



Planning & Zoning Agenda

November 10th, 2025

Regular Meeting 6:00 P.M.

CITY OF APALACHICOLA
PLANNING AND ZONING BOARD
REGULAR MEETING

Monday, November 10th, 2025

City Meeting Room – 74 6th Street

Agenda

Regular Meeting: 6:00 PM

1. Approval of October 13th, 2025 meeting minutes.
2. Review, Discussion and Decision for Accessory Structure & New Residential Construction. **(R-3) @ 265 Morris Cannon Street**. Block 214 Lots 27-28. Owner: Kimberly Deeson; Contractor: Randall McClelland.
3. Review, Discussion and Decision for Certificate of Appropriateness & Fence. **(R-1) @ 128 7th Street**. Block 65 Lots 1-2. Owner: Rebecca Hollensbe; Contractor: David's Custom Fencing.
4. Review, Discussion and Decision for New Residential Construction. **(R-2) @ 141 Bay Colony Way**. Lot 18 Bay Colony Way Subdivision. Owner: Corie Cates; Contractor: Self.
5. Review, Discussion and Decision for Commercial Signs & Mural. **(C-3) @ 238 US Highway 98**. Block 4 Lot 3, portion Lots 1-2. Owner: Keri Elliot; Contractor: Dan Anderson; Artist: Javier Arreguin Villegas.
6. Review, Discussion and Decision for Accessory Structure. **(R-2) @ 237 Prado**. Block 1 Lots 17-18. Owner: James Owens; Contractor: Self.
7. Review, Discussion and Decision for New Residential Construction. **(R-3) @ 194 25th Avenue**. Block 240 Lots 4-5. Owner: Joycelyn Escobar; Contractor: Randall McClelland.

8. Review, Discussion and Decision for New Residential Construction. **(R-2) @ 217**

15th Street. Block 135 Lot 9. Owner: Coastal Life Homes LLC; Contractor:

Ronnie Gooch.

9. Review, Discussion and Decision for New Residential Construction. **(R-2) @ 69**

Avenue L. Block 135 Lot 10. Owner: Coastal Life Homes LLC; Contractor:

Ronnie Gooch.

Other/New Business:

Outstanding/Unresolved Issues:

Motion to adjourn the meeting.

CITY OF APALACHICOLA
PLANNING AND ZONING BOARD
REGULAR MEETING

Monday, October 13th, 2025

City Meeting Room – 74 6th Street

Minutes

Attendance: Joe Taylor, Jim Bachrach, Myrtis Wynn, Elizabeth Milliken, Bobby Miller, Lee McLemore, Greg Gologowski

Regular Meeting: 6:00 PM

1. Approval of September 8th, 2025 meeting minutes (regular meeting + quasi-judicial public hearing).
 - a. Motion to approve by Bobby Miller; 2nd by Lee McLemore – all in favor, motion carried.
2. Review, Discussion and Decision for Sign. (R-3) @ 343 25th Avenue. Block 222 Lots 21-22. Owner: Clearwater Apalach LLC; Contractor: Self.
 - a. Motion to approve by Myrtis Wynn; 2nd by Bobby Miller – all in favor, motion carried.
3. Review, Discussion and Decision for Certificate of Appropriateness, New Residential Construction & Accessory Structure. (R-1) (Historic District) @ 112 7th Street. Block 60 Lot 3. Owner: Jason Cheek; Applicants: Joshua & Sarah Porter; Contractor: NRG Industries.
 - a. Lacey Martina, Representative - Present on behalf of the Applicants Joshua & Sarah Porter. Summarized material provided by the applicants, including site plan, notarized letter from the Owner Jason Cheek, and tree permit application.
 - b. Greg Gologowski asked if the Applicants had considered accessing the lot only from the alley, so that the driveway did not have to run the entire length of the parcel.
 - c. Representative replied that to her knowledge, this consideration had not been made.

- d. City Planner noted that according to the Code, alleys are only intended to provide secondary access to properties.
 - e. Motion to approve by Bobby Miller; 2nd by Myrtis Wynn – all in favor, motion carried.
4. Review, Discussion and Decision for Certificate of Appropriateness & Accessory Structure. (R-1) (Historic District) @ 146 12th Street. Block 81 Lot 2. Owner: Paul Payton; Contractor: Self.
- a. Paul Payton, Owner - Present with son Sean, who informed the Board that there is a raised bedroom off the back of the house with an exterior door. Owner would like to install a new section of deck for access to this room.
 - b. City Planner noted that the proposed deck will be of similar material and appearance to the existing side deck.
 - c. Motion to approve by Jim Bachrach; 2nd by Greg Golgowski – all in favor, motion carried.
5. Review, Discussion and Decision for Accessory Structure. (R-3) @ 261 Brownsville Road. Block 260 Lots 22-24. Owner: Lloyd Alton Shiver Jr.; Contractor: Self.
- a. Lloyd Alton Shiver Jr., Owner – Present, informed the Board that the accessory storage will be used for storage, as he is running out of space at his other property.
 - b. Jim Bachrach asked the Owner to confirm that the accessory structure would not be used a residence; Owner confirmed it would not be used as a residence.
 - c. Motion to approve by Jim Bachrach; 2nd by Lee McLemore – all in favor, motion carried.
6. Review, Discussion and Decision for Accessory Structure. (R-3) @ 265 Morris Cannon Street. Block 214 Lots 27-28. Owner: Kimberly Deeson; Contractor: Self.
- a. City Planner explained the reason for the recommendation of conditional approval: Applicant did not provide a complete site plan clearly showing

building setbacks and existing structures. Applicant was not present to answer questions.

- b. Lee McLemore asked City Attorney whether the Board could make a conditional approval on setback requirements being met, and whether it could be enforced. City Attorney confirmed the Board could do so, and the City would be responsible for ensuring compliance with their decision.
 - c. Motion to table the item until the Applicant submits a complete application with all required information by Jim Bachrach; 2nd by Greg Gologowski – all in favor, motion carried.
7. Review, Discussion and Decision for Certificate of Appropriateness & Accessory Structure. (R-1) (Historic District) @ 204 10th Street. Block 156 Lot 2. Owner: Chris Presnell; Contractor: CP Squared LLC.
 - a. Chris Presnell, Owner – Present, received no questions from the Board.
 - b. Motion to approve by Greg Gologowski; 2nd by Lee McLemore – all in favor, motion carried.
8. Review, Discussion and Decision for New Residential Construction. (R-2) @ 110 Bay Colony Way. Lots 3-4 Bay Colony Way Subdivision. Owner: Morton McLemore; Contractor: Self.
 - a. Morton McLemore, Owner – Present, summarized his application to the Board at the request of Jim Bachrach.
 - b. Lee McLemore recused himself due to his familial relationship with the Owner.
 - c. Motion to approve by Bobby Miller; 2nd by Jim Bachrach – all in favor, motion carried.
9. Review, Discussion and Decision for Certificate of Appropriateness & Alteration/Renovation. (C-2) (Historic District) @ 133 Avenue E. Block 76 Lot 9 and 60' Lot 10. Owner: Constance Peck; Contractor: Chris Presnell.
 - a. City Planner summarized staff report and recommendation, including email correspondence with previous Planner regarding past precedence. The City has previously allowed buildings and uses in the C-2 District to go back and forth between commercial businesses and residential

dwellings. However, as a residential dwelling the existing structure at 133 Avenue E would be nonconforming with the setback and impervious surface requirements for a single-family dwelling in the C-2 District.

- b. City Attorney stated that the Board could vote to approve the request even though it would create a nonconforming structure. In the future, though, no additions or expansions could be made to the structure because it is nonconforming.
 - c. Constance Peck, Owner – Present, answered questions posed by the Board and City Staff.
 - d. Paula Martina, Adjacent Owner (131 Avenue E) – Present, asked the Board to address her concern that customers would no longer have access to parking for her business. City Attorney consulted survey provided by Owner and confirmed that the existing parking utilized for her business is in the City's right-of-way and cannot be removed. Adjacent Owner also stated that the original building at 133 Avenue E was moved onto the lot when it was vacant, and that it had always been used as a commercial business. City Attorney stated that this information could be significant, if there had never been a building used a residence at 133 Avenue E.
 - e. Bobby Miller asked City Staff if approving the site plan as provided would essentially mean the loss of City parking to accommodate the provision of private parking. If so, he would not support the request. Lee McLemore had a similar concern, that allowing access for a private driveway would take away public parking.
 - f. Motion to table the item for additional staff review, and for the Owner to revise the proposed site plan by Bobby Miller; 2nd by Myrtis Wynn – all in favor, motion carried.
- 10. Review, Discussion and Decision for Certificate of Appropriateness & Accessory Structure. (R-1) (Historic District) @ 132 7th Street.** Block 65 Lots 3-4. Owners: Bradely & Sara Heinz; Contractor: Southern Blue Construction Inc.

- a. City Planner explained the reason for the recommendation of conditional approval: LDC requires that accessory structures not be constructed until a principal structure is in place. Property appraiser indicates that the lot is currently vacant.
- b. Greg Golgowski stated the Board has seen this site plan before, likely when the Owners applied for the principal structure.
- c. Elizabeth Milliken stated that the concrete foundation had been laid and that construction appears to be underway for the principal structure.
- d. Motion to approve by Jim Bachrach; 2nd by Bobby Miller – all in favor, motion carried.

Other/New Business:

1. Protected Longleaf Pine @ 230 (224) 17th Street. Site plan previously approved August 11th, 2025.
 - a. City Attorney summarized the reason for this item being placed on the agenda – Section 105-24. Preservation of patriarch trees from Article II. Tree Protection. He emphasized that the Board must find that the lot would be undevelopable if the tree remains.
 - b. Bobby Miller asked the City Attorney for clarification, that is the Board did not agree to issue the permit the lot would be made undevelopable. City Attorney confirmed yes, that would be the result and that there would likely be legal consequences for the City.
 - c. Bobby Miller asked the City Attorney, if a certified arborist attested that the tree presented a danger and needed to be removed, would that preempt all local regulations? City Attorney clarified that this would only apply if there was already a structure on the lot. Since the lot is vacant, that would not be the case.
 - d. Dawson Gooch, Representative – Present on behalf of Owner Coastal Life Homes, LLC. stated that other options had already been explored but they were undesirable. Swapping lots for a different parcel would mean at least

another month's delay to go before the City Commission. Requesting a variance into the rear setback would still result in damage to the tree's root system. Lee McLemore stated that doing so would likely result in the death of the tree. The Representative concluded that the Owner would be willing to pay the tree removal fee in order to retain the lot and proceed with development according to the approved site plan.

- e. Elizabeth Milliken questioned why the Owner did not purchase a different lot, knowing that this tree was located at 224 17th Street. Representative stated that the tree was surrounded by brush, and that it wasn't clear how large a tree it was. If the Owner had been aware of the tree, they would have purchased a different lot.
- f. Greg Golgowski asked City Planner if a recommendation had been made by the Tree Committee about this specific tree. City Planner confirmed that no such recommendation had been received.
- g. Motion to approve the issuance of a tree permit for the removal of the protected longleaf pine to allow development on the lot by Jim Bachrach; 2nd by Bobby Miller – Greg Golgowski opposed, motion carried 6-1.

2. Shed in front of Chapman Auditorium @ 155 Avenue E.

- a. Elizabeth Milliken brought this issue to the attention of the Board. She has spoken with other members of City Staff and would like the City to request that the shed be moved to a different location. The Chapman Auditorium is a historic building, and the placement of the shed in the front of the building detracts from it.
- b. City Attorney stated that improvements made to real property on government owned land for governmental purposes do not require approval from the Planning and Zoning Board. He further stated that requests to remove the shed should be directed to the Franklin County Commission.
- c. Jim Bachrach gave two examples of instances where Franklin County did bring their requests to the Planning and Zoning Board: the hospital and

the ABC school. He also mentioned the possibility of shed being relocated to a different lot.

- d. Joe Taylor stated that the Planning and Zoning Board does not have a role in the issue, nor authority to take any action.

Outstanding/Unresolved Issues:

N/A

Motion to adjourn the meeting by Jim Bachrach; 2nd by Bobby Miller.

All in favor – meeting adjourned at 7:22 P.M.



**Accessory Structure &
New Residential Construction
265 Morris Cannon Street**



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner Kimberly Deeson
Address 265 Morris Cannon St.
City Apalachicola State FL Zip 32320
Phone 850-630-6671

CONTRACTOR INFORMATION

Contractor Name Randall McClelland
State License # TH1133219 City License # _____
Email rm7.mcclellands@gmail.com
Phone 850-892-7775

PROJECT TYPE

☒ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☐ Accessory Structure

☐ Certificate of Appropriateness

☒ Other New manufactured home

PROPERTY INFORMATION

Street Address (911 Address): 265 Morris Cannon St.
City & State: Apalachicola Zip: 32320
Parcel ID #: 01-095-08W-8330-0214-0270 Block: _____ Lot: _____
Zoning District: _____ [] Historic District [] Non-Historic District
FEMA Flood Zone: X

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: _____ Rear: _____ Side: _____

Corner Lot? Y / N Street Sides: _____

Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____

Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

KLD
Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

New 24'x50' 2025 Champion Homes manufactured home,
model # CH-2450H32G01, SN FL265-000-H-A000153AB.
HUD label # FLA887760, FLA887759 Placement.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	Champion	Vinyl	HUD
Doors	Champion	36x80 Craftsman door	HUD
Windows	Champion		HUD
Roofing	Champion	Shingles	HUD
Trim	Champion	Vinyl	HUD
Foundation	Regional Homes Contractor	Concrete block	see engineered blocking included
Shutters	Champion	IPD lineals	HUD
Porch/Deck	Regional Homes Contractor	Site built wood steps	Pressure treated pine to Franklin county code
Fencing	N/A	N/A	N/A
Driveways/Sidewalks	N/A	N/A	N/A
Other	N/A	N/A	N/A

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.



PLANNING & ZONING APPLICATION FOR DEVELOPMENT APPROVAL

1. Any construction that alters/changes lot coverage, or visual appearances in the Historic District, must go through Planning & Zoning (ex. New construction, building renovations and additions, new or materially altered fencing, sheds, decks, etc.) for development approval. This entire packet needs to be filled out and complete to be accepted, reviewed, and placed on a P&Z meeting agenda.
2. Submit a completed application with a site plan showing all surrounding streets, lot lines, lot dimensions, setbacks marked, measurements of all current and proposed lot coverage, and elevation photos showing what the proposed construction will look like, including materials to be used; especially noting the siding and roofing materials. **No building permit will be issued and no work can begin before Planning & Zoning has given approval to permit.**
3. All P&Z Application for Permit forms including all attachments, **must be received at least TEN (10) BUSINESS days prior to the scheduled P&Z meeting or it will be scheduled on the agenda for the following meeting date, no exceptions.** The application and/or a representative **MUST** be present at the scheduled meeting – if a representative is not present for questions, then your agenda item may be tabled until the next monthly meeting.
4. **Planning & Zoning Application (development order) & Certificate of Appropriateness Fees (historic district):**

Residential New Construction	\$200.00
Residential Accessory Structure/Additional Lot Coverage	\$50
Residential Fence (New or Altered)	\$0
Commercial New Construction	
• Less than 5,000SF; 2 Acres or 3 Units	\$450
• 5,000-20,000SF; 2-5 Acres or 4-24 Units	\$1,000
• 20,001-100,000SF; 5-10 Acres or 25-100 Units	\$2,000
• Over 100,001SF; over 10 Acres or 100 Units	\$3,000
Commercial/Multifamily Accessory Structures, including decks & pools, any lot coverage	\$250
Commercial Review Subsequent to 2 plan Reviews	\$300 per review
Commercial/Multifamily New & Replacement Fence	\$100

Residential Certificate of Appropriateness	
• New Construction	\$75
• Accessory Structure, Addition, Remodel	\$40
• Fence	\$25
• Other	\$25
Commercial/Multifamily	
• New Construction	\$150
• Accessory Structure, Addition, Remodel	\$80
• Fence	\$50
• Sign	\$50
• Other	\$50

Payment must be submitted at time of application for P&Z approval. All submissions are reviewed by the City Planner. City Staff and/or the Planning & Zoning Board may require additional information necessary to determine if the application complies with the provision of the City's Land Development Code.

UPCOMING 2025 P&Z DATES:

January 13th
February 10th
March 10th
April 14th

May 12th
June 9th
July 14th
August 11th

September 8th
October 13th
November 10th
December 8th

Meetings always take place at 74 Sixth Street in the City Meeting Room at 6PM!

BUILDING PERMIT APPLICATION CHECKLIST

(ALL STEPS MAY NOT APPLY TO SMALLER PROJECTS)

_____ 1. Approval from City Planning & Zoning Board

✓ _____ 2. Complete Building Permit Application

_____ 3. TWO COMPLETE SETS OF PLANS INCLUDING:

- ✓ • Site Plan
- Final Site Plan (New Construction) – Stormwater Management Plan
- Signed/Sealed Structural Drawings
- Elevations
- ✓ • Floor Plan
- Fire Protection
- Drawn to Scale

✓ _____ 4. Contractor Information

- ✓ • License
- ✓ • Photo ID of License Holder
- COI: Workers Comp/General Liability
- Letter of Authorization

_____ 5. Contract Scope of Work

_____ 6. Energy Forms

✓ _____ 7. Notice of Commencement (All permits valued at \$2,500 or more)

N/A _____ 8. Flood Elevation Certificate

✓ _____ 9. Fill Permit Application

N/A _____ 10. Floodplain Management Application (NOT if Flood Zone X)

N/A _____ 11. Water/Sewer Impact Fees Receipt (if applicable)

Kimberly L Deeson
Applicant Name, Signature

10/22/2025
Date

City of Apalachicola Building Department
192 Coach Wagoner Blvd. Apalachicola, FL 32320
(850)653-9319

Manufactured
HUD
Wind zone 3



Florida Mobile Home Installer License

LICENSEE: RANDALL MOCCLELLAND

LICENSE NUMBER: IH/1133319

EFFECTIVE DATE: 10/01/2023

EXPIRATION DATE: 09/30/2026

THE LICENSEE IS HEREBY CERTIFIED UNDER THE PROVISIONS OF SECTION 320.8249,
FLORIDA STATUTES TO CONDUCT AND CARRY ON BUSINESS AS AN INSTALLER OF
MOBILE HOMES IN THE STATE OF FLORIDA

Robert R. Kynard

Director, Division of Motorist Services

State of Florida - Department of Highway Safety and Motor Vehicles - Division of Motorist Services

THIS INSTRUMENT PREPARED BY:
DONNA DUNCAN
ATTORNEY AT LAW
Florida Bar #63869
SANDERS AND DUNCAN, P.A.
80 Market Street
P.O. Box 157
Apalachicola, FL 32320

Inst 201519004027 Date 8/18/2015 Time 2:33 PM
Doc Stamp-Ceas:0.70
SMA DC. Marcia Johnson Franklin County B.1150 P.602

QUIT-CLAIM DEED

THIS QUIT-CLAIM DEED, executed this 14th day of August, 2015, between JEFFREY W. CREAMER, whose address is 3A Pine Drive, Apalachicola, FL 32320, Grantor, and KIMBERLY LYNN MCBRAYER fka KIMBERLY L. CREAMER, whose address is 265 Morris Cannon Street, Apalachicola, FL 32320, Grantee.

WITNESSETH, that Grantor, for and in consideration of the sum of -----TEN (10) DOLLARS -----, in hand paid by Grantee, the receipt of which is hereby acknowledged, quit-claims to Grantee and Grantee's heirs, executors, administrators and assigns forever, all of the right, title and interest of Grantor in the following described land situated in Franklin County, Florida:

Lots Twenty-Seven (27) and Twenty-Eight (28), Block Two Hundred Fourteen (214), Greater Apalachicola, Florida, as per map or plat thereof in most common use.

Subject to covenants, restrictions, reservations & easements of record, if any, and subject to taxes for the year 2015 and subsequent years. Said property is not the homestead property of Grantor. No title search performed. Legal description provided by Grantee.

To Have and to Hold the same, together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest and claim whatsoever of the Grantors, either in law or equity, to the only proper use, benefit and behoof of the said Grantee.

In Witness Whereof, the Grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered
in our presence:

WITNESS: J. Gordon Shuler JEFFREY WAYNE CREAMER, GRANTOR

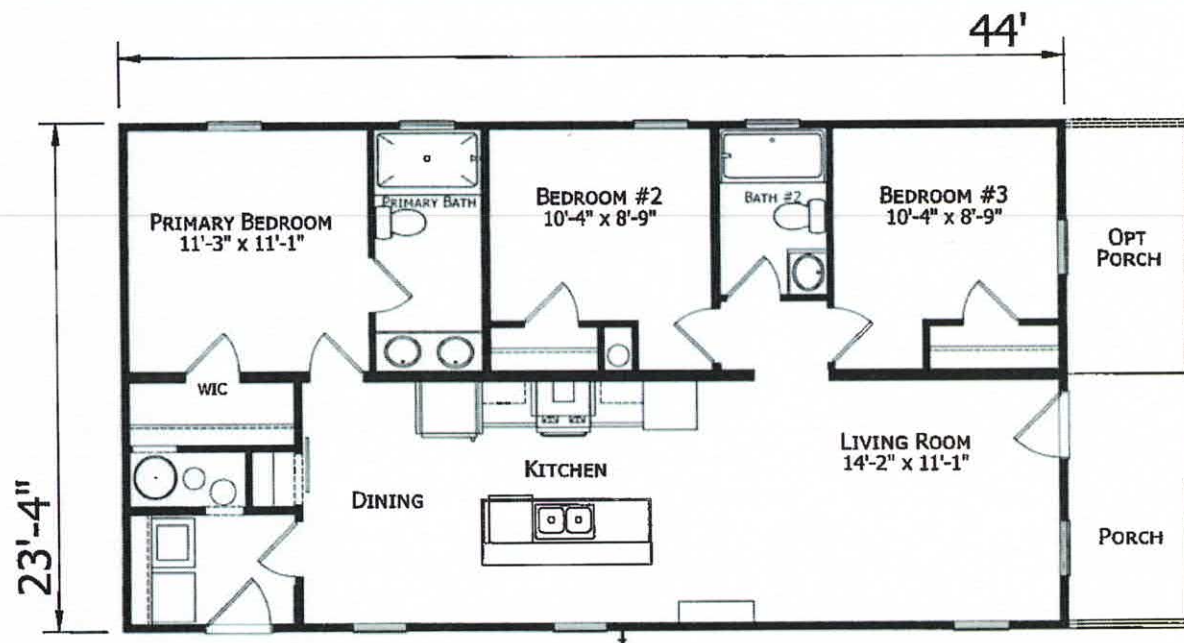
WITNESS: Kristel S. Hernandez

STATE OF FLORIDA
COUNTY OF FRANKLIN

The foregoing Quit-claim Deed between, JEFFREY WAYNE CREAMER, Grantor, and KIMBERLY LYNN MCBRAYER fka KIMBERLY LYNN CREAMER, Grantee, was acknowledged before me this 14th day of August, 2015, by JEFFREY WAYNE CREAMER, (X) who is personally known to me or [] who have produced _____ as identification and who did not take an oath.

J. Gordon Shuler
Notary Public, State of Florida.





265-2450H32G01
3 BEDROOM 2 BATH
44'-0" x 23'-4"
1027 Sq. Ft. TOTAL

CHAMPION
HOME BUILDERS

750 W. BIG BEAVER ROAD, SUITE 1000, TRACY, CA 95374
PHONE: 916-414-8000

MODIFICATIONS

PROJECT: 2450H32G01
44'-0" / 50'-0" x 23'-4"
3 BD 2 BT

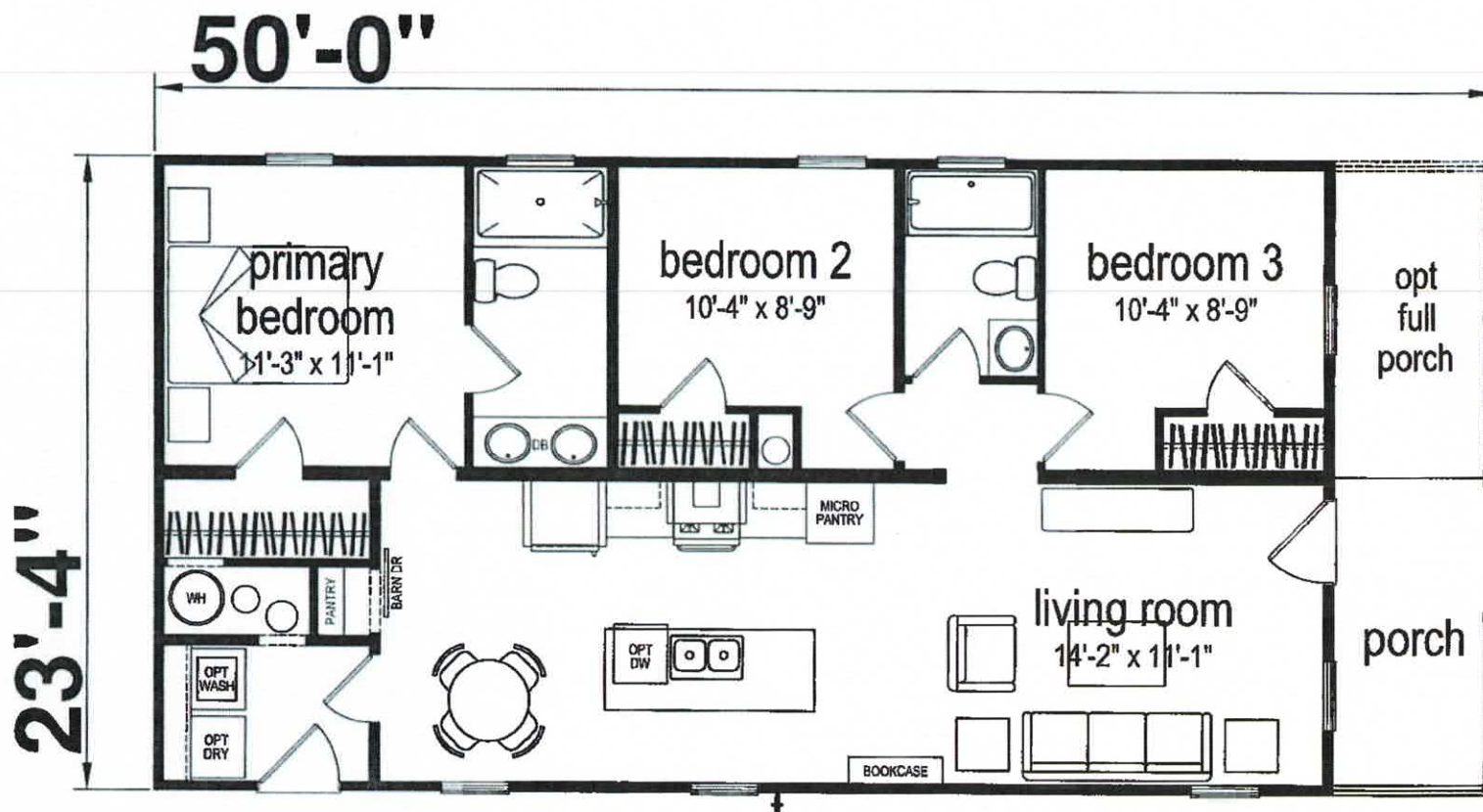
DESIGN BY: J. TINDALL
DATE: 09-10-25
SCALE: 1/16" = 1'-0"

REVIEW: LITERATURE
PLAN

FILENAME: 2450H32G01 25-0912

SHEET: L-101

PROPRIETARY AND CONFIDENTIAL
THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL
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2450H32G01
3 BEDROOM 2 BATH
1027 SQ. FT. - CONDITIONED

06-12-2025
2450H32G01.DWG

MANUFACTURER DISCLAIMER NOTICE: (THIS PIER PRINT IS FOR HOMES PRODUCED ON OR AFTER JUNE 1ST 2009)

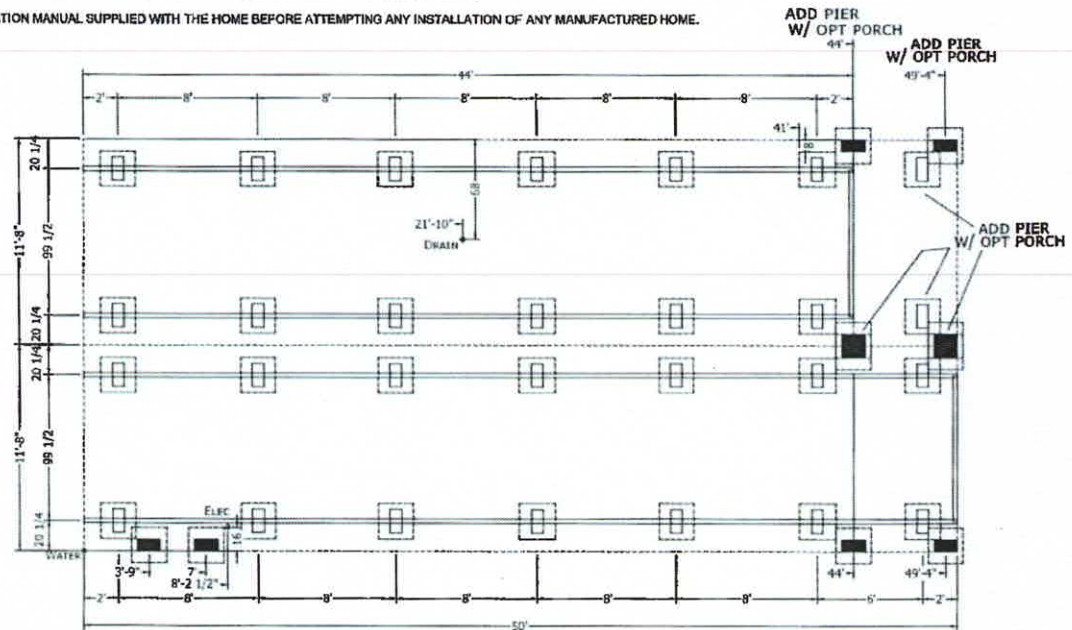
PLEASE READ AND UNDERSTAND THE FOLLOWING INFORMATION. THE MANUFACTURER DOES NOT PERFORM THE FOUNDATION INSTALLATION OF HOMES. IT WILL BE THE RESPONSIBILITY OF THE DEALER AND/OR SITE CONTRACTOR TO INSURE THAT ALL SITE WORK WILL CORRELATE WITH THE UNIT ORDERED.

NOTICE TO HOME INSTALLERS:



MANUFACTURED HOMES WEIGH SEVERAL TONS. DO NOT ATTEMPT TO INSTALL ANY HOME ON-SITE WITHOUT HAVING EXPERIENCE, KNOWLEDGE AND UNDERSTANDING OF ALL INSTALLATION REQUIREMENTS. FAILURE TO MEET THESE REQUIREMENTS MAY RESULT IN SERIOUS INJURY OR DEATH TO AN INEXPERIENCED INSTALLER.

INSTALLERS:

PLEASE READ AND UNDERSTAND THE SET-UP AND INSTALLATION MANUAL SUPPLIED WITH THE HOME BEFORE ATTEMPTING ANY INSTALLATION OF ANY MANUFACTURED HOME.



- 1) THE MANUFACTURER ASSUMES NO RESPONSIBILITY FOR ACTUAL FOUNDATION DESIGN AND CONSTRUCTION.
- 2) ADDITIONAL BLOCKING IS REQUIRED AT EACH SIDE OF EXTERIOR DOORS AND AT EACH SIDE OF SIDEWALL OPENINGS GREATER THAN 4 FEET IN WIDTH (I.E. PATIO DOORS, PICTURE WINDOWS, ETC.).
- 3) FOR PIER REQUIREMENTS AT ENDWALL, SEE FIGURE 8 IN THE INSTALLATION MANUAL.
- 4) DIMENSIONS FOR DRAIN, ELECTRIC, WATER AND GAS SUPPLY ON PRINT MAY BE + OR - 12".
- 5) IT WILL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO VERIFY THE PROPER LOCATION OF COLUMN SUPPORT BLOCKING AND TO VERIFY THE PROPER MATING LINE GROWTH DIMENSIONS BASED UPON ACTUAL SITE CONDITIONS AND REQUIREMENTS (DOUBLE WIDES ONLY).
- 6) ALLOW 1/2" AT MATING LINE FOR MATE UP GROWTH (DOUBLE WIDES ONLY).
- 7) SEE SET-UP AND INSTALLATION MANUAL FOR PERIMETER BLOCKING REQUIREMENTS, IF APPLICABLE.
- 8) FOOTER SIZES ARE DEPENDENT ON MATERIAL USED, SOIL CONDITIONS AND LOADS GENERATED FROM INSTALLATION MANUAL.

-  = FRAME PIER (SEE INSTALLATION MANUAL FOR SPACING AND LOAD SUPPORT DESIGNS)
-  = POINT LOAD PIER

PERMANENT FOUNDATIONS CHECK LOCAL BUILDING CODES AND REGULATIONS AND CONSULT A REGISTERED PROFESSIONAL OR STRUCTURAL ENGINEER WHEN YOU ARE SITING YOUR HOME ON A PERMANENT FOUNDATION (SUCH AS A FULL BASEMENT, CRAWL SPACE, OR LOAD BEARING PERIMETER FOUNDATION).

CHAMPION
HOME BUILDERS

728 W. BIG BEAVER ROAD, SUITE 1000 TROY, MI 48064
PHONE: 313-414-6500

MODIFICATIONS

PROJECT: 2450H32G01
44'-0" / 50'-0" x 23'-4"
3 BD 2 BT

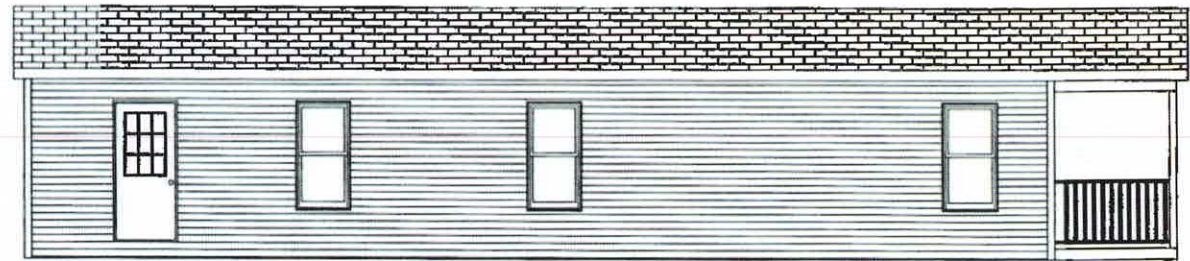
DRAWN BY: J. TYNAL
DATE: 06-16-25
SCALE: 3/16" = 1'-0"

TITLE: PIER
FOUNDATION
PLAN

FILENAME: 2450H32G01 25 0612

SHEET: PR-101

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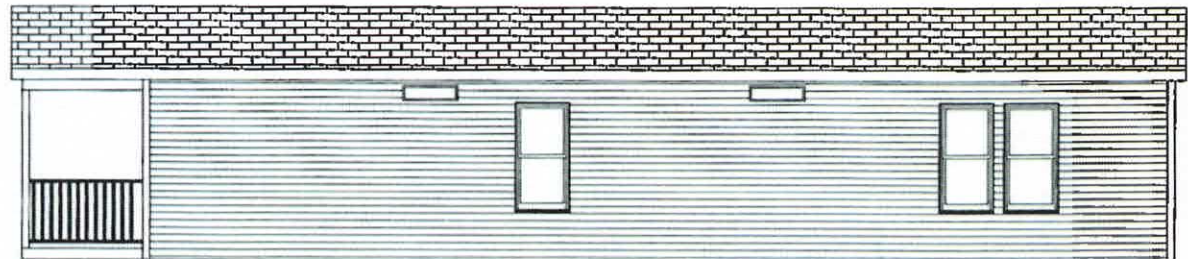
LEFT ELEVATION



REAR ELEVATION



FRONT ELEVATION



RIGHT ELEVATION

**CHAMPION
HOME BUILDERS**

733 W. BIG BEAVER ROAD, SUITE 1000 TROY, MI 48064
PHONE: 248-414-8200

MODIFICATIONS

PROJECT: 2450H32G01
44'-0" / 50'-0" x 23'-4"
3 BD 2 BT
DRAWN BY: J. TYNDALL
DATE: 05-10-25
SCALE: 3/16" = 1'-0"

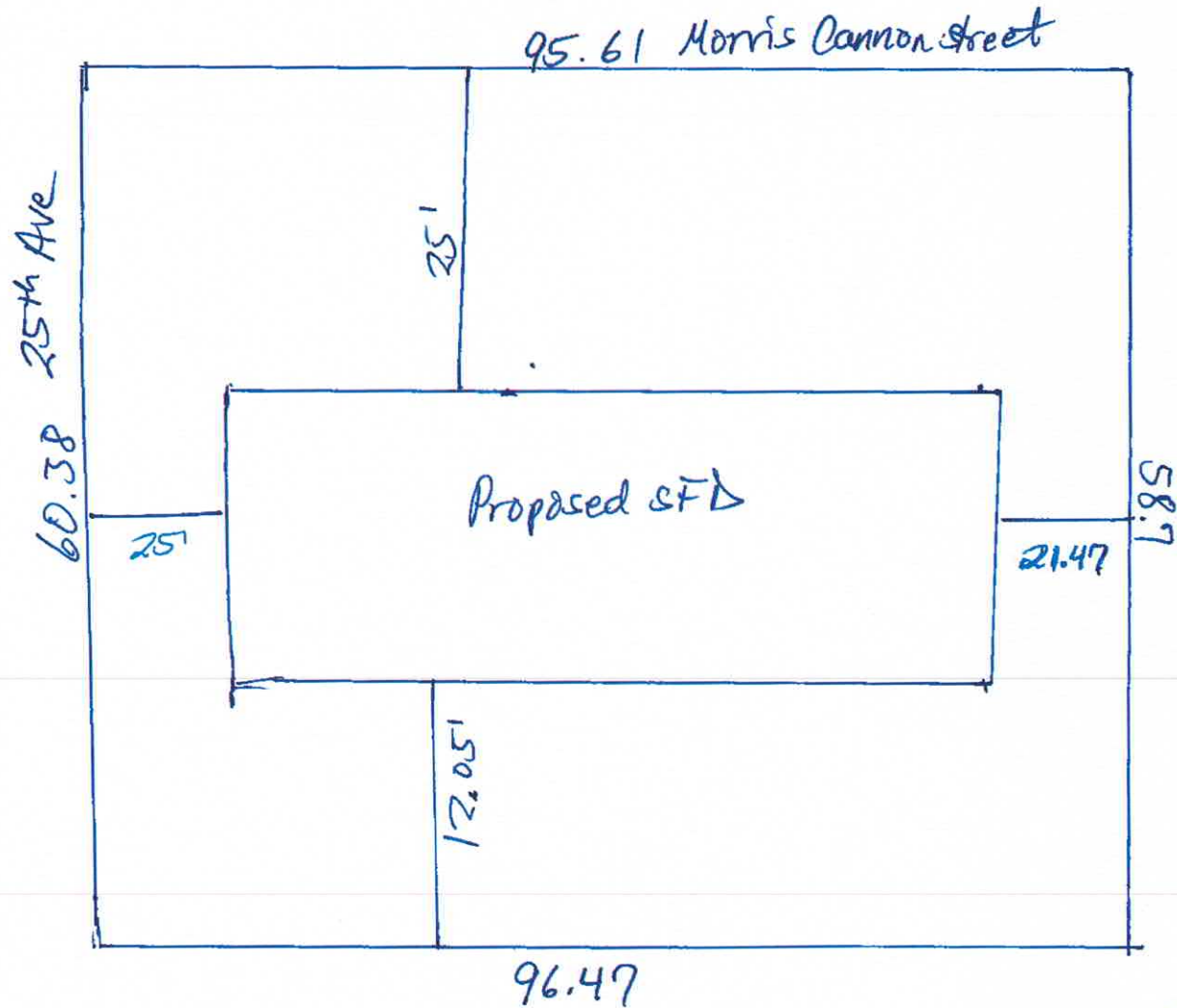
TITLE: ELEVATIONS

FILENAME: 2450H32G01.25 0512

SHEET: EV-101

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Proposed Site Plan
265 Morris Cannon St
Apalachicola, FL, 32320

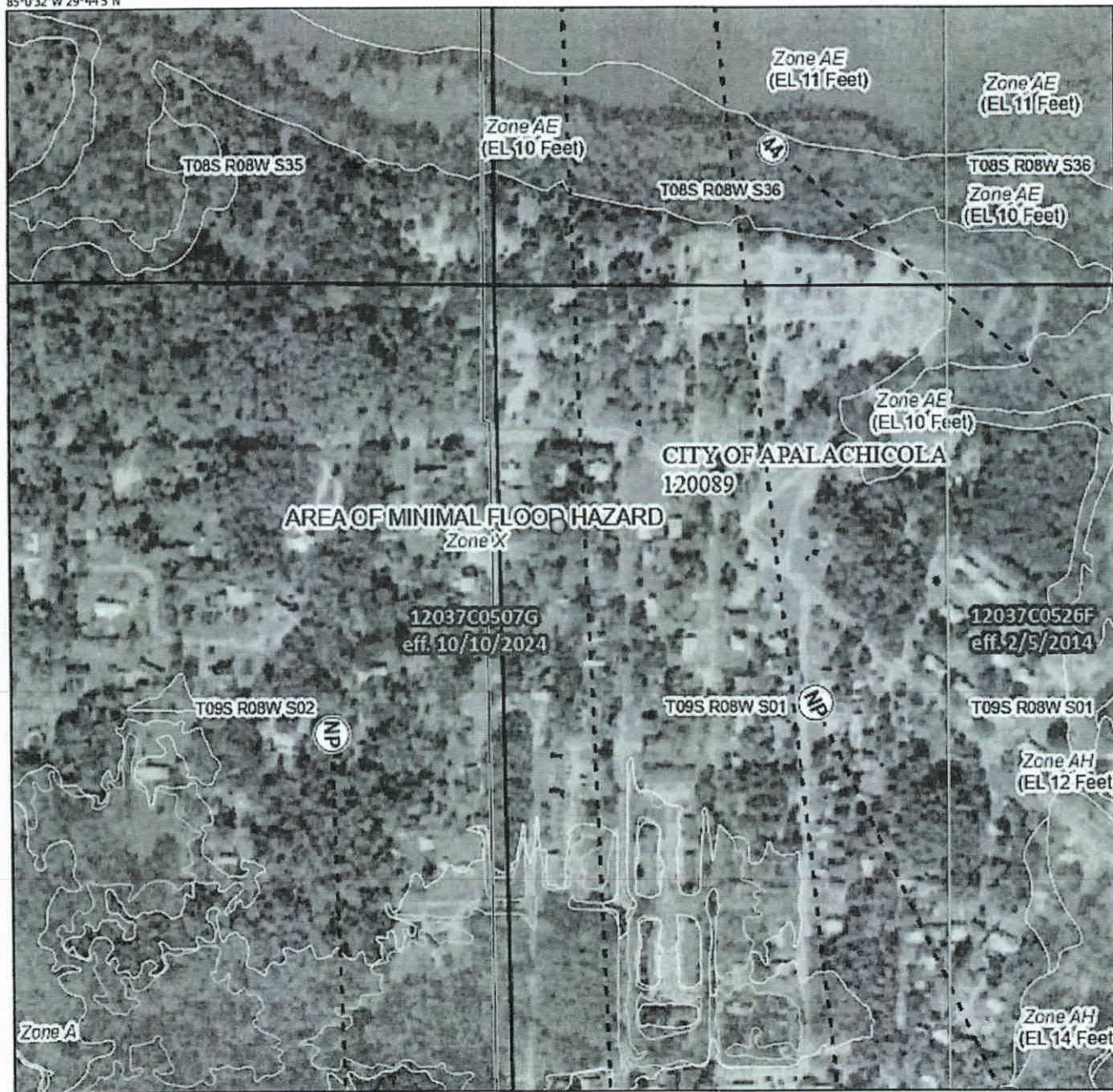


Current ISR = 0%
Proposed ISR = 0.17%

National Flood Hazard Layer FIRMeTte



85°0'32"W 29°44'5"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AD, AH, VE, AR
OTHER AREAS OF FLOOD HAZARD	Regulatory Floodway
	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee. See Notes, Zone X
OTHER AREAS	Area with Flood Risk due to Levee Zone D
	NO SCREEN Area of Minimal Flood Hazard Zone X
GENERAL STRUCTURES	Effective LOMRs
	Area of Undetermined Flood Hazard Zone D
OTHER FEATURES	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall
MAP PANELS	Cross Sections with 1% Annual Chance Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature
	Digital Data Available
	No Digital Data Available
	Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/22/2025 at 6:25 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Outlook

Re: Permit request for new mobile home

From Kim Deeson <kimberlymcbrayer@gmail.com>**Date** Fri 10/24/2025 9:55 AM**To** Brianna Williams <bwilliams@arpc.org>

1. Approximate distance in feet between the shed and the property lines (minimum 5 ft.) 15 feet from alley property line and 5 feet from back yard fence
2. Location and square footage of any other existing structures on the property. NONE
House being moved new mobile home will be the only other structure

If you need anything else, please let me know.

On Thu, Oct 23, 2025 at 10:38 AM Brianna Williams <bwilliams@arpc.org> wrote:

Sounds great, thank you so much! Your application will be on the November agenda for an accessory structure and new residential construction. No need to pay the fee for the accessory again.

Brianna

From: Kim Deeson <kimberlymcbrayer@gmail.com>**Sent:** Thursday, October 23, 2025 10:05 AM**To:** Brianna Williams <bwilliams@arpc.org>**Cc:** Ron Nippe <rnippe@cityofapalachicola.com>**Subject:** Re: Permit request for new mobile home

Brianna,

I have attached the signed permit application forms. If there is anything else you need, please let me know.

I will get the information needed for the shed this afternoon and get it to you by tomorrow.

Ron, I will drop off a check this afternoon or in the morning.

On Thu, Oct 23, 2025 at 9:21 AM Brianna Williams <bwilliams@arpc.org> wrote:

Ron, for new construction the fee will be \$200.

Kim, please do sign and initial the application. Additionally, P&Z did not approve the shed you applied for this month, so please update your site plan to include that as well. I can put you on the agenda to get both approved at the same time at the November meeting.

Sincerely,

Brianna Williams
Growth Management Planner
Apalachee Regional Planning Council
2507 Callaway Road, Suite 100
Tallahassee, FL 32303
(850) 312-3910

From: Ron Nippe <rnippe@cityofapalachicola.com>

Sent: Thursday, October 23, 2025 9:03 AM

To: Kim Deeson <kimberlymcbrayer@gmail.com>; Brianna Williams <bwilliams@arpc.org>

Subject: Re: Permit request for new mobile home

Hi Kim,

Brianna is the central keeper of the files for Planning & Zoning.

I note the application itself is unsigned. Additionally, all the permits are on Frankline County Permit applications while you are in the city limits of Apalachicola. The supplemental permits; Building, Electrical, HVAC, etc. are not needed for the P&Z submission but will, after approval, need to be on City of Apalachicola permit applications.

For now Brianna will review and contact you for whatever she requires to get you on the November 10 agenda.

Briana will tell you the required P&Z fee amount and you can either drop a check to me or use the credit / debit form I am attaching and I will send Brianna the receipt.

Ron

Ron Nippe
City of Apalachicola Building Department
1 Bay Ave
Apalachicola, FL 32320

To Contact; Please email me at rnippe@cityofapalachicola.com

Please submit permit applications and supporting documents by email when possible.

If your inquiry is regarding permitting, I will respond with the General Information Sheet.

From: Kim Deeson <kimberlymcbrayer@gmail.com>

Sent: Thursday, October 23, 2025 8:40 AM

To: Ron Nippe <rnippe@cityofapalachicola.com>; Brianna Williams <bwilliams@arpc.org>

Subject: Permit request for new mobile home

Good Morning

I need to make sure that this gets on the agenda for next month. Who do I need to send this

to?

Thanks for your help.

Kim Deeson

STAFF FINDINGS REPORT

PROPERTY OWNER: Kimberly Deeson

AGENT (if applicable): N/A

CONTRACTOR: Randall McClelland

PROPERTY ADDRESS (if available): 265 Morris Cannon Street

→ Block 214 Lots 27-28

PARCEL ID: 01-09S-08W-8330-0214-0270

HISTORIC DISTRICT: No

CORNER LOT: Yes

ACREAGE: -- (~6,000 SF)

FUTURE LAND USE: R-3 Mobile Home Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

→ Installation of a 24' x 12' (288 SF) shed and a 24' x 50' (1,200) mobile home

STAFF FINDINGS:

Code of Ordinances:

→ **Section 101-8. Definitions.**

- **Corner lot** means a lot abutting upon two or more streets at their intersection. All boundaries abutting streets shall be considered front yards, and all other boundaries shall be considered side yards.
 - *Morris Cannon Street and 25th Avenue boundaries are front yards, 15ft. front yard setback.*

→ **Section 111-270. R-3 Mobile Home Residential.**

- **Development standards:**
 - **Minimum lot size:**
 - Single-family & home occupations: 6,000 SF (60' x 100').
 - **Minimum building size:**
 - Single-family: 800 SF.

- **Minimum building setbacks:**
 - Front: 15 ft.
 - Side (corner lot): 15 ft.
 - *Interior side yard setback (abutting parcel 01-09S-08W-8330-0214-0240 to the south) is not met: 12' instead of 15'.*
 - 5 ft. (accessory structure).
- **Maximum building restrictions:**
 - Lot coverage:
 - Single-family: 40%.
 - *Principal: 1,200 SF*
 - *Accessory: 288 SF*
 - *Total: 1,488 SF (~25%)*
 - Building height: 35 ft.
- **Applicable regulations:**
 - In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.

RECOMMENDATION: Approval, on the condition that the proposed mobile home be placed ~3' closer to Morris Cannon Street to meet the minimum setback requirements.



Certificate of Appropriateness & Fence
128 7th Street

Owners, Builders, Developers

PLEASE NOTE:

1. If the proposed development is located within the City's Historic District; a Certificate of Appropriateness from the City's Planning & Zoning Board and Architectural Review Committee is necessary before any permitting can take place.
2. Required site plan elements and the Development Order/Certificate of Appropriateness applications are due 10 BUSINESS DAYS prior to the scheduled monthly meeting (second Monday of each month) of the Planning & Zoning Board.
3. Residential site plan approvals are valid for one year after issuance. If a building permit is not obtained within a year after receiving P&Z approval, the applicant must re-apply and receive P&Z approval again. (Commercial site plan approvals are valid for two years.)
4. After you have received your Planning & Zoning Approval and/or Certificate of Appropriateness, whichever applies, take all development documents to the Building Department at 192 Coach Wagoner Blvd, Apalachicola to apply for your building permit. A P&Z Development Order Application is not a building permit application – there will be building permit forms to fill out. Building permit issuance and all inspections will be coordinated with the Building Department Clerk. Please be advised that additional documentation may be required by the Building Clerk or Building Official. Please email buildingdept@cityofapalachicola.com or call City Hall at (850)653-7592 with any permitting questions.
5. Land Development regulations can be found on the City of Apalachicola website @ www.cityofapalachicola.com.
6. Please note that if any shrubs are planted or any materials (concrete, gravel, etc.) are placed in the City Right of Way that there is a possibility of removal at no expense to the City.

It is our intent to save you time any money in your plan preparation! The City of Apalachicola Planning & Zoning Board is a seven-member citizen board that also sits as the City's Architectural Review Board. Our responsibilities include protecting the historical character of the City. By working with the Planning & Zoning Board to obtain a Certificate of Appropriateness, your development will not only proceed more smoothly, but will also enhance the City's architectural integrity and historical character of Apalachicola.

Bree Robinson
City Planner
(850)323-0985
brobinson@cityofapalachicola.com

Thank you,
PLANNING & ZONING BOARD
CITY OF APALACHICOLA


Applicant Initial



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner Rebecca Hollensbe
Address 128 DR. FREDERICK HAMPHRIES ST
City APALACHICOLA State FL Zip 32320
Phone 217-621-6104

CONTRACTOR INFORMATION

Contractor Name David's Custom Fencing
State License # 88-1368141 City License # _____
Email davwills352@gmail.com
Phone 352-441-6649

PROJECT TYPE

☐ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☒ Fence

☐ Repair

☐ Certificate of Appropriateness

☐ Other _____

PROPERTY INFORMATION

Street Address (911 Address): 128 DR. FREDERICK S. HAMPHRIES ST
City & State: APALACHICOLA FL Zip: 32320
Parcel ID #: 01-095-08W-8330-0065-0010 Block: 65 Lot: 1 & 2
Zoning District: R1 [☒] Historic District [☐] Non-Historic District
FEMA Flood Zone: X

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N
Setback Requirements of Property:
Front: 15' Rear: 25' P/R Side: 7.5 to 15' < 5'
Corner Lot? Y / N Street Sides: 2
Lot Coverage: SF 6000 SF - 2F 9000 SF - 5P EXC
STAFF NOTES/RECOMMENDATIONS: 12,000 SF

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____

Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

Applicant Initial _____

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Install a 4' aluminum fence for a dog.
 Installed between existing structures, please see site plan.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing	Barrett Outdoor Living	4' 3 rail black aluminum picket with spear tops	N/A
Driveways/Sidewalks			
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. There will be no charge for revisions. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

10/3/25

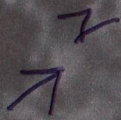
DATE



SIGNATURE OF APPLICANT



Dr. Fredrick Humphries Street



Alley

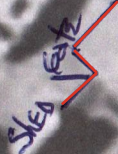
Garage

House

Porch

Gate

3500
+ 500
Fence



Proposed 4' fence
(red line added for emphasis)

50 ft

POWERED BY
esri

A1813084.45, 264501.57

Ave G

FENCE ESTIMATOR

WHERE TO BUY

FIND AN INSTALLER



PRODUCTS

FENCE GUIDE

RESOURCES

SUPPORT

FOR PROS

WHY CATALYST



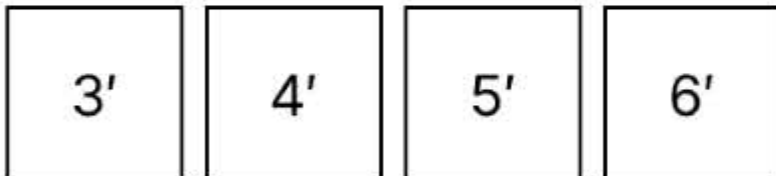
DISCOVER YOUR OPTIONS

SELECT A COLOR: Black

Colors



AVAILABLE HEIGHTS



AVAILABLE WIDTHS



AVAILABLE GRADES



Premium



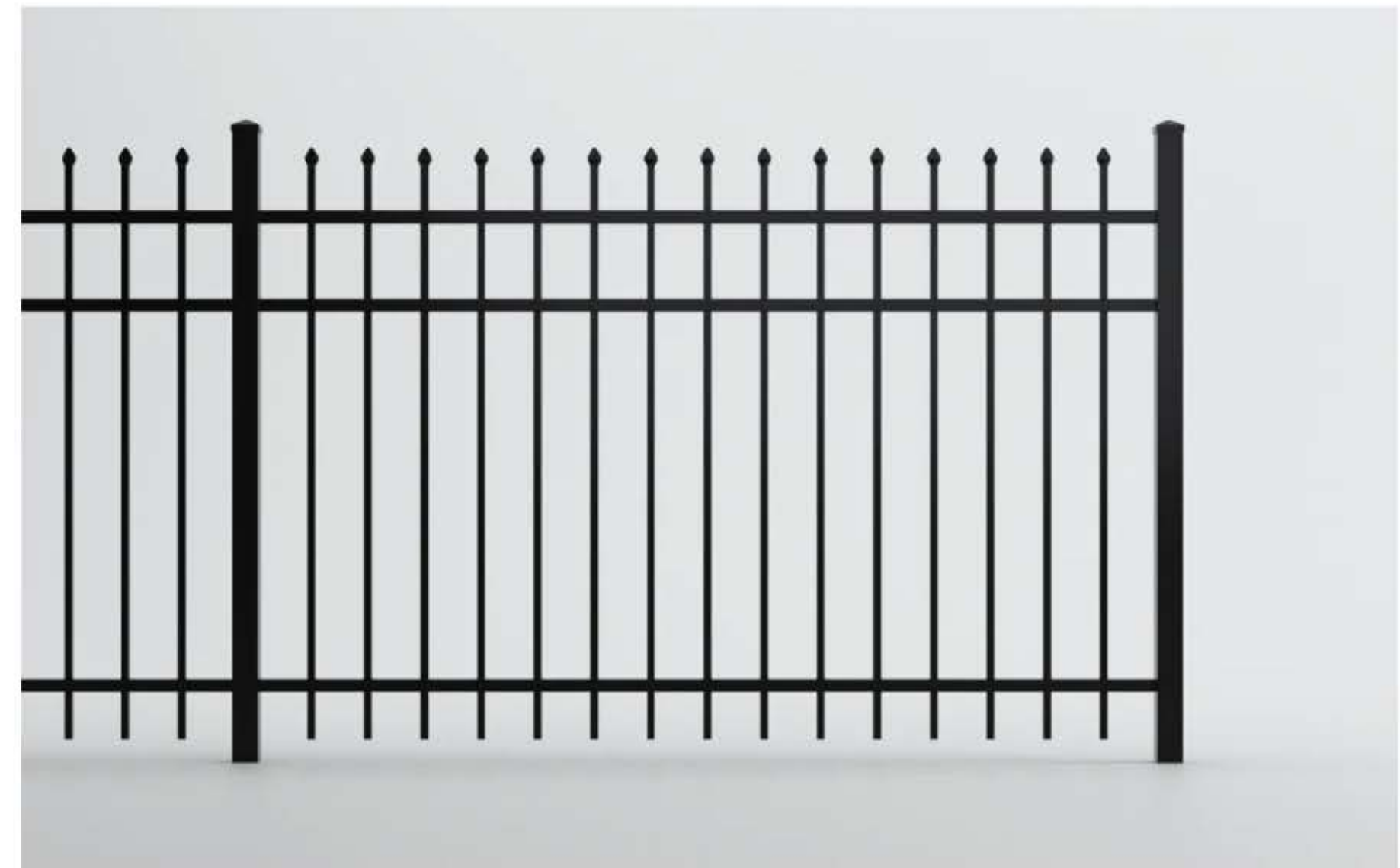
Rail: 1-3/16" x

Select

Rail: 1" x 1"

Standard

Rail: 1" x 1"



ESTIMATE THIS FENCE

FIND A PRO NEAR YOU



STAFF FINDINGS REPORT

PROPERTY OWNER: Rebecca Hollensbe

AGENT (if applicable): N/A

CONTRACTOR: David's Custom Fencing

PROPERTY ADDRESS (if available): 128 7th Street

→ Block 65 Lots 1-2

PARCEL ID: 01-09S-08W-8330-0065-0010

HISTORIC DISTRICT: Yes

CORNER LOT: Yes

ACREAGE: -- (~12,000 SF)

FUTURE LAND USE: R-1 Single-Family Residential

WETLANDS: No

FLOODPLAIN: Mixed "X" and "AE"

CERTIFICATE OF APPROPRIATENESS:

DESCRIPTION OF PROJECT:

→ Installation of a 4' aluminum fence between existing structures on property to create space for a dog.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 101-8. Definitions.**

- **Front yard** means a yard extending across the front of a lot between the side lot lines and being the minimum horizontal distance between the street line and the principal building or any projections thereof, other than the projections of uncovered steps, uncovered balconies or uncovered porches.

→ **Section 111-288(e).**

- Requirements apply to **all zoning districts** and the **historic district**.
 - a.** Application for approval of any new fence or material alteration of an existing fence must be made in the same manner as for

authorization of a building permit with a full description of materials to be used, dimensions and placement clearly stated on the plans. It is not necessary for a landscape architect or engineer to draw or sign and seal the plans.

b. Fences shall be erected on the lot of the applicant and shall not extend into a public right-of-way. Fences may be erected within the required setback area (i.e., area between the front, side, and rear property lines and the front, side, and rear setback lines).

c. A fence may abut but shall not be located on any property line.

○ **All residential districts.**

- No fence or wall in excess of four feet (48 inches) in height shall be allowed in the front yard (for corner lots, the two sides of the lot paralleling the two streets).

- The fence will be placed within the interior of the lot and does not abut either front yard line.

- As required in section 111-288(b) above, front-yard fences on corner lots may not exceed two and one-half feet (30 inches) in height within 50 feet of the point of intersection of two streets.

- The fence will be placed within the interior of the lot. It does not abut the property lines, and there is no conflict with this requirement:

- Between the *corner* of the subject parcel and the edge of the road, the right-of-way measures approximately 38 feet.
 - Between the *corner* of the subject parcel and the approximate intersection of 7th Street and Avenue G, the distance is approximately 60 ft.

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances.



New Residential Construction
141 Bay Colony Way



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner Corie Cates

Address P.O. Box 126

City Apalachicola State FL Zip 32320

Phone 850-212-2304

CONTRACTOR INFORMATION

Contractor Name Owner/Builder

State License # N/A City License # N/A

Email corie.cateselectric@gmail.com

Phone 850-212-2304

PROJECT TYPE

☒ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☐ Accessory Structure

☐ Certificate of Appropriateness

☐ Other _____

PROPERTY INFORMATION

Street Address (911 Address): 141 Bay Colony Way

City & State: Apalachicola, FL Zip: 32320

Parcel ID #: 12-09S-08W-1000-0000-0180 Block: _____ Lot: 18

Zoning District: _____ [] Historic District [X] Non-Historic District

FEMA Flood Zone: AE

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: _____ Rear: _____ Side: _____

Corner Lot? Y / N Street Sides: _____

Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff

Date Approved

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

CXC

Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

New construction single-family home, 2-story, ~1,800 sqft H&C

House shall be built using wood, with a concrete slab foundation and metal roof.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	Hardie Lap	N/A	N/A
Doors	Fiberglass Architectual Doors	N/A	N/A
Windows	Impact FBC Windows	N/A	33810.1
Roofing	Concealed Fasteners (Standing Seam)	Metal System 24 Ga.	42491.1
Trim	Hardie	N/A	N/A
Foundation	CMU Slab	Concrete Slab	N/A
Shutters	N/A	N/A	N/A
Porch/Deck	CMU Slab	Concrete Slab	N/A
Fencing	N/A	N/A	N/A
Driveways/Sidewalks	N/A	Road Base & Gravel	N/A
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

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3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
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9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

10/16/25

DATE



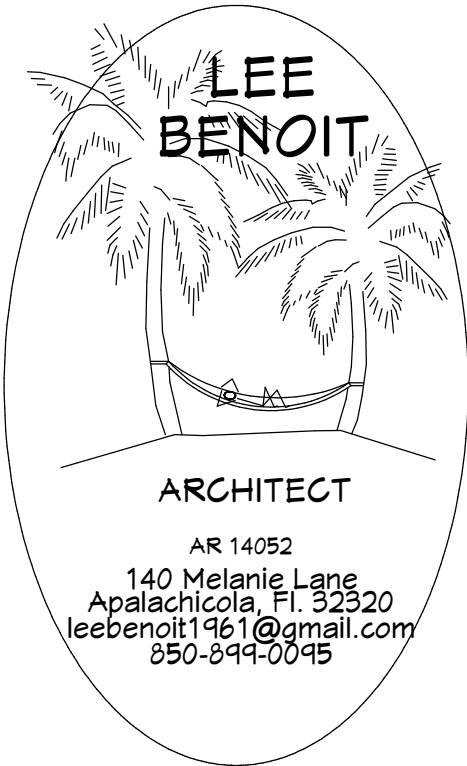
SIGNATURE OF APPLICANT

CATES RESIDENCE

141 BAY COLONY WAY, APALACHICOLA, FL 32320

DRAWING INDEX:

- S-1 SURVEY (BY OTHERS)
- A-1 SITE PLAN
- A-2 FLOOR PLAN
- A-3 ELEVATIONS
- A-4 FOUNDATION
- A-5 2ND FLOOR FRAMING & ROOF PLAN
- A-6 ELECTRICAL
- A-7 STRUCTURAL SECTION



PLANS CONFORM TO THE 2020 F.B.C.

INFORMATION ON DRAWINGS AS PER 1606.1.7 FLORIDA BUILDING CODE

- 1 BASIC WIND SPEED: 140 MPH
- 2 WIND IMPORTANCE FACTOR: 1.0 / BUILDING CATEGORY: LOW RISE, HURRICANE PROTECTED
- 3 WIND EXPOSURE: C
- 4 APPLICABLE INTERNAL PRESSURE COEFFICIENT: +/- .55
- 5 COMPONENTS AND CLADDING DESIGN PRESSURE: 45 PSF

date	8/1/25
rev	5
drawn	ZACH WARD

plans/2stry/cates

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
CORIE CATES,
MANAUSA, SHAW & MINACCI,
INVESTORS TITLE INSURANCE COMPANY

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: ALL BEARINGS depicted hereon were established using Florida Grid North datum.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.
8. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

LEGAL DESCRIPTION:
Lot 18 of BAY COLONY, a subdivision as per map or plat thereof recorded in Plat Book 8, Page 5 of the Public Records of Franklin County, Florida

CURVE TABLE					
CURVE	LENGTH	RADIUS	DIRECTION	CHORD	DELTA
C1	13.90(M)	116.50	N73°35'47"W	13.89	6°50'10"
	13.82(RP)	116.50	N74°44'15"W	13.81	6°47'51"
C2	36.22(M)	427.00	N79°36'18"W	36.21	4°51'38"
	36.33(RP)	427.00	N79°53'31"W	36.32	4°52'31"

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

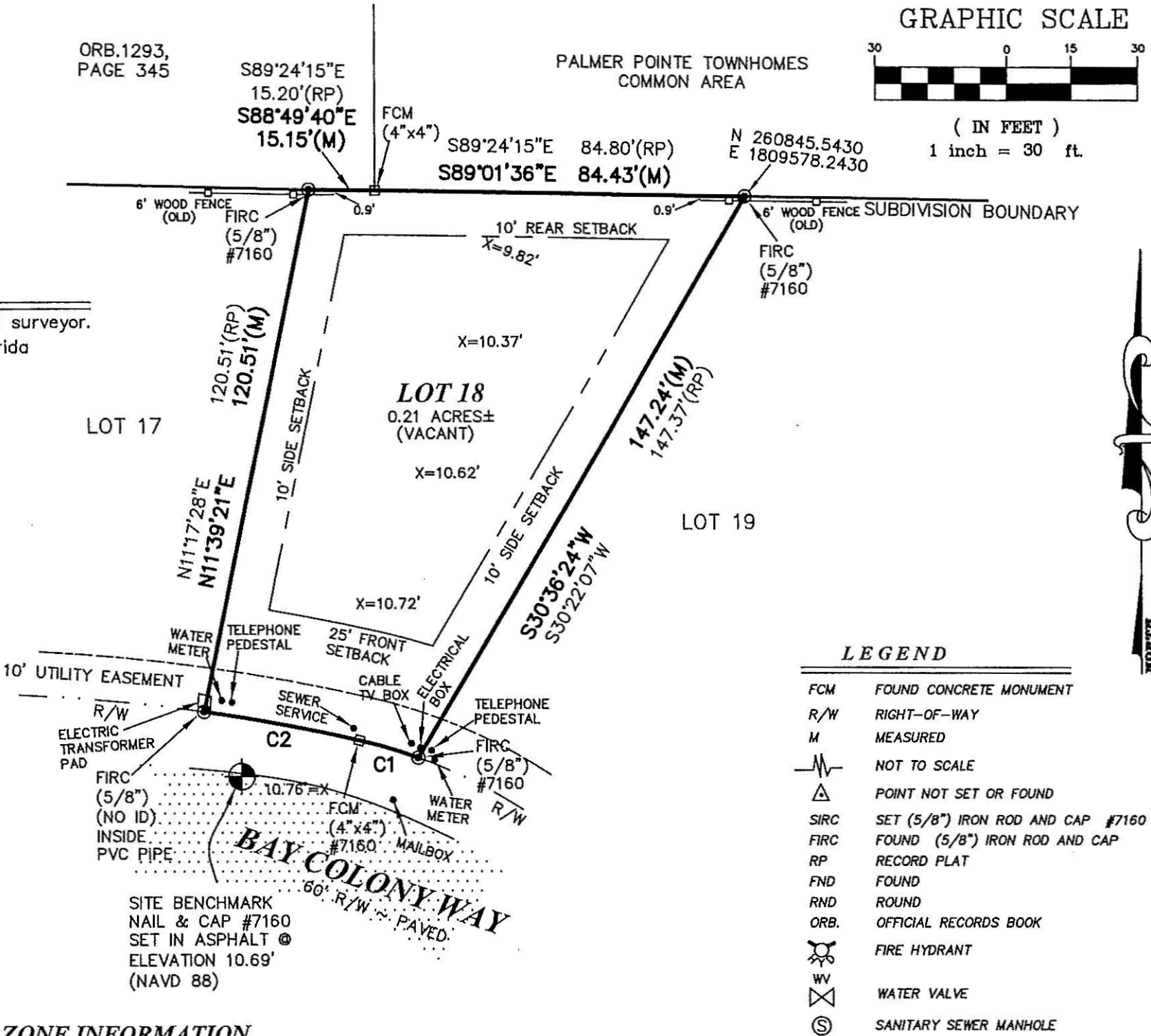
JAMES T. RODDENBERRY, JR.
Surveyor and Mapper
Florida Certificate No: 4261

PRELIMINARY FLOOD ZONE INFORMATION

Subject property is located in Zone "AE" (EL 11) as per Flood Insurance Rate Map Community Panel No: 120090 0509G, index date: June 13, 2019, Franklin County, Florida.

EFFECTIVE FLOOD ZONE INFORMATION

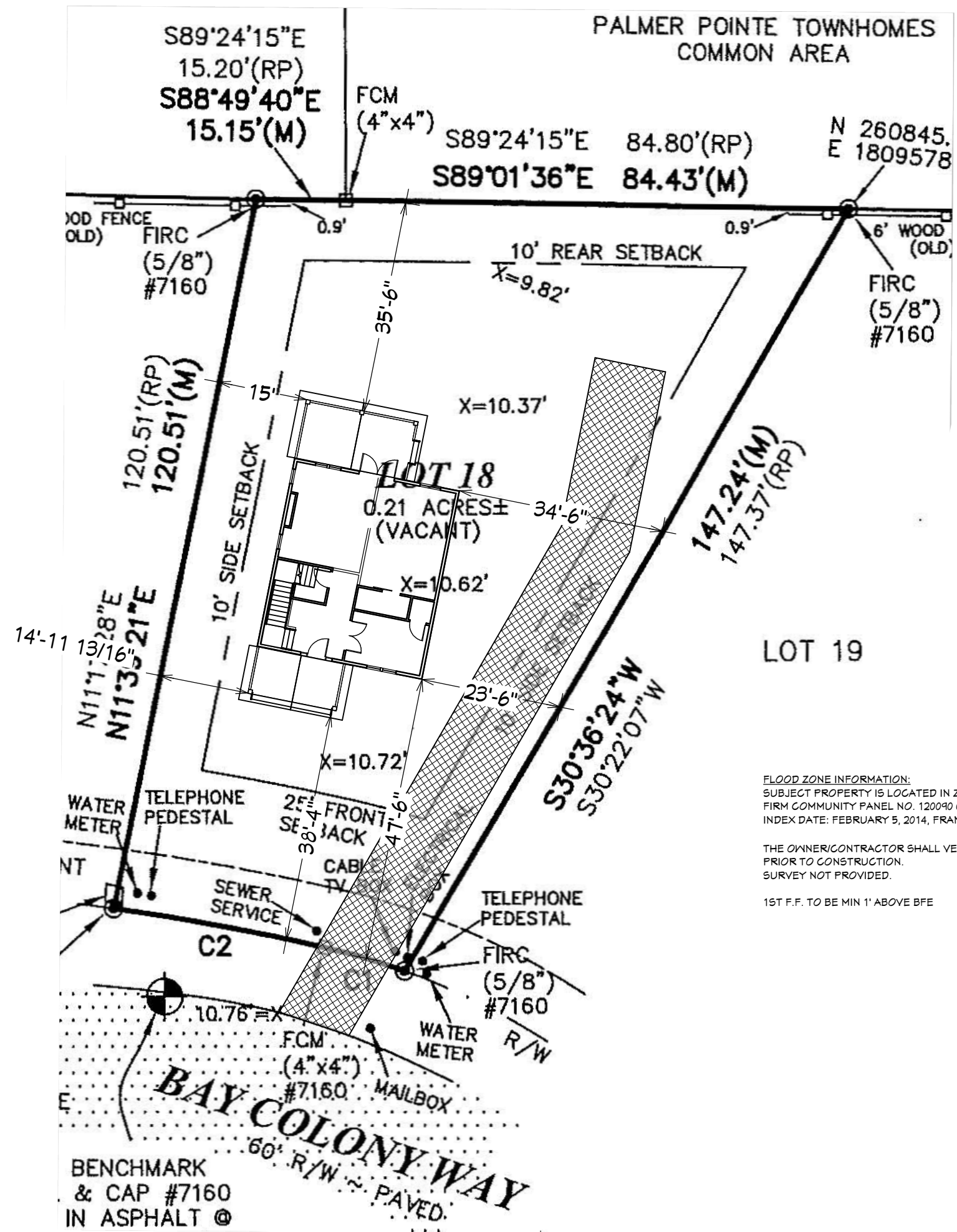
Subject property is located in Zone "AE" (EL 11) as per Flood Insurance Rate Map Community Panel No: 120090 0509F, index date: February 5, 2014, Franklin County, Florida.



TR & A

Thurman Roddenberry & Associates, Inc.
PROFESSIONAL SURVEYORS AND MAPPERS
P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358
PHONE NUMBER: 850-962-2538 FAX NUMBER: 850-962-1103
L.B. # 7160

DATE: 10/11/24	DRAWN BY: BB	N.B. PER PLAT	COUNTY: Franklin
FILE: 02487L18.DWG	DATE OF LAST FIELD WORK: 10/10/24	CHECKED BY: AW	JOB NUMBER: 02-487



FLOOD ZONE INFORMATION:
SUBJECT PROPERTY IS LOCATED IN ZONE "AE" (ELEV 11') AS PER
FIRM COMMUNITY PANEL NO. 120090 0509G
INDEX DATE: FEBRUARY 5, 2014, FRANKLIN COUNTY, FL

THE OWNER/CONTRACTOR SHALL VERIFY THE HOUSE LOCATION
PRIOR TO CONSTRUCTION.
SURVEY NOT PROVIDED.

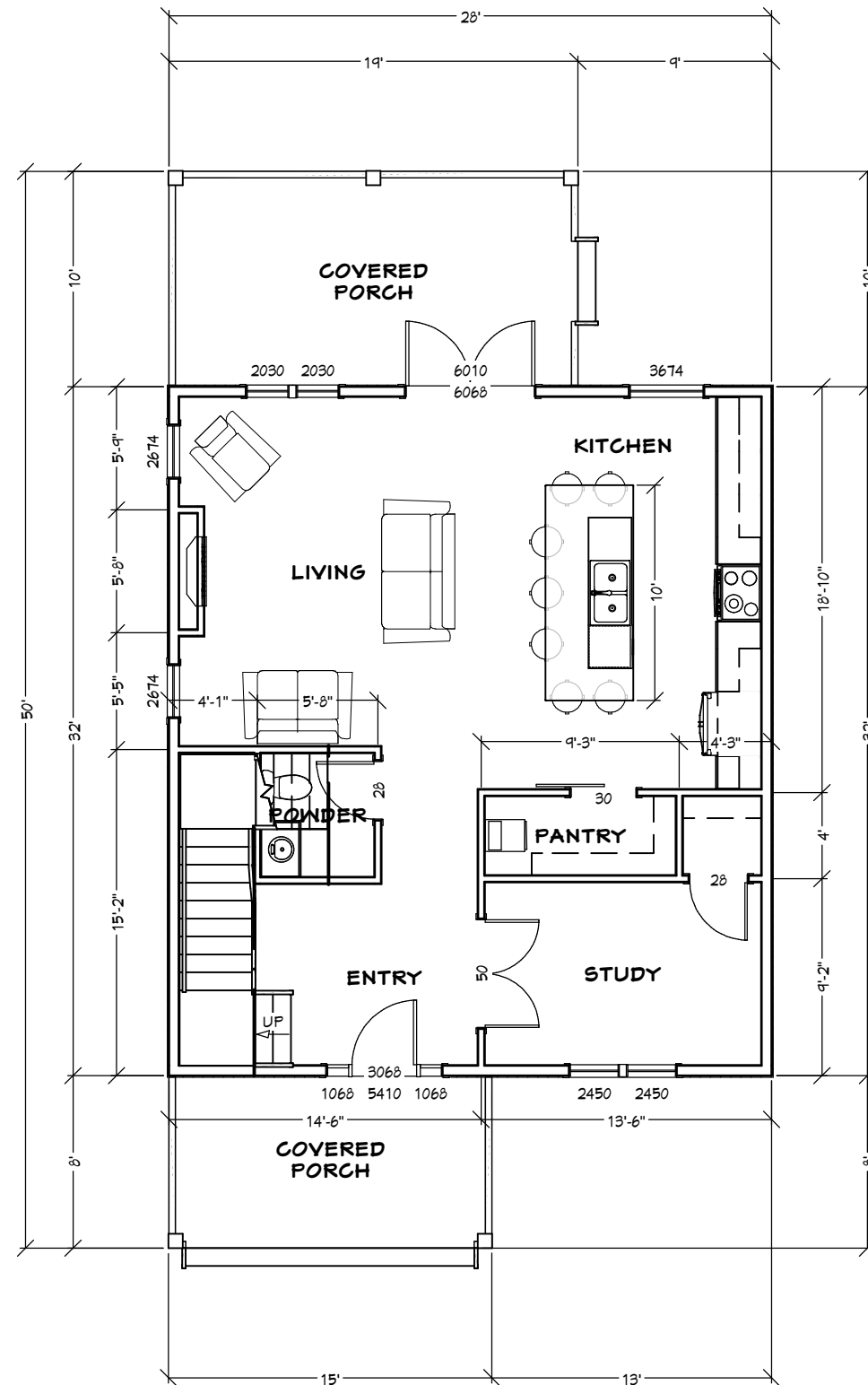
1ST F.F. TO BE MIN 1' ABOVE BFE



SITE PLAN

1" = 20' (11"x17" @ 100%)

1" = 10' (24"x36" @ 200%)

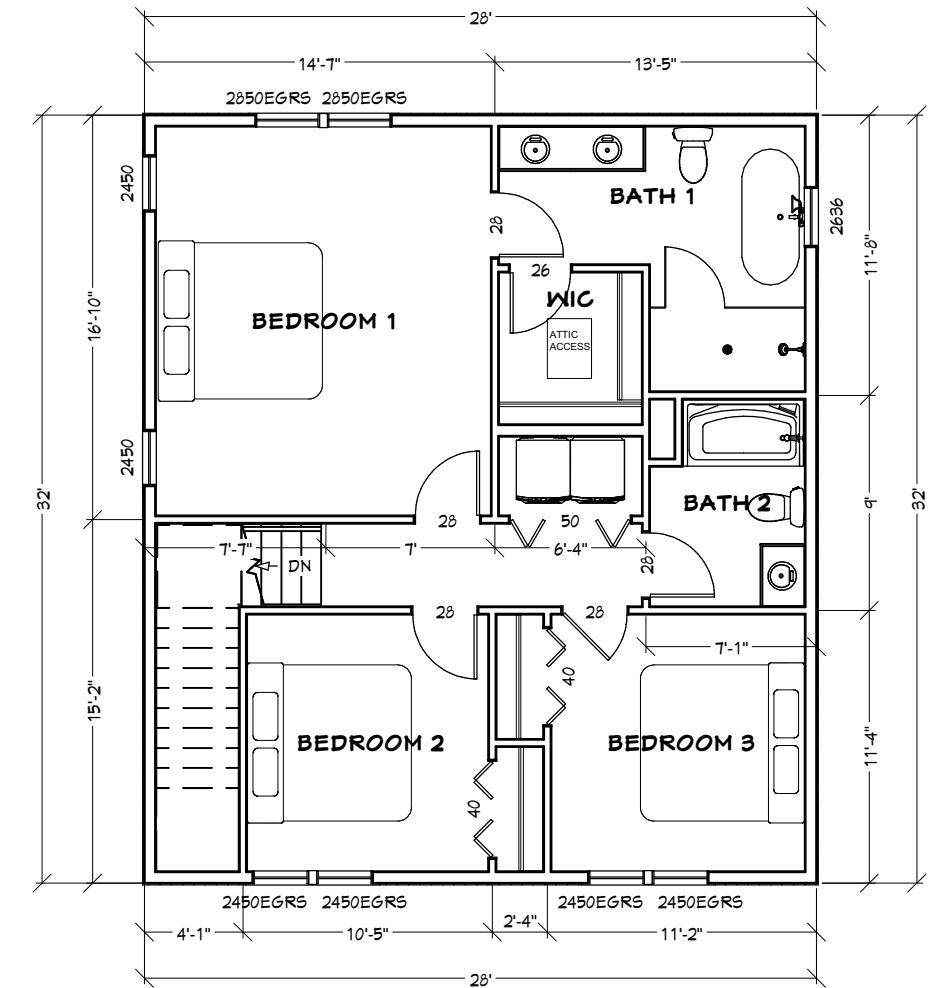


1ST FLOOR PLAN

1/8" = 1' (11"x17" @ 100%)

1/4" = 1' (24"x36" @ 200%)

896 sq ft H&C

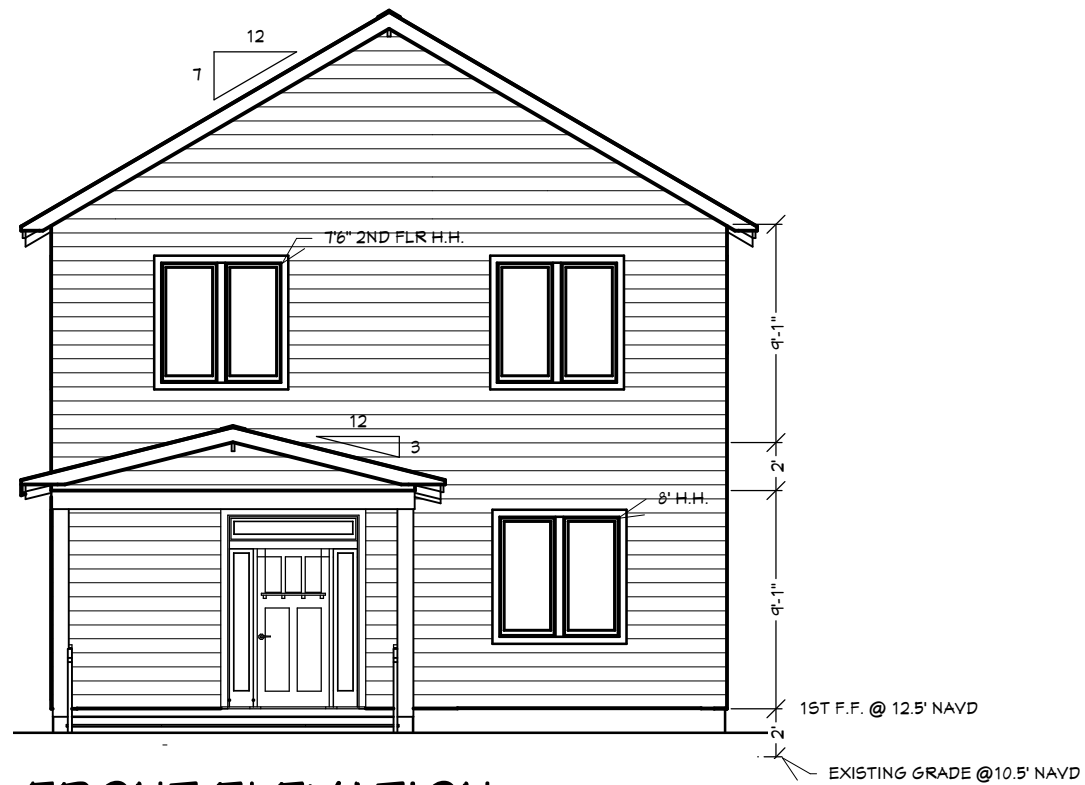


2ND FLOOR PLAN

1/8" = 1' (11"x17" @ 100%)

1/4" = 1' (24"x36" @ 200%)

896 sq ft H&C



FRONT ELEVATION

1/8" = 1' (11"x17" @ 100%)

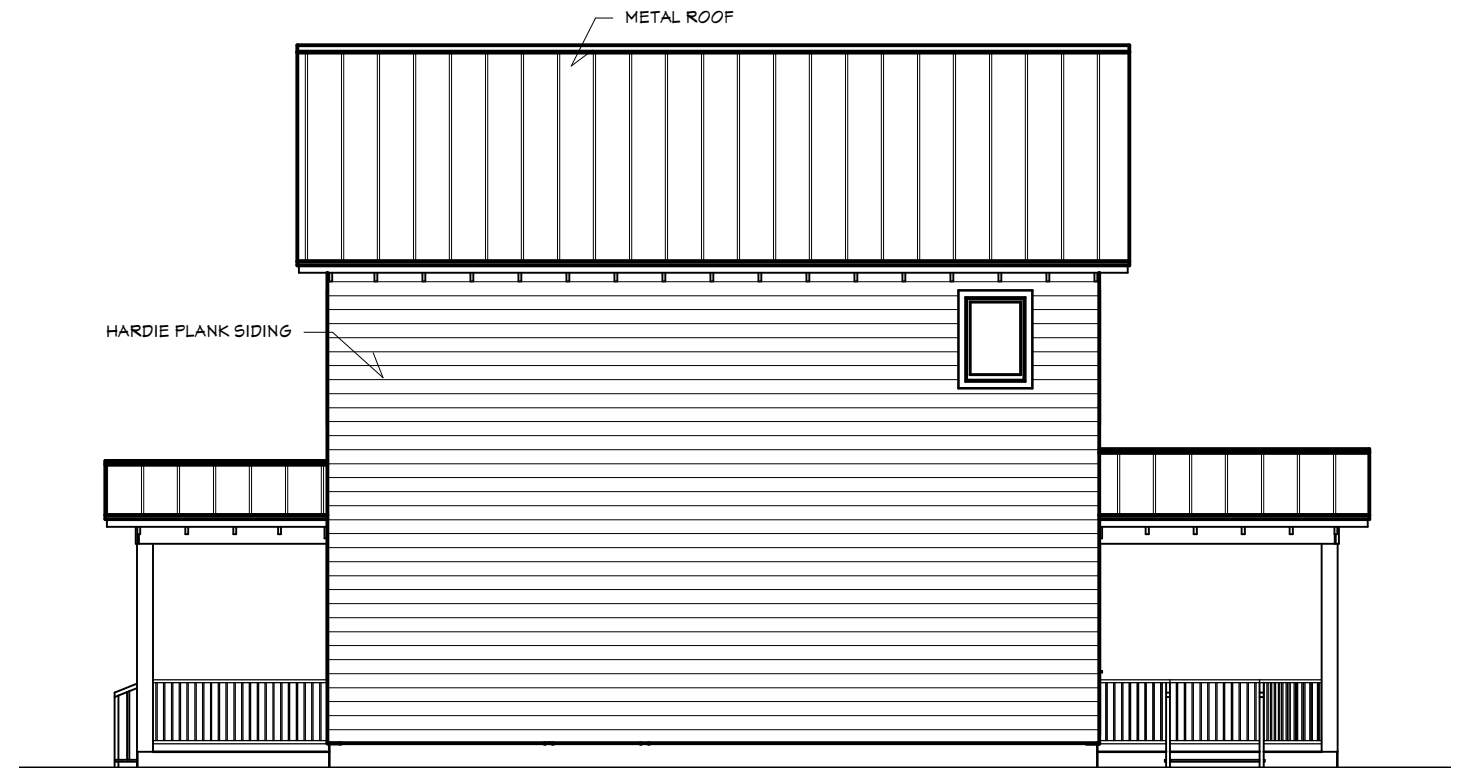
1/4" = 1' (24"x36" @ 200%)



REAR ELEVATION

1/8" = 1' (11"x17" @ 100%)

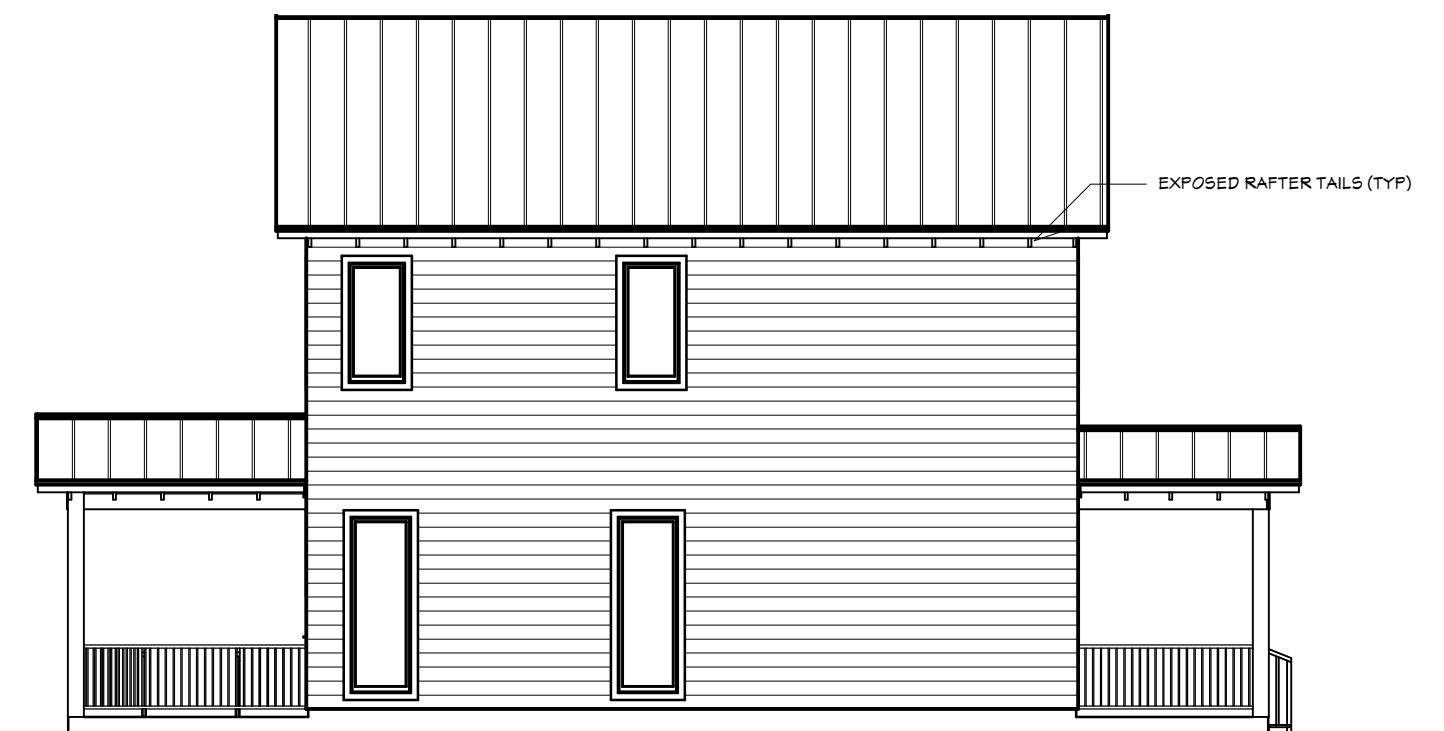
1/4" = 1' (24"x36" @ 200%)



RIGHT ELEVATION

1/8" = 1' (11"x17" @ 100%)

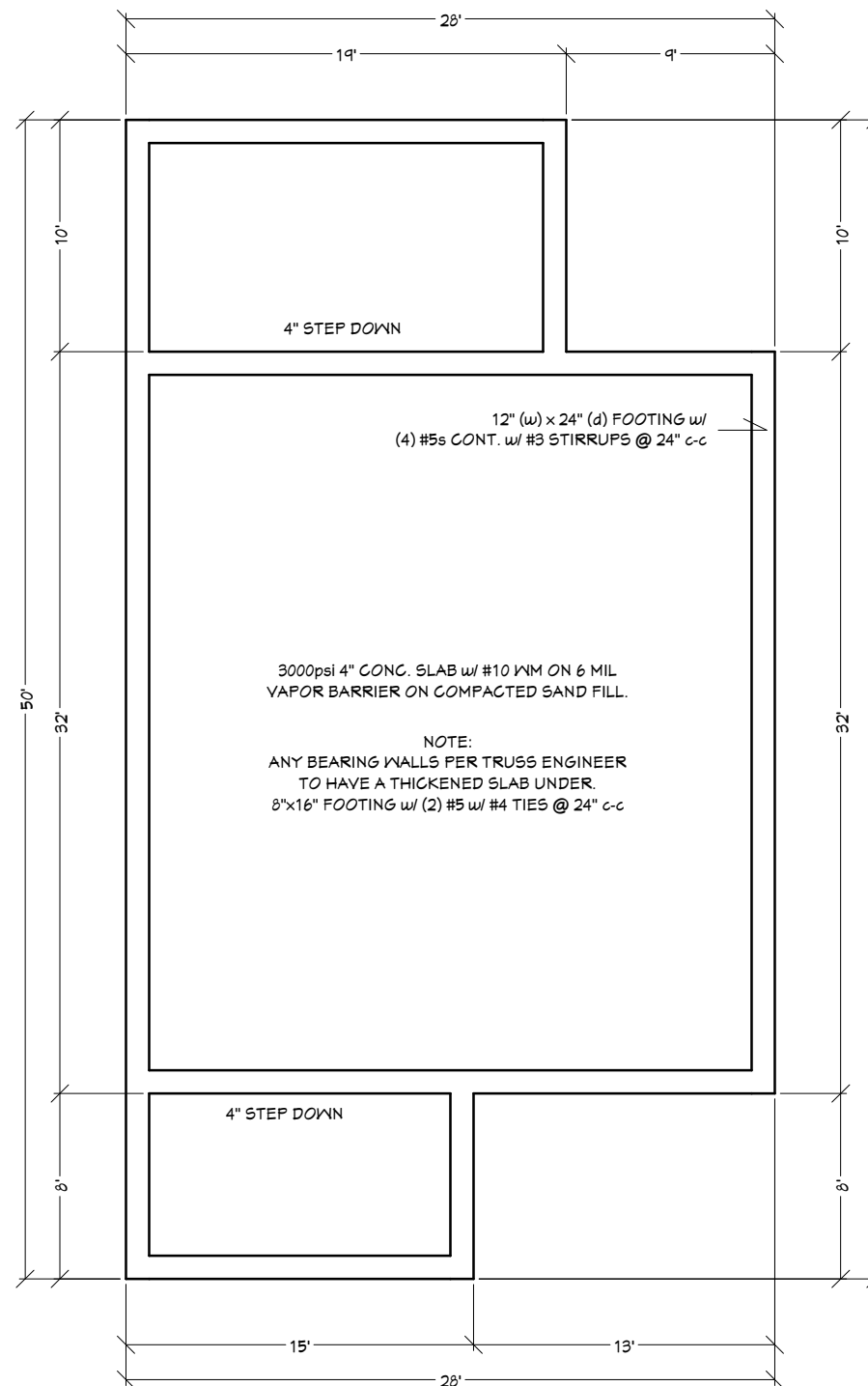
1/4" = 1' (24"x36" @ 200%)



LEFT ELEVATION

1/8" = 1' (11"x17" @ 100%)

1/4" = 1' (24"x36" @ 200%)



FOUNDATION

1/8" = 1' (11"x17" @ 100%)

1/4" = 1' (24"x36" @ 200%)

STAFF FINDINGS REPORT

PROPERTY OWNER: Corie Cates

AGENT (if applicable): N/A

CONTRACTOR: Self

PROPERTY ADDRESS (if available): 141 Bay Colony Way

→ Lot 18 Bay Colony Way Subdivision

PARCEL ID: 12-09S-08W-1000-0000-0180

HISTORIC DISTRICT: No

CORNER LOT: No

ACREAGE: 0.21 (~9,148 SF)

FUTURE LAND USE: R-2 Multifamily Residential

WETLANDS: No

FLOODPLAIN: "AE"

DESCRIPTION OF PROJECT:

→ Construction of a two-story single-family residential home.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 111-269. R-2 Multifamily Residential.**

- **Development standards:**

- **Minimum lot size:**

- Single-family & home occupations: 6,000 SF (60' x 100').

- **Minimum building size:**

- Single-family: 800 SF.

- **Minimum building setbacks:**

- Front: 15 ft.

- Side (interior lot):

- Single-family: 7½ ft. each side, or any combination on each side that equals at least 15 ft. No such setback shall be less than 5 ft.

- Rear: 25 ft.
 - Rear setback on survey incorrectly given as 10', however measurement between rear porch and rear property line confirms rear setback will be greater than 25'.
- **Maximum building restrictions:**
 - Lot coverage:
 - Single-family: 40% (~3,658 SF on this lot).
 - Principal structure: 896 SF
 - Front porch: 120 SF
 - Rear porch: 190 SF
 - Driveway: 700 SF (gravel)
 - Total: 1,206 SF (~13%), with driveway 1,906 SF (~21%)
 - Building height: 35 ft.

→ **Section 111-288. Supplementary Regulations, in general.**

- (k) All development shall be required to connect to the city water and sewer system where and when it is available.

→ **Section 111-288(i). Parking Requirements.**

- There shall be provided at the time of the erection of any principal building or structure parking space with adequate provisions for ingress and egress no less than the following space requirements.
 - **Dwelling.** One parking space for each dwelling unit or room for rent.
- Required off-street parking will be provided either on the same parcel of land as the principal building or structure or on a separate parcel located within 500 feet of the principal building or structure.

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances.



**Commercial Signs &
Mural**

238 U.S. Highway 98



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner Keri Elliott
Address 274 Ellis Van Vleet St
City Apalachicola State FL Zip 32320
Phone 850-370-0871

CONTRACTOR INFORMATION

Contractor Name Dan Anderson / must see media
State License # _____ City License # _____
Email dan@mustseemagazine.com
Phone 850-221-6986

PROJECT TYPE

☐ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☐ Accessory Structure

☐ Certificate of Appropriateness

☒ Other sign replacement/update

PROPERTY INFORMATION

Street Address (911 Address): 238 US Hwy 98
City & State: Apalachicola FL Zip: 32320
Parcel ID #: 01-095-086-8360-0004-011 Block: 4 Lot: 3
Zoning District: C-3 [] Historic District [X] Non-Historic District
FEMA Flood Zone: _____

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: _____ Rear: _____ Side: _____

Corner Lot? Y / N Street Sides: _____

Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____

Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

Applicant Initial _____

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Refer to provided elevations for size/materials on roadside sign and gable sign. Roadside sign is free standing PT pilings with concrete anchors and stainless steel fasteners. Gable sign attaches directly to building with stainless steel fasteners. Exterior wall mural is painted directly on existing siding.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

10-17-25

DATE



SIGNATURE OF APPLICANT



Planning & Zoning Approval
must precede Sign Permit
Application.

P&Z Approval Date: _____

City of Apalachicola SIGN PERMIT APPLICATION

Business Owner's Name: Up the Stairs Apalachicola Inc d/b/a: Bottoms Up Booze Shop and Hong Kong BISTRO
Address of Sign Location: 238 US Hwy 98 Phone#: 850-653-1112
Business License Number: 2025-03 Zoning of Property: C-3
Building Owner's Name: Ken Elliott & Jerry Hall Ph# 850 370-0871 / 323-6360
Property/Parcel ID# 01-095-086-8800-0004-011 Block 4 Lot 3
Company installing sign: MUST SEE MEDIA Ph# 850-227-6986

Please include the following in your application:

1. A complete list describing each existing sign on the premises, including sign type, copy, sign area, location on premises and date to be installed.
2. Detailed drawing showing the location of the affected lot, buildings and signs showing both existing and proposed signs.
3. A scale drawing of each proposed sign or sign revision, including location, size, height, copy, structural and footing details, material, method of attachment, illumination, front and end views of canopies and any other information required to ensure compliance with appropriate laws.
4. Written consent of the owner of the building, structure, or property where the sign is to be erected.

Each applicant for a sign permit shall, upon request of the enforcement officer, submit any additional information deemed necessary.

After installation of sign, applicant must submit photographs of completed sign placement on premises within 30 days of issuance of permit.

Ken Elliott
Business Owner

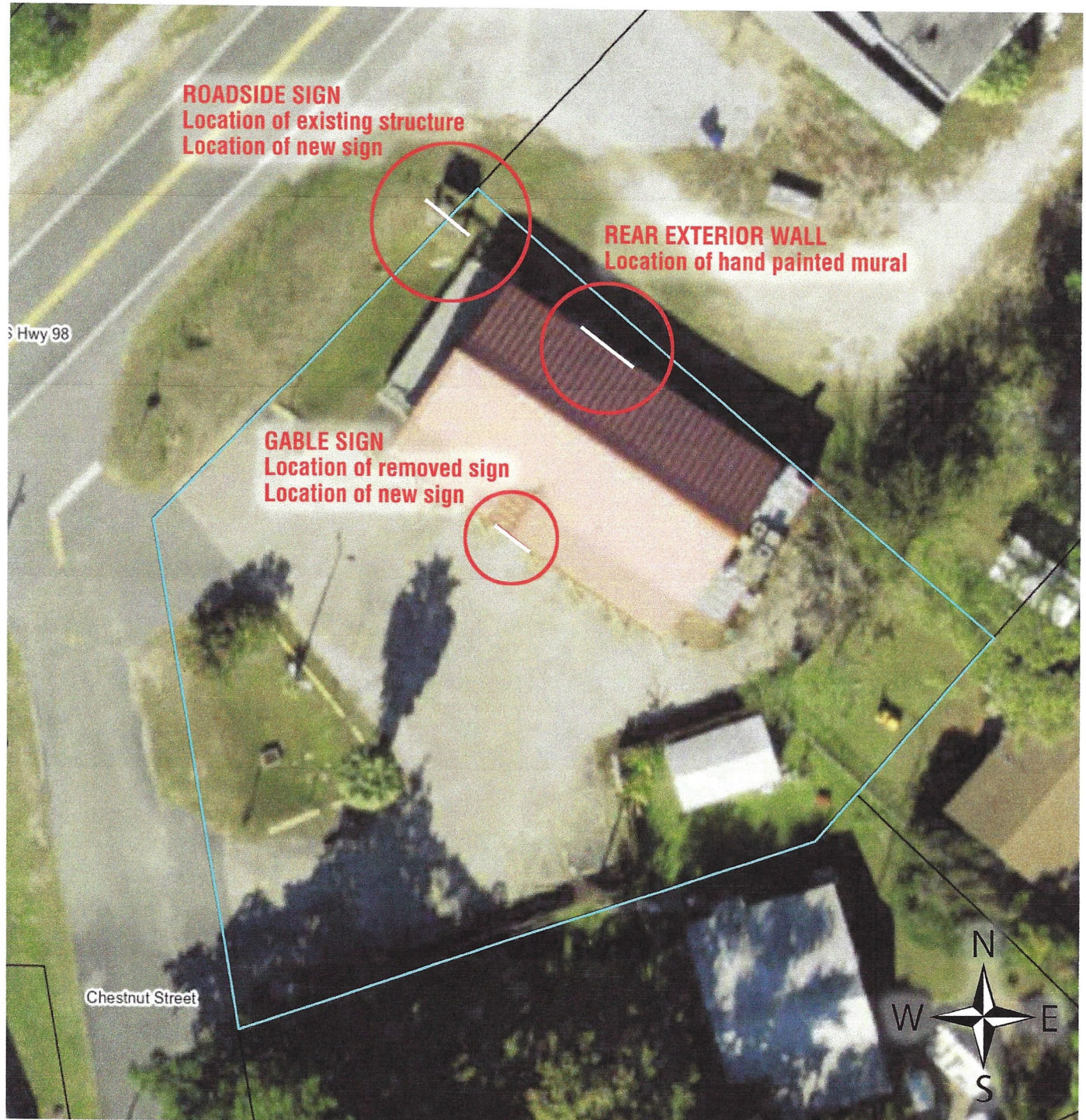
Date: 10/16/25

Code Enforcement Officer

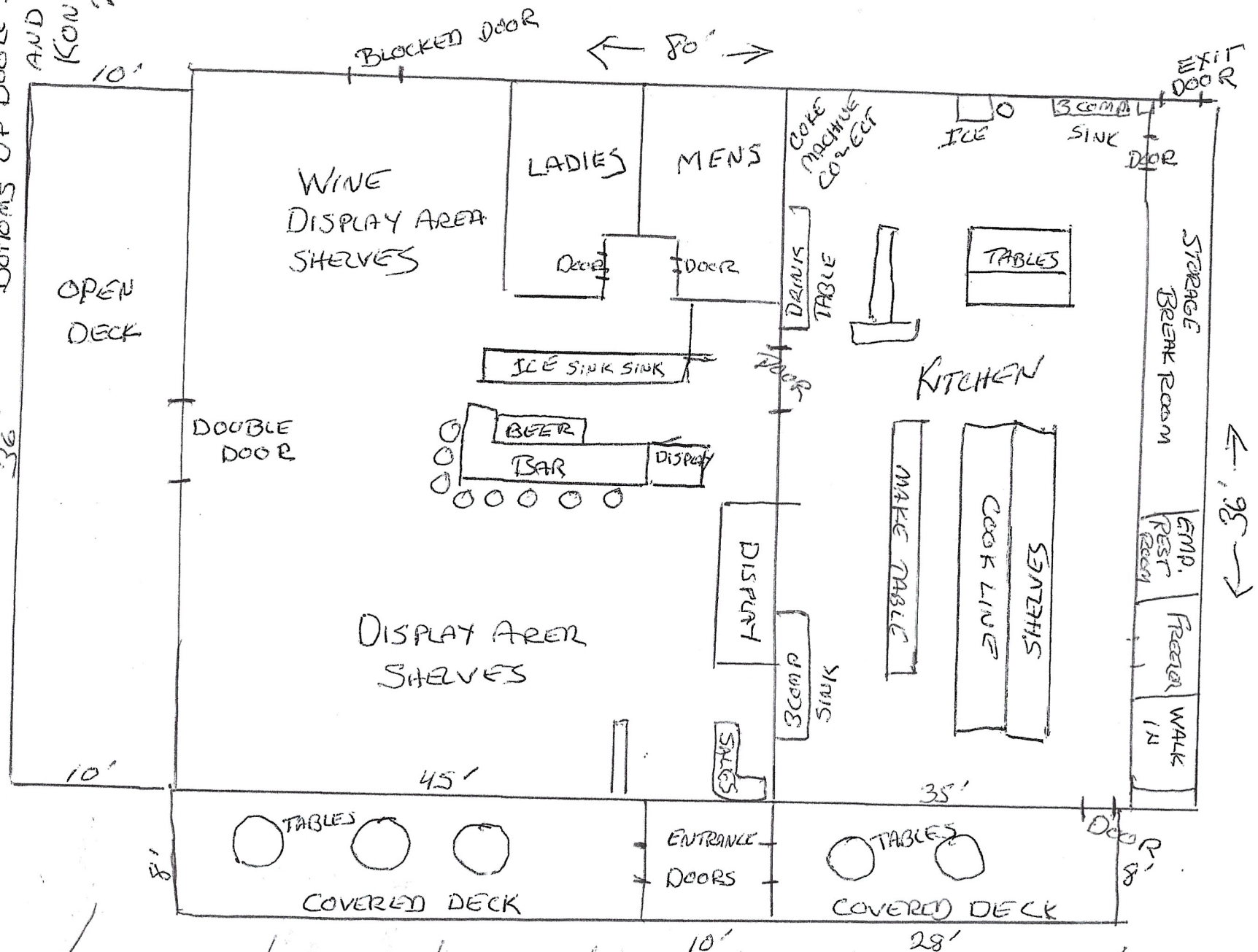
Building Official

OFC USE	FEES:
Application Fee:	\$50.00
Sign Fee*:	_____
Total:	_____
*\$2.00 per sf	
Paid:	_____

SITE PLAN - Signage
Bottoms Up & Hong Kong Bistro 2
238 Highway 98
Apalachicola, Florida 32320



238 U.S. HWY 48
BOTTOMS UP BOULE SMO
AND HAN
KONG DR
2



PREPARE
TABLE

DUMP
STER

PARKING LOT

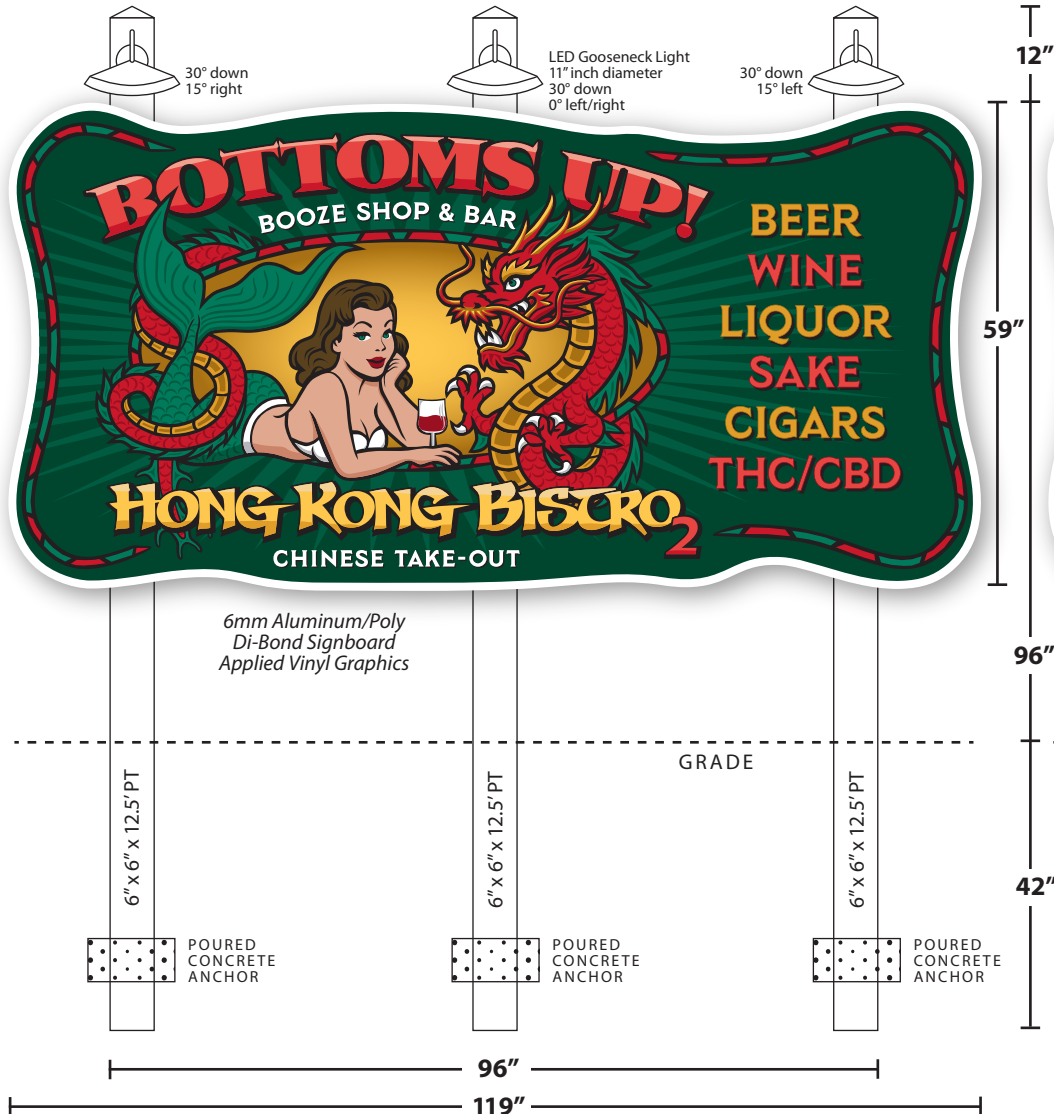
CHESTNUT ST

SIDE A

Sign Panel: 119 in wide x 59 in high (top at 96 in above grade)

Sign Structure: 96 in wide x 108 in high overall
(reset and reinforce in-place existing structure)

Lighting: No-Show LED Gooseneck Downlights (x3)

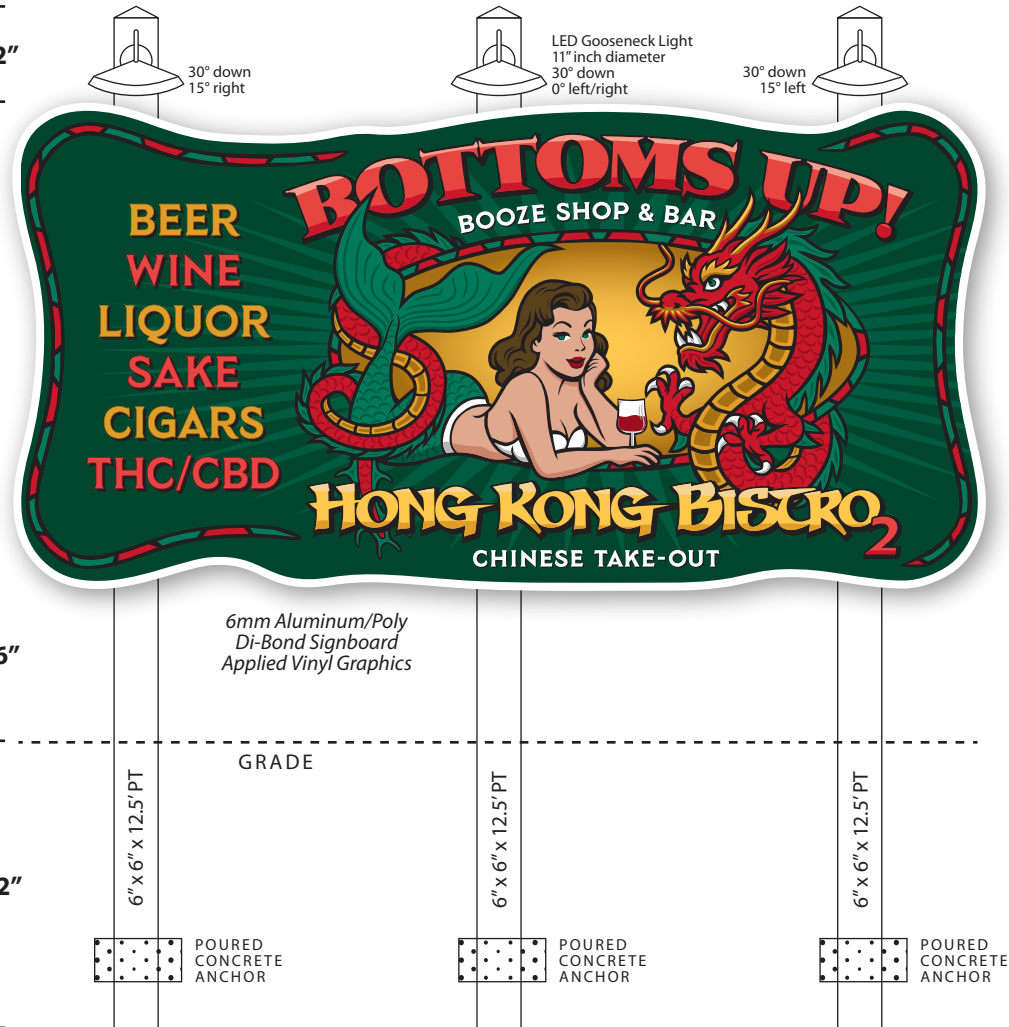


SIDE B (flip)

Sign Panel: 119 in wide x 59 in high (top at 96 in above grade)

Sign Structure: 96 in wide x 108 in high overall
(reset and reinforce in-place existing structure)

Lighting: No-Show LED Gooseneck Downlights (x3)



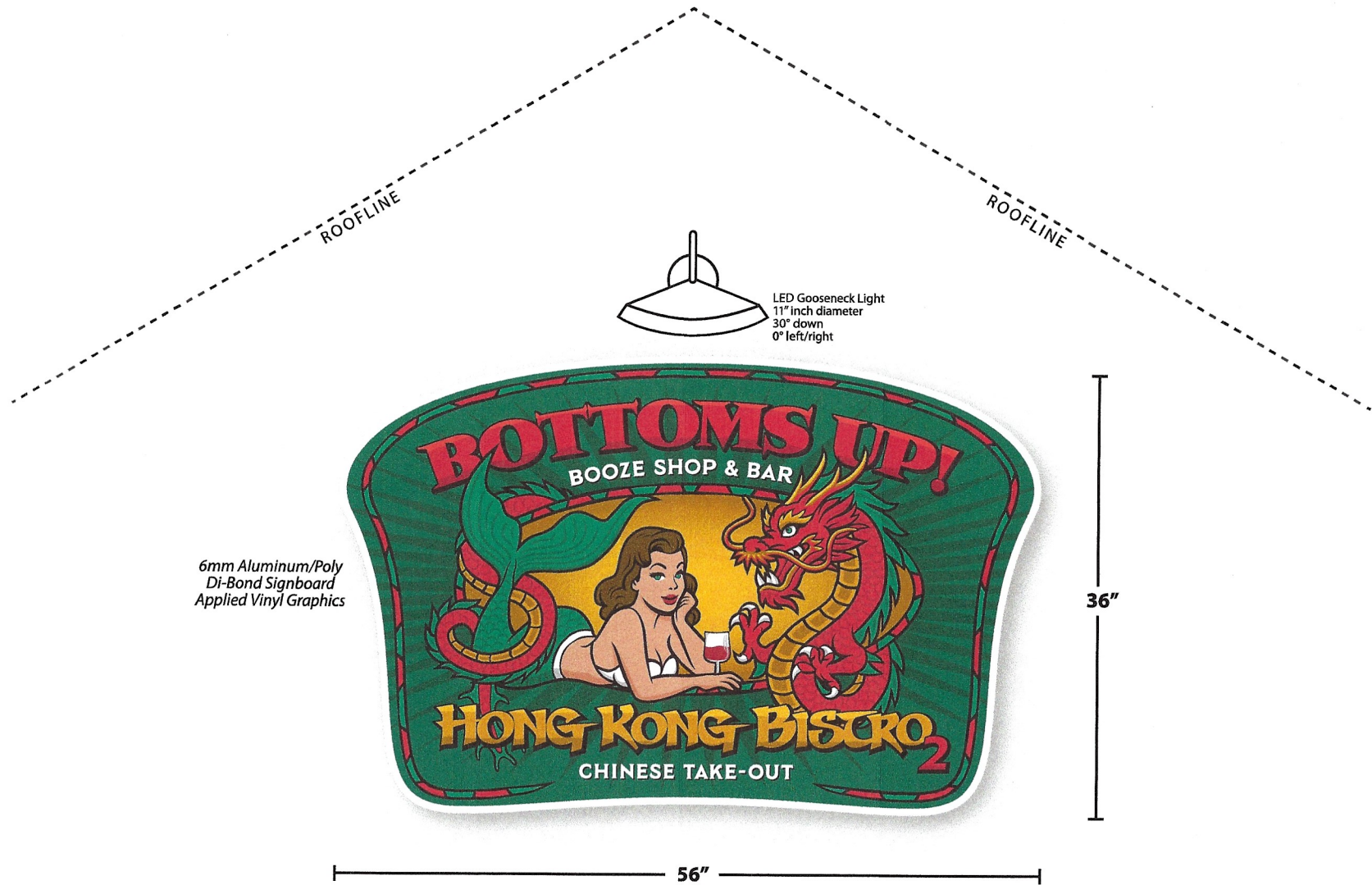
SCALE: 0.5 in = 1.0 ft

GABLE SIGN (single sided)

Sign Panel: 56 in wide x 36 in high overall

Sign Structure: Wall Mount

Lighting: No-Show LED Gooseneck Downlight (1)



SCALE: 1.0 in = 1.0 ft

BOTTOMS UP!



HONG KONG BISERO₂



Blood Red
(9RV-116)

+

0

-

Flamingo
(HRV-259)

+

0

-

Colorado Red
(HRV-33)

+

0

-

Madrid Red
(VRV-11)

+

0

-

Black (9RV-9011)

+

0

-

White (9RV-9010)

+

0

-

NEW
Apricot
(HRV-9)

+

0

-

Pumpkin
(HRV-208)

+

0

-

Teddy Brown
(VRV-42)

+

0

-

Mustard
(9RV-8023)

+

0

-

Surgical Green
(HRV-21)

+

0

-

Dark Green
(HRV-6016)

+

0

-

Party Yellow
(9RV-20)

+

0

-

Canarias Yellow
(9RV-109)

+

0

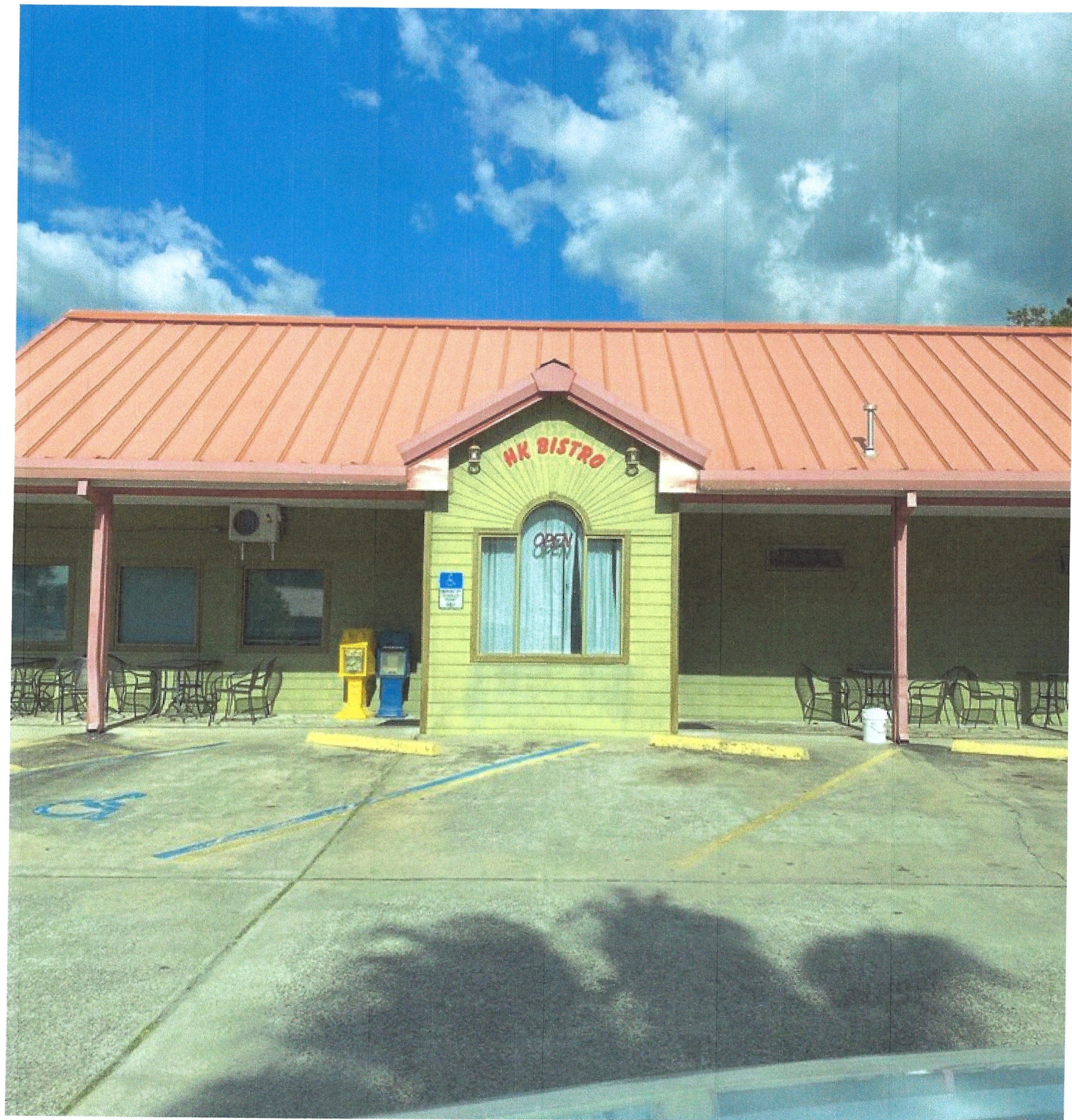
-

Light Yellow

+

0

-







Mural Artist Portfolio Example #2



Mural Artist Portfolio Example #3



STAFF FINDINGS REPORT

PROPERTY OWNER: Keri Elliot

AGENT (if applicable): N/A

CONTRACTOR: Dan Anderson / Must See Media

PROPERTY ADDRESS (if available): 238 U.S. Highway 98

→ Block 4 Lot 3, portions Lots 1-2

PARCEL ID: 01-09S-08W-8360-0004-0011

HISTORIC DISTRICT: No

CORNER LOT: Yes

ACREAGE: -- (~20,000 SF)

FUTURE LAND USE: C-3 Highway Commercial

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

- Installation of new roadside (freestanding) sign and gable (building façade) sign for new commercial business.
 - Installation of new wall mural, pending receipt of additional required information.

STAFF FINDINGS:

Code of Ordinances:

- **Sec. 113-3. Computations.**
 - **Computation of sign area.** The surface area of a sign shall be computed as including the entire area within a regular geometric form comprising all of the display area of the sign and including all of the elements of the matter displayed. Frames and structural members not bearing advertising matter shall not be included in computation of surface area and shall be kept to the minimum requirements necessary to meet the Florida Building Code. Where a sign has two or more faces, the area of all faces shall be combined in determining the area of the sign.

- **Computation of height.** The height of the sign shall be computed as the distance from the ground directly below the center of the sign or from the grade of the closest point in the traveled way of the road or street the sign is located along, whichever is higher, to the sign or sign structure's highest point.

→ **Sec. 113-82. Sign design, construction and maintenance.**

- All signs shall comply with applicable provisions of the Florida Building Code at all times.
- All signs requiring permits shall be constructed of permanent materials and shall be permanently attached to the ground, a building or another structure by direct attachment to a rigid wall, frame or structure.
- Signs that are illuminated shall only be illuminated in accordance with the following additional standards:
 - Full cutoff fixtures must be used. Up-lighting is prohibited. No sign shall have internal illumination.
 - *Neither sign will have internal illumination and both signs will have downlights.*
 - Illumination shall be with white light only.
 - Any external lighting used to illuminate signs shall be shielded so that the light source cannot be seen from abutting roads or properties.
 - Illuminated signs shall not have lighting mechanisms that project more than 18 inches perpendicularly from any surface.
 - Illuminated signs shall have luminance no greater than 140 foot-candles as measured one foot from the sign.
 - External lighting fixtures shall be fully shielded and directed down.
- All signs shall be maintained in good structural condition, in compliance with all building and electrical codes, and in conformance with this code at all times. The building inspector shall have the right to order the repair or removal of any sign which is defective, damaged or substantially deteriorated as defined in the Florida Building Code.

→ **Sec. 113-84. Signs permitted in commercial zones.**

- Signs in these zones may be illuminated in accordance with section 113-82. Signs are permitted in these districts as follows:
 - **Building façade sign** (including wall and awning signs): Up to 3 signs per façade.
 - Maximum area (individual sign): 10% of street façade frontage or 5% of side or rear building façade.
 - Side building façade: ~720 SF

- Maximum sign area: 36 SF
- Proposed sign area: 56" x 36" = 14 SF.
- Maximum height: Roofline.
- **Freestanding sign / monument sign:** 1 sign for 100' of street frontage, 2 signs for 200' or greater street frontage.
 - Maximum area: 200 SF.
 - Sign face: 119" x 59" = 48.75 SF.
 - Proposed sign area: ~98 SF.
 - Maximum height: No higher than 8' including any base or pole.
 - Proposed sign height: 96" or 8'
- Freestanding or monument signs are accessory structures and need a building permit, along with abiding by particular zoning ordinances for accessory structures.
 - *In the C-3 District there are no restrictions on the placement/location of accessory structures.*

→ **Sec. 113-86. Murals, original artwork murals on private property.**

- "Original artwork mural" means a painting or artwork temporarily or permanently affixed to a privately owned building. An "original artwork mural" is not a "sign" under this chapter. An "original artwork mural" which is not visible from a public right of way is not regulated by this section or by any other section in this chapter.
- Installation of original artwork murals shall be limited to business and commercial zones C-1, C-2, C-3, C-4 and RF.
 - *Mural will be installed in the C-3 district.*
- This section is intended to permit original artwork murals on a content-neutral basis that:
 - (i) are sufficiently durable and will be properly maintained;
 - (ii) are located on appropriate places on buildings and constitute a particular scale of the building facade;
 - (iii) do not include any unsafe features or would not pose any unsafe conditions to vehicular or pedestrian traffic;
 - (iv) provide avenues for artistic expression, and
 - (v) are assets to the community.
- **§ 113-86(4).** An application for a mural permit shall be filed jointly by a building owner and an artist with the planning department by way of a form prepared by the planning department and shall include the following:
 - ✓ Name of the artist and the owner. Street address and location of the proposed mural.

- ✓ Examples of previous work done by the artist, with references.
- ☐ Description of the materials to comprise the proposed mural and manner of application.
- ☐ Statement regarding durability of the materials considering the location and positioning of the proposed mural.
- ✓ Plans and specifications for the proposed mural including an exact picture graphic and other description. The application should include clear and legible drawings with description showing the location of the mural, drawings should show the dimensions and materials. Color photos of the building must accompany the mural sketch, showing the wall to be painted in relation to adjacent streets and buildings.
- ☐ Statement that the proposed mural will remain in place for at least two years.
- ☐ Statement that no compensation will be given or received for the right to display the mural or the right to place the mural on the property. The artist may be compensated for the completion of the mural, however.
- ☐ Any fees assessed by the city for application and approval must be received prior to mural installation.
- ☐ Artist must waive and release, in favor of the city and the building owner, the right of attribution or integrity which artist has in the mural under *17 U.S.C. §§ 106A and 113(d)(Visual Artist Rights Act)*.
- ☐ Artist's agreement to allow the city or the building owner to remove the mural with 90 days' notice to the artist at the address provided in the application and building owner if the mural is not maintained, or if it becomes a safety hazard.
- ☐ Signed acknowledgement by artist and business owner to abide by all mural requirements and execute all necessary documents.
- **§ 113.86(5) Review criteria.** The application shall be reviewed using the following criteria:
 - ☐ The mural must be durable, permanent, and easily protected from vandalism and weathering; consideration shall be given to the structural and surface integrity and stability of the building facade, the permanence and durability of the mural, and the mural's resistance to weathering, theft, and vandalism.

- ✓ The mural must not have any unsafe features or conditions that may affect public safety.
- ✓ The mural must not disrupt traffic nor create any unsafe conditions or distractions to motorists or pedestrians.
- ☐ The mural surface must be prepared with an outdoor primer to ensure good adhesion for the artwork.
- ☐ Clear, anti-graffiti coating must be applied over the completed artwork.
- ✓ The mural must not extend more than two inches from the plane of the wall to which it is attached.
- ✓ The mural must be located on only one facade of a building. The mural may not be placed on the primary facade of the structure. Exceptions from this paragraph 7 can be applied for, reviewed by the city planning department, and approved by the Planning & Zoning Board, when the nature of the business is creative, artistic or some other special circumstance is presented.
- ✓ The mural must be compatible with the character of the surrounding area (particularly when near residential areas) in terms of its size, style, colors, materials, general appearance, and location.
 - *Mural wall will abut another business in the C-3 district.*
- ✓ Any licensed, copyrighted, or trademarked characters or likenesses used on murals must have permission from the holder or owner of the license, copyright, or trademark.
- ☐ No approval shall be issued for mural installation if there are outstanding code enforcement violations charged by the city on the property where the mural is to be located. Outstanding debts to the city must be paid in full prior to issuance of the mural permit.
- The Planning & Zoning Board will review the recommendation of the planning department and make the final decision based on the above review criteria:
 - Persons aggrieved by the decision of the Planning & Zoning Board may appeal that decision to the city commission.
- If installation of the permitted original artwork mural has not taken place within 12 months of the date of issuance of the mural permit, the permit is void and no further work on the mural may be done at the site until a new permit has been approved and new fee paid.

- A request for permit extension must be in writing and must be received by the planning department before the original permit expiration date.
- An approved mural permit may be extended by the planning department for an additional period of no more than 12 months upon the planning department finding that the applicant was unable to begin or continue the installation of the approved mural for reasons beyond his or her control.

RECOMMENDATION:

1. **Roadside (freestanding) and gable (building façade) signs:** Approval, both signs meet all the area, height, and illumination requirements of the Code of Ordinances.
2. **Exterior wall mural:** Approval, on the condition that the applicant provides the additional information required by *Section 113-86(4) Mural Permit Application* if required by the Board.



Accessory Structure

237 Prado



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner James Owen
Address 1580 Hamilton Mulberry Cr 2d
City CATAULA State GA Zip 31804
Phone 706-681-6934

CONTRACTOR INFORMATION

Contractor Name James Owens
State License # _____ City License # _____
Email EO Painting@yahoo.com
Phone 706-681-6934

PROJECT TYPE

☒ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☐ Accessory Structure

☐ Certificate of Appropriateness

☐ Other _____

PROPERTY INFORMATION

Street Address (911 Address): 237 PRADO ST.
City & State: Apalachicola, FLA Zip: 32320
Parcel ID #: 61-095-08W-8360001-0170 Block: #1 Lot: 17+18
Zoning District: 3 [] Historic District [☒] Non-Historic District
FEMA Flood Zone: _____

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: _____ Rear: _____ Side: _____

Corner Lot? Y / N Street Sides: _____

Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff

Date Approved

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Pole Shed size = 48 X 40 on 6x6 Post with
Metal Truss and 2x6 Purlins with metal Roof

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing		metal	
Trim			
Foundation		6x6 Treated Post in concrete footing	
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks		1/4" D	
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

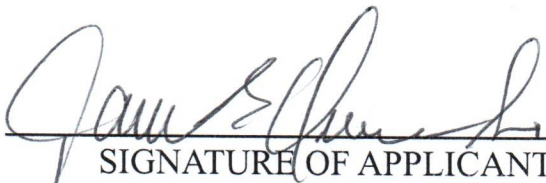
CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

10-20-25

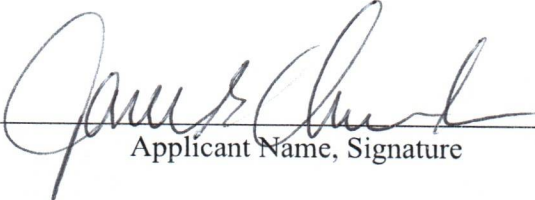
DATE


SIGNATURE OF APPLICANT

BUILDING PERMIT APPLICATION CHECKLIST

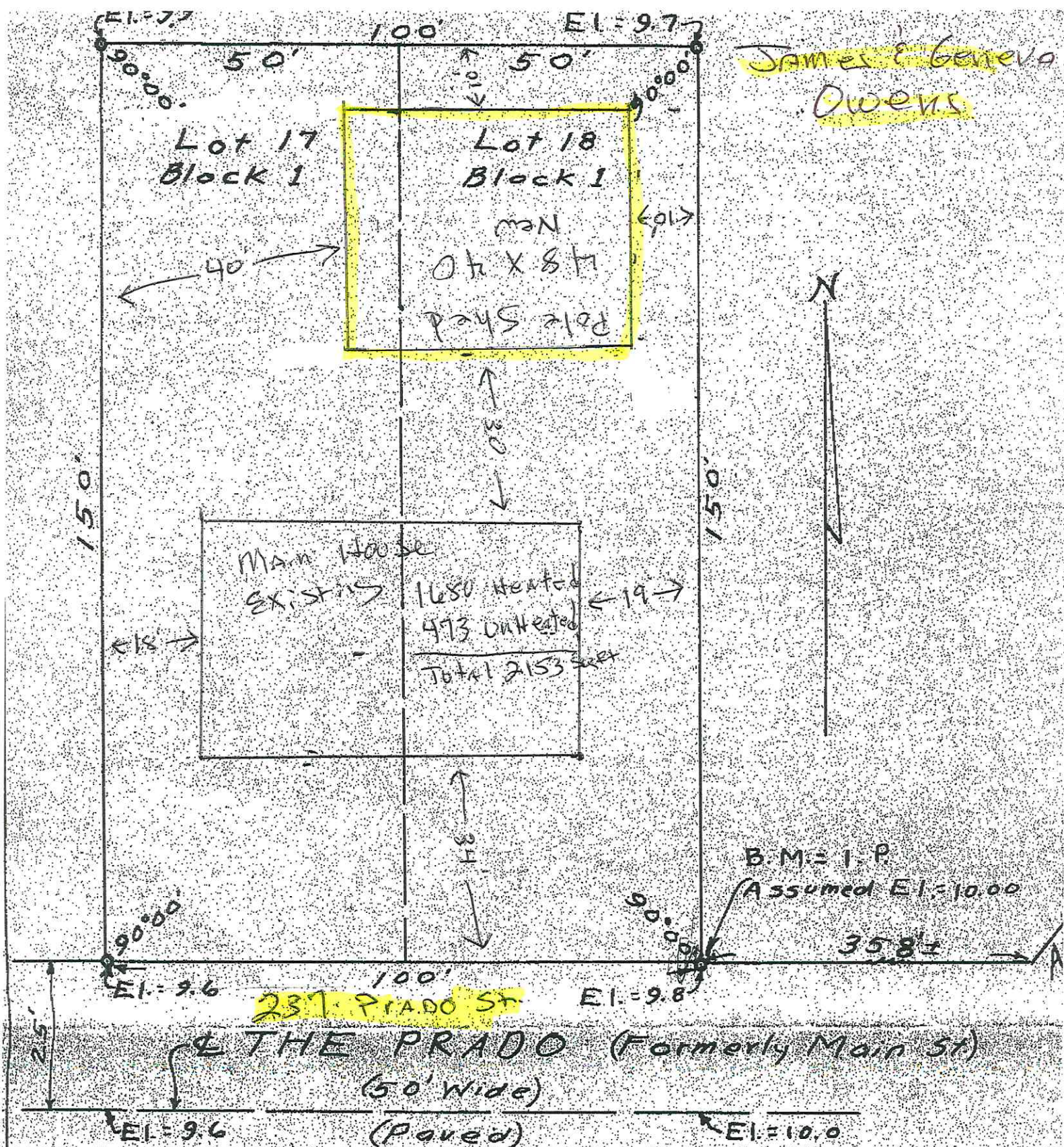
(ALL STEPS MAY NOT APPLY TO SMALLER PROJECTS)

- _____ 1. Approval from City Planning & Zoning Board
- ☒ 2. Complete Building Permit Application
- ☒ 3. TWO COMPLETE SETS OF PLANS INCLUDING:
- Site Plan (Tree Overlay if available is very helpful)
 - Final Site Plan (New Construction) – Stormwater Management Plan
 - Signed/Sealed Structural Drawings
 - Elevations
 - Floor Plan
 - Fire Protection
 - Drawn to Scale
- _____ 4. Contractor Information
- License
 - Photo ID of License Holder
 - COI: Workers Comp/General Liability
 - Letter of Authorization
- ☒ 5. Contract Scope of Work
- _____ 6. Energy Forms
- _____ 7. Notice of Commencement (All permits valued at \$2,500 or more)
- _____ 8. Flood Elevation Certificate
- ☒ 9. Fill Permit Application
- _____ 10. Floodplain Management Application (NOT if Flood Zone X)
- _____ 11. Water/Sewer Impact Fees Receipt (if applicable)

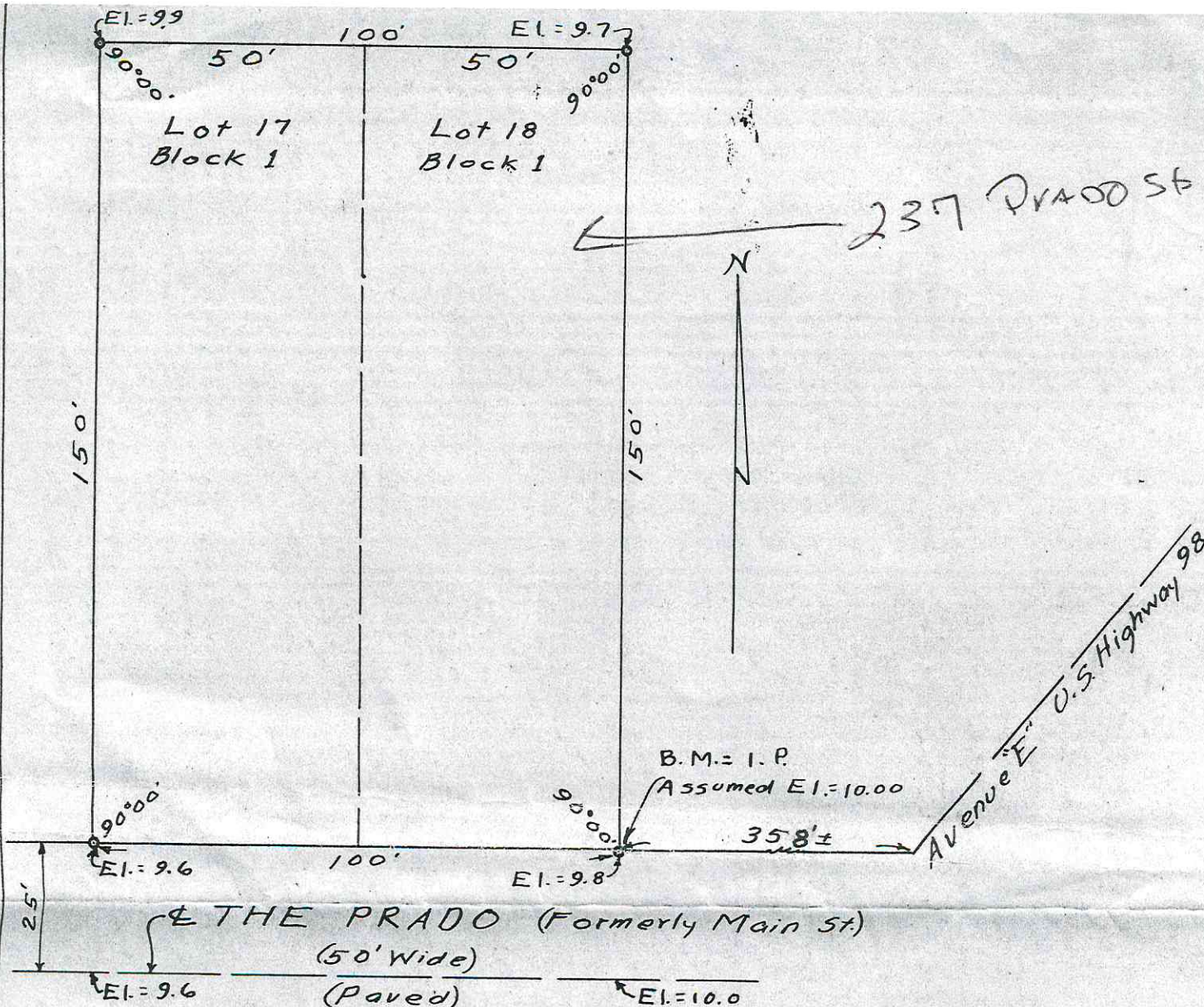

Applicant Name, Signature

10-20-25
Date

City of Apalachicola Building Department
1 Bay Ave., Apalachicola, FL 32320
(850)653-9319



PLAT OF SURVEY FOR MR. JIM MOSCOW



PLAT OF SURVEY FOR MR. JIM MOSCONIS

July 22, 1954

APALACHICOLA, FLA.

Scale: 1"=30'

Legal Description: Lots 17 and 18, Block 1, of "Neel Addition" to the City of Apalachicola, Franklin County, Florida, according to the Map or plat of said Neel Addition appearing of record in the office of the Clerk of Circuit Court in and for Franklin County, Florida.

I Hereby Certify, That the attached plat is a correct representation of a survey made under my direction, that the angles and distances shown thereon are true and accurate to the best of my knowledge and belief, and that there are no encroachments on said property.

L. E. Flanagan

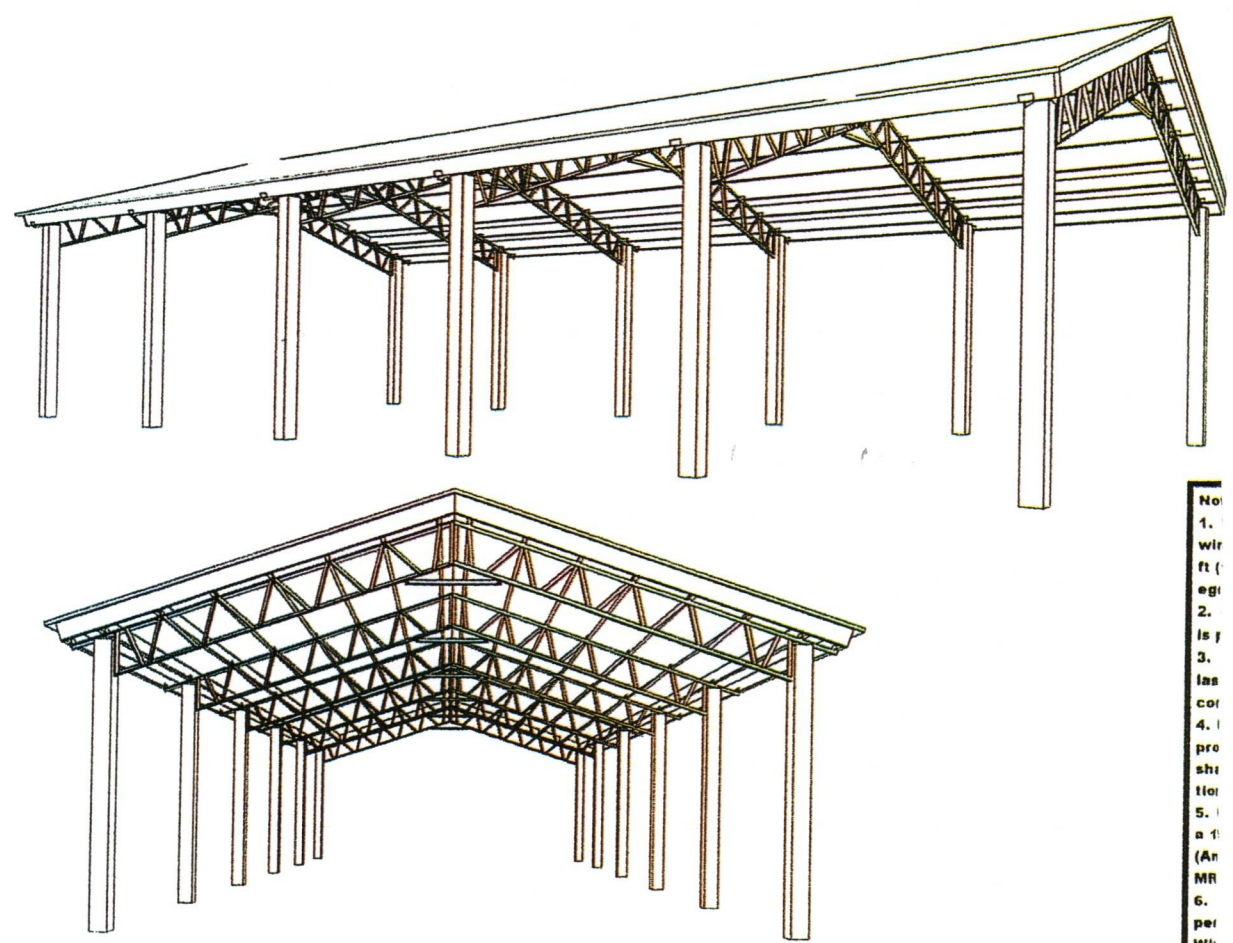
Land Surveyor
Fla. Reg. Cert. No. 507

Chipley, Florida 32428

OPEN POLE BARN PL FOR: SURPLUS & SALVAGI 1600 HWY 90 CHIPLEY, FL 32428

DISCLAIMER:

THIS SET OF PLANS ARE NOT INTENDED FOR HABITABLE RESIDENTIAL CONSTRUCT



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DIAGRAMMATIC REPRESENTATIONS

N.T.S.

STAFF FINDINGS REPORT

PROPERTY OWNER: James Owens

AGENT (if applicable): N/A

CONTRACTOR: Self

PROPERTY ADDRESS (if available): 237 Prado Street

→ Block 1 Lots 17-18

PARCEL ID: 01-09S-08W-8360-0001-0170

HISTORIC DISTRICT: No

CORNER LOT: Yes

ACREAGE: -- (~15,000 SF)

FUTURE LAND USE: R-2 Multifamily Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

→ Installation of a 48' x 40' pole barn for storage.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 111-269. R-2 Multifamily Residential.**

- **Development standards:**

- **Minimum lot size:**

- Single-family & home occupations: 6,000 SF (60' x 100').

- **Minimum building setbacks:**

- Front: 15 ft.
 - Side (corner lot): 15 ft.
 - Rear: 25 ft.
 - Accessory: 5 ft.

- **Maximum building restrictions:**

- Lot coverage: 40% (*maximum 6,000 SF for this parcel*).
 - *Principal*: 2,153 SF

- *Accessory: 1,920 SF.*
 - *Total: 4,073 SF (~27%)*
 - Building height: 35 ft.
- **Applicable regulations:**
 - In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.
 - *The proposed pole barn will be in the rear yard.*

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances.



New Residential Construction
194 25th Avenue

Email: Joycelyn Escobar 22@icloud.com



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner Joycelyn Escobar
Address 194 25th Ave
City Apalachicola State FL Zip 32320
Phone 850-323-2499

CONTRACTOR INFORMATION

Contractor Name Randal McClelland
State License # IH/113319 City License # _____
Email rm7.mcclellands@gmail.com
Phone 850-892-7775

PROJECT TYPE

☒ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☐ Accessory Structure

☐ Certificate of Appropriateness

☒ Other New Manufactured Home

PROPERTY INFORMATION

Street Address (911 Address): 194 25th Ave
City & State: Apalachicola, FL Zip: 32320
Parcel ID #: 01-095-08W-8330-0240-0040 Block: 240 Lot: 4.5
Zoning District: _____ [] Historic District [] Non-Historic District
FEMA Flood Zone: AH

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: _____ Rear: _____ Side: _____

Corner Lot? Y / N Street Sides: _____

Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff

Date Approved

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Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

NEW 64x14 2026 Hamilton Embark Manufactured
Home, Model# EM146022C, SN TBD, Home currently
in production, HUD Label # TBD, No existing structure
Current Impervious Surface Ratio = 0%, Proposed Impervious
Surface Ratio = 0.15%.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	Hamilton/Embark	Vinyl	HUD
Doors	Hamilton/Embark	36x80 Craftsman Door, 36x80 6 Panel Door	HUD
Windows	Hamilton/Embark	Thermopane	HUD
Roofing	Hamilton/Embark	Metal	HUD
Trim	Hamilton/Embark	Vinyl, Metal Fascia, Metal Soffit	HUD
Foundation	Regional Homes contractor	Concrete Block/Pier	See Engineered Blocking Included
Shutters	Hamilton/Embark	IPO Lineals	HUD
Porch/Deck	Regional Homes contractor	site-built wood steps	Pressure Treated Pine to Franklin County Code
Fencing	N/A	N/A	N/A
Driveways/Sidewalks	N/A	N/A	N/A
Other	N/A	N/A	N/A

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

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10/23/25
DATE


SIGNATURE OF APPLICANT

THIS INSTRUMENT PREPARED BY:
Kelsey D. Shuler, Esquire of
The Law Office of Kelsey Shuler-McAnally, P.A.
34 4th Street
Apalachicola, Florida 32320

Inst: 202519002979 Date: 06/27/2025 Time: 3:34PM
Page 1 of 2 B: 1421 P: 40, Michele Maxwell, Clerk of Court Franklin
County, By: SM
Deputy Clerk Doc Stamp-Deed: 0.70

Parent Parcel I.D. Number: 01-09S-08W-8330-0240-0010

WARRANTY DEED

THIS WARRANTY DEED, Made the 6th day of JUNE, 2025, by **CARMEN ESCOBAR**, a single woman, whose mailing address is: **213 11th Street, Apalachicola, Florida 32320**, hereinafter called the "Grantor", to **CARMEN ESCOBAR**, a single woman, and **JOYCELYN JIMENA ESCOBAR**, a single woman, as joint tenants with right of survivorship and not as tenants in common, whose mailing address is: **213 11th Street, Apalachicola, Florida 32320**, hereinafter called the "Grantee".

WITNESSETH: That said Grantor, for and in consideration of the sum of **Ten Dollars (\$10.00)** and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in **LEON County, Florida**, to wit:

Lots 4 - 5, Block 240, Greater Apalachicola a subdivision in the city limits of Apalachicola, according to the Map in common use in the Office of the Clerk of the Circuit Clerk of Franklin County, Florida.

LEGAL DESCRIPTION FURNISHED BY PARTIES AND NOT VERIFIED BY DRAFTER. THIS DOCUMENT HAS BEEN PREPARED WITHOUT BENEFIT OF TITLE SEARCH OR SURVEY AND IS BASED SOLELY ON FACTS PROVIDED BY EITHER OF THE PARTIES OR AGENT.

The property is **NOT** the homestead of the Grantor(s).

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except land is subject to taxes for the year 2024 and subsequent years, reservations, restrictions and easements of record, if any, and the existing mortgage recorded in Leon County Official Records at Book 5566 Page 1375.

(The terms "Grantor" and "Grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.


CARMEN ESCOBAR, Grantor

Signed, sealed, and delivered in our presence:

Thomas M. Shuler
Witness Signature

Thomas M. Shuler
Printed Name

146 Ave B
Address Line #1

Apalachicola, FL 32320
Address Line #2

Kelsey Shuler-McAnally
Witness Signature

Kelsey Shuler-McAnally
Printed Name

34 4th Street
Address Line #1

Apalachicola, FL 32320
Address Line #2

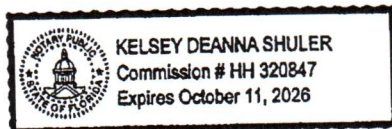
STATE OF FLORIDA

COUNTY OF Franklin

The foregoing instrument was acknowledged before me by means of physical presence this 26th
day of June, 2025, by **CARMEN ESCOBAR**.

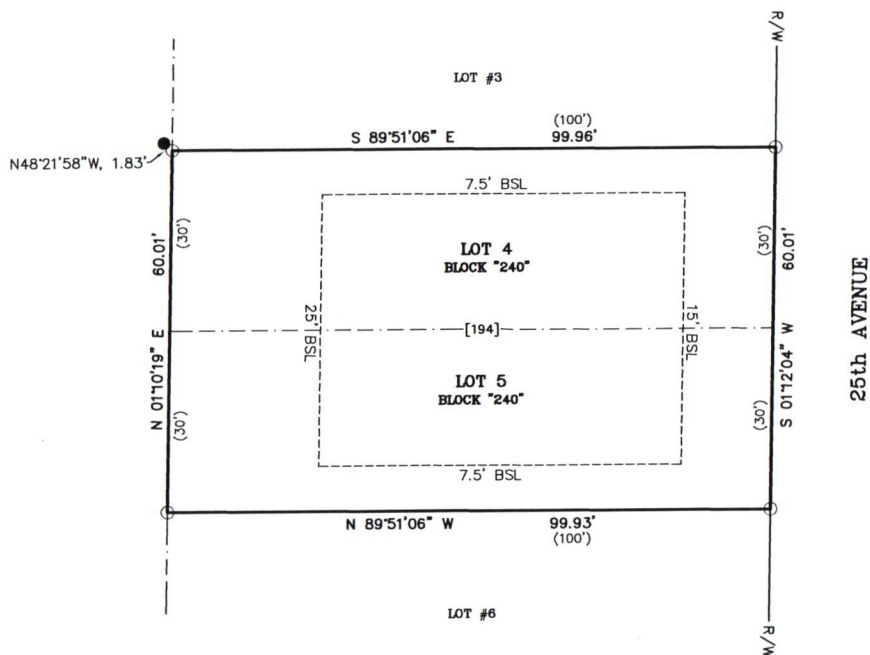
☒ Personally known; or
☐ Produced _____ as identification.

(PLACE SEAL BELOW)



Kelsey Shuler
NOTARY PUBLIC SIGNATURE

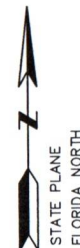
Kelsey Shuler
NOTARY PUBLIC PRINTED NAME



THIS SURVEY IS CERTIFIED TO:
CARMEN ESCOBAR &
JOYCELYN JIMENA ESCOBAR

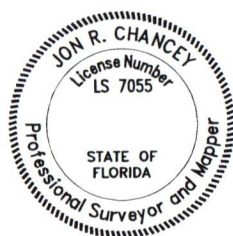
LEGEND

- IRON PIN FOUND
(5/8" RE BAR, CAP #7100)
(UNLESS OTHERWISE NOTED)
- IRON PIN SET
(1/2" REBAR, CAP #LB-6745)
- BSL BUILDING SETBACK LINE
(N65°23'47"W) RECORDED PLAT BEARING
(123.45') RECORDED PLAT DISTANCE
- [123] STREET ADDRESS
- R/W RIGHT OF WAY
- BUILDING SETBACK LINE
- ADJACENT PROPERTY LINES
- LOT LINES



NOTES:

1. This Plat does not reflect any easement or title research.
2. This Plat is not valid without Surveyor's Original Seal and signature.
3. Survey Source: The deed as recorded in Official Records Book 1421, Page 40 in the Public Records of Franklin County, Florida.
4. Grid North is based on the Florida State Plane Coordinate System, North Zone (NAD 83).
5. All existing structures on, under and adjacent to the site are not necessarily shown hereon.
6. This property is located in Flood Zone "X & AH" as shown on Flood Insurance Rate Map (FIRM) #12037C0507G dated 10/10/2024.
7. Building setback line distances were provided by the client.



LEGAL DESCRIPTION

LOTS 4-5, BLOCK 240, GREATER APALACHICOLA, A SUBDIVISION IN THE CITY LIMITS OF APALACHICOLA, ACCORDING TO THE MAP IN COMMON USE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF FRANKLIN COUNTY, FLORIDA.

THE SURVEY SHOWN HEREON WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR PROFESSIONAL SURVEYORS AND MAPPERS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AND MAPPERS PURSUANT TO SECTION 472.008 AND SECTION 472.027 OF THE FLORIDA STATUTES, AND IS TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Jon R.
Chancey
Digitally signed by Jon R.
Chancey
Date: 2025.09.02 07:34:01
-05'00'

This boundary survey is certified to and was prepared for the sole benefit of THOSE LISTED HEREON, and is intended for use with the current transaction only. Individuals or entities not specifically named above are not entitled to rely upon this boundary survey for any purpose. Furthermore, this Surveyor is not obligated to and will not support this boundary survey to any individual or entity that is not specifically listed above. The use of this boundary survey in conjunction with an "Owners affidavit" or any other instrument which is designed to transfer title without a current survey is not permitted or supported by this surveyor, AND WILL INVALIDATE THIS SURVEY.

BOUNDARY SURVEY FOR

194 25th STREET

POOLE ENGINEERING & SURVEYING, INC.

LS #7055

LB #6745

2145 DELTA BLVD., SUITE 100
TALLAHASSEE, FLORIDA 32303
(850) 366-5117

(850) 832-5955

DWG FILE 25-471.dwg
PROJECT 25-471

DRAWN BY J.R.C.

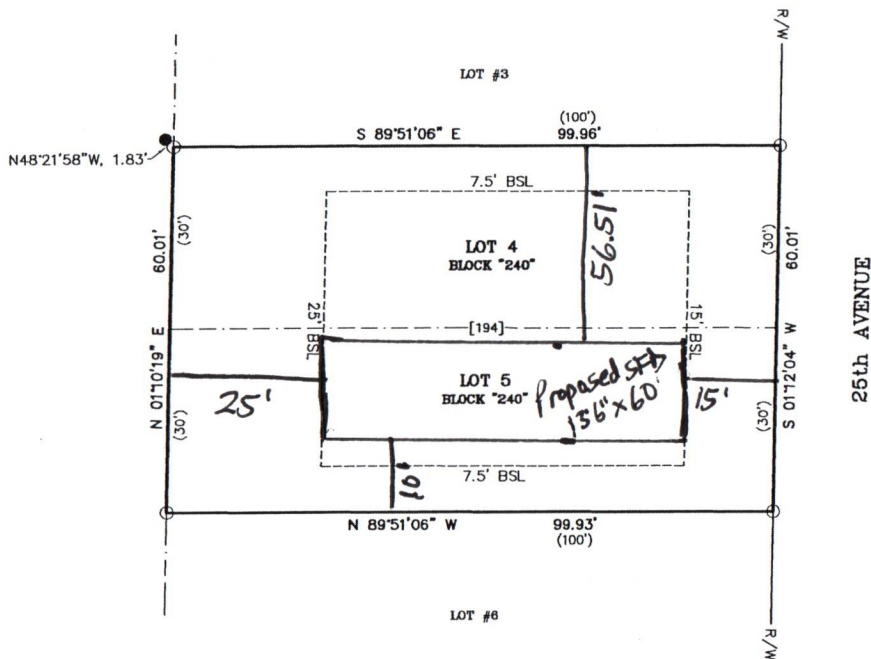
JOB NO. 25-471

LAST DATE OF FIELD WORK: 08/26/25

SCALE 1" = 20'

DATE 08/30/25

SHEET 1 OF 1



THE SURVEY SHOWN HEREON WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR PROFESSIONAL SURVEYORS AND MAPPERS AS DEFINED IN CHAPTER 5J-17.051 OF THE FLORIDA ADMINISTRATIVE CODE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AND MAPPERS PURSUANT TO SECTION 472.008 AND SECTION 472.027 OF THE FLORIDA STATUTES, AND IS TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Jon R.
Chancey
Digitally signed by Jon R.
Chancey
Date: 2025.09.02 07:34:01
-05'00'

JON R. CHANCEY, FLORIDA LS 7055

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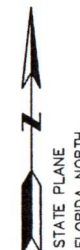
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CARMEN ESCOBAR &
JOYCELYN JIMENA ESCOBAR

LEGEND

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(5/8" RE BAR, CAP #7100)
(UNLESS OTHERWISE NOTED)
- IRON PIN SET
(1/2" REBAR, CAP #LB-6745)
- BSL BUILDING SETBACK LINE
- (N65°23'47"W) RECORDED PLAT BEARING
- (123.45') RECORDED PLAT DISTANCE
- [123] STREET ADDRESS
- R/W RIGHT OF WAY
- BUILDING SETBACK LINE
- ADJACENT PROPERTY LINES
- LOT LINES



Current ISR=0%

Proposed ISR=0.152%

NOTES:

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BOUNDARY SURVEY FOR

194 25th STREET

POOLE ENGINEERING & SURVEYING, INC. ©

LS #7055

LB #6745

2145 DELTA BLVD., SUITE 100
TALLAHASSEE, FLORIDA 32303
(850) 386-5117

(850) 832-5955

DWG FILE 25-471.dwg

PROJECT 25-471

DRAWN BY J.R.C.

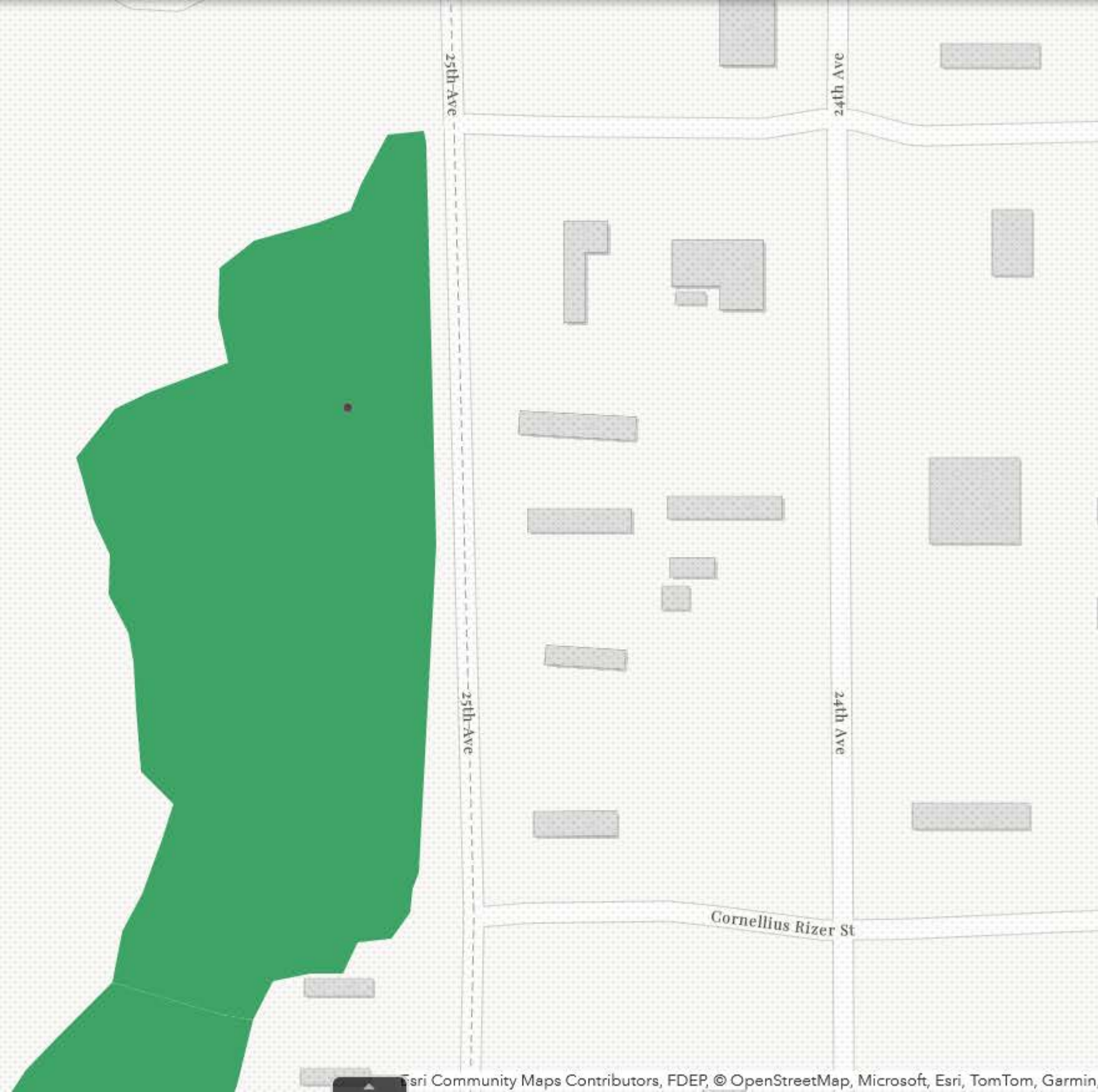
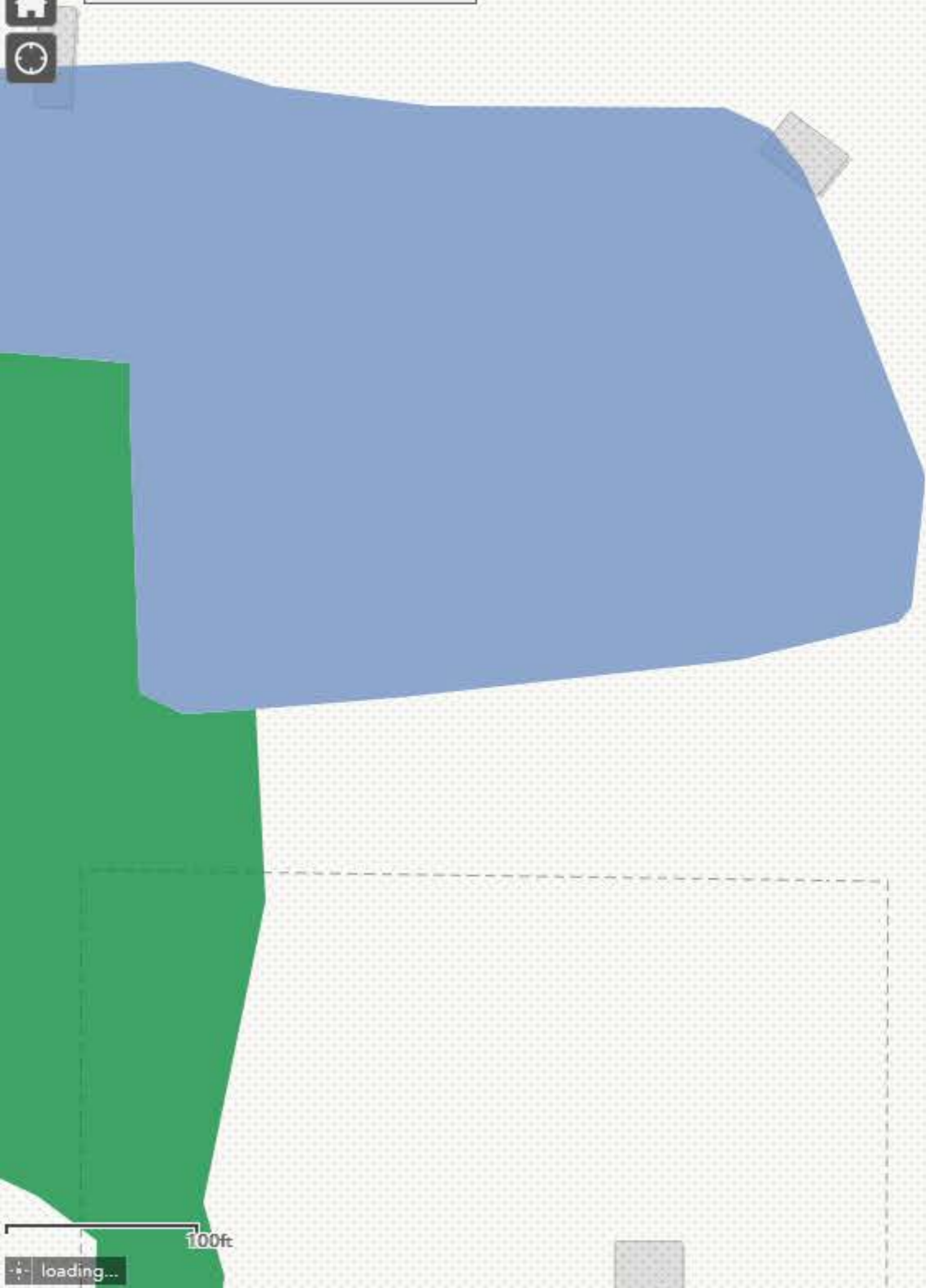
JOB NO. 25-471

LAST DATE OF FIELD WORK: 08/26/25

SCALE 1" = 20'

DATE 08/30/25

SHEET 1 OF 1



Legend

US Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Other
- Riverine

STAFF FINDINGS REPORT

PROPERTY OWNER: Joycelyn Escobar

AGENT (if applicable): N/A

CONTRACTOR: Randall McClelland

PROPERTY ADDRESS (if available): 194 25th Avenue

→ Block 240 Lots 4-5

PARCEL ID: 01-09S-08W-8330-0240-0040

HISTORIC DISTRICT: No

CORNER LOT: No

ACREAGE: -- (~6,000 SF)

FUTURE LAND USE:

WETLANDS: Freshwater forested/shrub

FLOODPLAIN: Mixed “AH” and “X” predominantly “AH”

DESCRIPTION OF PROJECT:

- Installation of a new 64’ x 14’ (896 SF) manufactured home.
 - *Mobile and manufactured are used interchangeably.*

STAFF FINDINGS:

Code of Ordinances:

- **Section 101-8. Definitions.**
 - **Special flood hazard area** means an area in the floodplain subject to a one-percent or greater chance of flooding in any given year. Special flood hazard areas are shown on FIRMs as Zone A, AO, A1-A30, AE, A99, AH, V1-V30, VE or V.
 - **Wetland** means an area within the landward extent of surface waters of the state, pursuant to F.A.C. 62-340.300, or any area which is inundated or saturated by surface water or groundwater at a frequency and a duration sufficient to support, and which under normal circumstances does support, a prevalence of vegetation typically adapted for life in saturated soils. The city's determination of wetlands shall be consistent with state determinations of jurisdiction.

→ **Section 111-270. R-3 Mobile Home Residential.**

○ **Development standards:**

▪ **Minimum lot size:**

- Single-family & home occupations: 6,000 SF (60' x 100').

▪ **Minimum building size:**

- Single-family: 800 SF.

▪ **Minimum building setbacks:**

- Front: 15 ft.
- Side (interior lot):
 - Single-family: 7½ ft. each side, or any combination on each side that equals at least 15 ft. No such setback shall be less than 5 ft.
- Rear: 25 ft. (principal structure); 5 ft. (accessory structure).

▪ **Maximum building restrictions:**

- Lot coverage:
 - Single-family: 40%.
 - *Principal*: 896 SF.
 - *Total*: 896 SF (~15%)
- Building height: 35 ft.

○ **Applicable regulations:**

- In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.

→ **Section 111-288. Supplementary Regulations, in general.**

- (k) All development shall be required to connect to the city water and sewer system where and when it is available.

→ **Section 111-288(i). Parking Requirements.**

- There shall be provided at the time of the erection of any principal building or structure parking space with adequate provisions for ingress and egress no less than the following space requirements.
 - **Dwelling**. One parking space for each dwelling unit or room for rent.
- Required off-street parking will be provided either on the same parcel of land as the principal building or structure or on a separate parcel located within 500 feet of the principal building or structure.

Comprehensive Plan:

→ **Coastal Management Element, Policy 1.2(C):**

- Where alterations of wetlands are necessary in order to allow reasonable use of property, either the restoration of the disturbed wetlands will be provided or additional wetlands will be created at a 4:1 ratio to mitigate any wetland destruction. All approved mitigation shall be required to demonstrate, through appropriate monitoring and reporting by the project's developer, at least an 85% planting survival rate for wetland areas created/augmented during mitigation, for a period of at least two years for herbaceous wetland communities, and for at least five years for forested wetland communities.

→ **Coastal Management Element, Policy 1.6:**

- No habitable development shall occur within 20 feet of the waters or wetlands of the state unless located within the riverfront district and then only after a stormwater management plan has been submitted and approved by the State Department of Environmental Regulation, if applicable, and the local planning board.

→ **Coastal Management Element, Policy 1.7:**

- Pilings, not fill, shall be used to elevate structures in native vegetation areas.

RECOMMENDATION: Approval, on the condition that no fill be placed on the property and that the mobile home be supported by piers/pilings.



New Residential Construction
217 15th Street



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner Coastal Life Homes LLC
Address 708 East Pine Ave
City Saint George Island State FL Zip 32328
Phone 980 558 3777

CONTRACTOR INFORMATION

Contractor Name Ronnie Gosh
State License # CR034576 City License # 25-443
Email rgbfine@gmail.com
Phone 404 427 9108

PROJECT TYPE

- | | |
|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Relocation | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Demolition | |

PROPERTY INFORMATION

Street Address (911 Address): 217 15th
City & State: Apalachicola FL Zip: 32320
Parcel ID #: 01-095-08W-8330-0135-0090 Block: 135 Lot: 9
Zoning District: R-2 [] Historic District [X] Non-Historic District
FEMA Flood Zone: X

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N
Setback Requirements of Property:
Front: _____ Rear: _____ Side: _____
Corner Lot? Y / N Street Sides: _____
Lot Coverage: _____
STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____

Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

DMG

Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

New construction single family home, 1268 sq ft, includes appropriate weather resistant materials/products such as Hardie, PGT windows with impact resistance. The project will replace a burnt, partially collapsed home, and use appropriate trim, finishes, and colors to complement the neighborhood and coastal environment.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	Hardie		13192.2
Doors	MMI	Impact	17347.5
Windows	PGT	Impact	1435
Roofing	GAF Eastpoint Metal	Standing seam	
Trim	Hardie		
Foundation		Slab	
Shutters	Hardie		
Porch/Deck		Concrete	
Fencing			
Driveways/Sidewalks		Pavers	
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

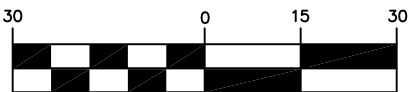
10/24/2023

DATE



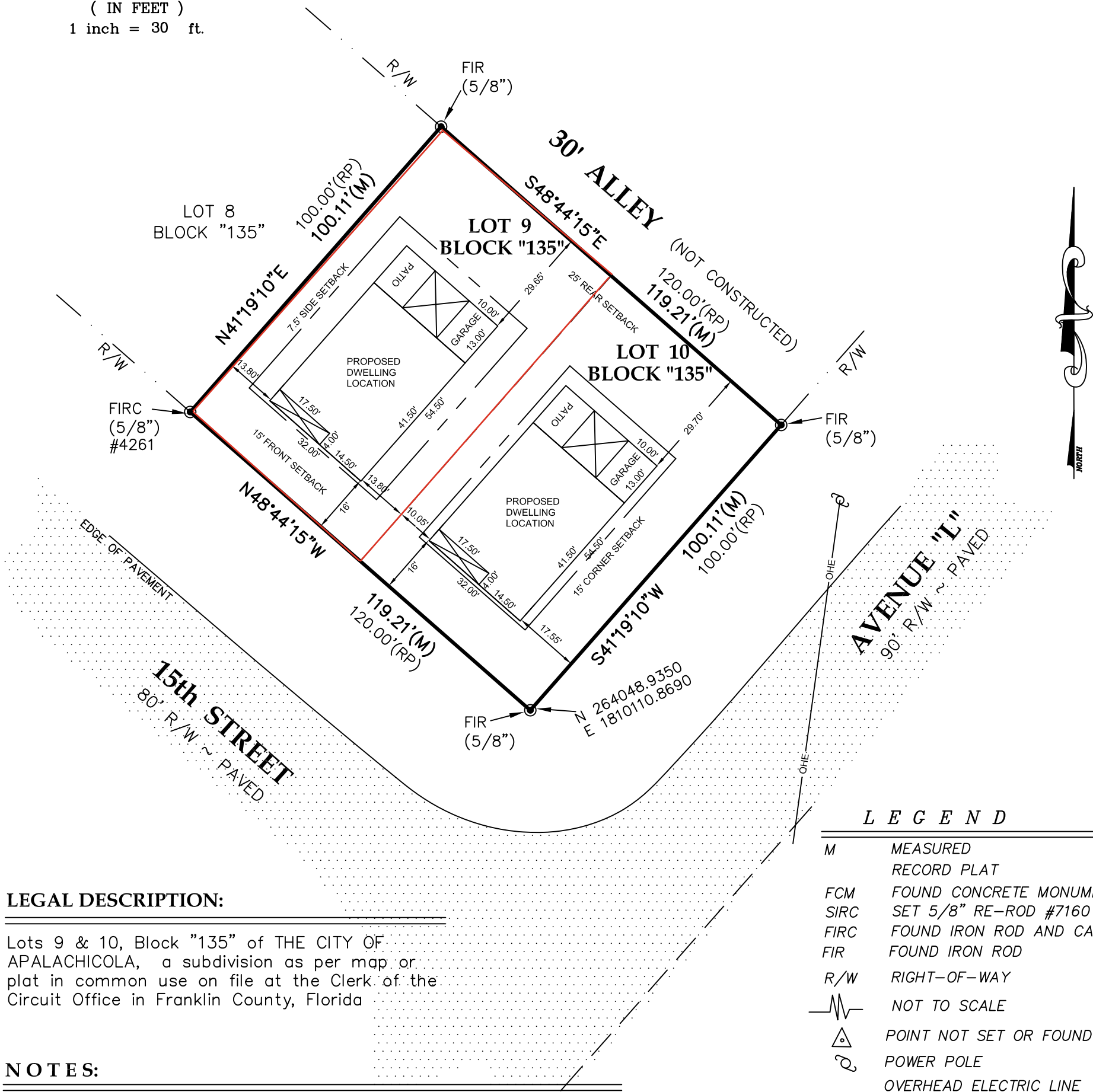
SIGNATURE OF APPLICANT

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
RONNIE GOOCH



LEGAL DESCRIPTION:

Lots 9 & 10, Block "135" of THE CITY OF APALACHICOLA, a subdivision as per map or plat in common use on file at the Clerk of the Circuit Office in Franklin County, Florida

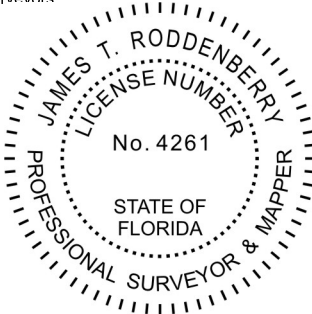
NOTES:

- 1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
- 2. BEARING REFERENCE: ALL BEARINGS established by Florida Grid North datum.
- 3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
- 4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
- 5. This survey is dependent upon EXISTING MONUMENTATION.
- 6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
- 7. FENCE LOCATIONS depicted hereon are exaggerated for clarity.
- 8. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry
JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No: 4261



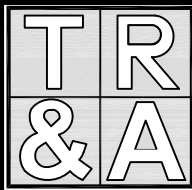
LEGEND

M	MEASURED
	RECORD PLAT
FCM	FOUND CONCRETE MONUMENT
SIRC	SET 5/8" RE-ROD #7160
FIRC	FOUND IRON ROD AND CAP
FIR	FOUND IRON ROD
R/W	RIGHT-OF-WAY
	NOT TO SCALE
	POINT NOT SET OR FOUND
	POWER POLE
	OVERHEAD ELECTRIC LINE

REVISED 10/22/25; SITE PLANS - MD

FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0526F index date: February 05, 2014, Franklin County, Florida.



Thurman Roddenberry & Associates, Inc.

PROFESSIONAL SURVEYORS AND MAPPERS

P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358

PHONE NUMBER: 850-962-2538

FAX NUMBER: 850-962-1103

LB # 7160

DATE: 09/29/25

DRAWN BY: BB

N.B. PER PLAT

COUNTY: Franklin

FILE: 97016.DWG

DATE OF LAST FIELD WORK:
09/25/25

CHECKED BY:
TR

JOB NO: 97-016



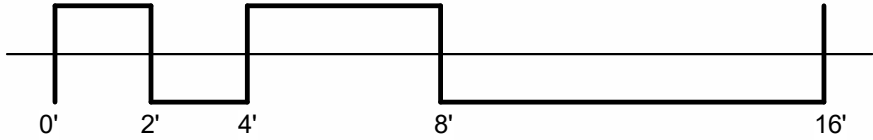
FRONT ELEVATION - B

1/4" = 1'-0"





BACK ELEVATION - B

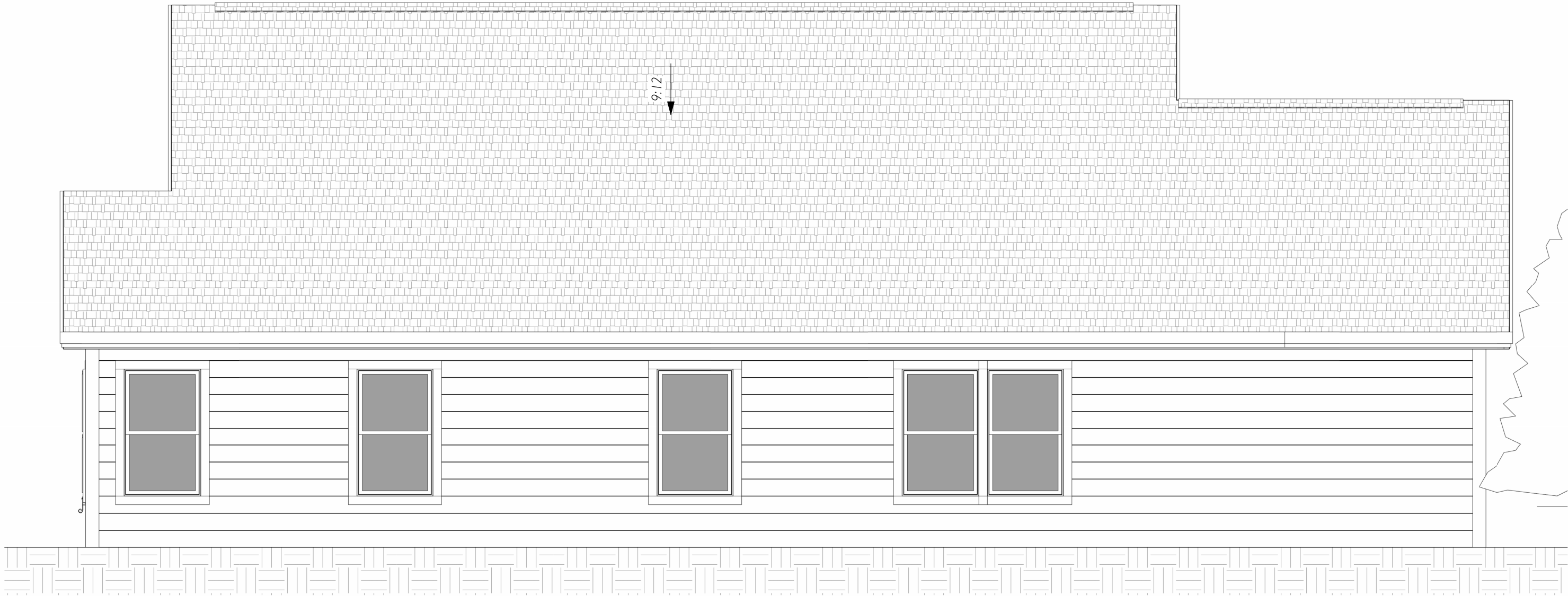
1/4" = 1'-0"



COASTAL LIFE HOMES LLC

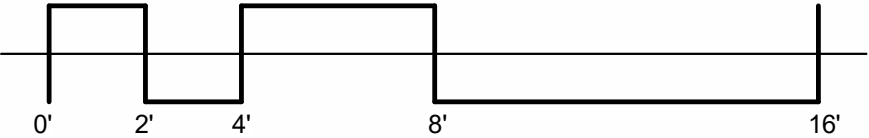
SUMMARY		WALL LEGEND	
BEDROOMS:	3	SIDING EXTERIOR	
BATHROOMS:	2	4" INTERIOR WALL	
WIDTH:	32' 0"		
DEPTH:	54' 6"		

COASTAL DREAM COTTAGE LH - B			
FRONT & BACK ELEVATIONS			A1-2
Date	Issue Date		
Drawn by	Author		
Checked by	Checker		
			Scale 1/4" = 1'-0"





RIGHT ELEVATION - B

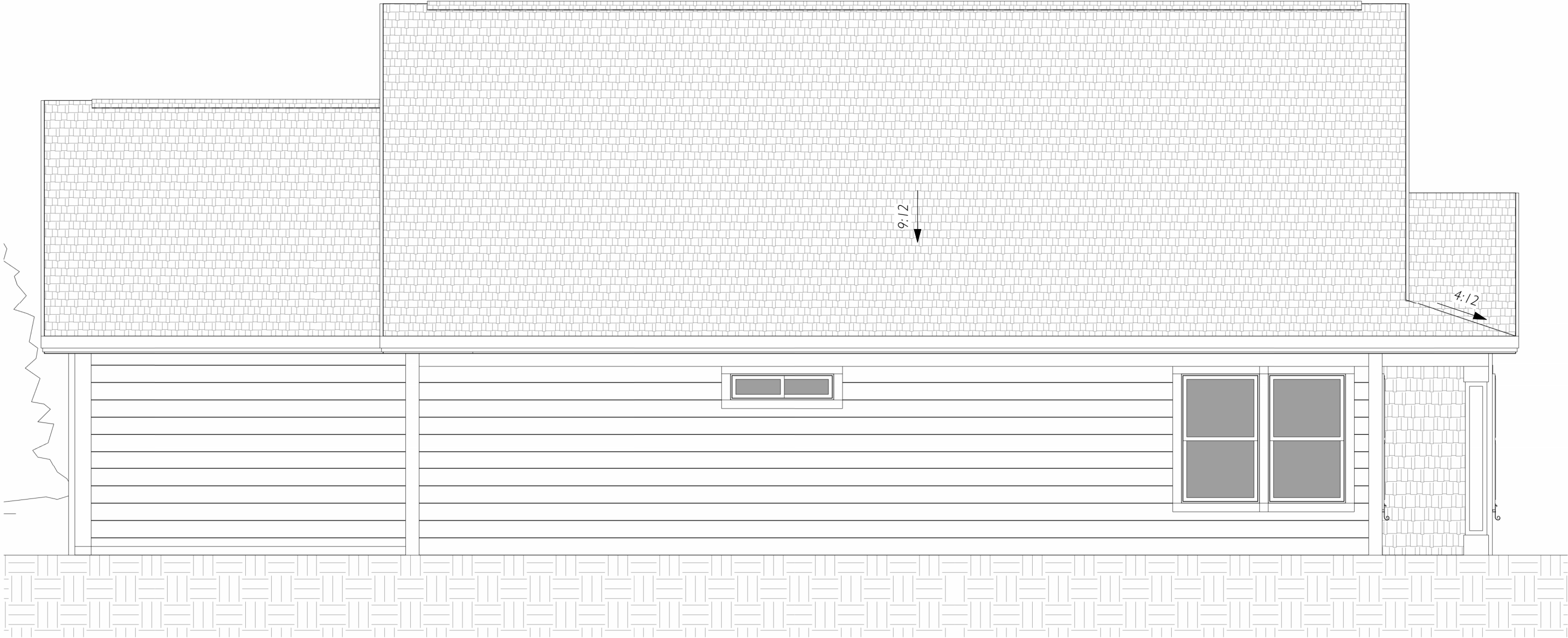
1/4" = 1'-0"



COASTAL LIFE HOMES LLC

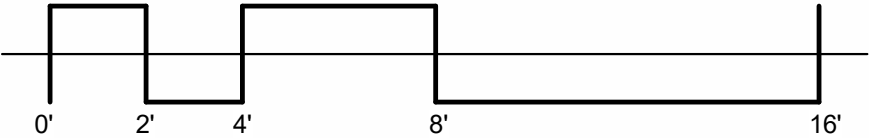
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BATHROOMS:	2	4" INTERIOR WALL	
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DEPTH:	54' 6"		

COASTAL DREAM COTTAGE LH - B			
RIGHT ELEVATION		A1-3	
Date	Issue Date		
Drawn by	Author		
Checked by	Checker		
		Scale	1/4" = 1'-0"





LEFT ELEVATION - B

1/4" = 1'-0"



COASTAL LIFE HOMES LLC

SUMMARY		WALL LEGEND	
BEDROOMS:	3	SIDING EXTERIOR	
BATHROOMS:	2	4" INTERIOR WALL	
WIDTH:	32' 0"		
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COASTAL DREAM COTTAGE LH - B			
LEFT ELEVATION		A1-4	
Date	Issue Date		
Drawn by	Author		
Checked by	Checker		Scale 1/4" = 1'-0"

STAFF FINDINGS REPORT

PROPERTY OWNER: Coastal Life Homes LLC

AGENT (if applicable): N/A

CONTRACTOR: Ronnie Gooch

PROPERTY ADDRESS (if available): 217 15th Street

→ Block 135 Lot 9

PARCEL ID: 01-09S-08W-8330-0135-0100

HISTORIC DISTRICT: No

CORNER LOT: No

ACREAGE: -- (~6,000 SF)

FUTURE LAND USE: R-2 Multifamily Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

→ New construction of a 1,268 SF single-family residential home.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 111-269. R-2 Multifamily Residential.**

- **Development standards:**

- **Minimum lot size:**

- Single-family & home occupations: 6,000 SF (60' x 100').

- **Minimum building size:**

- Single-family: 800 SF.

- **Minimum building setbacks:**

- Front: 15 ft.

- Side (interior lot):

- Single-family: 7½ ft. each side, or any combination on each side that equals at least 15 ft. No such setback shall be less than 5 ft.

- ~13' each side.

- Rear: 25 ft. (principal structure).
- **Maximum building restrictions:**
 - Lot coverage:
 - Single-family: 40%.
 - *Principal: 1,268 SF.*
 - *Total: 1,268 SF (21%).*
 - Building height: 35 ft.

→ **Section 111-288. Supplementary Regulations, in general.**

- **(c) Alleys.** Ten-foot alleys are intended to accommodate utility lines, such as water and sewer, and are not intended to support traffic. Ten-foot alleys are not to be used for ingress and egress.
 - *Alley behind subject parcel is ~30' wide.*
- **(k)** All development shall be required to connect to the city water and sewer system where and when it is available.

→ **Section 111-288(i). Parking Requirements.**

- There shall be provided at the time of the erection of any principal building or structure parking space with adequate provisions for ingress and egress no less than the following space requirements.
 - **Dwelling.** One parking space for each dwelling unit or room for rent.
 - *Garage will fulfill off-street parking requirements for one dwelling unit.*
- Required off-street parking will be provided either on the same parcel of land as the principal building or structure or on a separate parcel located within 500 feet of the principal building or structure.

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances.



New Residential Construction
69 Avenue L



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner Coastal Life Homes LLC
Address 708 East Pine Ave
City Saint George Island State FL Zip 32328
Phone 980 358 3777

CONTRACTOR INFORMATION

Contractor Name Ronnie Gooch
State License # CRC1334576 City License # 25-443
Email rgbfine@gmail.com
Phone 404 427 9108

PROJECT TYPE

- | | |
|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Relocation | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Demolition | |

PROPERTY INFORMATION

Street Address (911 Address): 69 Ave L
City & State: Apalachicola FL Zip: 32320
Parcel ID #: 01-095-08W-8330-0135-0090 Block: 135 Lot: 10
Zoning District: R-2 [] Historic District [X] Non-Historic District
FEMA Flood Zone: X

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N
Setback Requirements of Property:
Front: _____ Rear: _____ Side: _____
Corner Lot? Y / N Street Sides: _____
Lot Coverage: _____
STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____

Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

DMG
Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

New construction single family home, 1268 sqft, includes appropriate weather resistant materials/products such as Hardie, PGT windows with impact resistance. The project will replace a burnt, partially collapsed home, and use appropriate trim, finishes, and colors to complement the neighborhood and coastal environment.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
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Doors	MMI	Impact	17347.5
Windows	PGT	Impact	1435
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Porch/Deck		Concrete	
Fencing			
Driveways/Sidewalks		Pavers	
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CERTIFICATION

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1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
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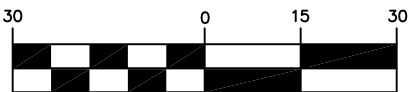
10/24/2025

DATE

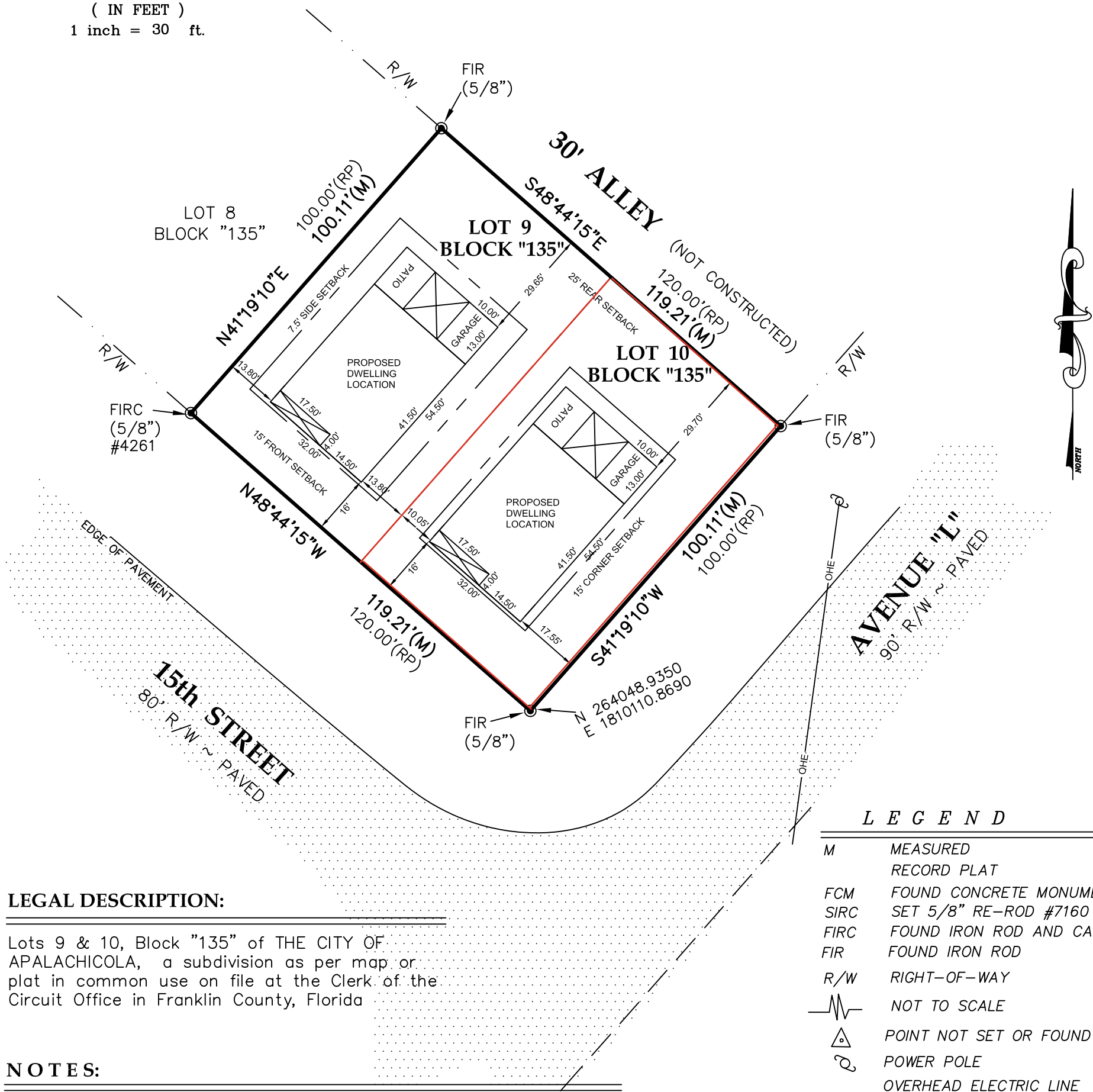


SIGNATURE OF APPLICANT

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
RONNIE GOOCH

LEGAL DESCRIPTION:

Lots 9 & 10, Block "135" of THE CITY OF APALACHICOLA, a subdivision as per map or plat in common use on file at the Clerk of the Circuit Office in Franklin County, Florida

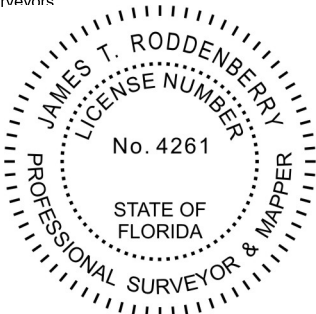
NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: ALL BEARINGS established by Florida Grid North datum.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
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8. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry
JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No: 4261

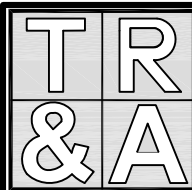


L E G E N D	
M	MEASURED RECORD PLAT
FCM	FOUND CONCRETE MONUMENT
SIRC	SET 5/8" RE-ROD #7160
FIRC	FOUND IRON ROD AND CAP
FIR	FOUND IRON ROD
R/W	RIGHT-OF-WAY
	NOT TO SCALE
	POINT NOT SET OR FOUND
	POWER POLE OVERHEAD ELECTRIC LINE

REVISED 10/22/25; SITE PLANS - MD

FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0526F index date: February 05, 2014, Franklin County, Florida.



Thurman Roddenberry & Associates, Inc.

PROFESSIONAL SURVEYORS AND MAPPERS

P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358

PHONE NUMBER: 850-962-2538

FAX NUMBER: 850-962-1103

LB # 7160

DATE: 09/29/25

DRAWN BY: BB

N.B. PER PLAT

COUNTY: Franklin

FILE: 97016.DWG

DATE OF LAST FIELD WORK:
09/25/25CHECKED BY:
TR

JOB NO: 97-016



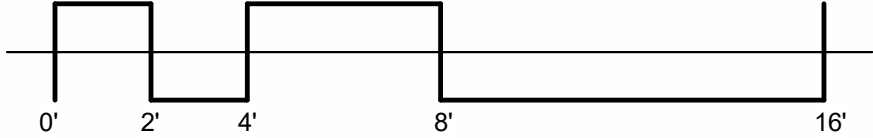
FRONT ELEVATION - B

1/4" = 1'-0"





BACK ELEVATION - B

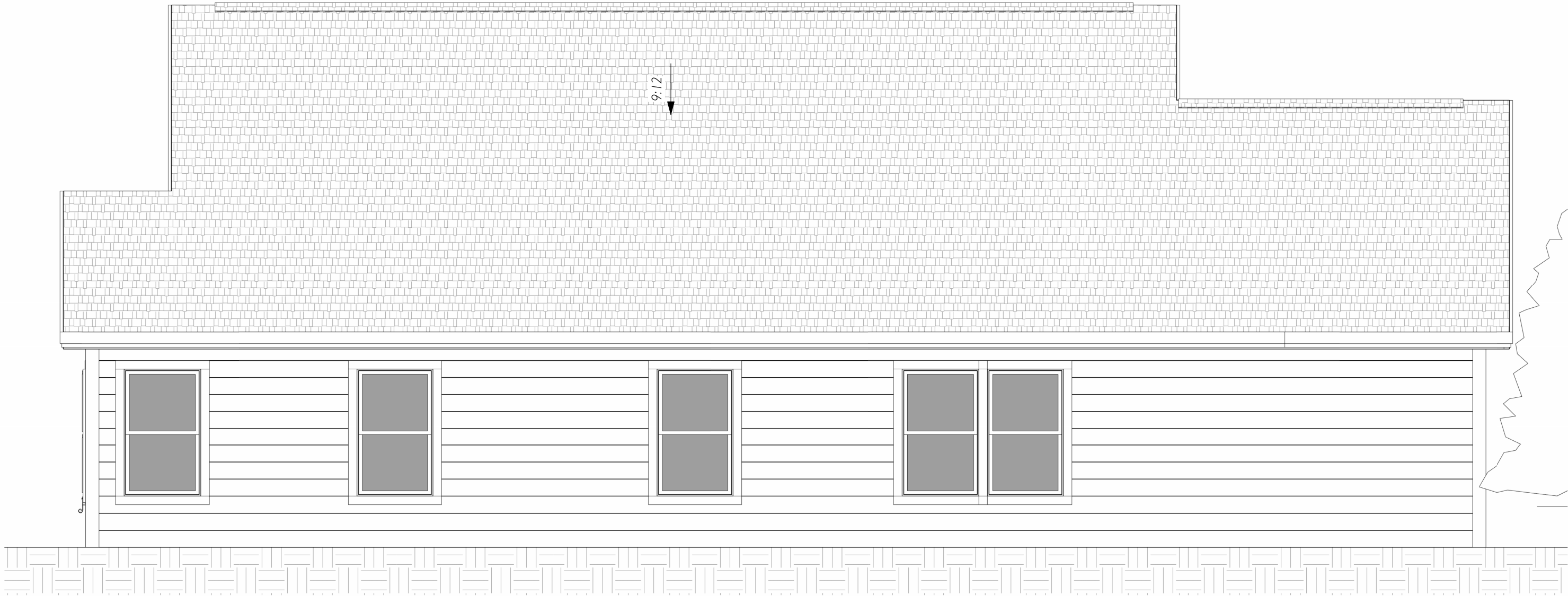
1/4" = 1'-0"



COASTAL LIFE HOMES LLC

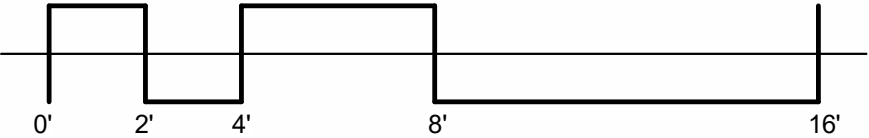
SUMMARY		WALL LEGEND	
BEDROOMS:	3	SIDING EXTERIOR	
BATHROOMS:	2	4" INTERIOR WALL	
WIDTH:	32' 0"		
DEPTH:	54' 6"		

COASTAL DREAM COTTAGE LH - B			
FRONT & BACK ELEVATIONS			A1-2
Date	Issue Date		
Drawn by	Author		
Checked by	Checker		
			Scale 1/4" = 1'-0"





RIGHT ELEVATION - B

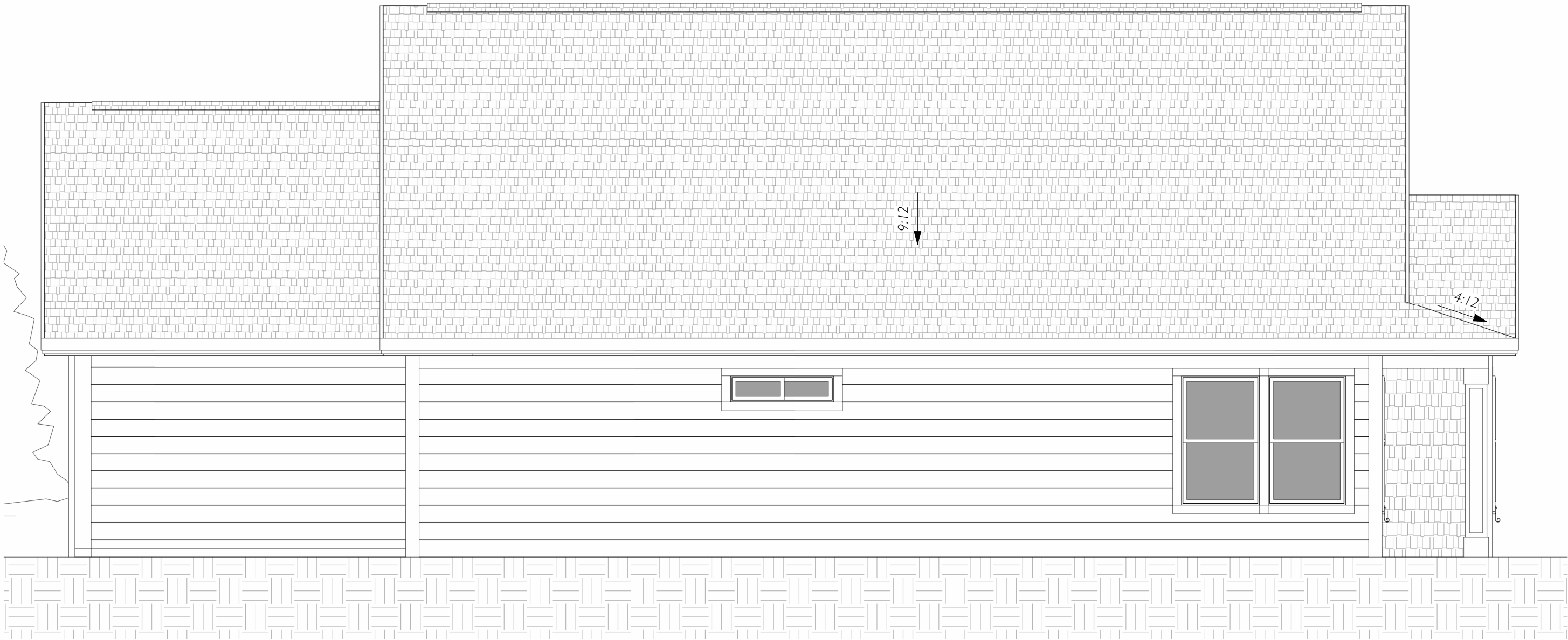
1/4" = 1'-0"



COASTAL LIFE HOMES LLC

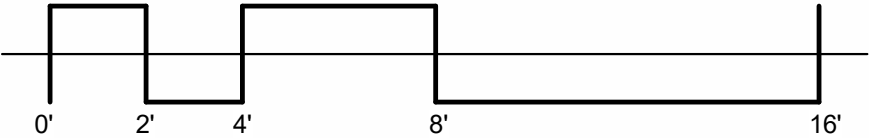
SUMMARY		WALL LEGEND	
BEDROOMS:	3	SIDING EXTERIOR	
BATHROOMS:	2	4" INTERIOR WALL	
WIDTH:	32' 0"		
DEPTH:	54' 6"		

COASTAL DREAM COTTAGE LH - B			
RIGHT ELEVATION		A1-3	
Date	Issue Date		
Drawn by	Author		
Checked by	Checker	Scale 1/4" = 1'-0"	





LEFT ELEVATION - B

1/4" = 1'-0"



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STAFF FINDINGS REPORT

PROPERTY OWNER: Coastal Life Homes LLC

AGENT (if applicable): N/A

CONTRACTOR: Ronnie Gooch

PROPERTY ADDRESS (if available): 69 Avenue L

→ Block 135 Lot 10

PARCEL ID: 01-09S-08W-8330-0135-0090

HISTORIC DISTRICT: No

CORNER LOT: Yes

ACREAGE: -- (~6,000 SF)

FUTURE LAND USE: R-2 Multifamily Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

→ New construction of a 1,268 SF single-family residential home.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 101-8. Definitions.**

- **Corner lot** means a lot abutting upon two or more streets at their intersection. All boundaries abutting streets shall be considered front yards, and all other boundaries shall be considered side yards.

→ **Section 111-269. R-2 Multifamily Residential.**

- **Development standards:**
 - **Minimum lot size:**
 - Single-family & home occupations: 6,000 SF (60' x 100').
 - **Minimum building size:**
 - Single-family: 800 SF.
 - **Minimum building setbacks:**
 - Front: 15 ft.

- Side (corner lot): 15 ft.
 - *~17' exterior side setback.*
- Rear: 25 ft. (principal structure); 5 ft. (accessory structure).
- **Maximum building restrictions:**
 - Lot coverage:
 - Single-family: 40%.
 - *Principal: 1,268 SF.*
 - *Total: 1,268 SF (21%).*
 - Building height: 35 ft.

→ **Section 111-288. Supplementary Regulations, in general.**

- **(c) Alleys.** Ten-foot alleys are intended to accommodate utility lines, such as water and sewer, and are not intended to support traffic. Ten-foot alleys are not to be used for ingress and egress.
 - *Alley behind subject parcel is ~30' wide.*
- **(k)** All development shall be required to connect to the city water and sewer system where and when it is available.

→ **Section 111-288(i). Parking Requirements.**

- There shall be provided at the time of the erection of any principal building or structure parking space with adequate provisions for ingress and egress no less than the following space requirements.
 - **Dwelling.** One parking space for each dwelling unit or room for rent.
 - *Garage will fulfill off-street parking requirements for one dwelling unit.*
- Required off-street parking will be provided either on the same parcel of land as the principal building or structure or on a separate parcel located within 500 feet of the principal building or structure.

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances.

