the Florida Fish and Wildlife Conservation Commission (FWC). You can visit the FWC license and permitting webpage (<http://www.myfwc.com/license/wildlife/>) for more information, including a list of those fish and wildlife species designated as species of special concern or threatened. The Florida Natural Areas Inventory (<http://www.fnai.org/>) also maintains updated lists, by county, of documented occurrences of those species.

This letter of authorization does not give absolute Federal authority to perform the work as specified on your application. The proposed work may be subject to local building restrictions mandated by the National Flood Insurance Program. You should contact your local office that issues building permits to determine if your site is located in a flood-prone area, and if you must comply with the local building requirements mandated by the National Flood Insurance Program.

This letter of authorization does not preclude the necessity to obtain any other Federal, State, or local permits, which may be required.

Thank you for your cooperation with our permit program. The Corps' Jacksonville District Regulatory Division is committed to improving service to our customers. We

strive to perform our duty in a friendly and timely manner while working to preserve our environment. We invite you to complete our automated Customer Service Survey at <https://regulatory.ops.usace.army.mil/customer-service-survey/>. Please be aware this Internet address is case sensitive and you will need to enter it exactly as it appears above. Your input is appreciated – favorable or otherwise.

Should you have any questions related to this NWP verification or have issues accessing the documents referenced in this letter, please contact Kristin McKnight at the Compliance Branch at 2000 Fort Point Road, by telephone at 409-766-3826, or by email at Kristin.m.nelson@usace.army.mil.

Sincerely,

A handwritten signature in cursive script that reads "Kristin McKnight".

Kristin McKnight
Regulatory Specialist

Enclosures

104 9th St Site Inspection Figures

Inspection Date: 6/19/2024

Lead DEP Inspector: Philip Carnathan

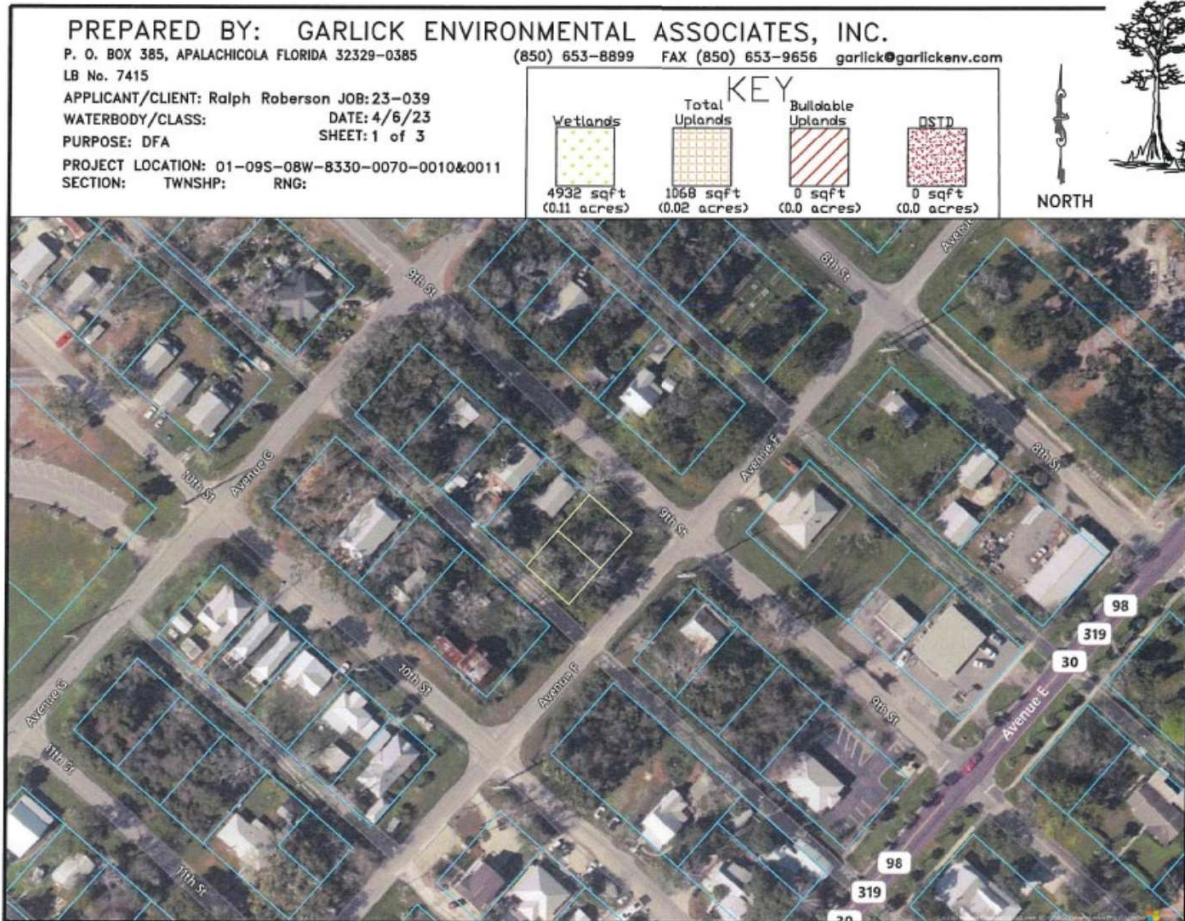


Figure 1: Property boundaries highlighted in yellow

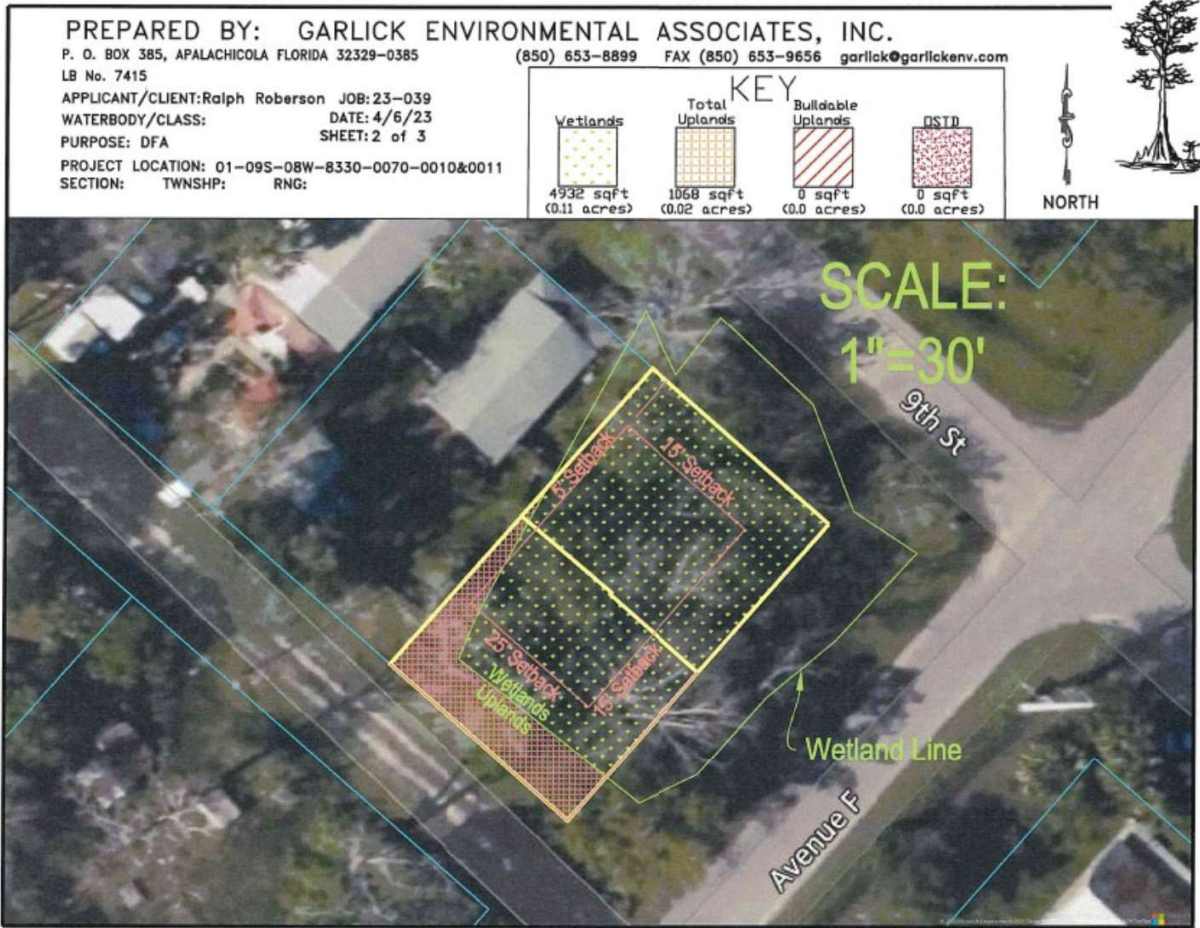


Figure 2: Wetland delineation

DEPARTMENT OF THE ARMY PERMIT TRANSFER REQUEST

DA PERMIT NUMBER: SAJ-2024-02021(NWP-18)

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.

To validate the transfer of this permit and the associated responsibilities associated with compliance with its terms and conditions, have the transferee sign and date below and mail to the U.S. Army Corps of Engineers, Enforcement Section, Post Office Box 4970, Jacksonville, FL 32232-0019 or submit via electronic mail to: SAJ-RD-Enforcement@usace.army.mil (not to exceed 15 MB).

(TRANSFEREE-SIGNATURE)

(SUBDIVISION)

(DATE)

(LOT)

(BLOCK)

(NAME-PRINTED)

(STREET ADDRESS)

(MAILING ADDRESS)

(CITY, STATE, ZIP CODE)

AS-BUILT CERTIFICATION BY PROFESSIONAL ENGINEER

Submit this form and one set of as-built engineering drawings to the U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019. For electronic mail saj-rd-enforcement@usace.army.mil (not to exceed 15 MB).

1. Department of the Army Permit Number: SAJ- - (-)

2. Permittee Information:

Name: _____

Address: _____

3. Project Site Identification (physical location/address):

4. As-Built Certification: I hereby certify that the authorized work, including any mitigation required by Special Conditions to the permit, has been accomplished in accordance with the Department of the Army permit with any deviations noted below. This determination is based upon on-site observation, scheduled, and conducted by me or by a project representative under my direct supervision. I have enclosed one set of as-built engineering drawings.

Signature of Engineer

Name (*Please type*)

(FL, PR, or VI) Reg. Number

Company Name

City

State

ZIP

(Affix Seal)

Date

Telephone Number

COMMENCEMENT NOTIFICATION

Within ten (10) days of initiating the authorized work, submit this form to via electronic mail to saj-rd-enforcement@usace.army.mil (preferred, not to exceed 15 MB) or by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.

1. **Department of the Army Permit Number:** SAJ- - (-)

2. **Permittee Information:**

Name: _____

Email: _____

Address: _____

Phone: _____

3. **Construction Start Date:** _____

4. **Contact to Schedule Inspection:**

Name: _____

Email: _____

Phone: _____

Signature of Permittee

Printed Name of Permittee

Date

STAFF FINDINGS REPORT

PROPERTY OWNER: Stephen and Betty Bailey

AGENT (if applicable): N/A

CONTRACTOR: Construct Group SE Inc.

PROPERTY ADDRESS (if available): 104 9th Street

→ Block 70 Lot 1

PARCEL ID: 01-09S-08W-8330-0070-0010

HISTORIC DISTRICT: Yes

CORNER LOT: Yes

ACREAGE: -- (~6,000 SF)

FUTURE LAND USE: R-1 Single-Family Residential

WETLANDS: No

FLOODPLAIN: "AE"

DESCRIPTION OF PROJECT:

→ New construction of a 1,849 SF single-family residential home with 22' x 14' (308 SF) detached garage and a 3' brick fence/ wall.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 101-8. Definitions.**

- **Building height** means the vertical distance from either the highest existing, or predevelopment, grade of the property at the front center of a building or the crown of the road adjacent to the front of a building (whichever is higher in elevation) to the structure's highest point of the roof.
- **Building line** means an imaginary line across the property, defined in each district by the setback requirement on which the front wall of a building may be built. For the purpose of measuring, setbacks shall be determined by measuring from any vertical support of a covered roof section to the nearest point of the lot line.

- **Corner lot** means a lot abutting upon two or more streets at their intersection. All boundaries abutting streets shall be considered front yards, and all other boundaries shall be considered side yards.
- **Front yard** means a yard extending across the front of a lot between the side lot lines and being the minimum horizontal distance between the street line and the principal building or any projections thereof, other than the projections of uncovered steps, uncovered balconies or uncovered porches.
- **Side yard** means a yard between the main building and the side line of the lot extending from the front yard to the rear yard and being the minimum horizontal distance between a side lot line and the side of the main building or any projection thereof.

→ **Section 111-268. R-1 Single-Family Residential.**

- **Development standards:**
 - **Minimum lot size:**
 - Single-family: 6,000 SF (60' x 100').
 - **Minimum building size:**
 - Single-family: 800 SF.
 - **Minimum building setbacks:**
 - Front: 15 ft.
 - Proposed 15 ft each side (Ave F and 9th Street).
 - Side (interior): 7½ ft. each side, or any combination on each side that equals at least 15 ft. No such setback shall be less than 5 ft.
 - Proposed 5 ft side abutting 106 9th Street / 01-09S-08W-8330-0070-0020.
 - Side (corner): 15 ft.
 - Rear: 5 ft. (accessory structure).
 - Proposed 5 ft each side for accessory.
 - **Maximum building restrictions:**
 - Lot coverage: 40% (2,400 SF).
 - Proposed principal: 1,849 SF
 - Proposed accessory: 308 SF
 - Driveway: 77 SF.
 - Total: 2,234 SF or 37%.
 - Building height: 35 ft.
 - Total height: 23'-2 1/8"
- **Applicable regulations:**
 - In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.

- The proposed accessory structure will be located in the side yard.

Brick Fence

- **Section 111-288(e).** Requirements apply to all zoning districts and the historic district.
- Application for approval of any new fence or material alteration of an existing fence must be made in the same manner as for authorization of a building permit with a full description of materials to be used, dimensions and placement clearly stated on the plans. It is not necessary for a landscape architect or engineer to draw or sign and seal the plans.
 - Fences shall be erected on the lot of the applicant and shall not extend into a public right-of-way. Fences may be erected within the required setback area (i.e., area between the front, side, and rear property lines and the front, side, and rear setback lines).
 - A fence may abut but shall not be located on any property line.
 - The proposed fence will abut both front property lines.
 - No fence or wall in excess of four feet (48 inches) in height shall be allowed in the front yard (for corner lots, the two sides of the lot paralleling the two street).
 - The fence in the front yard will not exceed 3' in height.
 - As required in section 111-288(b) above, front-yard fences on corner lots may not exceed two and one-half feet (30 inches) in height within 50 feet of the point of intersection of two streets.
 - Distance from the lot corner to the edge of the pavement of the intersection is approximately 37'.
 - Distance from the lot corner to the centerline of the intersection is approximately 62'.
 - * Measured from Franklin County Property Appraiser.
 - All fence construction, repair and replacement of any section or portion thereof must be consistent with the remaining fence on the property. The intent of this section is to ensure that all fencing erected on a property is uniform and consistent in construction and appearance.
 - The entire fence will be uniform in construction and appearance.

Parking

- **Section 111-288(i). Parking Requirements.**

- There shall be provided at the time of the erection of any principal building or structure parking space with adequate provisions for ingress and egress no less than the following space requirements.
 - **Dwelling.** One parking space for each dwelling unit or room for rent.
 - The detached garage will be used to meet the minimum off-street parking requirement.

February P&Z Revisions

- **Sabal Palm:** Contractor confirmed any sabal palms in the City's right-of-way will remain undisturbed. If it is necessary to remove a sabal palm located on the owner's property, the necessary tree permit will be obtained.
- **Driveway:** Revised application proposes a pervious gravel drive rather than an impervious concrete drive, following the direction of the Board at the February meeting. Total proposed impervious surface for the lot is below the maximum of 2,400 SF.
- **Covered porch:** As measured from the vertical support of the covered porch (not the overhanging roof itself), the 15' front setback from Avenue F has been met.
- **Building height:** Based on the revised front elevation, the proposed building height is 23'-2 1/8", below the maximum permitted height of 35'. Additionally, the height of the pilings has been reduced from 9' to 4'-6". The reduction in the height of the pilings increases the visual compatibility of the structure with the surrounding neighborhood and follows the Board's direction that the building height be less than 28'.
 - a. **Roof pitch** has also been reduced from 8:12 to 6:12.
- **FDEP & USACE permits:** Permits from both the Florida Department of Environmental Protection and US Army Corps of Engineers have been included with this agenda item.

RECOMMENDATION: Approval, on the condition that a floodplain management permit (LDC Sec. 115-2) be obtained before a building permit is issued.

