



Planning & Zoning Agenda

October 13th, 2025

Regular Meeting 6:00 P.M.

CITY OF APALACHICOLA
PLANNING AND ZONING BOARD
REGULAR MEETING

Monday, October 13th, 2025

City Meeting Room – 74 6th Street

Agenda

Regular Meeting: 6:00 PM

1. Approval of September 8th, 2025 meeting minutes (regular meeting + quasi-judicial public hearing).
2. Review, Discussion and Decision for Sign. (R-3) @ 343 25th Avenue. Block 222 Lots 21-22. Owner: Clearwater Apalach LLC; Contractor: Self.
3. Review, Discussion and Decision for Certificate of Appropriateness, New Residential Construction & Accessory Structure. (R-1) (Historic District) @ 112 7th Street. Block 60 Lot 3. Owner: Jason Cheek; Applicants: Joshua & Sarah Porter; Contractor: NRG Industries.
4. Review, Discussion and Decision for Certificate of Appropriateness & Accessory Structure. (R-1) (Historic District) @ 146 12th Street. Block 81 Lot 2. Owner: Paul Payton; Contractor: Self.
5. Review, Discussion and Decision for Accessory Structure. (R-3) @ 261 Brownsville Road. Block 260 Lots 22-24. Owner: Lloyd Alton Shiver Jr.; Contractor: Self.
6. Review, Discussion and Decision for Accessory Structure. (R-3) @ 265 Morris Cannon Street. Block 214 Lots 27-28. Owner: Kimberly Deeson; Contractor: Self.

7. Review, Discussion and Decision for Certificate of Appropriateness & Accessory Structure. (R-1) (Historic District) @ 204 10th Street. Block 156 Lot 2. Owner: Chris Presnell; Contractor: CP Squared LLC.
8. Review, Discussion and Decision for New Residential Construction. (R-2) @ 110 Bay Colony Way. Lots 3-4 Bay Colony Way Subdivision. Owner: Morton McLemore; Contractor: Self.
9. Review, Discussion and Decision for Certificate of Appropriateness & Alteration/Renovation. (C-2) (Historic District) @ 133 Avenue E. Block 76 Lot 9 and 60' Lot 10. Owner: Constance Peck; Contractor: Chris Presnell.
10. Review, Discussion and Decision for Certificate of Appropriateness & Accessory Structure. (R-1) (Historic District) @ 132 7th Street. Block 65 Lots 3-4. Owners: Bradely & Sara Heinz; Contractor: Southern Blue Construction Inc.

Other/New Business:

1. Protected Longleaf Pine @ 230 (224) 17th Street. Site plan previously approved August 11th, 2025.

Outstanding/Unresolved Issues:

Motion to adjourn the meeting.

CITY OF APALACHICOLA
PLANNING AND ZONING BOARD
REGULAR MEETING

Monday, September 8th, 2025

City Meeting Room – 74 6th Street

Minutes

Attendance: Joe Taylor, Bobby Miller, Myrtis Wynn, Jim Bachrach, Lee McLemore,
Greg Gologowski

Regular Meeting: 6:00 PM

1. Approval of August 11th, 2025 meeting minutes.
 - a. Motion to approve by Bobby Miller; 2nd by Myrtis Wynn – all in favor, motion carried.
2. Review, Discussion and Decision for New Residential Construction. (R-3) @ 449 Morris Cannon Street. Block 212 Lots 17-20. Owner: Pauline Farmer; Contractor: Greg Lollie.
 - a. Greg Gologowski asked if the owner intended to remove or sell the cars on the lot. Representative replied that the Owner intended to do so, and had contacts in Apalachicola who would be interested in the cars.
 - b. Representative asked the City Planner if she needed to receive anything from the Planning and Zoning Board confirming the Board's decision. City Planner clarified that information about approvals is sent directly to the Building Department following the meeting.
 - c. Motion to approve by Bobby Miller; 2nd by Lee McLemore – all in favor, motion carried.
3. Review, Discussion and Decision for Certificate of Appropriateness & Fence. (C-2) (Historic District) @ 98 10th Street. Block 76 Lot 4. Owner: Margaret E. Weitz; Contractor: Raymond Glidewell.
 - a. Margaret Weitz, Owner – Informed the Board that the new fence will be similar to the old fence, except for a more artistic gate.

- b. Joe Taylor asked for confirmation that the fence must be lowered to 4 ft. between the front façade of the house and the street. City Planner confirmed this, and affirmed information provided by the Contractor that the fence in the front yard would be 4 ft., and the fence in the side/rear yard would be 6 ft.
 - c. Motion to approve by Greg Golgowski; 2nd by Bobby Miller – all in favor, motion carried.
4. Review, Discussion and Decision for Fence. (R-2) @ 202 17th Street. Block 121 Lot 1. Owner: Coastal Life Homes; Contractor: Ronnie E. Gooch.
- a. City Attorney introduced item and noted that the section of the fence between the front façade of the house and the street lot line would need to be lowered to 4 ft.
 - b. Dawson Gooch, present on behalf of Ronnie Gooch – Agreed to the change in the height of the fence. Presented the idea of adding a latched gate between the proposed fence and the neighbor's existing fence, to close off the gap between the two fences.
 - c. Greg Golgowski asked who would be responsible for maintaining the space between the two fences. Representative stated that the Owner would be happy to maintain that space.
 - d. Joe Taylor informed the Representative that the Board could not approve a request to put a gate partially or fully on another person's property. Representative replied that to his understanding, the gate would be on the Owner's property. Discussion followed between Representative, City Planner, and City Attorney over the measurements on the site plan, to determine if the gate would encroach on the neighbor's property.
 - e. Bobby Miller stated that the Board did not want to cause a fight between the Owner and the neighbor over the gate. Representative replied that he would like to request only approval for the fence and return to settle the question of the gate later.
 - f. Greg Golgowski asked if the neighbor's fence was in poor condition. Representative confirmed that it was, and that an offer had been made to

replace the neighbor's fence. The neighbor preferred to keep their own fence, so the Owned decided to request a new privacy fence at 202 17th Street.

- g. Dennis Winterringer, Attendee – Stated that he was familiar with the lot and reaffirmed to the Board that the section of the fence between the front façade of the house and the street lot line would need to be lowered to 4 ft. to conform with the requirements of the City's fence ordinance.
- h. Motion to approve on the condition that the applicant return with the support of the neighbor for the proposed gate, and that the section of the fence between the front façade of the house and the street lot line be lowered to 4 ft. by Bobby Miller; 2nd by Myrtis Wynn – all in favor, motion carried.

Other/New Business:

N/A

Outstanding/Unresolved Issues:

N/A

Motion to adjourn the meeting by Jim Bachrach; 2nd by Bobby Miller.

All in favor – meeting adjourned at 6:20 P.M.

CITY OF APALACHICOLA
PLANNING AND ZONING BOARD
QUASI-JUDICIAL PUBLIC HEARING

Monday, September 8th, 2025

City Meeting Room – 74 6th Street

Minutes

Attendance: Joe Taylor, Bobbly Miller, Myrtis Wynn, Jim Bachrach, Lee McLemore, Greg Gologowski

Quasi-Judicial Public Hearing: 6:21 PM (following regular meeting)

1. Discussion & Decision for Special Exception (Bed & Breakfast). C-2

Neighborhood Commercial @ 97 Dr. Martin Luther King Jr. Ave. Block 170
Lot 10. Owner: Joan L. Crowder; Representative: Joy Crowder.

- a. City Planner confirmed public notice was provided: letters sent to property owners within 500 ft., sign posted on the property, advertisement run twice in the Apalachicola Times.
- b. No ex parte communications were disclosed. Attorney summarized the material included in the agenda for this item.
- c. Representative Joy Crowder presented her request. Her mother owns the subject property and will maintain the property professionally.
 - i. Greg Gologowski asked the Representative for more detailed information about the proposed bed and breakfast. Representative replied that it will be a true bed and breakfast, with food and coffee available to guests who will rent individual rooms. Jim Bachrach also asked for clarification on this point, and the Representative again confirmed that breakfast would be served on the site.
- d. City Planner summarized the request and the findings in the staff report. The recommendation to the Board was approval, due to the commercial nature of the zoning district.

- i. Bobby Miller asked if there was response to the letters sent to the surrounding property owners. City Planner confirmed that there was only one phone call, and that it was in support of the request. There were no negative responses received.
 - ii. Constance Peck, Attendee – Asked a question about why certain uses are considered principal uses in the C-2 district. Joe Taylor asked if she had a question specific to this item, as this is a special hearing with a stricter procedure than usual. She did not but confirmed that she supported the application. Joe Taylor stated that the Board would address her question after the adjournment of the public hearing.
 - e. There were no private attorneys present, and no members of the public provided testimony.
 - f. Bobby Miller stated that special exceptions are exactly what the name implies, exceptions that are granted on a case-by-case basis. He also stated that it is not the intent of the Board to deny property owners reasonable use of their property.
 - i. Joe Taylor also stated that if the property were to be purchased by a new owner, that individual would have to return to the Board for their request.
 - g. Motion to approve by Jim Bachrach; 2nd by Bobby Miller – all in favor, motion carried.
2. Discussion & Decision for Certificate of Appropriateness & Special Exception (Public Structure). **R-1 Single-Family Residential @ 203 7th Street**. Block 176 Lots 9-10. Owner: City of Apalachicola; Representative: Hammond Design Group.
- a. City Planner confirmed public notice was provided: letters sent to property owners within 500 ft., sign posted on the property, advertisement run twice in the Apalachicola Times.
 - b. Ex parte communications disclosed:

- i. Greg Gologowski disclosed that he obtained renderings of the finished exterior of the building from Mrs. Webb.
- ii. Joe Taylor disclosed that while speaking to Mrs. Webb, she had mentioned to him that this project would be coming before the Board.
- iii. Myrtis Wynn disclosed that she is the president of the association funding the project.
 - 1. City Attorney clarified that she would only need to recuse herself from voting if she gained some financial benefit from the project, which she confirmed she did not.
- c. Representative Brett Hammond presented his request. He stated that this project has been two years in the making, and that they had worked with the community as well as the previous City Planner. The proposed building will be a public structure owned by the City of Apalachicola.
- d. There were no private attorneys present, and three members of the public who were present stated that they were in support of the request.
- e. Joe Taylor mentioned a special exception for a public building approved in the past which received several exceptions from the Board regarding the design of the site. However, this building was eventually sold as a private residence. He felt that a public structure that is approved as a public structure should remain that way.
 - i. City Attorney confirmed that changing the use from public to private would be problematic. He noted that while single-family is an allowed use in the R-1 district, any change in the use of the site in the future would need to come back before the Board.
- f. Motion to approve by Lee McLemore; 2nd by Myrtis Wynn– all in favor, motion carried.

Other/New Business:

N/A

Outstanding/Unresolved Issues:

N/A

Motion to adjourn the hearing by Jim Bachrach; 2nd by Lee McLemore.

All in favor – hearing adjourned at 6:43 P.M.



Sign

343 25th Avenue



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner Daisy Jimenez

Address 328 22nd Ave

City Apalachicola State FL Zip 32320

Phone 8503706062

CONTRACTOR INFORMATION

Contractor Name _____

State License # _____ City License # _____

Email _____

Phone _____

PROJECT TYPE

☐ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☐ Accessory Structure

☐ Certificate of Appropriateness

☐ Other Commercial sign

PROPERTY INFORMATION

Street Address (911 Address): 343 25th Ave

City & State: Apalachicola Florida Zip: 32320

Parcel ID #: 01-09S-08W-8330-0222-0210 Block: 222 Lot: 21-22

Zoning District: _____ [] Historic District [x] Non-Historic District

FEMA Flood Zone: Zone X

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: _____ Rear: _____ Side: _____

Corner Lot? Y / N Street Sides: _____

Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff

Date Approved

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

Dj
Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

The comercial sign will be place on the front left side of the property. The sign is a 24" x 36" double sided polymetal sign with 4"x4" posts/frame

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

7/22/25

DATE

D. [Signature]

SIGNATURE OF APPLICANT

BUILDING PERMIT APPLICATION CHECKLIST

(ALL STEPS MAY NOT APPLY TO SMALLER PROJECTS)

- _____ 1. Approval from City Planning & Zoning Board
- _____ 2. Complete Building Permit Application
- _____ 3. TWO COMPLETE SETS OF PLANS INCLUDING:
- Site Plan
 - Final Site Plan (New Construction) – Stormwater Management Plan
 - Signed/Sealed Structural Drawings
 - Elevations
 - Floor Plan
 - Fire Protection
 - Drawn to Scale
- _____ 4. Contractor Information
- License
 - Photo ID of License Holder
 - COI: Workers Comp/General Liability
 - Letter of Authorization
- _____ 5. Contract Scope of Work
- _____ 6. Energy Forms
- _____ 7. Notice of Commencement (All permits valued at \$2,500 or more)
- _____ 8. Flood Elevation Certificate
- _____ 9. Fill Permit Application
- _____ 10. Floodplain Management Application (NOT if Flood Zone X)
- _____ 11. Water/Sewer Impact Fees Receipt (if applicable)

Daisy Jimenez, D. Jimenez
Applicant Name, Signature

07/22/25
Date

City of Apalachicola Building Department
192 Coach Wagoner Blvd. Apalachicola, FL 32320
(850)653-9319

Single sided 18"x18" polymetal sign
Installed on the railing of porch
facing the road/drive for clear
designation of business location.

18"

18"





STAFF FINDINGS REPORT

PROPERTY OWNER: Clearwater Apalach LLC

AGENT (if applicable): N/A

CONTRACTOR: Self

PROPERTY ADDRESS (if available): 343 25th Avenue

PARCEL ID: 01-09S-08W-8330-0222-0210

→ Block 222 Lots 21-22

HISTORIC DISTRICT: No

ACREAGE: -- (~6,000 SF)

FUTURE LAND USE: R-3 (Mobile Home Residential)

WETLANDS: No

FLOODPLAIN: "X"

CORNER LOT: No

DESCRIPTION OF PROJECT:

→ Installation of an 18" x 18" (2.25 square ft.) single-sided wall sign for a monthly vacation rental business.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 113-3. Computations.**

- **Computation of sign area.** The surface area of a sign shall be computed as including the entire area within a regular geometric form comprising all of the display area of the sign and including all of the elements of the matter displayed. Frames and structural members not bearing advertising matter shall not be included in computation of surface area and shall be kept to the minimum requirements necessary to meet the Florida Building Code. Where a sign has two or more faces, the area of all faces shall be combined in determining the area of the sign.

→ **Section 113-4. Purpose and scope of sign regulations.**

- The requirements of this chapter are the minimum necessary to promote the public health, safety, and welfare, including traffic safety, and to protect the

character and aesthetics of residential, commercial, and business areas throughout the city. Therefore, the display of signs should be appropriate to the land, building, structure, or use to which they are appurtenant and be adequate, but not excessive, for their intended purpose. It is the intent of this chapter that signs be accessory and incidental to their respective land, building, structure, or use

→ **Section 113-83. Signs permitted in residential zones.**

- **For home occupations:** one non-illuminated wall sign, not to exceed three square feet in size is permitted.
 - *The total area of the sign will be 2.25 square feet.*
- **For permitted nonresidential uses** other than home occupations, including churches and synagogues: one freestanding monument sign not to exceed 12 square feet in area or 8 feet in height.

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances as well as the changes requested by the Board on the August 11th meeting.



**Certificate of Appropriateness, New
Residential Construction & Accessory
Structure**

112 7th Street

Date: September 3, 2025

Subject: 112 Frederick S. Humphries Street/ Joshua P. Porter, Sarah L. Porter

Dear City of Apalachicola Planning Department:

I, Jason Cheek as the owner of the subject property located at :

112 DR FREDERICK S HUMPHRIES ST APALACHICOLA 32320

Legal: Block 60 Lot 3.

Tax ID# 01-095-08W-8330-0060-0020

hereby consent to Joshua P. Porter, Sarah L. Porter submitting development application for the subject property.

Sincerely,

Jason Cheek

09/03/2025

Jason Cheek

404-402-1308



My commission expires 8/9/2028
Signer is known to me personally.



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner Jason Cheek
Address 112 Dr. Frederick S. Humphries St.
City Apalachicola State FL Zip 32320
Phone _____

CONTRACTOR INFORMATION

Contractor Name NRG Industries
State License # CRC 1332374 City License # NA
Email decondevelopmentllc@gmail.com
Phone 850.508.4746

PROJECT TYPE

☒ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☒ Accessory Structure

☒ Certificate of Appropriateness

☐ Other _____

PROPERTY INFORMATION

Street Address (911 Address): 112 Dr. Frederick S. Humphries St.
City & State: Apalachicola, FL Zip: 32320
Parcel ID #: 01-095-00W-8330-0060-0020 Block: 60 Lot: 3
Zoning District: _____ ☒ Historic District [] Non-Historic District
FEMA Flood Zone: AE

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: _____ Rear: _____ Side: _____

Corner Lot? Y / N Street Sides: _____

Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____

Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.


Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Project for a single family residential structure with a detached garage. Gravel driveway w/ paver patio & decks on front and side. No drywall wood walls/ceilings.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	Nichiha	Cement fiber siding	TE-12098
Doors	Therma Tru		30482.7
Windows	Jeld Wen	Single hung vinyl	22376
Roofing	Tri County Metal	26g. 36" ultrarib	30904.2
Trim	various	wood (pine)	
Foundation		pier/post monolithic Slab	
Shutters		Cedar	
Porch/Deck		Wood frame w/ composite decking	
Fencing		NA	
Driveways/Sidewalks		gravel driveway paver patio	
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

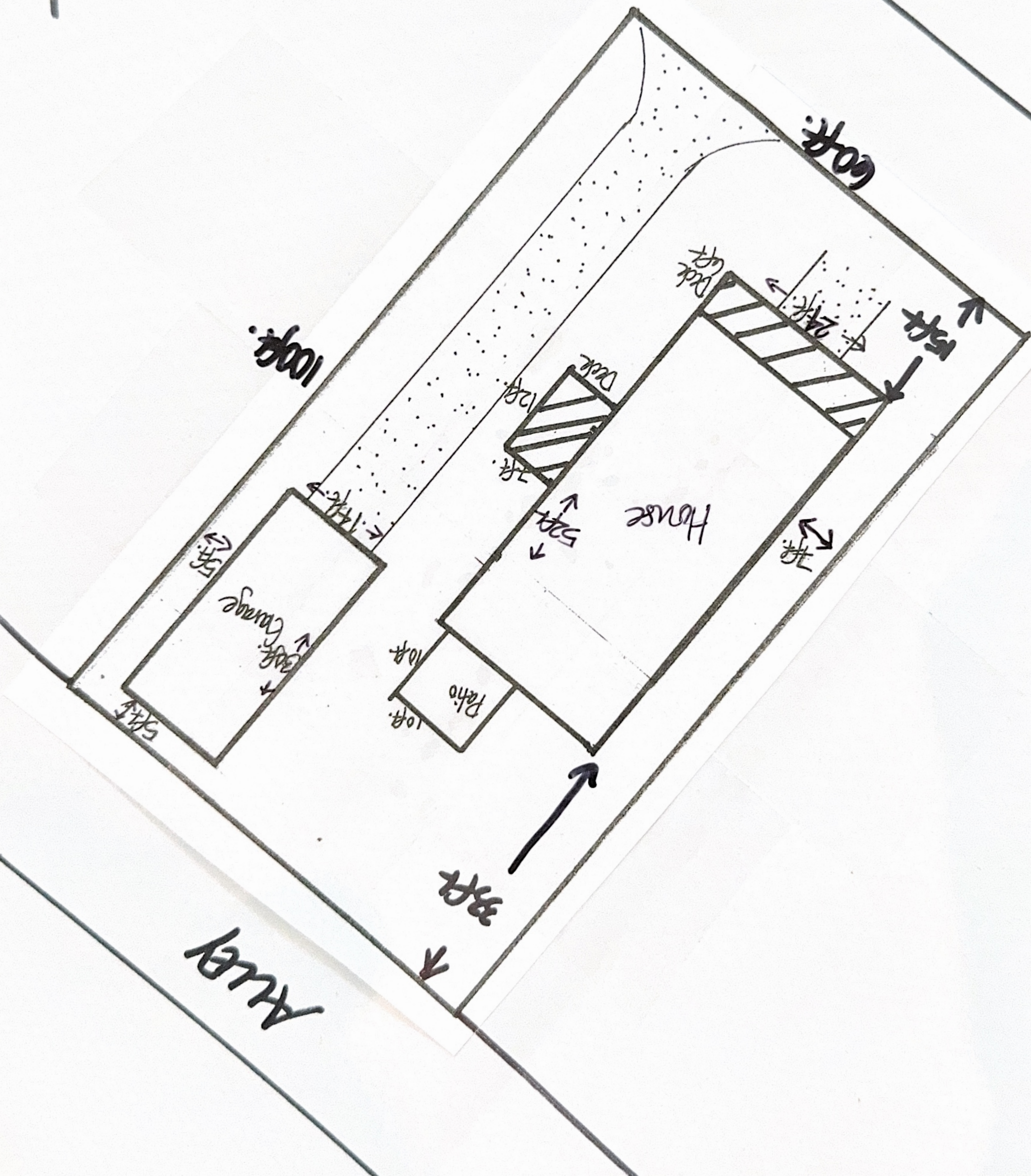
1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
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9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

Sept 8, 2025
DATE


SIGNATURE OF APPLICANT

无牙

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↑

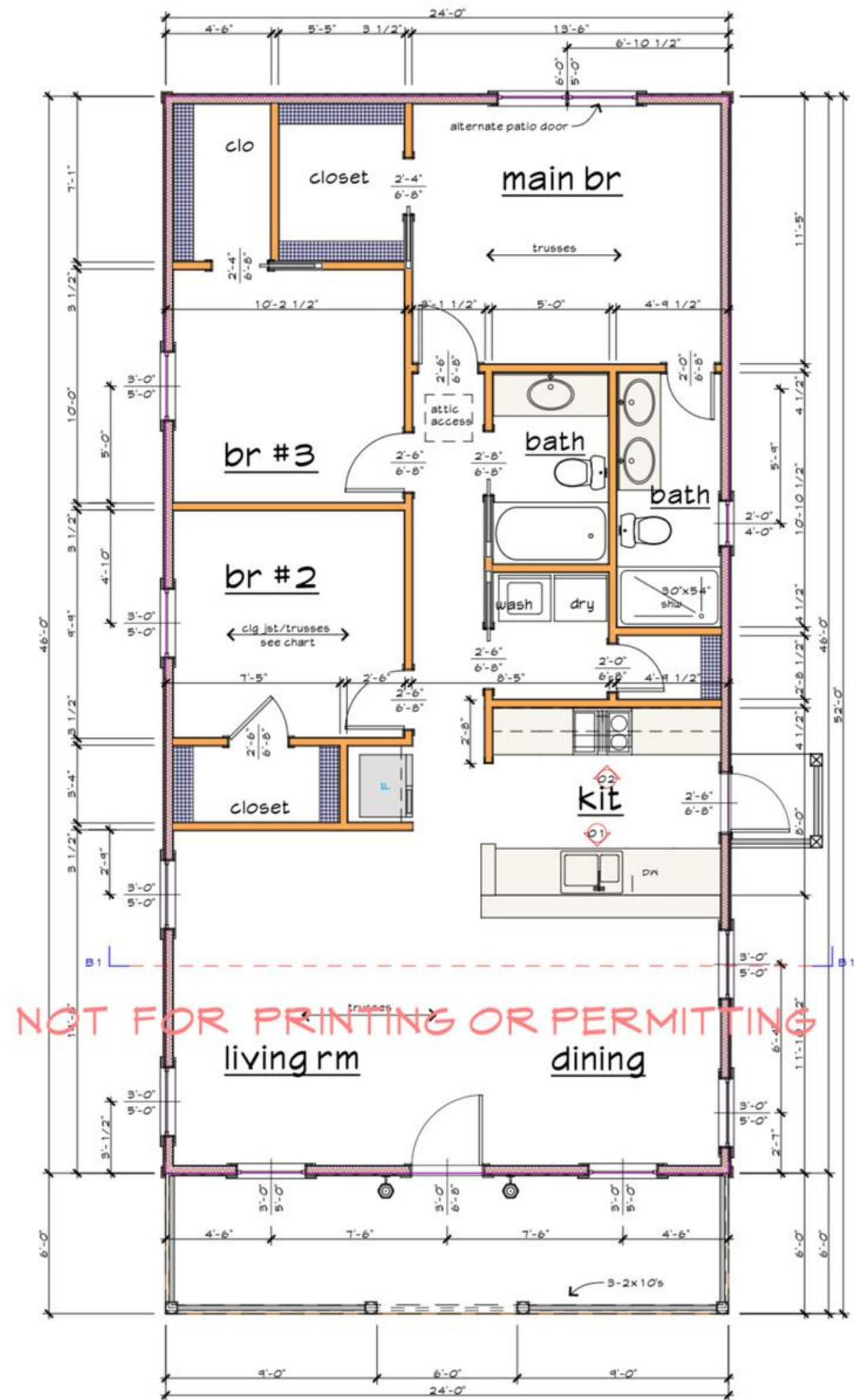


112 Dr. Fredrick S. Humphries
Apalachicola, Florida



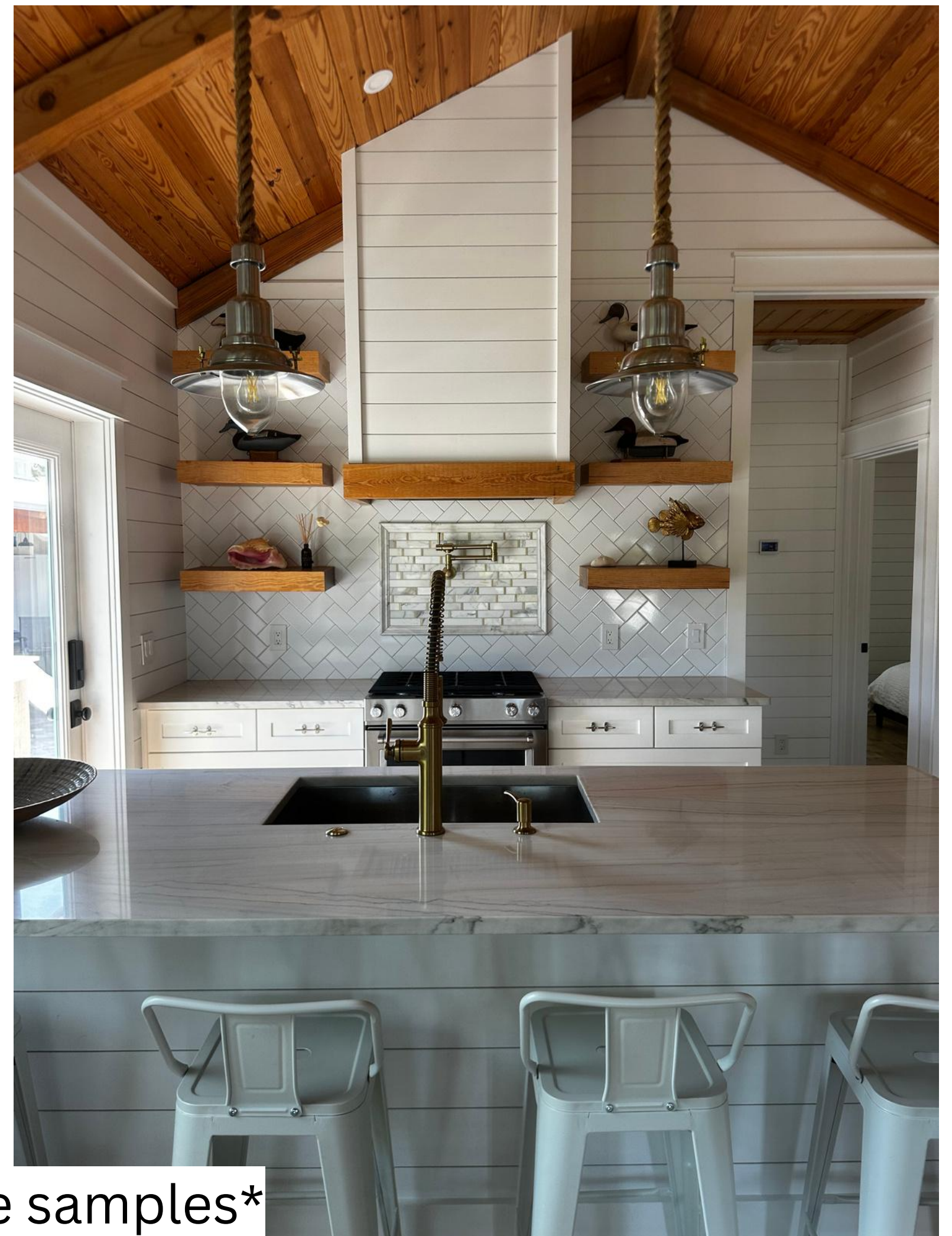
Parcel ID
01-09S-08W-8330-0060-0020

Block 60 Lot 3

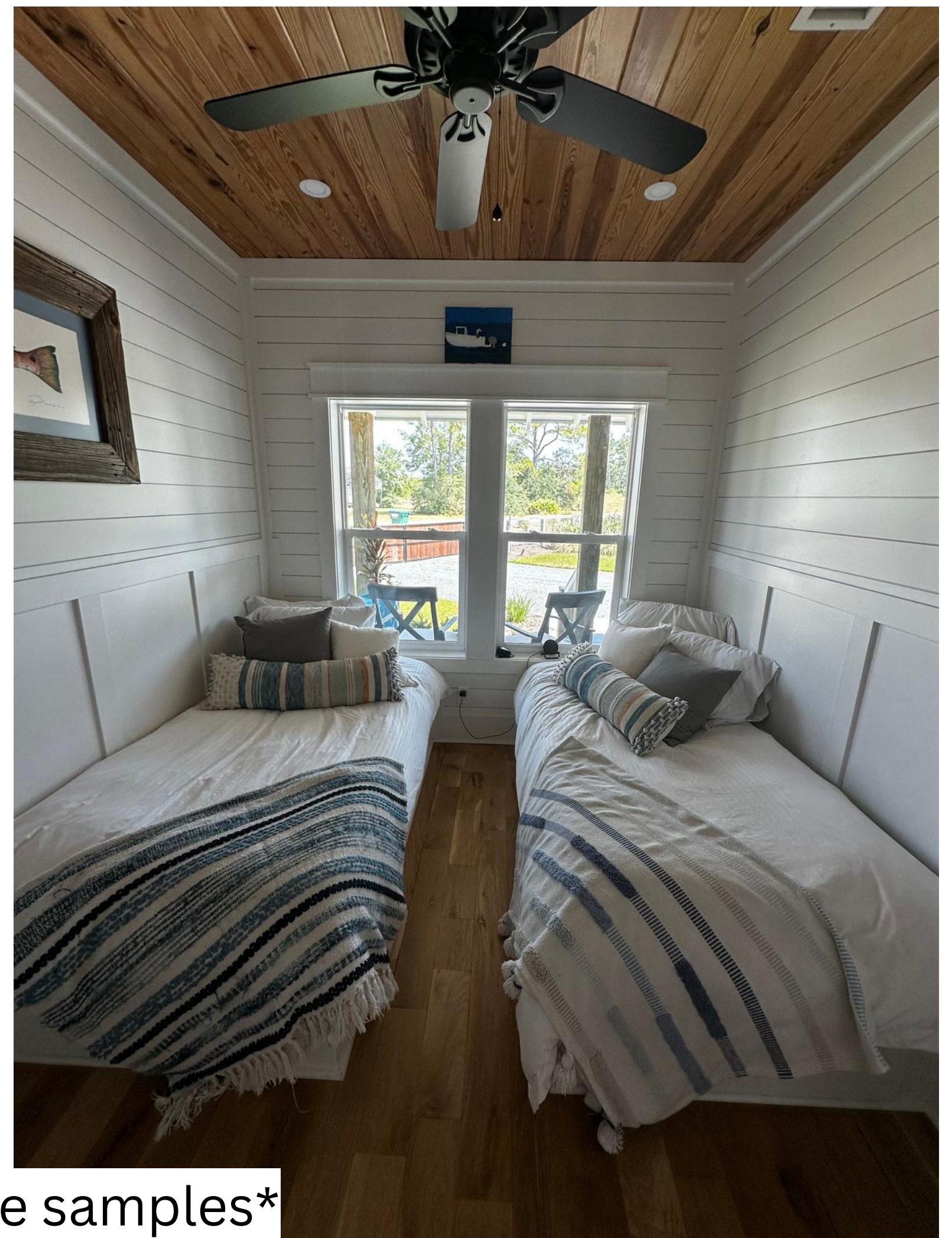




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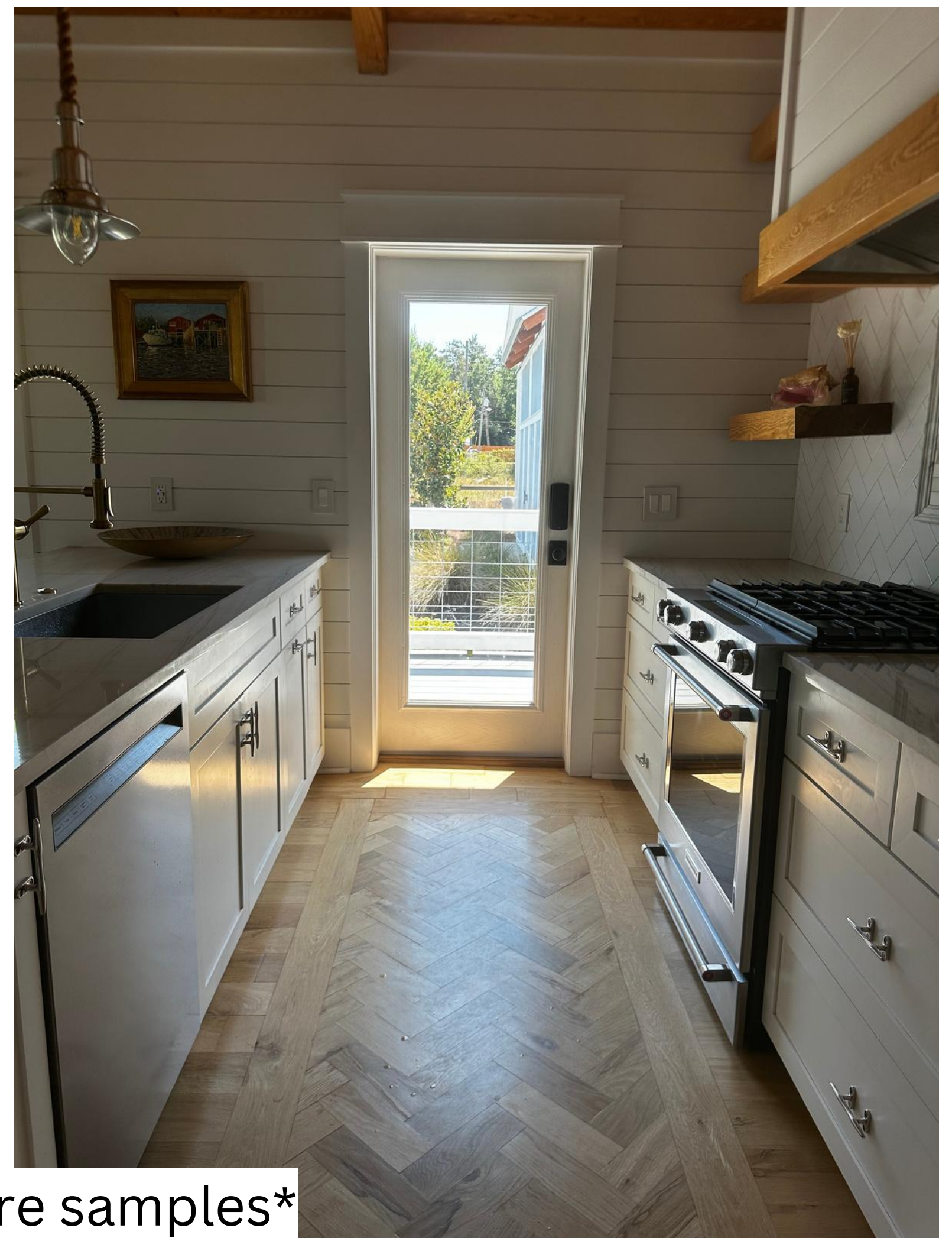
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STAFF FINDINGS REPORT

PROPERTY OWNER: Jason Cheek

APPLICANT (if applicable): Sarah Porter

CONTRACTOR: NRG Industries

PROPERTY ADDRESS (if available): 112 7th Street

→ Block 60 Lot 3

PARCEL ID: 01-09S-08W-8330-0060-0020

HISTORIC DISTRICT: Yes

CORNER LOT: No

ACREAGE: -- (6,000 SF)

FUTURE LAND USE: R-1 Single-family Residential

WETLANDS: No

FLOODPLAIN: "AE"

DESCRIPTION OF PROJECT:

→ New single-family residential home and accessory structure.

STAFF FINDINGS:

→ **Section 111-268. R-1 single-family residential.**

- Single-family residential is a permitted principal use in this district.
- Minimum building size is 800 square feet.
 - *Total area for the principal structure will be approximately 1,104 square feet, excluding both attached decks.*
- Minimum building setbacks:
 - Front: 15 ft.
 - Side (interior): 7 ½ ft. each side or a combination of 15 ft, provided no side setback is less than 5 ft.
 - Rear: 25 ft.
- Maximum impervious lot coverage is 40%.
 - *Total proposed lot coverage is ~31% not including gravel driveway.*
 - *Principal: 1,104 SF*
 - *Accessory: 420 SF*

- *Front deck (covered): 144 SF*
- *Side deck (covered): 84 SF*
- *Patio: 100 SF*
- *Total: 1,852 SF*
- Maximum permitted building height is 35 ft.

→ **Section 111-268.(f). Applicable Regulations.**

- In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.
 - *The accessory garage will not be located in the front yard.*

→ **Section 111-288(i). Parking Requirements.**

- There must be one parking space for each dwelling unit; no part of the parking area shall be closer than five feet to any established road right-of-way or alley line.
 - *Accessory garage will be used to fulfill the parking requirement; meets setback requirements.*

RECOMMENDATION: Approval, meets all the requirements of the Code of Ordinances.



**Certificate of Appropriateness
& Accessory Structure
146 12th Street**



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner PAUL PAYTON
Address 819 S. MARINE ST.
City CARRABELLE State FL Zip 32322
Phone 610-405-9007

CONTRACTOR INFORMATION

Contractor Name OWNER
State License # _____ City License # _____
Email bowhunt1221@gmail.com
Phone 610-405-9007

PROJECT TYPE

- | | |
|------------------------------------------------|---------------------------------------------------------|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Relocation | <input checked="" type="checkbox"/> Other <u>DECK</u> |
| <input type="checkbox"/> Demolition | |

PROPERTY INFORMATION

Street Address (911 Address): 146 12th ST.
City & State: APALACHICOLA, FL Zip: 32320
Parcel ID #: 01-095-08W-8330-0081-0020 Block: 81 Lot: 2
Zoning District: 3 ☒ Historic District ☐ Non-Historic District
FEMA Flood Zone: X

OFFICIAL USE ONLY

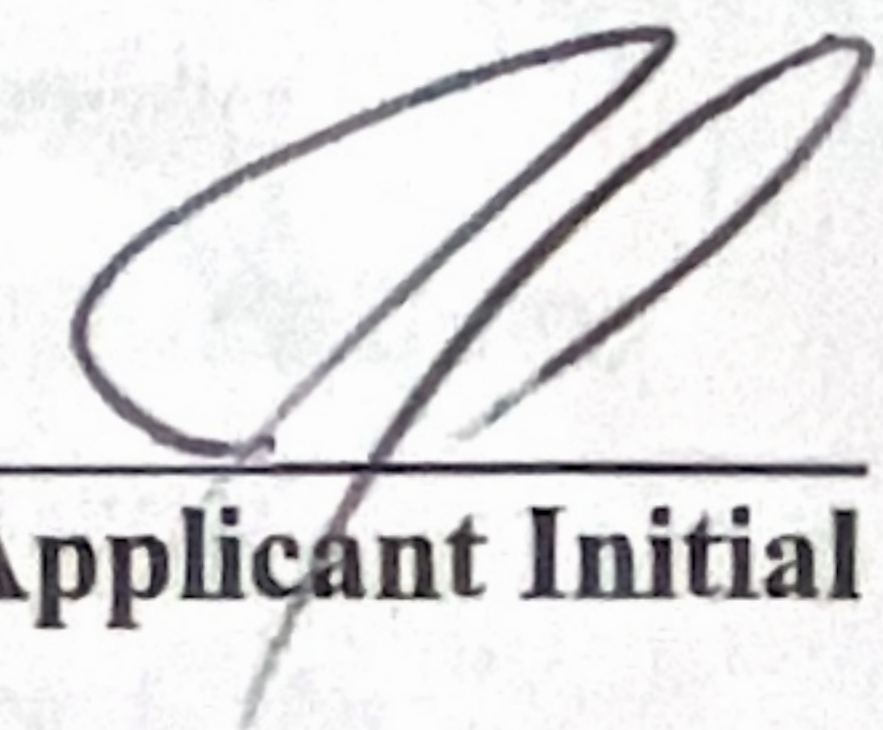
Certificate of Appropriateness Required? Y / N
Setback Requirements of Property:
Front: _____ Rear: _____ Side: _____
Corner Lot? Y / N Street Sides: _____
Lot Coverage: _____
STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff

Date Approved

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.


Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

8'x26' BACK DECK - MATERIALS: 2"x10" PRESSURE TREATED (PT) LEDGER BOARD
2"x8"(PT) SKIRT BOARD, FLOOR JOIST-2"x8"(PT) WITH METAL JOIST HANGERS,
FLOORING-1"x6"(PT) - 16" ON CENTER, FOOTERS - 10" DIA. 4' DEPTH - CONCRETE,
POSTS - 6"x6"(PT) WITH METAL POST ANCHORS, RAILING - 4' TO MATCH
EXISTING SIDE DECK

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck ✓			
Fencing			
Driveways/Sidewalks			
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.



146 12TH St. Apalachicola, FL

Scale - $\frac{1}{8}" = 1 \text{ Foot}$

Back Deck 8'x26'

Proposed Deck Specs. - MATERIALS

Ledger Board - 2"x10" PT

Skirt Board - 2"x8" PT

Floor Joist - 2"x8" PT - w- METAL JOIST HANGERS

Flooring - 1"x6" PT - 16" ON CENTER

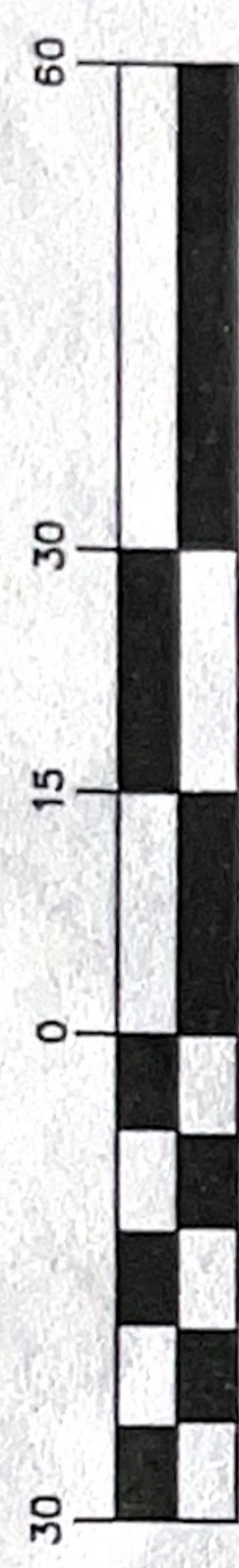
Footers - 10" DIA 4' DEPTH - CONCRETE

Post 6"x6" PT - w- METAL POST ANCHORS

Railing - 4' to MATCH EXISTING
SIDE DECK

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 PAUL PAYTON and PILAR PAYTON,
 CMG MORTGAGE,
 MANAUSA, SHAW & MINACCI, P.A.,
 INVESTORS TITLE INSURANCE COMPANY

GRAPHIC SCALE

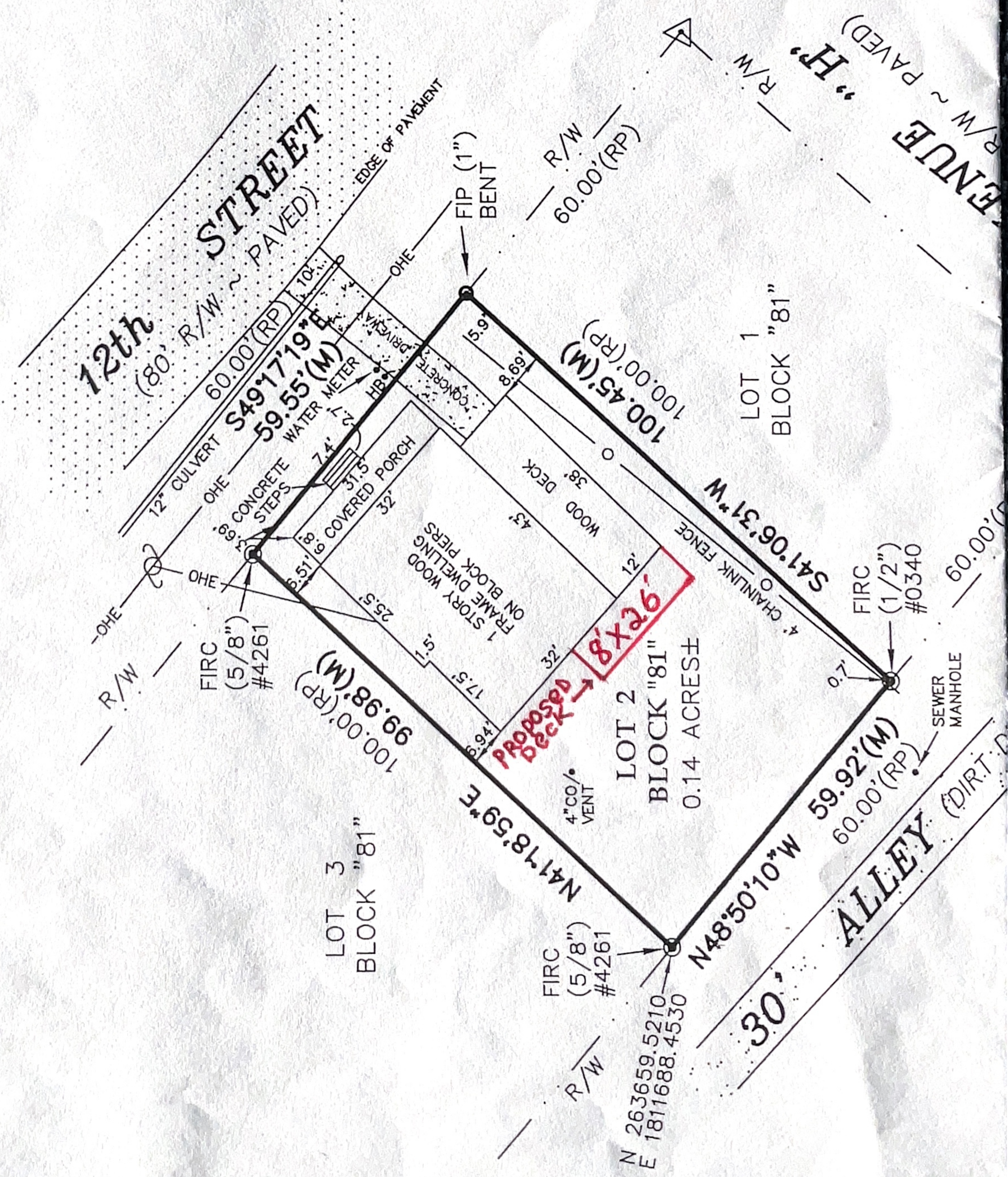


(IN FEET)

1 inch = 30 ft.

LEGEND

RP	RECORD PLAT
M	MEASURED
D	RECORD DEED
R/W	RIGHT-OF-WAY
SIRC	SET (5/8") IRON ROD AND CAP #7160
FIB	FOUND IRON BOLT
FIRC	FOUND IRON ROD AND CAP
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
	NOT TO SCALE
	POINT NOT SET OR FOUND
OHE	OVERHEAD ELECTRICAL LINE
	ELECTRICAL POWER POLE
	GUY WIRE ANCHOR
4"CO	4" PVC CLEANOUT
HB	HOSE BIBB



LEGAL DESCRIPTION:

Lot 2, Block "81" of CITY OF APALACHICOLA, FRANKLIN COUNTY, STATE OF FLORIDA, a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: All bearings established by Florida Grid North datum.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.
8. ELEVATIONS shown hereon were established using NAVD '88.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No. 4261

EFFECTIVE FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0526F index date: February 5, 2014, Franklin County, Florida.

TR & A

THURMAN RODDENBERRY & ASSOCIATES, INC

PROFESSIONAL SURVEYORS AND MAPPERS

P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358

PHONE NUMBER: 850-962-2538

FAX NUMBER: 850-962-1103

LB # 7160

DATE: 07/14/25	DRAWN BY: BB	N.B. PER PLAT	COUNTY: FRANKLIN
FILE: 04864.DWG	DATE OF LAST FIELD WORK: 07/09/25	CHECKED BY: TR	JOB NO: 04-864



STAFF FINDINGS REPORT

PROPERTY OWNER: Paul Payton

AGENT (if applicable): N/A

CONTRACTOR: Self

PROPERTY ADDRESS (if available): 146 12th Street

→ Block 81 Lot 2

PARCEL ID: 01-09S-08W-8330-0081-0020

HISTORIC DISTRICT: Yes

CORNER LOT: No

ACREAGE: -- (~6,000 SF)

FUTURE LAND USE: R-1 Single-Family Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

→ Construction of an 8' x 26' deck at the rear of the existing principal structure.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 41. Decks, Patios, Hot Tubs and Pools.**

- Modern installations of decks, pools, patios and hot tubs should be considered on a case-by-case basis. The appropriateness of such modern features should vary according to site, size and design. Amenities such as pools, decks and hot tubs should not be located as to be highly visible from the street.
- Wood decking or brick patios are allowed in side or rear yards. Wood decks should not be built on the front of any house.
 - *The proposed deck will be in the rear yard.*
- The proportion of decking, patio or pool dimensions should not exceed fifty percent of the total lot minus the building footprint.
 - *Lot: 6,000 SF.*
 - *Principal Structure: 1,376 SF.*

- *Existing Deck: 456 SF*
- *Proposed Deck: 208 SF*
- *Maximum allowed area: 1,624 SF*
- *Total proposed deck area: 664 SF*

→ **Section 101-8. Definitions.**

- **Accessory building** means a structure or a use customarily incidental and subordinate to the principal structure or use and located on the same lot. Accessory structures shall not be used for habitable purposes. Accessory buildings shall not be constructed until a principal structure is in place. Accessory structures shall include, but are not limited to: patios, decks (pervious and impervious), gazebos, sheds, pools, spas, and mechanical swimming pool or spa equipment.

→ **Section 111-268. R-1 Single-Family Residential:**

- Maximum lot coverage is 40% or 2,400 SF.
 - *Principal structure: 1,376 SF.*
 - *Front porch: 214.2 SF.*
 - *Side deck: 456 SF.*
 - *Proposed rear deck: 208 SF.*
 - *Total: 2,254.2 SF (37%).*

→ **Section 111-270.(e) Applicable Regulations.**

- In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.
 - *The proposed deck will not be located in the front yard.*

RECOMMENDATION: Approval meets all the requirements of the Code of Ordinances. The proposed deck will be of a similar character and construction to the existing deck.



Accessory Structure
261 Brownsville Road



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____
Meeting Date: _____
Fees Due: _____
Date Fees Paid: _____

OWNER INFORMATION

Owner Lloyd Alton Shiver, Jr. "Skip"
Address 115 Ave B
City Apalachicola State FL Zip 32320
Phone 850-370-6001

CONTRACTOR INFORMATION

Contractor Name SELF
State License # _____ City License # _____
Email _____
Phone _____

PROJECT TYPE

- | | |
|------------------------------------------------------|------------------------------------------------------------|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Relocation | <input checked="" type="checkbox"/> Other <u>Pole barn</u> |
| <input type="checkbox"/> Demolition | |

PROPERTY INFORMATION

Street Address (911 Address): 261 Brownsville Rd
City & State: Apalachicola, FL Zip: 32320
Parcel ID #: 01-095-08W-8330-0259-0010 Block: 259
Zoning District: _____ [] Historic District [X] Non-Historic District
FEMA Flood Zone: _____

*The E Port of a
2 Acre Tract 1 acre
Lot: also that Port
of FRAC. BL260
Not Platted*

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N
Setback Requirements of Property:
Front: _____ Rear: _____ Side: _____
Corner Lot? Y / N Street Sides: _____
Lot Coverage: _____
STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff

Date Approved

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

AS
Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Pole barn 40' x 72' x 14'
 STEEL TRUSSES welded
 26 gauge metal Roof
 8'x8' Pilings set in concrete

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors	N/A		
Windows	N/A		
Roofing			
Trim	N/A	26 gauge metal	
Foundation			
Shutters	N/A	8x8 pilings in Concrete	
Porch/Deck	N/A		
Fencing	N/A		
Driveways/Sidewalks	N/A		
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

09/08/2025

DATE

Lloyd Alton Shivers, Jr. "SKIP"
SIGNATURE OF APPLICANT

Return to: Linda Maloy
Name: DODD TITLE COMPANY, INC.
Address: 40 4TH STREET
APALACHICOLA, Florida 32320

This Instrument Prepared:
Linda Maloy
DODD TITLE COMPANY, INC.
40 4TH STREET
APALACHICOLA, Florida 32320

as a necessary incident to the fulfillment of conditions
contained in a title insurance commitment issued by it.

Inst:0200500298 Date:01/11/2005 Time:14:28

Doc/Stamp-Deed -1774.50

[Signature] Marcia Johnson, FRANKLIN County B:828 P:597

Property Appraisers Parcel I.D. (Folio) Number(s):
01-09S-08W-8330-0259-0010

File No:19503

WARRANTY DEED

This Warranty Deed Made the 11th day of January, 2004, by CHARLES J. SPICER and VIRGINIA R. SPICER, husband and wife, an undivided one-half (1/2) interest, and SHIRLEY A. DUNAWAY, a married person, undivided one-half (1/2) interest, as tenants in common, hereinafter called the grantor, whose post office address is: P.O. BOX 537, APALACHICOLA, FLORIDA 32329

to LLOYD ALTON SHIVER, JR. and JULIE BROCK SHIVER, husband and wife, whose post office address is: 1901 INDIAN HARBOR ROAD, ST. GEORGE ISLAND, FLORIDA 32328, hereinafter called the grantee,

WITNESSETH: That said grantor, for and in consideration of the sum of \$10.00 Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Franklin County, Florida, viz:

SEE ATTACHED EXHIBIT FOR COMPLETE LEGAL DESCRIPTION

The property is not the homestead of the Grantor(s).

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2005, reservations, restrictions and easements of record, if any, and any reservations, restrictions, and easements specifically recited in this instrument.

(The terms "grantor" and "grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Signature: *[Signature]*
Printed Name: LINDA MALOY

[Signature]
CHARLES J. SPICER

Witness Signature: *[Signature]*
Printed Name: RENAE MARTINA

[Signature]
VIRGINIA R. SPICER

[Signature]
SHIRLEY A. DUNAWAY

STATE OF FLORIDA
COUNTY OF FRANKLIN

The foregoing instrument was acknowledged before me this 11th day of January, 2005, by CHARLES J. SPICER and VIRGINIA R. SPICER, husband and wife, an undivided one-half (1/2) interest, and SHIRLEY A. DUNAWAY, a married person, undivided one-half (1/2) interest, as tenants in common, who () are personally known to me or () have produced a Notary Public license(s) as identification.

My Commission Expires:



[Signature]
Printed Name:
Notary Public
Serial Number

EXHIBIT "A"

Inst:0200500298 Date:01/11/2005 Time:14:28
Doc Stamp-Deed : 1774.50
DC,Marcia Johnson,FRANKLIN County B:828 P:598

Begin at a re-rod (marked #6475) marking the Southwest corner of Section 1, Township 9 South, Range 8 West, Franklin County, Florida. From said POINT OF BEGINNING run North along the Westerly boundary of said Section 1 (as monumented) a distance of 210.33 feet to a concrete monument (marked #2919), thence run South 89 degrees 59 minutes 19 seconds East 210.00 feet to a re-rod (marked #6475) lying on the Westerly right-of-way boundary of the extension of 6th Street, thence run South 00 degrees 00 minutes 03 seconds West along said right-of-way boundary 58.87 feet to a re-rod (marked #4261) lying on the Southerly right-of-way boundary of said 6th Street, thence run North 89 degrees 10 minutes 42 seconds East along said Southerly right-of-way boundary 48.72 feet to a re-rod (marked #4261), thence leaving said right-of-way boundary run South 00 degrees 50 minutes 28 seconds East along the Easterly boundary of Block "260" of the City of Apalachicola a distance of 268.32 feet to a re-rod (marked #4261), thence run South 89 degrees 13 minutes 11 seconds West along the Southerly boundary of Lot 22 of said Block "260" a distance of 100.68 feet to a re-rod (marked #4261) lying on the Easterly right-of-way boundary of 25th Avenue, thence run North 00 degrees 49 minutes 22 seconds West along said right-of-way boundary 117.50 feet to a re-rod (marked #4261), thence leaving said right-of-way boundary run North 89 degrees 58 minutes 45 seconds West 160.29 feet to the POINT OF BEGINNING.

EXHIBIT "A"



Property Search

You are here: Franklin County > **Property Search**

Parcel 01-09S-08W-8330-0259-0010

Owners

SHIVER LLOYD ALTON JR &
JULIE BROCK
115 AVE B
APALACHICOLA, FL 32320

Parcel Summary

Location	32320
Use Code	000100: SINGLE FAMILY
Tax District	3: CITY OF APALACHICOLA
Acreage	.0000
Section	1
Township	9S
Range	8W

Keyline Description

BL 259
THE E PORT OF A 2 ACRE
TRACT 1 ACRE ALSO THAT PART
OF FRAC. BL 260 NOT PLATTED
VV/126 OR/285/29 OR/270/278
OR/442/106 OR/442/108
OR/641/445
ALSO BLOCK 260 LOTS 22-30
828/597 ALSO PART OF ABANDONED
STREETS



Value History

	2024	2023	2022	2021	2020	2019
Total Building Value	\$28,018	\$27,424	\$15,315	\$15,500	\$13,725	\$13,888
Total Extra Features Value	\$1,006	\$1,006	\$1,006	\$1,006	\$1,006	\$1,006
Land Value	\$180,000	\$129,000	\$84,000	\$118,500	\$60,000	\$60,000
Ag Land Value	\$0	\$0	\$0	\$0	\$0	\$0
Market Ag Land Value	\$0	\$0	\$0	\$0	\$0	\$0
Market Value	\$209,024	\$157,430	\$100,321	\$135,006	\$74,731	\$74,894
Assessed Value	\$103,084	\$93,713	\$85,194	\$77,449	\$70,408	\$64,007
Exempt Value	\$0	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$103,084	\$93,713	\$85,194	\$77,449	\$70,408	\$64,007

Document/Transfer/Sales History

Instrument / Official Record	Date	Q/U	Reason	Type	V/I	Sale Price	Ownership
WD 0828/0597	2005-01-11	Q		Warranty Deed	Improved	\$253,500	Grantor: SPICER Grantee: SHIVER
WD 0641/0445	2000-06-14	Q		Warranty Deed	Improved	\$50,000	Grantor: HUCKEBA Grantee: SPICER & DUNAWAY

Buildings

Building # 1, Section # 1, 15315, RESIDENTIAL

Type	Model	Heated Sq Ft	Repl Cost New	YrBlt	WAY	Other % Dpr	Normal % Dpr	% Cond	Value
000101	01	880	\$69,610	1946	1946	0.00%	60.00%	40.00%	\$27,844

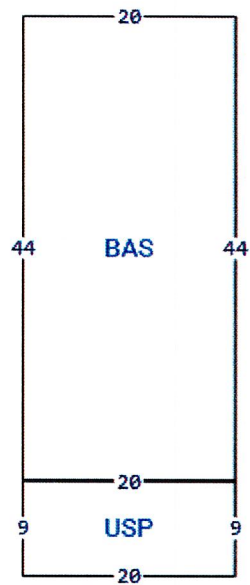
Structural Elements

Type	Description	Code	Details
EW	Exterior Wall	04	SINGLE SID
RS	Roof Structure	03	GABLE/HIP
RC	Roof Cover	03	COMP SHNGL
IW	Interior Wall	02	WALL BD/WD
IF	Interior Flooring	09	PINE WOOD
AC	Air Conditioning	01	NONE
HT	Heating Type	02	CONVECTION
BDR	Bedrooms	0.00	
BTH	Bathrooms	1.00	
PL	Plumbing	0.00	
FR	Frame		

Subareas

Type	Gross Area	Percent of Base	Adjusted Area
BAS	880	100%	880
USP	180	40%	72

Type	Description	Code	Details
SH	Story Height	0.00	
RMS	RMS	0.00	
STR	Stories	1.	1.



Extra Features

Code	Description	Length	Width	Units	Unit Price	AYB	% Good Condition	Final Value
0720	BLDG	3	4	12.00	\$10.00	0	100%	\$120
0320	CONCRETE	15	3	45.00	\$1.90	0	100%	\$86
0720	BLDG	8	10	80.00	\$10.00	0	100%	\$800

Land Lines

Code	Description	Zone	Front	Depth	Units	Rate/Unit	Acreage	Total Adj	Value
000155	SFR GREATER APALACH		.00	.00	210.00	\$600.00/FF	0.00	1.00	\$126,000
000155	SFR GREATER APALACH		.00	.00	90.00	\$600.00/FF	0.00	1.00	\$54,000

TRIM Notices

2025
2024
2023

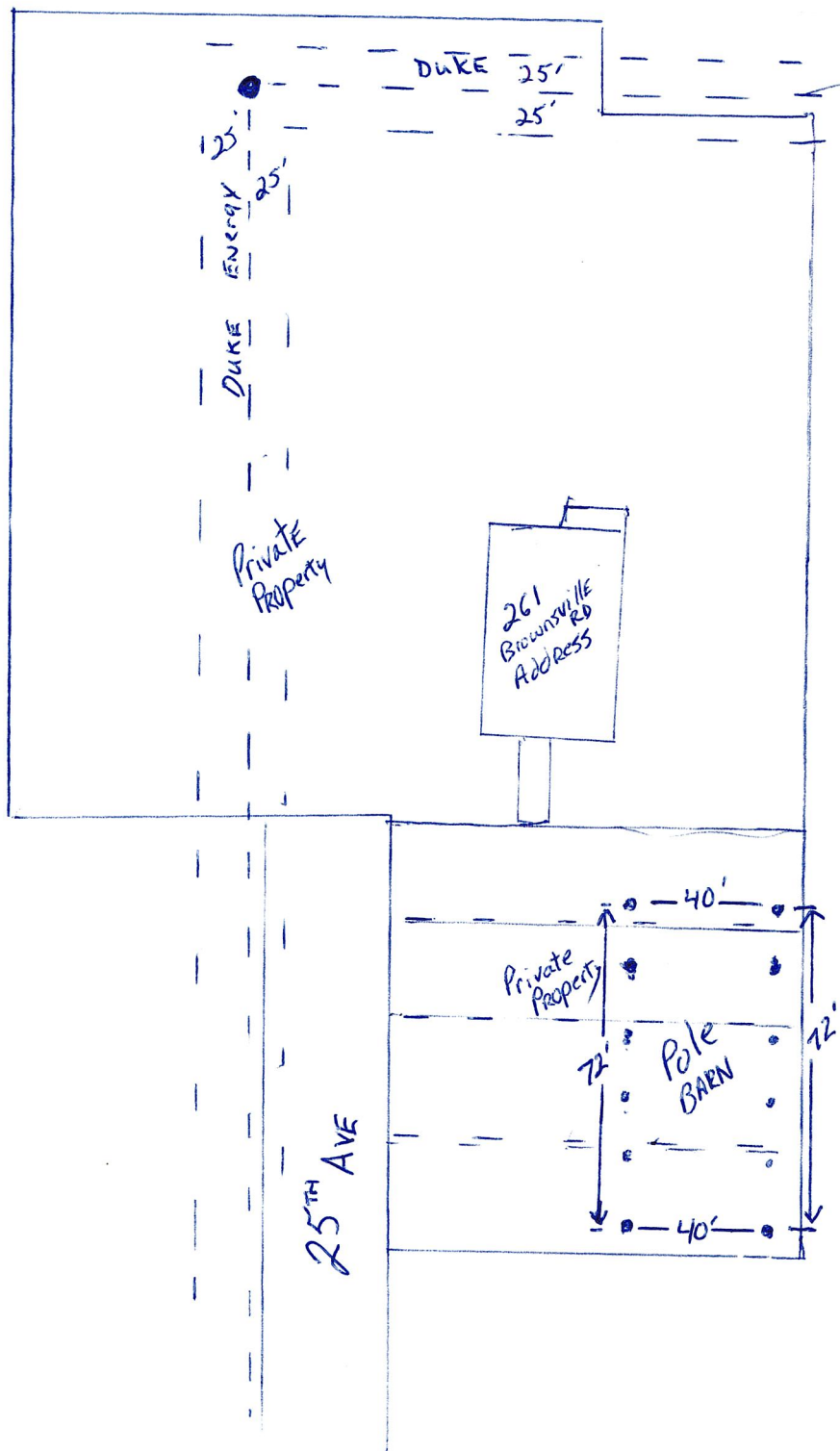
Disclaimer

All parcel data on this page is for use by the Franklin County Property Appraiser for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies.



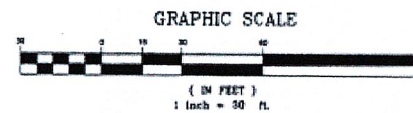
Skip Shiver → Pole barn Site Plan

* Duke Energy Easement 50'
25' each side of center line



* Please See Attached
Rodden berry
Survey for lot
measurements

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
SHIRLEY DUNAWAY,
CHARLES SPICER



NOTES:

1. SURVEY SOURCE: Deeds of record, special instructions as per client and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Westerly boundary of Section 1, Township 9 South, Range 8 West, Franklin County, Florida (as monumented) having an assumed bearing of North.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. See attached sheet for legal description.

I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 61G17-6, Florida Administrative Code).

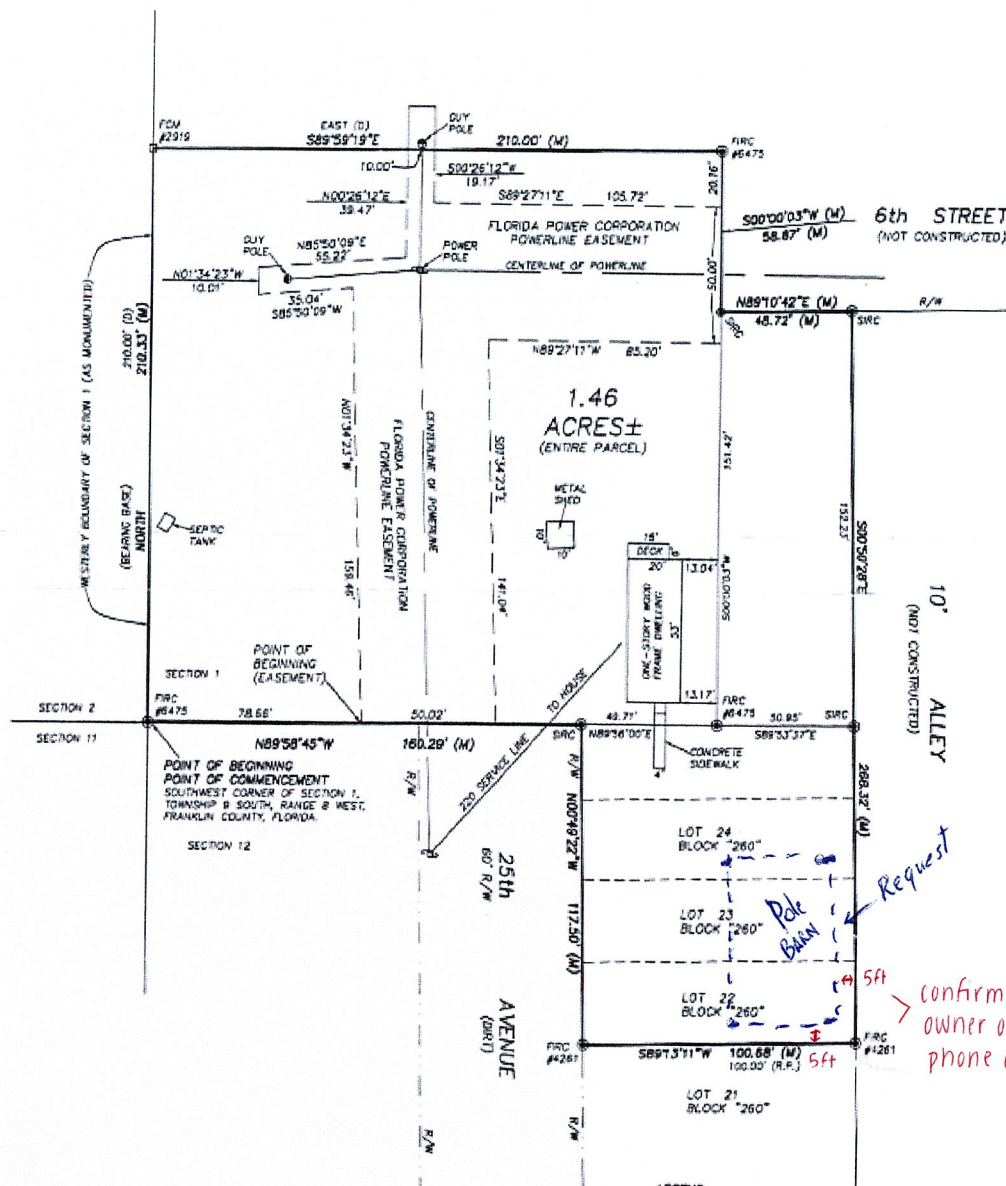
The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No. 4261

James "Thurman" Roddenberry
Professional Land Surveyor
Florida Certificate No. 4261

P.O. Box 100 • 114 Municipal Avenue • Sopchoppy, FL 32358-0100 • (850) 962-2538

DATE: 02/29/00	DRAWN BY: B.R.	N.B.281 pg.47	COUNTY: FRANKLIN
FILE: 00095.DWG	DATE OF LAST FIELD WORK: 02/25/00	JOB NUMBER: 00-095	



LEGEND

- CM CONCRETE MONUMENT
 R/W RIGHT OF WAY
 U MEASURED
 D DEED CALL
 S POINT NOT SET OR FOUND
 & NOT TO SCALE
 FM FOUND CONCRETE MONUMENT
 SRC SET IRON ROD & CAP #1261
 RP RECORD PLAT

Request

5ft confirmed with owner over the phone 09.15.2025

STAFF FINDINGS REPORT

PROPERTY OWNER: Lloyd Alton Shiver Jr.

AGENT (if applicable): N/A

CONTRACTOR: Self

PROPERTY ADDRESS (if available): 261 Brownsville Road

→ Block 260 Lots 22-24

PARCEL ID: 01-09S-08W-8330-0259-0010

HISTORIC DISTRICT: No

CORNER LOT: No

ACREAGE: 1.46-1.57 acres (~63,500 – 68,300 SF)

FUTURE LAND USE: R-3 Mobile Home Residential

WETLANDS: Mixed “AH” and “X”

→ Proposed accessory structure will be in the Zone “X” portion of the property.

FLOODPLAIN:

DESCRIPTION OF PROJECT:

→ Installation of a 40’ x 72’ x 14’ pole barn (accessory structure).

STAFF FINDINGS:

→ **Section 101-8. Definitions.**

- **Accessory building** means a structure or a use customarily incidental and subordinate to the principal structure or use and located on the same lot. Accessory structures shall not be used for habitable purposes. Accessory buildings shall not be constructed until a principal structure is in place. Accessory structures shall include, but are not limited to: patios, decks (pervious and impervious), gazebos, sheds, pools, spas, and mechanical swimming pool or spa equipment.

→ **Section 111-270. R-3 Mobile Home Residential.**

- Accessory uses and structures customarily incidental and subordinate to permitted principal uses *and* not of a commercial nature are permitted in this district.

- Accessory structures have a minimum setback requirement of 5 ft. from all property lines.
- Maximum impervious lot coverage is 40% for single-family.
 - *Total proposed lot coverage is ~6% not including the concrete sidewalk noted on the survey.*
 - *Principal: 1,060 SF*
 - *Accessory: 2,880 SF*
 - *Total: 3,940 SF (6%)*
- Maximum permitted building height is 35 ft.

→ **Section 111-270.(e) Applicable Regulations.**

- In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances. The accessory structure cannot be used for residential or commercial purposes.



Accessory Structure
265 Morris Cannon Street

Owners, Builders, Developers

PLASE NOTE:

1. If the proposed development is located within the City's Historic District; a Certificate of Appropriateness from the City's Planning & Zoning Board and Architectural Review Committee is necessary before any permitting can take place.
2. Required site plan elements and the Development Order/Certificate of Appropriateness applications are due 10 BUSINESS DAYS prior to the scheduled monthly meeting (second Monday of each month) of the Planning & Zoning Board.
3. Residential site plan approvals are valid for one year after issuance. If a building permit is not obtained within a year after receiving P&Z approval, the applicant must re-apply and receive P&Z approval again. (Commercial site plan approvals are valid for two years.)
4. After you have received your Planning & Zoning Approval and/or Certificate of Appropriateness, whichever applies, take all development documents to the Building Department at 192 Coach Wagoner Blvd, Apalachicola to apply for your building permit. A P&Z Development Order Application is not a building permit application – there will be building permit forms to fill out. Building permit issuance and all inspections will be coordinated with the Building Department Clerk. Please be advised that additional documentation may be required by the Building Clerk or Building Official. Please email buildingdept@cityofapalachicola.com or call City Hall at (850)653-7592 with any permitting questions.
5. Land Development regulations can be found on the City of Apalachicola website @ www.cityofapalachicola.com.
6. Please note that if any shrubs are planted or any materials (concrete, gravel, etc.) are placed in the City Right of Way that there is a possibility of removal at no expense to the City.

It is our intent to save you time any money in your plan preparation! The City of Apalachicola Planning & Zoning Board is a seven-member citizen board that also sits as the City's Architectural Review Board. Our responsibilities include protecting the historical character of the City. By working with the Planning & Zoning Board to obtain a Certificate of Appropriateness, your development will not only proceed more smoothly, but will also enhance the City's architectural integrity and historical character of Apalachicola.

Bree Robinson
City Planner
(850)323-0985
brobinson@cityofapalachicola.com

Thank you,
PLANNNG & ZONING BOARD
CITY OF APALACHICOLA


Applicant Initial



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner Kim Deesun
Address 265 Morris Cannon St.
City Apalachicola State FL Zip 32320
Phone 850-653-6233

CONTRACTOR INFORMATION

Contractor Name _____
State License # _____ City License # _____
Email _____
Phone _____

PROJECT TYPE

☐ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☐ Repair

☐ Certificate of Appropriateness

☒ Other Shed

PROPERTY INFORMATION

Street Address (911 Address): 265 Morris Cannon St.
City & State: Apalachicola, FL Zip: 32320
Parcel ID #: _____ Block: _____ Lot: _____
Zoning District: _____ [] Historic District [] Non-Historic District
FEMA Flood Zone: _____

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: _____ Rear: _____ Side: _____

Corner Lot? Y / N Street Sides: _____

Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____

Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

Applicant Initial _____

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

12x24 Shed, bricks & tie downs

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

BUILDING PERMIT APPLICATION CHECKLIST

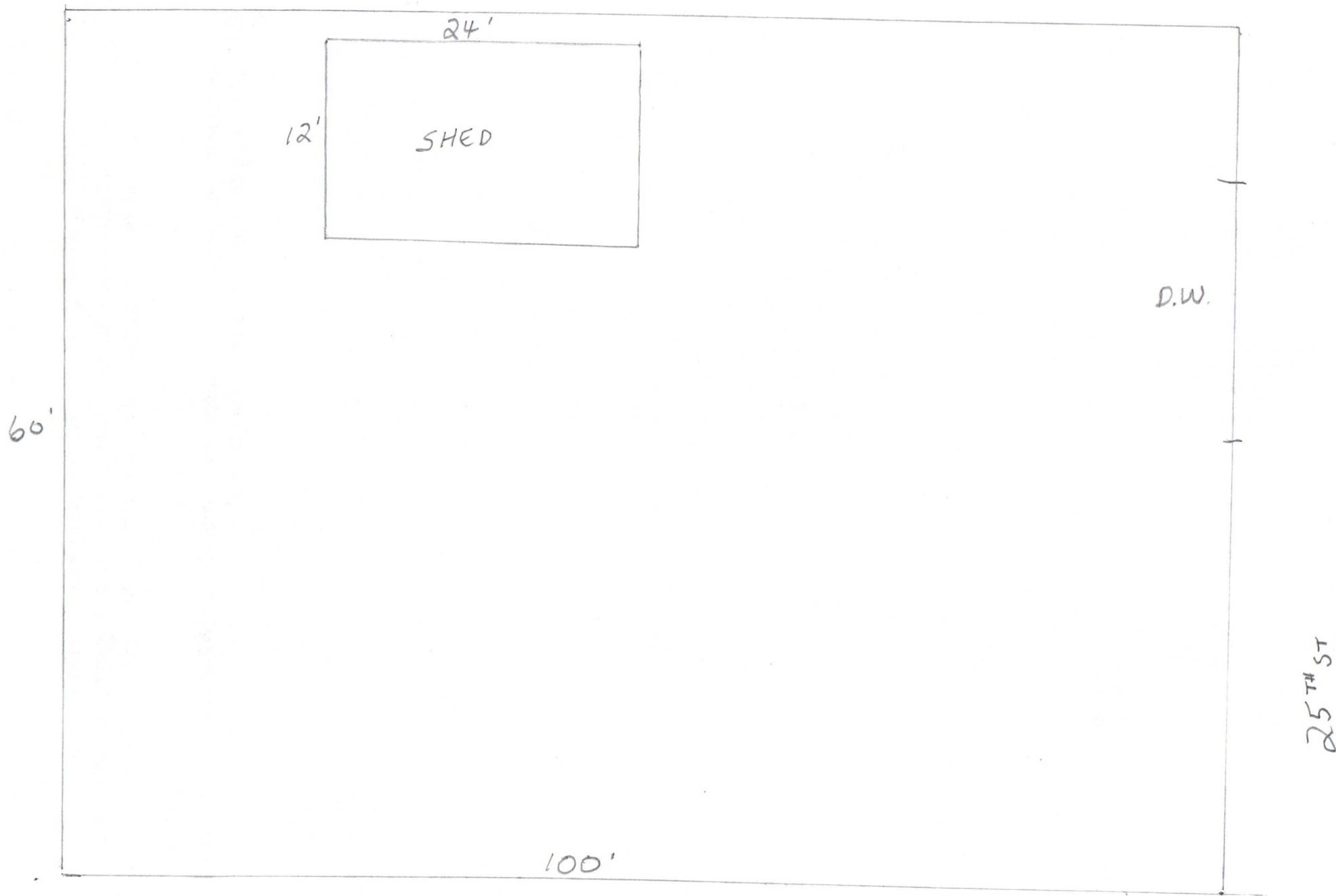
(ALL STEPS MAY NOT APPLY TO SMALLER PROJECTS)

- _____ 1. Approval from City Planning & Zoning Board
- _____ 2. Complete Building Permit Application
- _____ 3. TWO COMPLETE SETS OF PLANS INCLUDING:
- Site Plan
 - Final Site Plan (New Construction) – Stormwater Management Plan
 - Signed/Sealed Structural Drawings
 - Elevations
 - Floor Plan
 - Fire Protection
 - Drawn to Scale
- _____ 4. Contractor Information
- License
 - Photo ID of License Holder
 - COI: Workers Comp/General Liability
 - Letter of Authorization
- _____ 5. Contract Scope of Work
- _____ 6. Energy Forms
- _____ 7. Notice of Commencement (All permits valued at \$2,500 or more)
- _____ 8. Flood Elevation Certificate
- _____ 9. Fill Permit Application
- _____ 10. Floodplain Management Application (NOT if Flood Zone X)
- _____ 11. Water/Sewer Impact Fees Receipt (if applicable)


Applicant Name, Signature


Date

City of Apalachicola Building Department
192 Coach Wagoner Blvd. Apalachicola, FL 32320
(850)653-9319



MORRIS CANNON ST.

25TH ST

STAFF FINDINGS REPORT

PROPERTY OWNER: Kimberly Deeson

AGENT (if applicable): N/A

CONTRACTOR: Self

PROPERTY ADDRESS (if available): 265 Morris Cannon Street

→ Block 214 Lots 27-28

PARCEL ID: 01-09S-08W-8330-0214-0270

HISTORIC DISTRICT: No

CORNER LOT: Yes

ACREAGE: -- (~6,000 SF)

FUTURE LAND USE: R-3 Mobile Home Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

→ Installation of a 24' x 12' (288 SF) shed.

STAFF FINDINGS:

Code of Ordinances:

→ Section 111-270. R-3 mobile home residential.

- Mobile and modular homes (constructed in accordance with the Florida Building Code) are a permitted principal use in this district.
- Maximum lot coverage for a single-family residence is 40%, up to 50% for multifamily.
 - *Approximate lot coverage is 10% for 40' x 8' (320 SF) mobile home and 24' x 12' (288 SF) shed.*
- Minimum building setbacks for an accessory structure is 5 ft.
 - *Information not confirmed or provided by applicant.*
- Accessory structures shall not be located in required front yards.

RECOMMENDATION: Approval, on the condition that the proposed shed be placed at least 5 ft from the subject property lines.



**Certificate of Appropriateness &
Accessory Structure
204 10th Street**



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Chris R Presnell
Address 204 10th St
City Apalachicola State FL Zip 32320
Phone 850-509-7491

Contractor Name CP Squared, LLC
State License EL1253287 City License # _____
Email Chris.presnell1@gmail.com
Phone 850-509-7491

PROJECT TYPE

☐ New Construction

☐ Fence

☐ Addition

☐ Accessory Structure

☐ Alteration/Renovation

☐ Certificate of Appropriateness

☐ Relocation

☒ Other Covering a deck

☐ Demolition

PROPERTY INFORMATION

Street Address (911 Address): 204 10th St
City & State: Apalachicola, FL Zip: 32320
Parcel ID #: 01-093-08W-8320-0156-0020 Block: 156 Lot: 2
Zoning District: R-1 [☒] Historic District [☐] Non-Historic District
FEMA Flood Zone: X

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: _____ Rear: _____ Side: _____

Corner Lot? Y / N Street Sides: _____

Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____

Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

CNP
Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

This application is for the covering of an uncovered deck that has been previously approved by P&Z. The home construction has been completed and the proposed deck is now desired to be covered.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck		<i>PT Lumber & metal roofing</i>	
Fencing			
Driveways/Sidewalks			
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

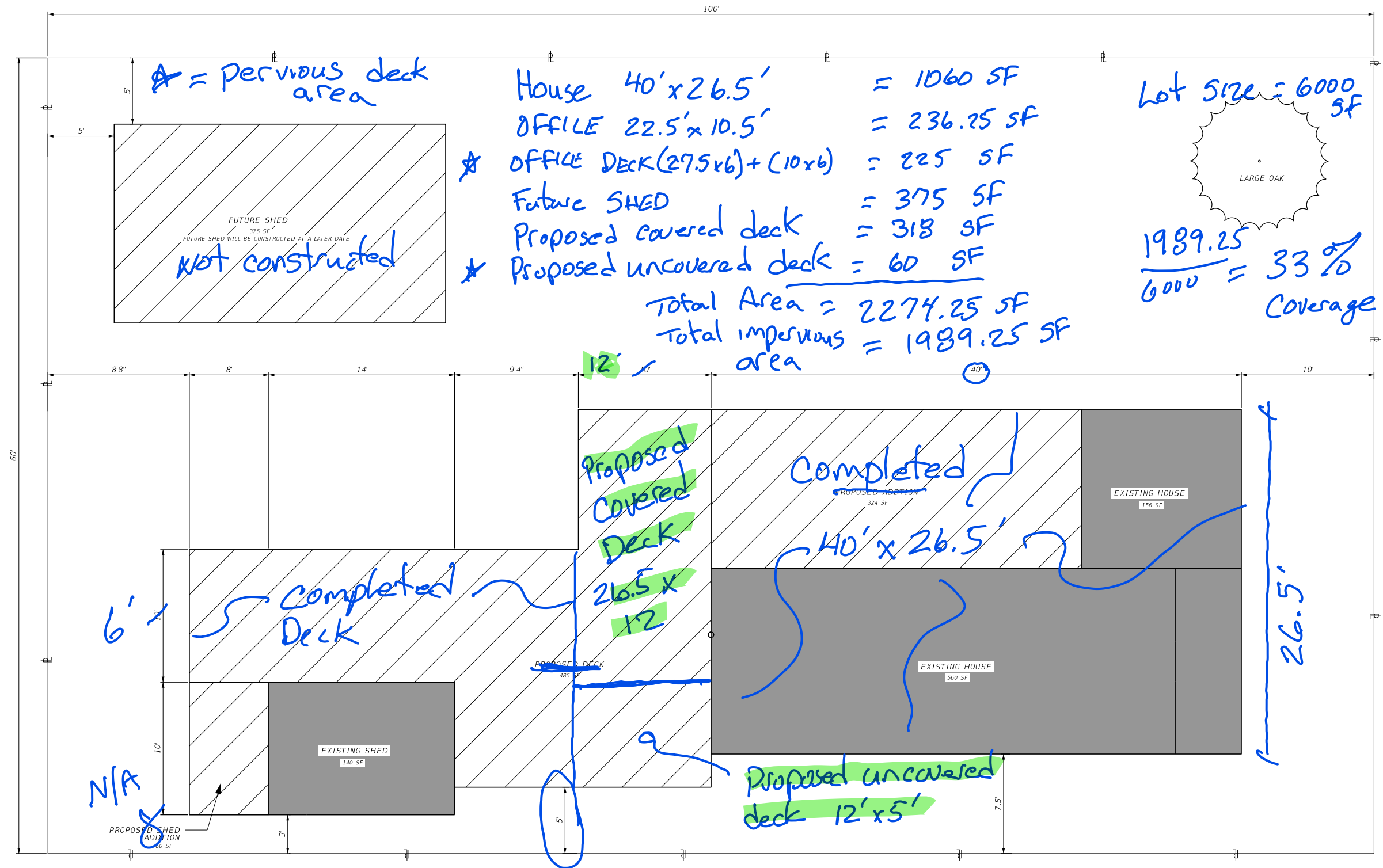
1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

9-25-25

DATE

Chris R. [Signature]

SIGNATURE OF APPLICANT



WIND LOAD CRITERIA

- ASCE7
- 130mph WIND VELOCITY
- BUILDING TYPE = ENCLOSED
- EXPOSURE B
- RISK CATEGORY II
- WITHIN THE WIND-BORNE DEBRIS REGION

DESIGN LOADS

- LIVE LOAD ROOF: 15psf
- LIVE LOAD FLOOR: 40psf
- DEAD LOAD ROOF: 14psf
- ROOF ANGLE:
 - EXISTING = 5.5:12
 - ADDITION = 1.5:12
- LOAD BEARING PRESSURE - SAND, SILTY SAND = 2000psf

EGRESS WINDOW REQUIREMENTS

- WINDOW SILL HEIGHT IS TO BE NO HIGHER THAN 44" ABOVE FINISHED FLOOR
- WINDOWS MUST HAVE A NET OPEN AREA OF 5.7 SQUARE FEET
 - EXCEPTION FOR GROUND FLOOR 5.0 SQUARE FEET
- MINIMUM CLEAR OPENING HEIGHT SHALL BE 24 INCHES
- MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES
- OPENING SHALL BE OPERABLE WITHOUT USE OF TOOLS OR KEYS

CONTRACTOR NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS. CONTRACTOR TO ADHERE TO ALL FEDERAL, STATE AND LOCAL CODES.
- CONTRACTOR TO PROVIDE CONTINUOUS TIE FROM SLAB TO ROOF PEAK. THIS TIE WILL INCLUDE ANCHOR BOLTS, LATERAL CONTROL SHEATHING, HURRICAN CLIPS, GANG PLATES, PLYWOOD CLIPS AND NAIL PATTERNS. THESE SPECIFICATIONS ARE TO BE DEFINED BY A QUALIFIED ENGINEER'S WIND ANALYSIS, DESIGNED TO PROPER WIND LOAD.
- ALL WOOD CONSTRUCTION WILL COMPLY WITH THE WOOD FRAME CONSTRUCTION MANUAL AND CHAPTER 23 OF THE FLORIDA BUILDING CODE.
- PANEL WALLS, EXTERIOR DOORS, ROOFING PRODUCTS, SKYLIGHTS, WINDOWS, SHUTTERS, STRUCTURAL COMPONENTS, AND PRODUCTS COMPRISING A BUILDING'S ENVELOPE REQUIRE PRODUCT APPROVAL PER FS 553.842.

CHRIS PRESNELL

CITY OF APPALACHICOLA PROJECT #01 SHEET #01

204 10TH ST.
APPALACHICOLA, FL. 32320

STAFF FINDINGS REPORT

PROPERTY OWNER: Chris Presnell

AGENT (if applicable): N/A

CONTRACTOR: CP Squared LLC

PROPERTY ADDRESS (if available): 204 10th Street

→ Block 156 Lot 2

PARCEL ID: 01-09S-08W-8330-0156-0020

HISTORIC DISTRICT: Yes

CORNER LOT: No

ACREAGE: -- (~6,000 SF)

FUTURE LAND USE: R-1 Single Family Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

→ Cover a 26.5' x 12' portion of an existing uncovered deck.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 111-268. R-1 Single-Family Residential.**

- Maximum lot coverage is 40% (~2,400 SF):
 - *Existing principal: 1,060 SF.*
 - *Existing accessory (shed): 236.25 SF.*
 - *Proposed accessory (shed): 375 SF *not part of this application.*
 - *Proposed accessory (covered deck): 318 SF.*
 - *Total: 1,989.25 SF or ~33%*
 - *Existing uncovered deck sections totaling 285 SF not included in impervious lot coverage calculation, if included total coverage is 2,274.25 SF or ~38%.*
- Accessory structures shall not be located in required front yards:

- *The existing deck is not located in the front yard.*

RECOMMENDATION: Approval, meets all requirements of the Code of Ordinances.



New Residential Construction
110 Bay Colony Way



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner Morton Mclemore
Address 66 15th St
City Apalachicola State FL Zip 32320
Phone 850-653-5818

CONTRACTOR INFORMATION

Contractor Name Self
State License # _____ City License # _____
Email _____
Phone _____

PROJECT TYPE

☒ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☐ Accessory Structure

☐ Certificate of Appropriateness

☐ Other _____

PROPERTY INFORMATION

Street Address (911 Address): 110-114 Bay Colony Way
City & State: Apalachicola, FL Zip: 32320
Parcel ID #: 12-095-08W-1000-0000-0030 Block: _____ Lot: 3+4
Zoning District: R2 [] Historic District [X] Non-Historic District
FEMA Flood Zone: AE II

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: _____ Rear: _____ Side: _____

Corner Lot? Y / N Street Sides: _____

Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff

Date Approved

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

MM
Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

New Residential Construction 4 BR/4 BA Heated and cooled 3,694 sq ft
total 4,758 sq ft

Board + Batten siding, spray foam insulation, standing seam metal roof,
wooden front door and fiberglass rear slider.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	James Hardi	Hardi Panels	FL 13192.1
Doors	Simpson	Wood Impact	FL 49752
Windows	P GT	Vinyl Single Hung Impact	FL 14325
Roofing		Metal Roof	
Trim	James Hardi	Hardi Trim	
Foundation		Concrete + Blocks	
Shutters			
Porch/Deck		Concrete	
Fencing			
Driveways/Sidewalks		Concrete	
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

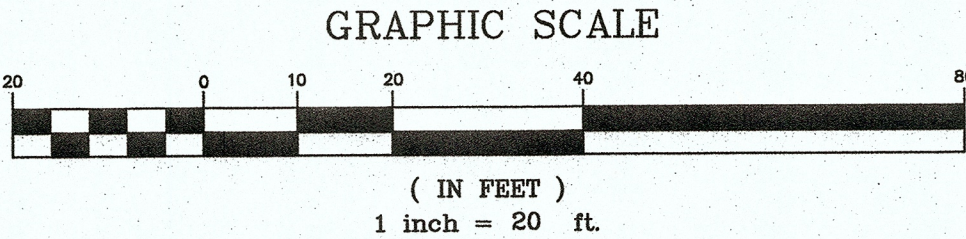
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1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
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9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

DATE

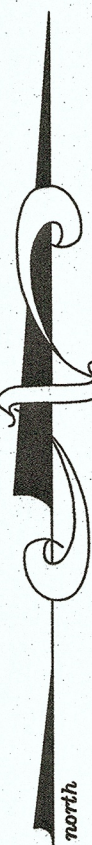
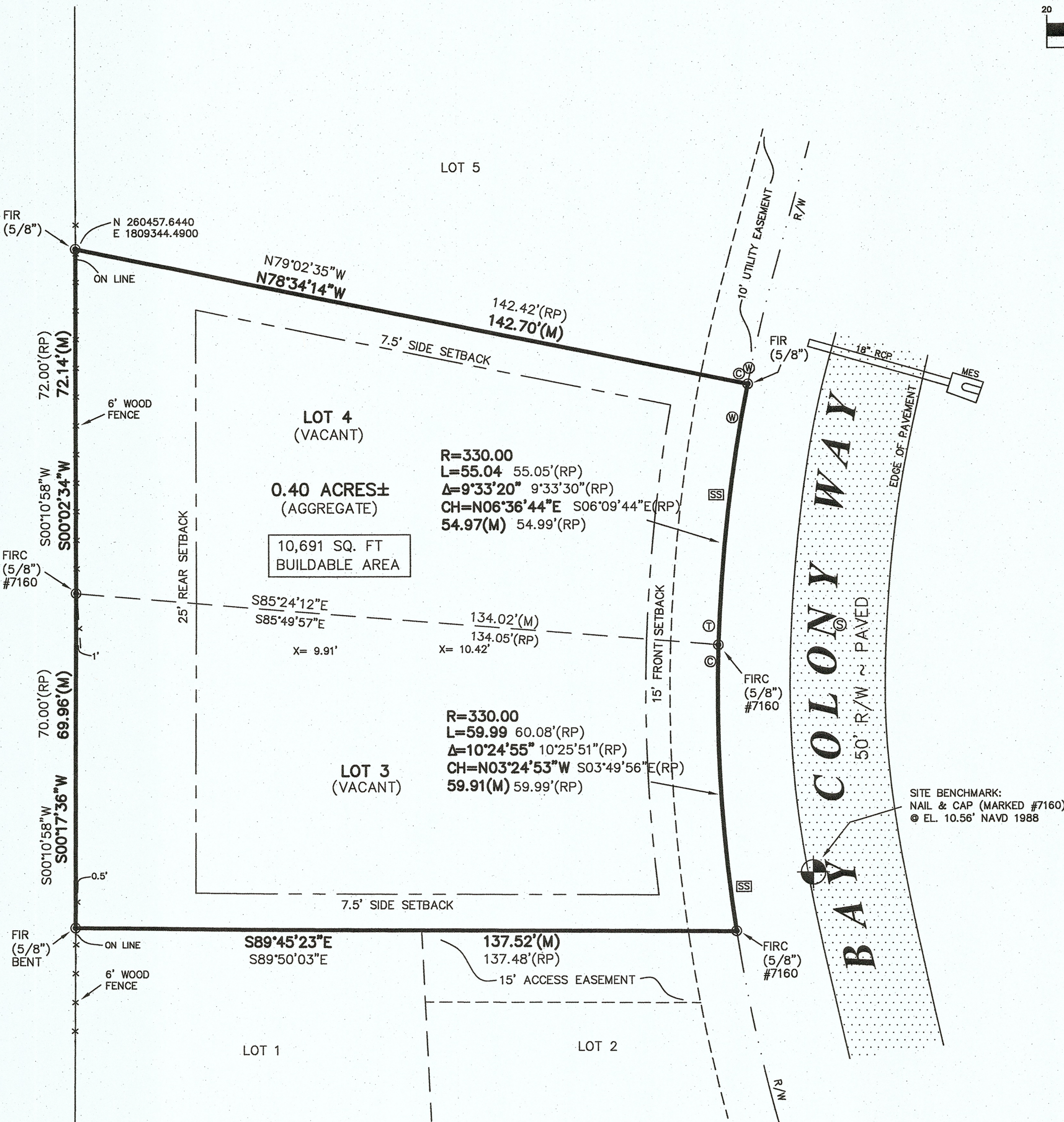

SIGNATURE OF APPLICANT

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
MORTON MCLEMORE



ORB 1345, PAGE 603

LEGEND	
M	MEASURED
D	RECORD DEED
RP	RECORD PLAT
△	POINT NOT SET OR FOUND
R/W	RIGHT-OF-WAY
---	NOT TO SCALE
SIRC	SET 5/8" RE-ROD #7160
FCM	FOUND CONCRETE MONUMENT
FIRC	FOUND IRON ROD AND CAP (5/8")
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
⊗	FIRE HYDRANT
OHE	OVERHEAD ELECTRIC
U	UTILITY POLE
G	GUY-WIRE ANCHOR
CO	PVC CLEAN-OUT
MES	MITERED END SECTION
RCP	REINFORCED CONCRETE PIPE
⊙	SANITARY SEWER MANHOLE
⊙	CABLE PEDESTAL
⊙	WATER METER
SS	SANITARY SERVICE
⊙	TELEPHONE PEDESTAL
X=	GROUND SHOT ELEVATION



LEGAL DESCRIPTION:

Lots 3 and 4 of BAY COLONY, a subdivision as per map or plat thereof recorded in Plat Book 8, Page 5 of the Public Records of Franklin County, Florida.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: All bearings established by Florida Grid North datum.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.
8. Elevations depicted hereon were established using NAVD 1988 datum.

REVISED 08/06/25: ADDED BUILDABLE AREA- RA

FLOOD ZONE INFORMATION:

Subject property is located in Zone "AE"(EL 11) as per Flood Insurance Rate Map Community Panel Number: 120090 0509G, Index Date: October 10, 2024, Franklin County, Florida.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry
JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No. 4281

TR
&A

THURMAN RODDENBERRY & ASSOCIATES, INC.
PROFESSIONAL SURVEYORS AND MAPPERS
P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358
PHONE NUMBER: 850-962-2538 FAX NUMBER: 850-962-1103
LB # 7160

DATE: 08/05/25	DRAWN BY: RA	N.B. PER PLAT	COUNTY: FRANKLIN
FILE: 02487L3&4.DWG	DATE OF LAST FIELD WORK: 07/31/25	CHECKED BY: TR	JOB NO: 02-487

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
MORTON MCLEMORE

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



LEGAL DESCRIPTION:

Lots 3 and 4 of BAY COLONY, a subdivision as per map or plat thereof recorded in Plat Book 8, Page 5 of the Public Records of Franklin County, Florida.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
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8. Elevations depicted hereon were established using NAVD 1988 datum.

REVISED 08/06/25: ADDED BUILDABLE AREA— RA

FLOOD ZONE INFORMATION:

Subject property is located in Zone "AE"(EL 11) as per Flood Insurance Rate Map Community Panel Number: 120090 0509G, Index Date:October 10, 2024, Franklin County, Florida.

TR & A THURMAN RODDENBERRY & ASSOCIATES, INC PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 850-962-2538 FAX NUMBER: 850-962-1103 LB # 7160			
DATE: 08/05/25	DRAWN BY: RA	N.B. PER PLAT	COUNTY: FRANKLIN
FILE: 02487L3&4.DWG	DATE OF LAST FIELD WORK: 07/31/25	CHECKED BY: TR	JOB NO: 02-487

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No: 4261



DRAFTECH
CUSTOM HOME PLANS
181 OLD LEAD MINE VALLEY ROAD
CLEVELAND TN, 37311
MOBILE : (423) 304-8864

USE OF THESE PLANS SHALL IN NO WAY GIVE RISE TO ANY LIABILITY ON THE PART OF THE DESIGNER FOR ANY DEFECT OR DEFICIENCY IN CONSTRUCTION. ANY PERSON USING THESE PLANS MUST VERIFY THROUGH HIS OWN MEANS, ENGINEERS, AND OTHER PROFESSIONALS THEIR COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES FOR THE INTENDED PURPOSE, AS THE DESIGNER MAKES NO REPRESENTATION WHATSOEVER IN THAT REGARD.

G4 Development LLC
McLemore Residence



DRAWN BY:
DRC

DATE:
9/5/25

TITLE:
COVER SHEET

JOB NO:
2572

PAGE:
COV



FRONT ELEVATION 1
SCALE: 1/4" = 1'-0" A-4



RIGHT ELEVATION 2
SCALE: 1/4" = 1'-0" A-4

TITLE: EXT. ELEVATIONS	DRAWN BY: DRC		DATE: 9/5/25	
	PAGE: A-4	JOB NO: 2572		



BACK ELEVATION 1
SCALE: 1/4" = 1'-0" A-5



LEFT ELEVATION 2
SCALE: 1/4" = 1'-0" A-5

STAFF FINDINGS REPORT

PROPERTY OWNER: Morton McLemore

AGENT (if applicable): N/A

CONTRACTOR: Self

PROPERTY ADDRESS (if available): 110 Bay Colony Way

→ Lots 3-4 (Bay Colony Way Subdivision)

PARCEL ID: 12-09S-08W-1000-0000-0030

HISTORIC DISTRICT: No

CORNER LOT: No

ACREAGE: 0.4 (~17,424 SF)

FUTURE LAND USE: R-2 Multifamily Residential

WETLANDS: No

FLOODPLAIN: "AE"

DESCRIPTION OF PROJECT:

- New residential construction on combined lot.
 - 6' wood fence along rear property line is existing, installed by the subdivision.

STAFF FINDINGS:

Code of Ordinances:

- **Section 111-269. R-2 Multifamily Residential.**
 - Single-family residential is a permitted principal use in this district.
 - Minimum building size for a single-family residence is 800 square feet.
 - Maximum lot coverage for a single-family residence is 40% or ~6,970 SF.
 - *1st Floor Living Area: 2,220 SF.*
 - *Garage Area: 704 SF.*
 - *Back Porch: 456 SF*
 - *Front Porch: 628*
 - *Driveway (concrete) and sidewalks: ±2,800 SF*
 - *Total: 6,808 SF or ~39%.*
 - Maximum building height is 35 ft.
 - Minimum building setbacks are:

- Front: 15 ft.
 - *Proposed front setback: ~24 ft.*
- Side (interior lot): 7½ ft each side, or combination 15 ft.
 - *Proposed side setback: ~10 ft.*
 - *Proposed side setback: ~42 ft.*
- Rear: 25 ft.
 - *Proposed rear setback: ~35 ft.*

→ **Section 111-288(i). Parking Requirements.**

- There shall be provided at the time of the erection of any principal building or structure parking space with adequate provisions for ingress and egress no less than the following space requirements.
 - **Dwelling.** One parking space for each dwelling unit or room for rent.

RECOMMENDATION: Approval, meets all requirements of the code of ordinances.



**Certificate of Appropriateness &
Alteration/Renovation
133 Avenue E**



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____
Meeting Date: _____
Fees Due: _____
Date Fees Paid: _____

OWNER INFORMATION

Owner Constance Peck
Address 147 AVE B
City Apalachicola State FL Zip 32901
Phone 720 988 4120

CONTRACTOR INFORMATION

Contractor Name Chris Pryswell
State License # 56913 City License # 1293287
Email chrispryswell1@gmail.com
Phone 850-509 7491

PROJECT TYPE

- | | |
|-----------------------------------------------------------|---------------------------------------------------------|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input checked="" type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Relocation | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Demolition | |

PROPERTY INFORMATION

Street Address (911 Address): 133 AVE E
City & State: Apalachicola FL Zip: 32901
Parcel ID #: 01-095-08W-2330-0076-0090 Block: 74 Lot: 9/60'
Zoning District: C-2 ☒ Historic District ☐ Non-Historic District
FEMA Flood Zone: X of 10

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y/N
Setback Requirements of Property:
Front: _____ Rear: 5 Side: 5
Corner Lot? Y/N Street Sides: _____
Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____

Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

Applicant Initial _____

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

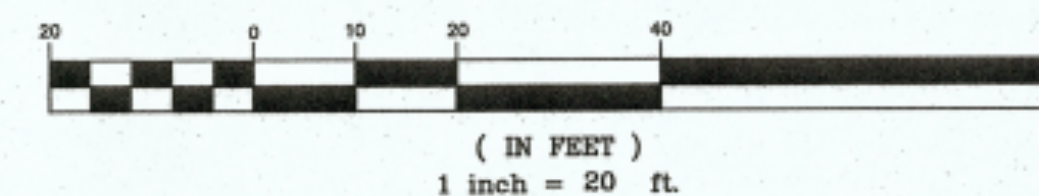
Restore to single family —
 Original 1974 building footprint
 modern low upstairs
 Add gabled dormers upstairs
 Add all hurricane straps —

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	Existing		
Doors	Existing		
Windows	Jeldwen	DH- DP50	
Roofing	Metal		
Trim	Existing		
Foundation	Brick piers		
Shutters	N/A		
Porch/Deck	Lower to original ht		
Fencing	N/A		
Driveways/Sidewalks	Remove- replace with permeable		
Other			

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
CONSTANCE PECK,
DONNA DUNCAN, P.A.,
CHICAGO TITLE INSURANCE COMPANY

GRAPHIC SCALE



LEGEND

M	MEASURED
RP	RECORD PLAT
FIRC	FOUND IRON ROD AND CAP
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
SIRC	SET 5/8" RE-ROD #7160
FCM	FOUND CONCRETE MONUMENT
MES	MITERED END SECTION
CMP	CORRUGATED METAL PIPE
R/W	RIGHT-OF-WAY
△	POINT NOT SET OR FOUND
—	NOT TO SCALE
☆	LAMP POST
CO	PVC CLEAN-OUT

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No. 4261

EFFECTIVE FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel Number: 120089 0526F, Index Date: February 5, 2014, Franklin County, Florida.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: ALL BEARINGS established by Florida Grid North datum.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. FENCE LOCATIONS depicted hereon are exaggerated for clarity.
8. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.

LEGAL DESCRIPTION:

Lot 9 and the Westerly 60' of Lot 10, Block "76" of THE CITY OF APALACHICOLA, a subdivision as per map or plat in common use on file at the Clerk of the Circuit Court in Franklin County, Florida

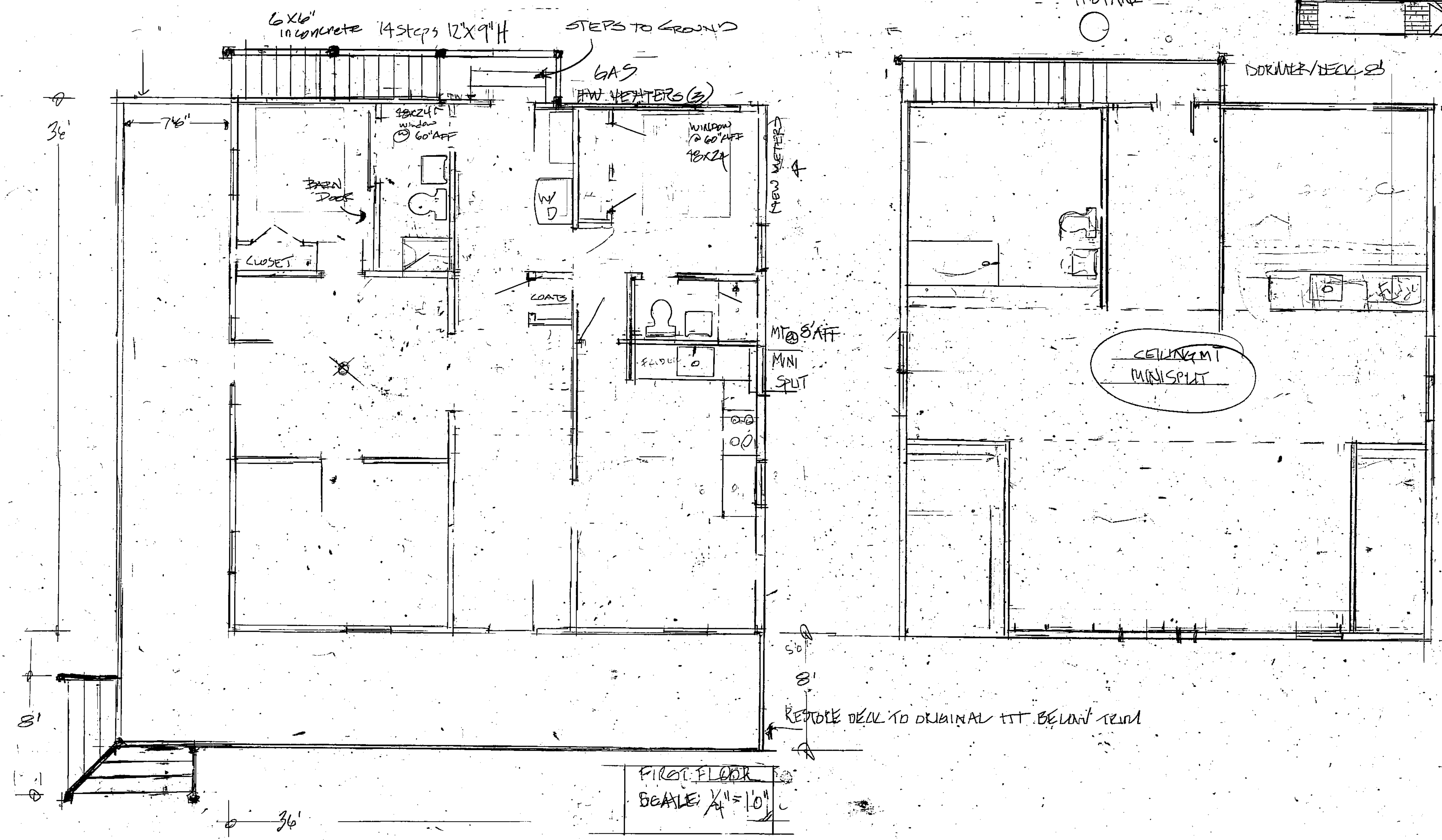
TR & A THURMAN RODDENBERRY & ASSOCIATES, INC PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 850-962-2538 FAX NUMBER: 850-962-1103 LB # 7160			
DATE: 07/21/25	DRAWN BY: BB	N.B. PER PLAT	COUNTY: FRANKLIN
FILE: 10021.DWG	DATE OF LAST FIELD WORK: 07/16/25	CHECKED BY: TR	JOB NO: 10-021

PV
18,19

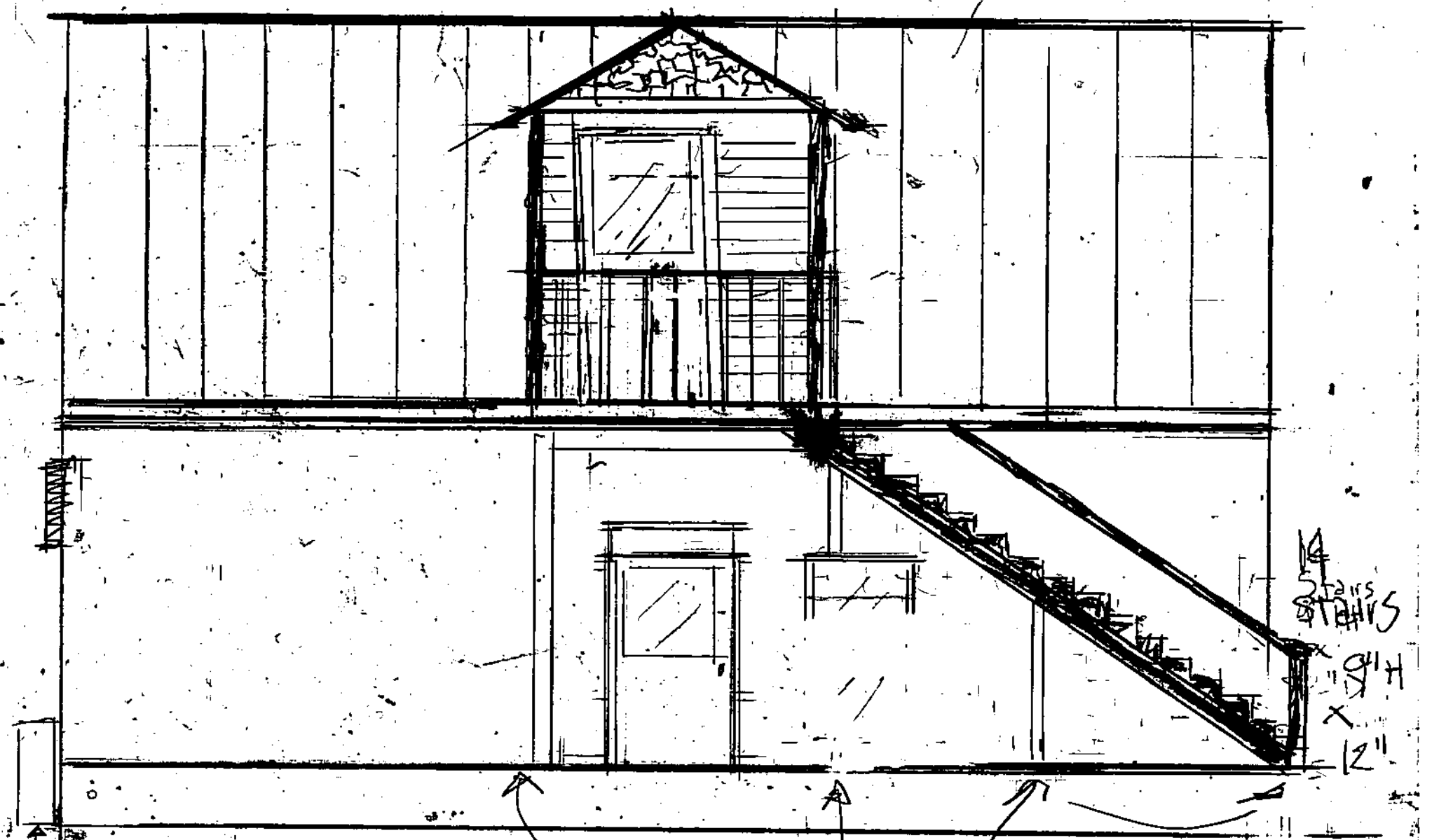
~~GARAGE (30)~~



EAST
1/4" = 1'0"



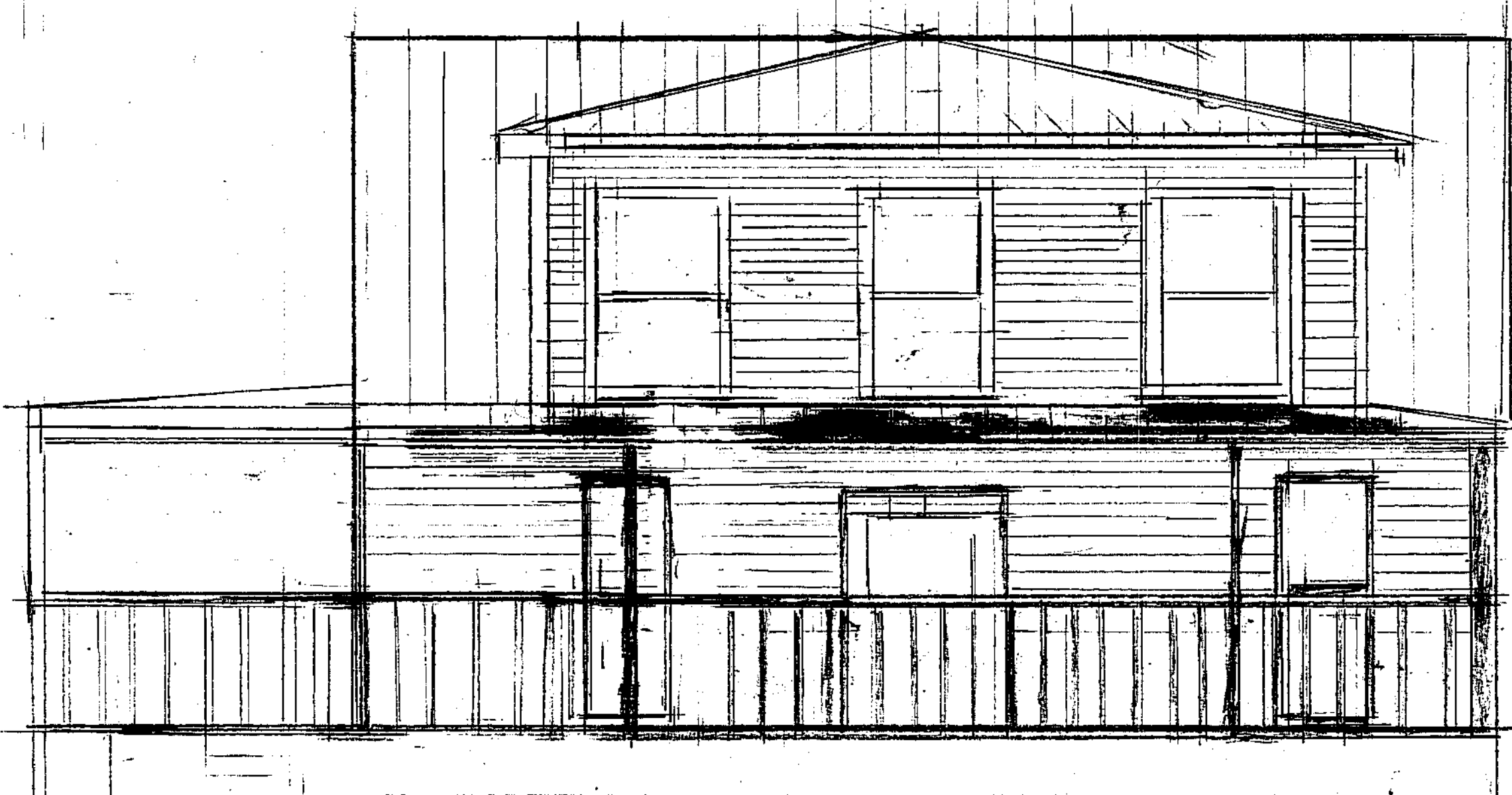
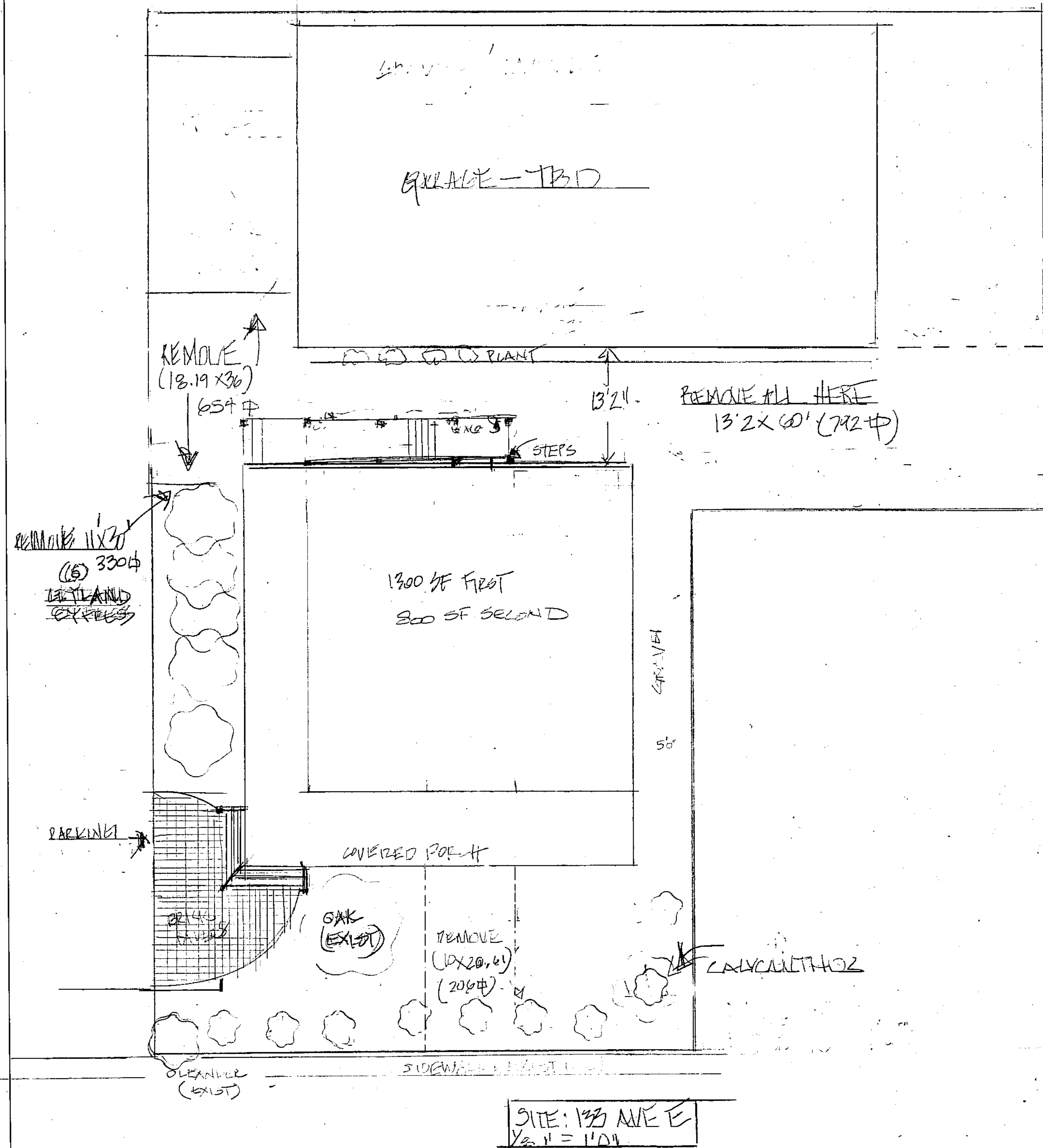
FIRST FLOOR
SCALE: 1/4" = 1'0"



NORTH ELEV
1/4" = 1'0"

REVISIONS	BY

LOT 7200 #
 ADD LANDSCAPE 1710 \$ = 24% LOT
 REMOVE 1982 HARDWARE = 27%



Date	9/25/25
Scale	
Drawn	CP
Job	133
Sheet	1
Of Sheets	



Outlook

Re: Land Use Change Question

From Brianna Williams <bwilliams@arpc.org>**Date** Thu 9/11/2025 1:27 PM**To** Bree Robinson <breer@franklincountyflorida.gov>

Thanks for your insight, especially about previously allowed residences/business in C-2. I did think it would be strange to require an official land use change application to go from a more intense use to a less intense use, if both are permitted principal uses... I have let the owner know she can proceed with the standard P&Z application.

Hopefully you are recovered enough to have a nice weekend! If not, then I hope your weekend will be a restful one.

Brianna

From: Bree Robinson <breer@franklincountyflorida.gov>**Sent:** Thursday, September 11, 2025 12:51 PM**To:** Brianna Williams <bwilliams@arpc.org>**Subject:** Re: Land Use Change Question

So since this is in C-2 neighborhood commercial... Single family use is still a principal use for that zone. I would not make her go through a land use change application to switch to another principal use. She would just need to be made aware that it might create a nonconforming home and she needs to be able to provide on-site parking etc. which could be handled internally staff.

If she pursues apartments or short-term rentals in the space she'd have to go through the special exception process, but for just changing the use in neighborhood commercial I would not put her through a land use change. There have been other cases of homes in this C-2 zone changing uses back and forth from home to business and vice versa.

Hope this helps,

Bree Robinson

County Planner
Franklin County
o: 850-653-5390
breer@franklincountyflorida.gov



Florida has a very broad Public Records Law. Most written communications to or from State and Local Officials regarding State or Local business are public records available to the public and media upon request. Your email communications may therefore be subject to public disclosure.

From: Brianna Williams <bwilliams@arpc.org>
Sent: Friday, September 5, 2025 1:48 PM
To: Bree Robinson <breer@franklincountyflorida.gov>
Subject: Land Use Change Question

Good afternoon Bree,

I have a quick question for you about Apalachicola's application for land use change. The owner at 133 Avenue E is wanting to renovate the existing restaurant building and turn it into a single-family residential home. The best course of action for her to proceed with that would be to submit a land use change application, correct?

Thanks for your time, and I hope you have a great weekend!

Sincerely,

Brianna Williams
Growth Management Planner
Apalachee Regional Planning Council
2507 Callaway Road, Suite 100
Tallahassee, FL 32303
(850) 312-3910

STAFF FINDINGS REPORT

PROPERTY OWNER: Constance Peck

AGENT (if applicable): N/A

CONTRACTOR: Chris Presnell

PROPERTY ADDRESS (if available): 133 Avenue E

→ Block 76 Lot 9 and 60' Lot 10

PARCEL ID: 01-09S-08W-8330-0076-0090

HISTORIC DISTRICT: Yes

CORNER LOT: Yes

ACREAGE: 0.22 (9,583.2 SF)

FUTURE LAND USE: C-2 Neighborhood Commercial

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

→ Restoration/renovation of the original single-family building exterior and footprint.
Renovated structure will be used as a single-family residence.

STAFF FINDINGS:

Code of Ordinances:

→ **Section 101-8. Definitions.**

- **Corner lot** means a lot abutting upon two or more streets at their intersection. All boundaries abutting streets shall be considered front yards, and all other boundaries shall be considered side yards.
- **Lot coverage** means the area of the lot covered by the ground flood of all principal and accessory uses and structures, including all areas covered by the roof of such uses and structures, measured along the exterior faces of the walls, along the foundation wall line, between the exterior faces of supporting columns, from the centerline of walls separating two buildings or as a combination of the foregoing, whichever produces the greatest total ground coverage for such uses and structures.

- Lot coverage shall also include all impervious surfaces such as drives, parking areas, walkways, swimming pools, patios, terraces and the like.
- **Nonconforming building** means any building or structure which existed lawfully at the time it was permitted, but that does not comply with the current regulations of the zoning district or the adopted comprehensive plan land use designation in which it is located.

→ **Section 111-274. C-2 Neighborhood Commercial.**

- Single-family is a permitted principal use in this district.
- Development standards for single-family:
 - Minimum lot size: 60' x 100' or 6,000 SF.
 - Setbacks (see definition of corner lot):
 - Front: 15 ft.
 - Side: 15 ft.
 - *Principal structure does not meet minimum setback requirements for a single-family home in this district.*
 - Maximum 40% lot coverage (~3,833 SF for this lot).
 - *Principal structure: 1,300 SF.*
 - *Accessory structure (garage): Not provided.*
 - *Existing concrete sections to be removed: ~1,653 SF*
 - *Landscaped buffers: ~1,718 SF*

→ **Section 111-288(I). Parking Requirements.**

- There shall be provided at the time of erection of any principal building or structure parking space with adequate provisions for ingress and egress no less than the following space requirements:
 - **Dwelling.** One parking space for each dwelling unit or room for rent.

→ **Section 111-322. Historic and non-Historic Nonconforming Structures.**

- *133 Avenue E is not listed as a cultural resource (historic building) on the Florida Master Site File Cultural Resource Roster for Apalachicola. Consequently, it is not considered a documented historic structure.*
- Nothing in this section shall be construed to prevent the ordinary and routine maintenance and repair of nonhistoric, nonconforming structures.
- Ordinary repairs and maintenance on any nonhistoric, nonconforming structure may be done in any period of 12 consecutive months, but repair or replacement of nonbearing walls, fixtures, wiring, or plumbing may not exceed ten percent of the latest assessed valuation of the building.

- The latest assessed value of the structure per the Franklin County Property Appraiser is \$101,626, repair or replacement of nonbearing walls, fixtures, wiring, or plumbing may not exceed \$10,162.
- The intent of this section is not to permit either historic or nonhistoric nonconforming structures to be enlarged upon, expanded, or extended, except as allowed through the variance process. Existing nonconformities of a structure shall not be used as grounds for adding other structures prohibited elsewhere in the same district.

RECOMMENDATION: Approval, the proposed use is a permitted principal use in the C-2 district. However, as a single-family structure the building will be nonconforming with the current LDC because it is too close to the subject property lines.



**Certificate of Appropriateness &
Accessory Structure
132 7th Street**



City of Apalachicola Planning & Zoning
Application for Development/Site Plan Approval

Official Use Only

Date Received: _____

Meeting Date: _____

Fees Due: _____

Date Fees Paid: _____

OWNER INFORMATION

Owner Bradley & Sara Heinz
Address 1870 Lyndale Ave
City Memphis State Tn Zip 38108
Phone 901-218-8836

CONTRACTOR INFORMATION

CPC: Jason Pittman / John Dixon - Electric
Contractor Name Southern Blue Construction Inc
State License # CPC: 1459194 City License # EC: 13012426
Email Heather@SouthernBlueCompanies.com
Office @SouthernBlueCompanies.com
Phone 850-601-1350

PROJECT TYPE

☒ New Construction

☒ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☒ Accessory Structure

☐ Certificate of Appropriateness

☒ Other Swimming Pool/Spa
& Paver Decking

PROPERTY INFORMATION

Street Address (911 Address): 132 7th St.
City & State: Apalachicola, FL Zip: 32320
Parcel ID #: 01-09S-08W-8330-0065-0030 Block: 65 Lot: 3&4
Zoning District: _____ [] Historic District [] Non-Historic District
FEMA Flood Zone: _____

OFFICIAL USE ONLY

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: _____ Rear: _____ Side: _____

Corner Lot? Y / N Street Sides: _____

Lot Coverage: _____

STAFF NOTES/RECOMMENDATIONS:

This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.

City Staff _____

Date Approved _____

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

HM
Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

376 Sq. Ft. Pool / Spa & 777 Sq Ft Paver Pool Deck
 14'x28' Pool / Spa footprint • Pool Equip installation
 Shotcrete in ground pool. Shellstone material

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	N/A	N/A	N/A
Doors	N/A	N/A	N/A
Windows	N/A	N/A	N/A
Roofing	N/A	N/A	N/A
Trim	N/A	N/A	N/A
Foundation	N/A	N/A	N/A
Shutters	N/A	N/A	N/A
Porch/Deck	N/A	N/A	N/A
Fencing	N/A	N/A	N/A
Driveways/Sidewalks	N/A	N/A	N/A
Other	Inground Shell Stone	Shotcrete Paver Decking	Swimming pool/Spa

NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

9/26/2025

DATE

Heather Morgan

SIGNATURE OF APPLICANT

BUILDING PERMIT APPLICATION CHECKLIST

(ALL STEPS MAY NOT APPLY TO SMALLER PROJECTS)

- ✓ 1. Approval from City Planning & Zoning Board
- ✓ 2. Complete Building Permit Application
- ✓ 3. TWO COMPLETE SETS OF PLANS INCLUDING:
- Site Plan
 - Final Site Plan (New Construction) – Stormwater Management Plan
 - Signed/Sealed Structural Drawings
 - Elevations
 - Floor Plan
 - Fire Protection
 - Drawn to Scale
- ✓ 4. Contractor Information
- License
 - Photo ID of License Holder
 - COI: Workers Comp/General Liability
 - Letter of Authorization
- ✓ 5. Contract Scope of Work
- NA 6. Energy Forms
- ✓ 7. Notice of Commencement (All permits valued at \$2,500 or more)
- NA 8. Flood Elevation Certificate ?
- NA 9 Fill Permit Application
- NA 10. Floodplain Management Application (NOT if Flood Zone X)
- NA 11. Water/Sewer Impact Fees Receipt (if applicable)

Heather Morgan
Applicant Name, Signature

9/26/25
Date

City of Apalachicola Building Department
192 Coach Wagoner Blvd. Apalachicola, FL 32320
(850)653-9319



132 7th St.

Fence to FL Code with self closing latches & hinges on gates

Plaster: Southern Blue Blend w/ Blue Quartz Flakes
Tile: 6"x12" Island Aqua
Coping: Shellstone

Avenue H

Southern Blue will purchase and install est. 777 Sq Ft of Shellstone Paver Decking

Property: 12,087 SF

Drive/Walkways: 2,357 SF
House/Porches: 2,671 SF
Garage: 723 SF

Proposed
Pool/Spa: 376 SF
Paver Deck: 777 SF

Sonar Alarm to be placed on Pool

25' BSL
15' BSL
7.5' BSL
5' BSL

Pool Equip location

Heinz, Brad
132 7th St
Apalachicola

SOUTHERN BLUE
ESTD 2018
CONSTRUCTION

30' ALLEY

Scale: 1/20" = 1 ft

STAFF FINDINGS REPORT

PROPERTY OWNER: Bradley & Sara Heinz

AGENT (if applicable): N/A

CONTRACTOR: Southern Blue Construction Inc

PROPERTY ADDRESS (if available): 132 7th Street

→ Block 65 Lots 3-4

PARCEL ID: 01-09S-08W-8330-0065-0030

HISTORIC DISTRICT: Yes

CORNER LOT: No

ACREAGE: -- (~12,000 SF)

FUTURE LAND USE: R-1 Single Family Residential

WETLANDS: No

FLOODPLAIN: "X"

DESCRIPTION OF PROJECT:

- Installation of a 14' x 28' (392 SF) pool/spa and associated ~777 SF pavers.
 - Fence depicted on site plan is not a part of this application.

STAFF FINDINGS:

Code of Ordinances:

- **Section 41. Decks, Patios, Hot Tubs and Pools.**
 - Modern installations of decks, pools, patios and hot tubs should be considered on a case-by-case basis. The appropriateness of such modern features should vary according to site, size and design. Amenities such as pools, decks and hot tubs should not be located as to be highly visible from the street.
 - Best efforts should be made to ensure that decks, pools, hot tubs and patios are not visible from the elevation right of way by use of landscape or approved fence screening.
 - The proportion of decking, patio or pool dimensions should not exceed fifty percent of the total lot minus the building footprint.
 - *Lot: 12,000 SF.*

- *Principal Structure: 2,671 SF.*
- *Maximum allowed pool/decking area: 3,329 SF.*
- *Proposed pool/decking area: 1,153 SF.*
- No swimming pool should be built in a front yard of any structure in the historic district.
 - *The proposed pool and deck area will be built in the side yard.*

→ **Section 111.268. R-1 Single-Family Residential.**

- In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.

RECOMMENDATION: Approval, on the condition that the accessory structure not be constructed until the principal structure is in place.



Other / New Business



Protected Tree (Longleaf Pine)

230 (224) 17th Street

TIMOTHY SIMMONS STREET

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
CAROL BROWN,
KRISTY BRANCH BANKS, P.A.,
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Bearings shown hereon were established by Florida State Plane (NAD 83)
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

LEGEND

	POINT NOT SET OR FOUND
RP	RECORD PLAT
R/W	RIGHT-OF-WAY
M	MEASURED
N	NOT TO SCALE
SIRC	SET 5/8" RE-ROD #7160
FCM	FOUND CONCRETE MONUMENT
FIRC	FOUND IRON ROD AND CAP (5/8")
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FCIP	FOUND CRIMPED IRON PIPE
FP	FOUND PINCHED IRON PIPE
FND	FOUND
RND	ROUND

LEGAL DESCRIPTION:

Lot 5, Block "123" of the CITY OF APALACHICOLA a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida

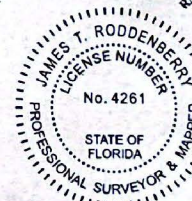
EFFECTIVE FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" (0.2%) as per Flood Insurance Rate Map Community Panel No: 120089 0507G index date: October 10, 2024, Franklin County, Florida.

I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 5J-17, .051/.052 Florida Administrative Code).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry
JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No. 4261



TR & A THURMAN RODDENBERRY & ASSOCIATES, INC.			
PROFESSIONAL SURVEYORS AND MAPPERS			
P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358			
PHONE NUMBER: 904-963-2538		FAX NUMBER: 904-963-1103	
L.S. # 7140			
DATE: 06/25/25	DRAWN BY: MMD	NB: PLAT	COUNTY: Franklin
FILE: 25398.DWG	DATE OF LAST FIELD WORK: 06/23/25	CHECKED BY:	JOB NUMBER: 25-398

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

FLOOD ZONES AND SETBACKS
DEPICTED HEREON ARE NOT TO BE
USED FOR CONSTRUCTION
PERMITTING PURPOSES. ALL FLOOD
ZONES AND SETBACKS SHOULD BE
VERIFIED BY THE APPROPRIATE
COUNTY DEPARTMENTS.

DAWSON

980-358-3777

ARTICLE II. TREE PROTECTION¹

Sec. 105-21. Purpose and intent.

- (a) Trees are recognized to be a valued asset, providing a healthier and more beautiful environment in which to live. Tree preservation enhances the value and marketability of property and thereby promotes the stability of residential neighborhoods, making them more livable and desirable.
- (b) This article establishes protective regulations for tree preservation and a permitting process to ensure good management practices on private and city-owned property, including utility easements for continued healthy and beautiful trees.

(LDC, art. XII, § I; Ord. No. 2011-01, § I, 2-8-2011)

Sec. 105-22. Definitions.

Tree. A woody plant having one or more well-defined trunks capable of being maintained with a clear trunk and normally growing to an overall height at maturity of a minimum of 15 feet.

Diameter at breast height. The diameter of a tree trunk as measured four and a half (4 ½) feet above ground level.

Drip line. The limiting line established by a series of perpendicular drop points marking the maximum radius of the crown of an existing tree, but not less than ten feet from the trunk, whichever is greater.

Patriarch tree. A protected native tree (section 105-23) whose trunk is 35 or more inches in diameter at breast height.

Relocate. As used in article II, tree protection regulations and elsewhere in this Code, the digging up of a protected tree by a property owner from a place on the owner's property and the planting of the same tree in another place on the same property or in a public place.

Substantial alteration. The heavy cutting of top branches (topping), cutting of major lower limbs (elevating), or significant trimming of a tree that alters the natural symmetry of the tree. The term does not include customarily accepted practices used by certified arborists for pruning shade trees.

(Ord. No. 2018-07, § I, 2-5-2019)

Sec. 105-23. Protected native trees.

The native trees predominately foresting the City of Apalachicola are:

Bald and pond cypress (*Taxodium distichum* and *Taxodium ascendens*),

¹Ord. No. 2018-07, § I, adopted February 5, 2019, amended art. II in its entirety, with the exception of § 105-21, purpose and intent, to read as herein set out. Former art. II, §§ 105-22—105-30, pertained to tree protection and preservation, and derived from LDC, art. XII, §§ II—X; Ord. No. 2011-01, §§ II—X, 2-8-2011.

Eastern and southern redcedar (*Juniperus virginiana* and *Juniperus solidicola*),

Live oak (*Quercus virginiana*),

Longleaf pine (*Pinus palustris*),

Pecan (*Carya illinoensis*),

Sabal (cabbage) palm (*Sabal palmetto*),

Slash pine (*Pinus elliotii*),

Southern magnolia (*Magnolia grandiflora*),

Sycamore (*Platanus occidentalis*), and

Water oak (*Quercus nigra*).

Individual trees of these species having diameters of four or more inches at breast height are protected (hereinafter referred to as "protected trees"). Other native trees and all nonnative trees are not protected.

(Ord. No. 2018-07, § I, 2-5-2019)

Sec. 105-24. Preservation of patriarch trees.

No patriarch tree on privately- or city-owned property shall be removed or substantially altered by a private landowner or a department of the city unless:

- (1) Under a declared emergency (section 105-25(1)(c)) or in the case of an imminent hazard (section 105-25(2)), the code enforcement officer, city manager, or a designee in their absence finds for a specific tree that immediate action is required to eliminate a condition endangering public safety or property.
- (2) In a non-emergency or non-imminent hazard situation:
 - a. On private property, the planning and zoning board approves the issuance of a tree permit to a private landowner to remove or substantially alter a tree on a lot because not doing so would make the lot undevelopable for any principal structure (section 105-26(1)(c)).
 - b. On private or city property, the city manager documents in writing his or her reasons for allowing removal or substantial alteration (sections 105-26(1)(c) and 105-26(2)(c)).

(Ord. No. 2018-07, § I, 2-5-2019)

Sec. 105-25. Activities exempted from or requiring a tree permit.

- (1) A tree permit is not required for the following exempt activities:
 - a. Unprotected trees—The removal, relocation, or substantial alteration of:
 - Native trees not listed in section 105-23;
 - Native trees listed in section 105-23 that are less than four inches in diameter at breast height;
 - Cultivated varieties of once native trees developed by selective breeding and sold by plant nurseries; and
 - Nonnative trees, including invasive species.
 - b. Pruning—Pruning of unprotected trees, and light pruning of protected trees that does not substantially alter the protected trees.

-
- c. Emergency—The removal or substantial alteration of any significantly-damaged, protected, non-patriarch tree during or following a natural or man-made disaster (e.g., hurricane, tornado, high wind, flood, or forest fire) when the city commission or manager declares a state of emergency and determines that permitting requirements will hamper private or public work to restore safety and order to the city. Permission is required to remove or substantially alter a patriarch tree (section 105-24(1)).

- d. Highway and electric utility rights-of-way—The removal or trimming of protected trees by:

The Florida Department of Transportation along roads under its jurisdiction to maintain safe lines of sight at road intersections and alleys and horizontal clearance areas along roadways where errant vehicles leaving the roadway might travel.

The electric utility along power lines necessary for the maintenance of accepted public safety standards and system reliability.

- (2) A tree permit is required for the following activities.

Any removal or substantial alteration of a protected tree not exempted in section 105-25(1). Some specific situations requiring a permit include:

Imminent hazard—The removal or substantial alteration of a protected tree when an applicant proposes that immediate action is required due to a condition endangering public safety or property.

Diseased or pest-infested tree—The removal or substantial alteration of a diseased or pest-infested, protected tree when an applicant proposes that doing so will prevent the spread of the disease or pests to healthy trees.

Storm-damaged tree—The removal or substantial alteration of a protected tree damaged by a storm for which the city commission or manager did not declare a state of emergency.

Tree in decline—The removal or substantial alteration of a protected tree that has lost vigor and displays pale green or yellow leaf color, small leaves, poor growth, leaf drop, or dieback of twigs and branches.

(Ord. No. 2018-07, § I, 2-5-2019)

Sec. 105-26. Permits for removal, relocation, or substantial alteration of protected trees.

Any person wishing to remove or substantially alter a protected tree shall make application to the code enforcement officer on a tree application form provided by the officer.

A tree permit shall be issued to remove or substantially alter a protected tree only if such action is in compliance with these article II requirements and the section 109-50 site plan requirements.

Substantial alteration of a protected tree shall be allowed only under a declared emergency (sections 105-24(1) and 105-25(1)(c)), when a permit is obtained in the case of an imminent hazard (sections 105-24(1) and 105-25(2)), or when a permit is obtained in a non-emergency or non-imminent hazard situation to eliminate limbs that encroach on an adjacent structure.

(1) Private property.

- a. If the proposed tree removal or substantial alteration is in conjunction with proposed development the planning and zoning board reviews (e.g., a newly-proposed structure, the expansion of an existing structure where the footprint increases in size, the construction of a driveway or walkway, or other such development that disturbs the land surface), the board shall

implement these tree protection requirements at the time it reviews and decides to approve, conditionally approve, or disapprove the site plan.

- b. If the proposed tree removal or substantial alteration is not in conjunction with proposed development that the planning and zoning board reviews (e.g., tree removal due to tree roots affecting the structural integrity of a building foundation), the code enforcement officer, city manager, or a designee shall implement these tree protection requirements at the time he or she reviews and decides to approve, conditionally approve, or disapprove the proposal. Only the city manager shall make decisions on patriarch trees (subsection c).
- c. If the proposal is the removal or substantial alteration of a patriarch tree, the code enforcement officer shall provide a copy of the tree application to the tree committee appointed by the city commission. The committee shall review the tree permit application and make a recommendation to the decision maker (the planning and zoning board (subsection a) or the city manager (subsection b)).

When the board is the decision maker, approval or conditional approval to remove or substantially alter a patriarch tree on a privately-owned lot shall only be made when no principal structure could be legally built on the lot taking into consideration the location of the tree and such requirements as setbacks and minimum required size for single-family dwellings. Through the variance process the board of adjustment may consider reducing setbacks or minimum dwelling size if doing so would spare the tree.

When the city manager is the decision maker, the manager's reasons for allowing removal or substantial alteration of a patriarch tree shall be documented in writing.

(2) City property.

- a. A person wanting to remove or substantially alter a protected tree on city property adjacent to private property owned by the person (e.g., to create an entryway to a proposed driveway on private property) shall apply for a tree permit. Cost of the permit and tree removal or substantial alteration shall be borne by the applicant.
- b. A city department wanting to remove or substantially alter a protected tree on city property shall make a request to the code enforcement officer. To document the request, the code enforcement officer shall prepare a tree application for the proposed action. Removal or substantial alteration of the tree shall not occur unless the code enforcement officer, city manager, or one of their designees approves the removal or substantial alteration.
- c. If the proposal is the removal or substantial alteration of a patriarch tree, the code enforcement officer shall provide a copy of the tree application to the city manager and tree committee appointed by the city commission. The committee shall review the tree permit application and make a recommendation. The city manager shall make a decision on the proposal and document in writing the reasons for allowing any removal or substantial alteration.

As a condition of approval, decision makers may require that certain protected trees or native trees listed in section 105-23 that are less than four inches in diameter at breast height be relocated from the area of proposed development to an undeveloped location.

Under a tree permit, thinning of healthy protected trees may be justified if selective removal of trees improves the development of remaining trees and allows them to grow faster and in a fuller, characteristic form.

To ensure that a tree permit is not prematurely issued for a proposed development that is never approved, the tree permit and building permit will be issued simultaneously.

(Ord. No. 2018-07, § I, 2-5-2019)

Sec. 105-27. Protection of trees during building operations.

Within the drip line radius of a protected tree, the following activities shall not occur during development, redevelopment, or improvement: deposition of debris and fill; storage of gasoline, oil, paint, chemicals, and other toxic materials harmful to trees; and attachment of wire to trees.

Driveways and sidewalks of impervious concrete and asphalt may not be constructed within the drip line of protected trees.

(Ord. No. 2018-07, § I, 2-5-2019)

Sec. 105-28. Utility easement trimming.

Electric utility companies and their contractors that perform vegetation maintenance and tree pruning or trimming within electric utility right-of-way corridors shall do so in accordance with the following requirements. As defined in State law (F.S. § 163.3209), "vegetation maintenance and tree pruning or trimming" means "the mowing of vegetation within the right-of-way, removal of trees or brush within the right-of-way, and selective removal of tree branches that extend within the right-of-way."

- (1) All tree management will be limited to what is necessary for the proper maintenance of existing and new utility facilities in order to provide safe and reliable utility service.
- (2) Prior to vegetation maintenance and tree pruning or trimming, the utility shall provide the city manager with a minimum of five business days' advance notice. Such advance notice is not required for vegetation maintenance and tree pruning or trimming required to restore electric service or to avoid an imminent vegetation-caused outage.
- (3) The electric utility shall meet with the city manager, or the manager's designee (e.g., code enforcement officer), to discuss and submit the utility's vegetation maintenance plan, including the utility's trimming specifications and maintenance practices. The plan shall identify any patriarch trees that are proposed for trimming and the amount of trimming proposed.
- (4) Vegetation maintenance and tree pruning or trimming conducted by utilities shall conform to American National Standards Institute (ANSI) A300 (Part I)—2008 (R2014) pruning standards and ANSI Z133.1-2000 Pruning, Repairing, Maintaining, and Removing Trees, and Cutting Brush—Safety Requirements.
- (5) Vegetation maintenance and tree pruning or trimming conducted by utilities must be supervised by qualified electric utility personnel or contractors licensed to do business in the City of Apalachicola and trained to conduct vegetation maintenance and tree trimming or pruning consistent with these requirements or by certified arborists certified by the certification program of the International Society of Arboriculture. Trimming of patriarch trees may only be performed by certified arborists.

(Ord. No. 2018-07, § I, 2-5-2019)

Sec. 105-29. Reforestation fund.

Fees collected for the lawful removal of protected trees shall be placed in a reforestation fund maintained by the City of Apalachicola. (Fees for the administrative processing of tree permit applications (e.g., \$50.00 per application) and fines for the unlawful removal or substantial alteration of protected trees (section 105-30) shall not be placed in the reforestation fund.) Reforestation fund fees shall be spent to establish, maintain, and promote a reforestation program on city property, primarily in parks, squares, and along highway and street corridors.

Following are the reforestation fund fees that shall be collected for removal of protected trees.

Diameter at breast height of protected tree removed (inches)	Fee for each tree (\$)
4 to 16	25
Greater than 16 to less than 35	35
35 and larger (patriarch tree)	1,000

For a tree permit applicant not proposing to remove a patriarch tree, the maximum total reforestation fund fee collected for each lot covered by the application shall not exceed \$250.00.

For a tree permit applicant proposing to remove a patriarch tree, the maximum total reforestation fund fee collected for each lot covered by the application shall not exceed \$250.00 for the non-patriarch trees plus an additional \$1,000.00 for each patriarch tree.

(Ord. No. 2018-07, § I, 2-5-2019)

Sec. 105-30. Penalties for violations.

Any person that removes or substantially alters a protected tree before a tree permit is obtained shall be charged a doubled permit application processing fee (e.g., \$100.00) for an after-the-fact permit.

If an after-the-fact tree permit is not issued because the tree removal or substantial alteration is not in accordance with these tree protection regulations, a fine in the amount specified in section III.D.1 of this Code shall be imposed. Each tree that is illegally removed or substantially altered is a separate offense.

Any person that illegally removes or substantially alters a patriarch tree shall be fined up to \$25,000.00.

Commercial tree care contractors or general contractors are required to be licensed by the city in order for them to conduct business within the city. Two or more violations of any provision of these tree protection requirements by any commercial tree care contractor or general contractor may result in revocation of such person's license to do business within the city.

(Ord. No. 2018-07, § I, 2-5-2019)

Secs. 105-31—105-30. Reserved.

