



## **Planning & Zoning Agenda**

**August 11<sup>th</sup>, 2025**

**Regular Meeting 6:00 PM**



**CITY OF APALACHICOLA**  
**PLANNING AND ZONING BOARD**  
**REGULAR MEETING**

Monday, August 11<sup>th</sup>, 2025

**City Meeting Room – 74 6<sup>th</sup> Street**

Agenda

**Regular Meeting: 6:00 PM**

1. Approval of July 14<sup>th</sup>, 2025 meeting minutes.
2. Review, Discussion and Decision for New Residential Construction. **(R-2) @ 230 17<sup>th</sup> Street**. Block 123 Lot 4. Owner: Coastal Life Homes LLC; Contractor: Ronnie E. Gooch.
3. Review, Discussion and Decision for Certificate of Appropriateness & Permeable Pavers. **(R-1) (Historic District) @ 101 Bay Avenue**. Block 36 Lots 1-5. Owner: Patricia McLemore; Contractor: Self.
4. Review, Discussion and Decision for Commercial Sign. **(R-3) @ 343 25<sup>th</sup> Avenue**. Block 222 Lots 21-22. Owner: Daisy Jimenez (Clearwater Apalach LLC); Contractor: Self.
5. Review, Discussion and Decision for New Residential Construction. **(R-2) @ 162 Bay Colony Way**. Lot 11. Owners: Matt & Megan Lee; Representative: Jeff Stephens; Contractor: Jubilee Builders.
6. Review, Discussion and Decision for Accessory Structure & Fence. **(R-2) @ 148 13<sup>th</sup> Street**. Block 90 Lot 2. Owners: John W. Swan & Lesley J. Wentworth; Contractor: Self.
7. Review, Discussion and Decision for New Residential Construction. **(R-1) @ 245 7<sup>th</sup> Street**. Block 174 Lot 8. Owner: Alex Littlefield; Contractor: Self.



8. Review, Discussion and Decision for Certificate of Appropriateness & Accessory Structure. (R-1) (Historic District) @ 130 5<sup>th</sup> Street. Block 19 Lot 3. Owners: Ed & Tammy Davis; Contractor: Bryce Ward.
9. Review, Discussion and Decision for Certificate of Appropriateness, New Residential Construction, Accessory Structure, Additional Lot Coverage, & Fence. (R-1) (Historic District) @ 911 Address Pending. Block 181 Lot 9. Owners: Christian & Audrey Robin; Contractor: Self.

Other/New Business:

Outstanding/Unresolved Issues:

**Motion to adjourn the meeting.**





## **Minutes**

**July 14<sup>th</sup>, 2025**



**CITY OF APALACHICOLA**  
**PLANNING AND ZONING BOARD**

**REGULAR MEETING**

Monday, July 14<sup>th</sup>, 2025

**City Meeting Room – 74 6<sup>th</sup> Street**

Minutes

**Attendance: Joe Taylor, Elizabeth Milliken, Myrtis Wynn, Jim Bachrach, Lee McLemore, Bobby Miller**

**Regular Meeting: 6:00 PM**

1. Approval of June 9<sup>th</sup>, 2025 meeting minutes.
  - a. Motion to approve by Jim Bachrach; 2<sup>nd</sup> by Myrtis Wynn– all in favor, motion carried.
2. Review, Discussion and Decision for Additional Lot Coverage. (R-3) @ 286 25<sup>th</sup> Avenue. Block 231 Lot 1-5. Owners: James and Patricia Pendleton; Contractor: Clint Ivey.
  - a. Motion to approve by Jim Bachrach; 2<sup>nd</sup> by Elizabeth Milliken – all in favor, motion carried.
3. Review, Discussion and Decision for Certificate of Appropriateness & Fence. (R-1) (Historic District) @ 233 6<sup>th</sup> Street. Block 128 Lot 7. Owner: Betty Allen; Contractor: Self.
  - a. Jim Bachrach asked if the finished side of the fence needed to face the interior or exterior of the property, ARPC Planner replied that this was not something the City regulated.
  - b. Motion to approve on the condition that the applicant lower the fence in the front yard to four feet and attach the fence to the façade of the house by Bobby Miller; 2<sup>nd</sup> by Lee McLemore – all in favor, motion carried.
  - c. Joe Taylor noted (regarding the Certificate of Appropriateness) that the Board has previously approved the use of corrugated tin material in the Historic District.



4. Review, Discussion and Decision for Certificate of Appropriateness & Accessory Structure. (R-1) (Historic District) @ 212 4<sup>th</sup> Street. Block 61 Lot 4. Owners: John and Angel Silva; Contractor: Self.
  - a. Angel Silva, applicant, commented that the new shed is replacing an older damaged shed on her property.
  - b. Motion to approve on the condition that the shed be placed at least five feet from the rear property line by Jim Bachrach; 2<sup>nd</sup> by Bobby Miller – all in favor, motion carried.
5. Review, Discussion and Decision for Certificate of Appropriateness & Accessory Structure. (R-1) (Historic District) @ 127 Avenue B. Block 44 Lot 1-6. Owner: George Wilkerson; Contractor: GeoFlora Group.
  - a. Drew Robertson present on behalf of George Wilkerson – Answered question from Elizabeath Milliken about the approximate height of the RV (~14 ft).
  - b. Bobby Miller asked the City Attorney how the City would enforce the conditional approval. City Attorney replied that Code Enforcement would be responsible for monitoring and ensuring no one lived in the RV.
  - c. Motion to approve on the condition that the private garage be used for storage of the RV only, not for residential use by Jim Bachrach; 2<sup>nd</sup> by Bobby Miller – all in favor, motion carried.
6. Review, Discussion and Decision for Certificate of Appropriateness & Alteration/Renovation. (C-2) (Historic District) @ 111 Avenue E. Block 32 Lot 8-10. Owners: Tom Brocato and Rebecca Stafford; Contractor: Andy Chambers Renovations.
  - a. Rebecca Stafford, applicant, commented that the proposed renovation would essentially be an expansion of their living space for her to work in. The proposed renovations would also be an improvement to the outside appearance of the building.
  - b. Motion to approve by Bobby Miller; 2<sup>nd</sup> by Jim Bachrach – all in favor, motion carried.



7. Review, Discussion and Decision for Certificate of Appropriateness & New Residential Construction. **(O/R) @ 111 11<sup>th</sup> Street**. Block 75 Lot 8. Owner: Ronnie E. Gooch; Contractor: Self.
  - a. Dawson Gooch present on behalf of Ronnie Gooch – No comments made for this item.
  - b. Motion to approve by Jim Bachrach; 2<sup>nd</sup> by Lee McLemore – all in favor, motion carried.
8. Review, Discussion and Decision for New Residential Construction. **(R-2) @ 202 17<sup>th</sup> Street**. Block 121 Lot 1. Owner: Coastal Life Homes LLC; Contractor: Ronnie E. Gooch.
  - a. Dawson Gooch present on behalf of Ronnie Gooch – Answered question from Elizabeth Milliken about the design of the house: Are the house designs the same for agenda items 7 and 8? Yes, though they may be mirrored depending on the site.
  - b. Motion to approve by Bobby Miller; 2<sup>nd</sup> by Lee McLemore – all in favor, motion carried.
9. Review, Discussion and Decision for New Residential Construction. **(R-2) @ 14 24<sup>th</sup> Avenue**. Block 270 Lots 8-10. Owner: Anthony Chase Crum; Contractor: Self.
  - a. Anthony Crum, applicant, present but made no comment and received no questions from the Board.
  - b. Motion to approve by Lee McLemore; 2<sup>nd</sup> by Bobby Miller – all in favor, motion carried.

#### **Other/New Business:**

1. Chair Joe Taylor noted at the beginning of the meeting that the Board's policy on applicant/representative attendance is as follows:
  - a. If the applicant or their representative is not present to answer questions at the meeting where their item is on the agenda, the Board's approval must be unanimous.



2. Board members had several questions for the Apalachee Regional Planning Council (ARPC) planners regarding their role as the City's planners after all the agenda items were heard:
  - a. Bobby Miller asked if the format of the agenda, with staff findings and a recommendation for each item, would remain the same going forward.
    - i. Yes, that is the ARPC's standard format.
  - b. Lee McLemore asked for an overview of the process for submitting a P&Z application.
    - i. ARPC Planner replied that applications can be emailed to [planning@cityofapalachicola.com](mailto:planning@cityofapalachicola.com), and that fees are paid directly to the City. Email is the preferred method of receiving applications, but they can also be physically sent in the mail if needed.
  - c. Bobby Miller commented that he appreciated that the ARPC was able to accept, review, and place on the agenda applications that were received after the normal 10 business day deadline.
    - i. ARPC Planner replied that during this transition period, last minute applications can be accepted while the agenda is still being finalized. After the agenda is sent to the City, applications can no longer be accepted and must go to the Board the following month.
  - d. Jim Bachrach asked if only a member of City Staff could submit applications to the ARPC.
    - i. ARPC Planner replied that the applicant can email the application directly to [planning@cityofapalachicola.com](mailto:planning@cityofapalachicola.com), but noted that the ARPC cannot accept payment from applicants.
  - e. Joe Taylor commented that City Staff should help accommodate applicants who don't have an email or who otherwise cannot send an electronic copy of their application themselves (e.g., by scanning their application for them when they come to City Hall in person). He does not want there to be a barrier preventing anyone from completing a P&Z application.



- i. Lee McLemore added that his wife Patricia McLemore was told by City Staff that she would need to mail her application to the ARPC, causing her item to be placed on the August agenda rather than the July agenda.
- ii. ARPC Planner affirmed that email is the preferred method of sending and receiving applications. The cost of sending an application in the mail as well as the associated delay in receiving the application should be avoided whenever possible.

**Outstanding/Unresolved Issues:**

N/A

**Motion to adjourn the meeting by Jim Bachrach; 2<sup>nd</sup> by Lee McLemore. All in favor – meeting adjourned at 6:27 P.M.**





**New Residential Construction**  
**230 17<sup>th</sup> Street**





**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**

Date Received: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Fees Due: \_\_\_\_\_

Date Fees Paid: \_\_\_\_\_

**OWNER INFORMATION**

Owner Coastal Life Homes LLC  
Address 708 East Pine Ave,  
City Saint George Island State FL Zip 32328  
Phone 980 358 3779

**CONTRACTOR INFORMATION**

Contractor Name Ran'c Edward Goodin  
State License # CEC1374576 City License # 25-443  
Email ce6f19c@gmail.com  
Phone 404 427 9108

**PROJECT TYPE**

☒ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☐ Accessory Structure

☐ Certificate of Appropriateness

☐ Other \_\_\_\_\_

**PROPERTY INFORMATION**

Street Address (911 Address): 230 17th St,  
City & State: Apalachicola, FL Zip: 32320  
Parcel ID #: 01-095-08W-8330-0233-0010 Block: 123 Lot: 4  
Zoning District: R-1 [ ] Historic District [ ☒ ] Non-Historic District  
FEMA Flood Zone: X

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_

Corner Lot? Y / N Street Sides: \_\_\_\_\_

Lot Coverage: \_\_\_\_\_

STAFF NOTES/RECOMMENDATIONS:

*This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.*

City Staff \_\_\_\_\_

Date Approved \_\_\_\_\_

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

JTG  
Applicant Initial



Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

The proposed project is a new construction single-family residence built from the "Coastal Cottage" plan, with 1268 square feet of living space. The design will incorporate weather-resistant materials and products suitable for Florida's coastal climate, such as Hardie board siding and PGT impact resistant windows. As the project is new construction on undeveloped lots, no relation to existing structures on the same lot exists. The project will select trim, finishes, and colors that complement the neighborhood and coastal environment.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	James Hardie Building Products	fiber-cement lap siding fiber-cement notched shingle panels	13192.2 13192.4
Doors	MDF Door	Impact fiberglass door	17347.5
Windows	PGT	Single Hung Impact SH-5500	1435
Roofing	GAF	Fiberglass reinforced laminated asphalt shingles	10124
Trim	James Hardie Building Products	Hardie Trim	
Foundation		monolithic slab	
Shutters	James Hardie Building Products	Hardie Shutters	
Porch/Deck		concrete	
Fencing			
Driveways/Sidewalks		Pavers	
Other			

**NOTE:** Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.



## CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

06/18/2025

DATE



SIGNATURE OF APPLICANT



TIMOTHY SIMMONS STREET

PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
CAROL BROWN,  
KRISTY BRANCH BANKS, P.A.,  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Bearings shown hereon were established by Florida State Plane (NAD 83)
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

LEGEND

	POINT NOT SET OR FOUND
RP	RECORD PLAT
R/W	RIGHT-OF-WAY
M	MEASURED
	NOT TO SCALE
SIRC	SET 5/8" RE-ROD #7160
FCM	FOUND CONCRETE MONUMENT
FIRC	FOUND IRON ROD AND CAP (5/8")
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FCIP	FOUND CRIMPED IRON PIPE
FPIP	FOUND PINCHED IRON PIPE
FND	FOUND
RND	ROUND

LEGAL DESCRIPTION:

Lot 5, Block "123" of the CITY OF APALACHICOLA a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida

EFFECTIVE FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" (0.2%) as per Flood Insurance Rate Map Community Panel No: 120089 0507G index date: October 10, 2024, Franklin County, Florida.

I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 5J-17, .051/ .052 Florida Administrative Code).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

JAMES T. RODDENBERRY  
Surveyor and Mapper  
Florida Certificate No: 4261

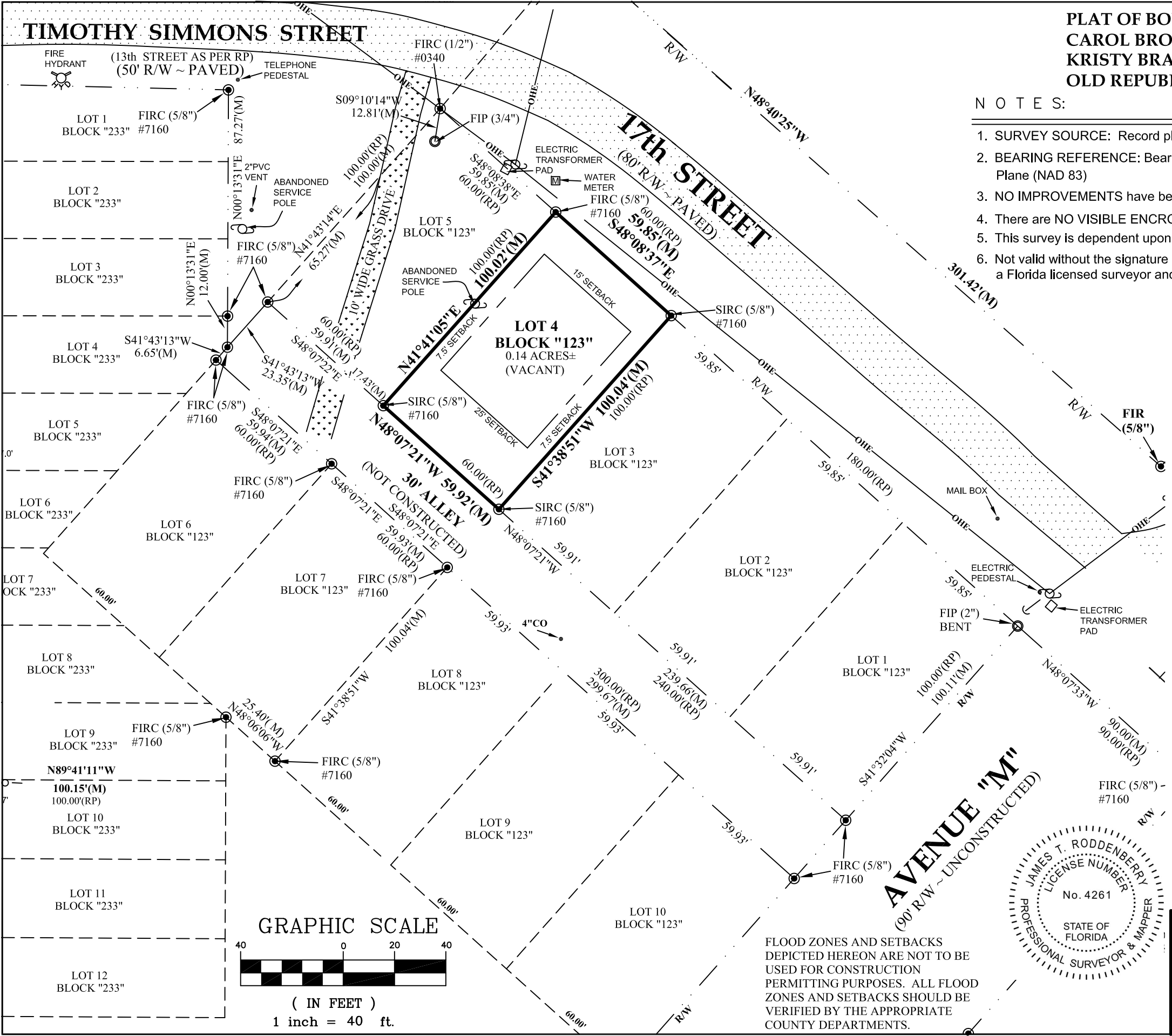


THURMAN RODDENBERRY & ASSOCIATES, INC

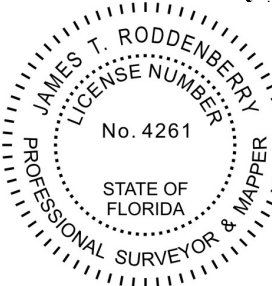
PROFESSIONAL SURVEYORS AND MAPPERS

P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358  
PHONE NUMBER: 850-962-2538 FAX NUMBER: 850-962-1103  
LB # 7160

DATE: 06/25/25	DRAWN BY: MMD	NB: PLAT	COUNTY: Franklin
FILE: 25398.DWG	DATE OF LAST FIELD WORK: 06/23/25	CHECKED BY	JOB NUMBER: 25-398



FLOOD ZONES AND SETBACKS  
DEPICTED HEREON ARE NOT TO BE  
USED FOR CONSTRUCTION  
PERMITTING PURPOSES. ALL FLOOD  
ZONES AND SETBACKS SHOULD BE  
VERIFIED BY THE APPROPRIATE  
COUNTY DEPARTMENTS.





Prepared by and return to:

**Kristy Banks**

**Kristy Branch Banks, P.A.**

**171 US Hwy 98 W Suite A**

**Eastpoint, FL 32328**

**(850) 670-1255**

File Number: **FP25-136**

Will Call No.:

[Space Above This Line For Recording Data]

## Warranty Deed

**This Warranty Deed** made this 7th day of July, 2025 between **Carol Brown** whose post office address is **144 20th Ave, Apalachicola, FL 32320**, grantor, and **Coastal Life Homes, LLC, a Florida Limited Liability Company** whose post office address is **708 East Pine, Saint George Island, FL 32328**, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situated, lying and being in **Franklin County, Florida** to-wit:

**Lot 4, Block 123, in the City of Apalachicola, Franklin County, Florida; and all of Block No. 234, in Greater Apalachicola, in City of Apalachicola, Franklin County, Florida.**

**Parcel Number: 01-09S-08W-8330-0233-0010**

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **12/31/2024**.

### **Not Homestead:**

I represent and warrant that the Real Property is neither the homestead or residence of myself or a member of my family, nor is the Real Property adjacent to the homestead or residence of myself or a member of my family.



**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]  
Witness  
Printed Name: LUDSY STEPHEN  
P.O. Address: 171 US Hwy 99W  
EASTPOINT, FL 32328

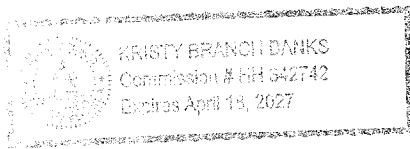
[Signature]  
Carol Brown

[Signature]  
Witness  
Printed Name: Kristy Branch Banks  
P.O. Address: 712 Hwy 98W Suite 10  
Eastpoint, FL 32328

State of Florida  
County of Franklin

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 7th day of July, 2025 by Carol Brown who ☒ is personally known or ☐ has produced a driver's license as identification.

[Seal]



[Signature]  
Notary Public  
Print Name: Kristy Branch Banks  
My Commission Expires: 4.15.2027





Ron DeSantis, Governor

Melanie S. Griffin, Secretary



**STATE OF FLORIDA**  
**DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CONSTRUCTION INDUSTRY LICENSING BOARD**

THE RESIDENTIAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE  
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

**GOOCH, RONNIE EDWARD**

RG BUILDING & FRAMING, INC.  
1722 HAMILTON RD  
LAGRANGE GA 30241

**LICENSE NUMBER: CRC1334576**

**EXPIRATION DATE: AUGUST 31, 2026**

Always verify licenses online at [MyFloridaLicense.com](https://MyFloridaLicense.com)

ISSUED: 01/30/2025

Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.





**MAIN FLOOR PLAN - ELEVATION A**

1/4" = 1'-0"

**MAIN FLOOR** 1268 S.F.  
**FRONT PORCH** 80 S.F.  
**GOLF CART GARAGE** 135 S.F.  
**REAR PATIO** 152 S.F.  
**PATIO** 128 S.F.

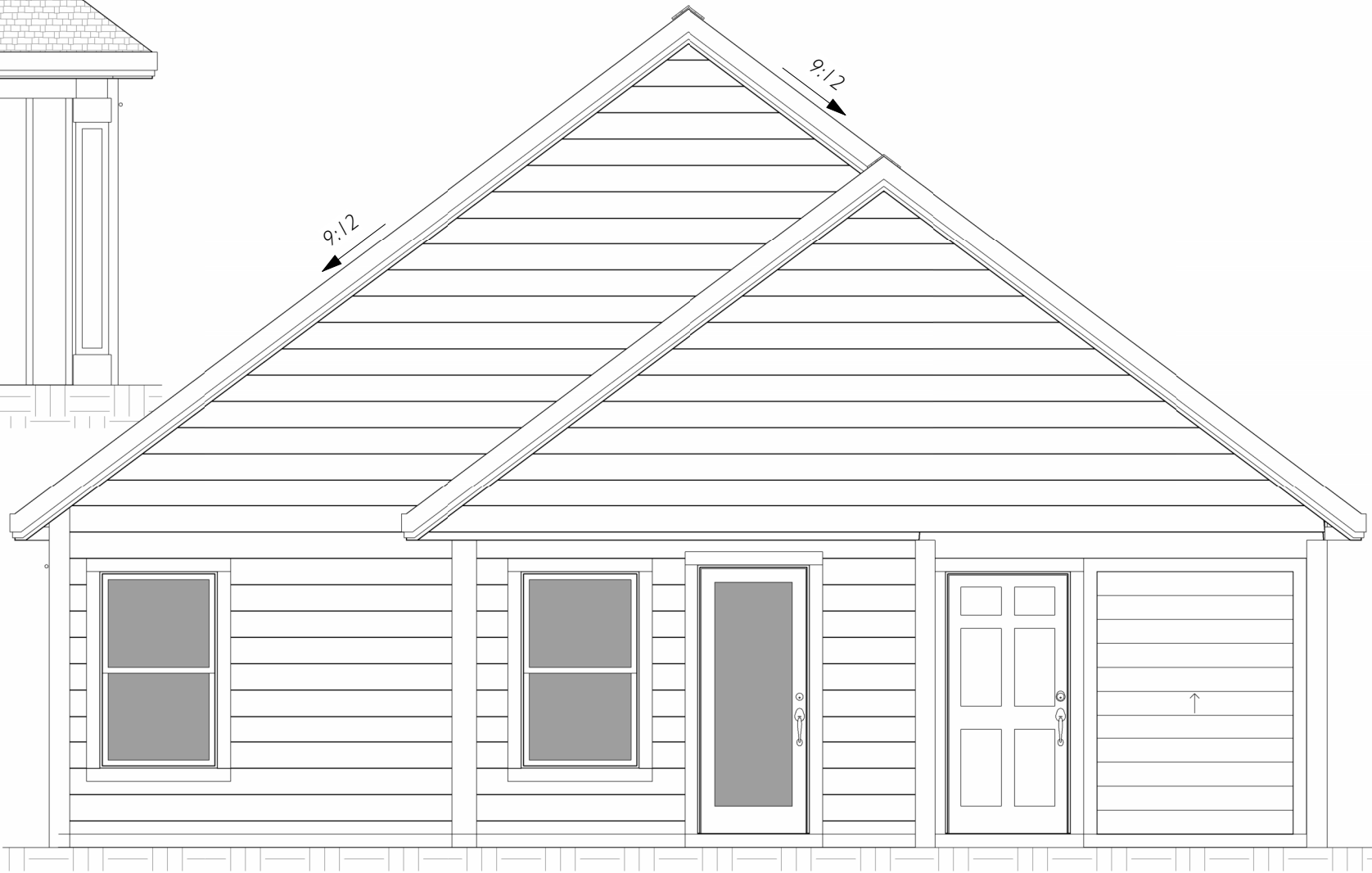
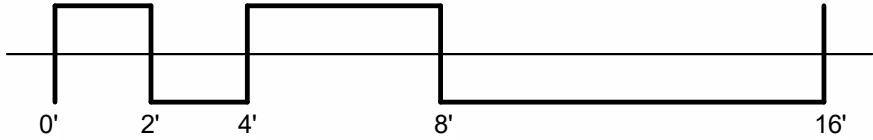
COASTAL DREAM COTTAGE RH - A		
FLOOR PLAN		<div style="font-size: 48px; text-align: center;">A1-1</div>
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	Scale 1/4" = 1'-0"





FRONT ELEVATION - A



1/4" = 1'-0"



BACK ELEVATION - A

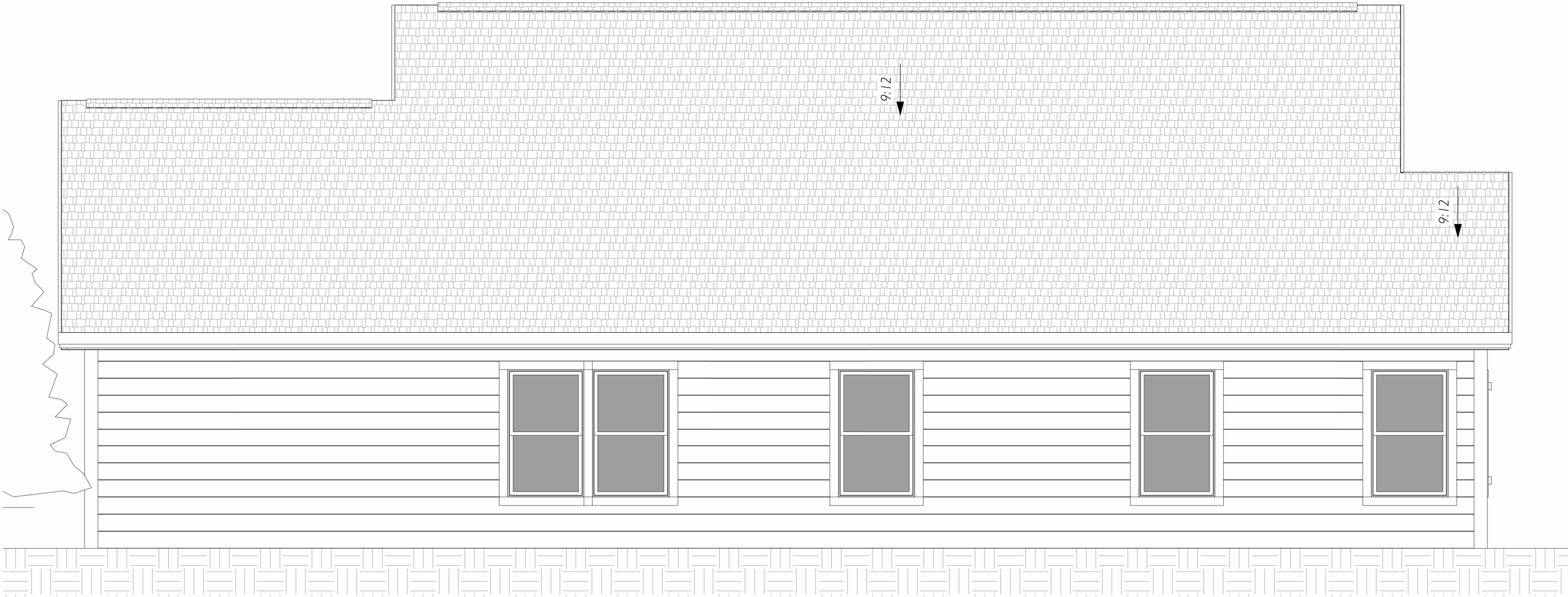
1/4" = 1'-0"

COASTAL LIFE HOMES LLC

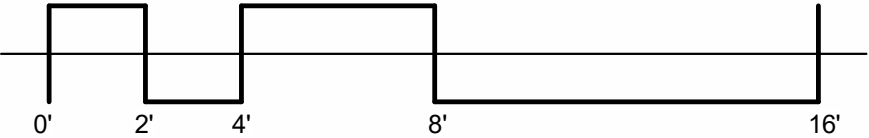
SUMMARY		WALL LEGEND	
BEDROOMS:	3	SIDING EXTERIOR	
BATHROOMS:	2	4" INTERIOR WALL	
WIDTH:	32' 0"		
DEPTH:	54' 6"		

COASTAL DREAM COTTAGE RH - A			
FRONT & BACK ELEVATIONS		A1-2	
Date	Issue Date		
Drawn by	Author		
Checked by	Checker		
		Scale 1/4" = 1'-0"	





RIGHT ELEVATION - A  
1/4" = 1'-0"

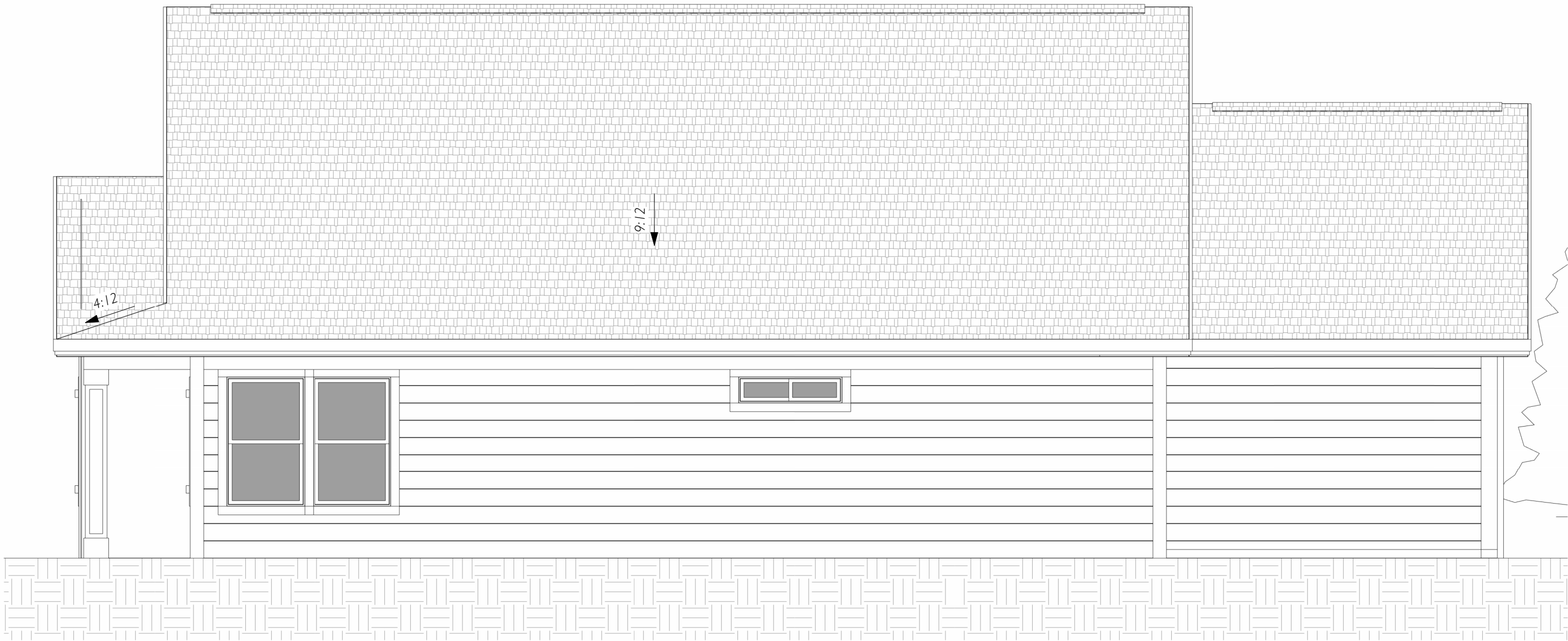


COASTAL LIFE HOMES LLC

SUMMARY		WALL LEGEND	
BEDROOMS:	3	SIDING EXTERIOR	<div></div>
BATHROOMS:	2	4" INTERIOR WALL	<div></div>
WIDTH:	32' 0"		
DEPTH:	54' 6"		

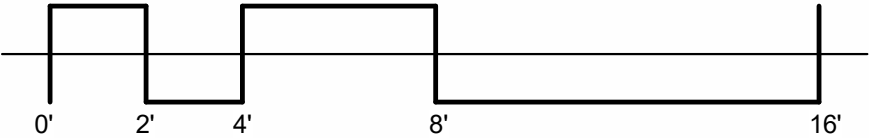
COASTAL DREAM COTTAGE RH - A			
RIGHT ELEVATION		A1-3	
Date	Issue Date		
Drawn by	Author		
Checked by	Checker	Scale 1/4" = 1'-0"	







LEFT ELEVATION - A

1/4" = 1'-0"

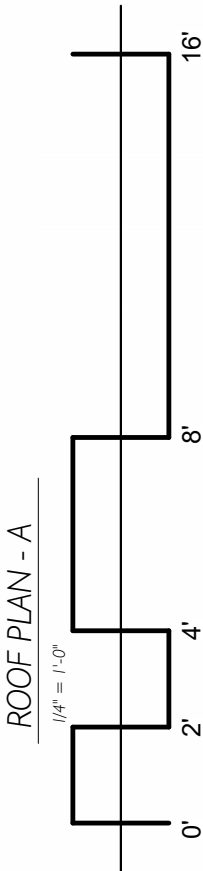


COASTAL LIFE HOMES LLC



SUMMARY		WALL LEGEND	
BEDROOMS:	3	SIDING EXTERIOR	
BATHROOMS:	2	4" INTERIOR WALL	
WIDTH:	32' 0"		
DEPTH:	54' 6"		

COASTAL DREAM COTTAGE RH - A			
LEFT ELEVATION		A1-4	
Date	Issue Date		
Drawn by	Author		
Checked by	Checker		
		Scale 1/4" = 1'-0"	





COASTAL LIFE HOMES LLC

SUMMARY		WALL LEGEND	
BEDROOMS:	3	SIDING EXTERIOR	
BATHROOMS:	2	4" INTERIOR WALL	
WIDTH:	32' 0"		
DEPTH:	54' 6"		

COASTAL DREAM COTTAGE RH - A

ROOF PLAN		A1-5
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
Scale		1/4" = 1'-0"

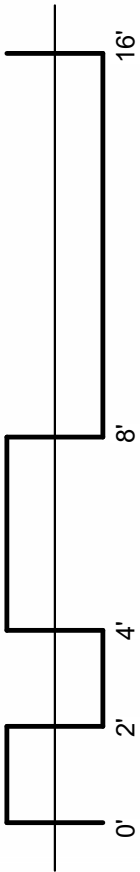
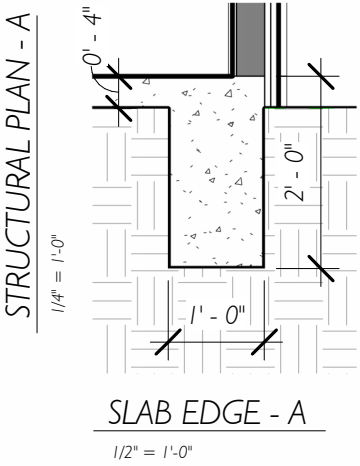
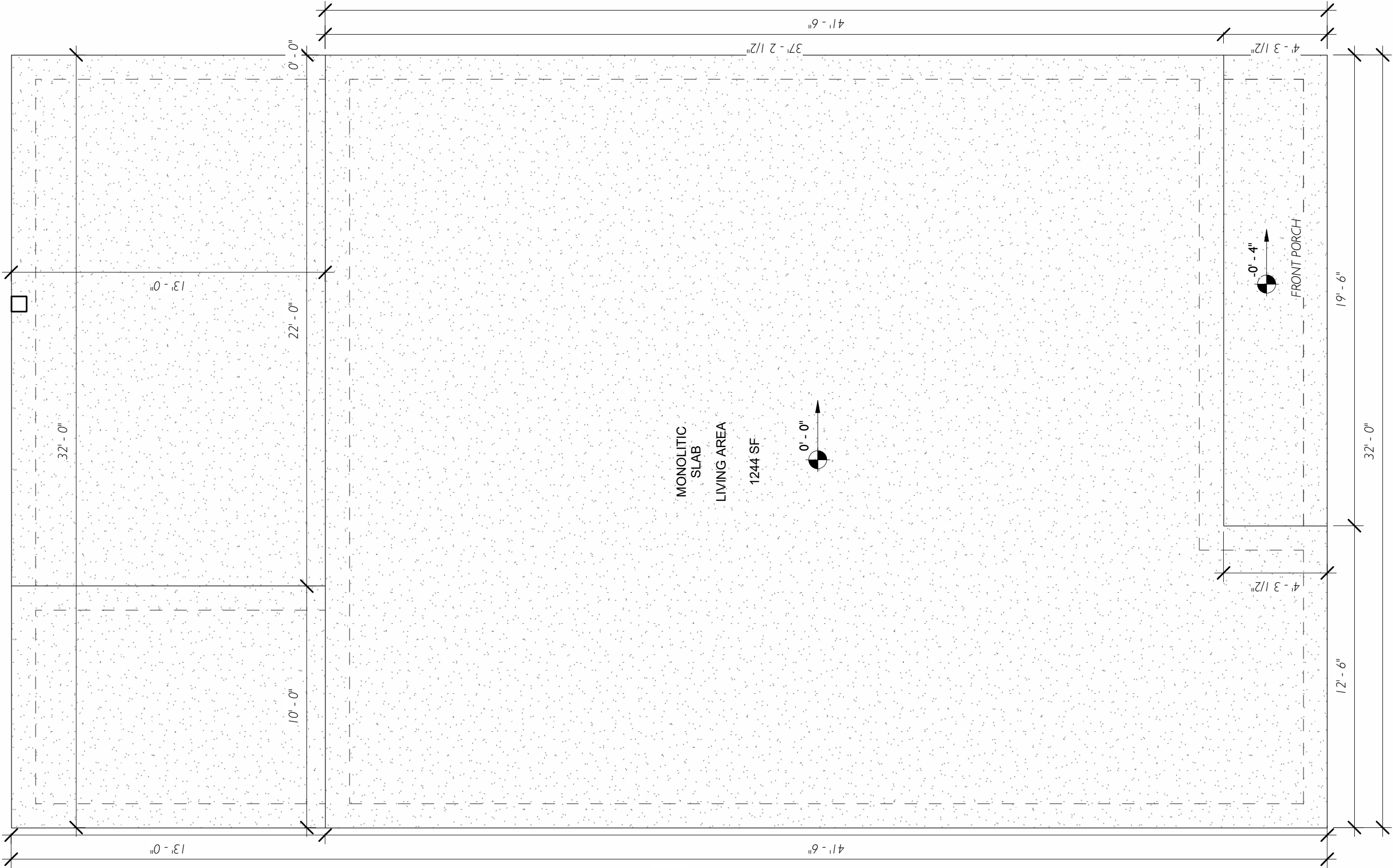


COASTAL LIFE HOMES LLC

54' - 6"

SUMMARY		WALL LEGEND	
BEDROOMS:	3	SIDING EXTERIOR	<div></div>
BATHROOMS:	2		
WIDTH:	32' 0"		
DEPTH:	54' 6"	4" INTERIOR WALL	<div></div>

COASTAL DREAM COTTAGE RH - A			
STRUCTURAL		A1-6	
Date	Issue Date		
Drawn by	Author		
Checked by	Checker	Scale As indicated	





# STAFF FINDINGS REVIEW

**PROPERTY OWNER:** Coastal Life Homes LLC

**AGENT** (if applicable): N/A

**CONTRACTOR:** Ronnie Edward Gooch

**PROPERTY ADDRESS** (if available): 230 17<sup>th</sup> Street

**PARCEL ID:** 01-09S-08W-8330-0123-0040

→ Block 123 Lot 4

**HISTORIC DISTRICT:** No

**ACREAGE:** --

**FUTURE LAND USE:** Residential (R-2 Multifamily Residential)

**WETLANDS:** No

**FLOODPLAIN:** "X"

**CORNER LOT:** No

## **DESCRIPTION OF PROJECT:**

- Construction of a new single-family residence with 1,268 square feet of living space.
  - Total lot area is 6,000 square feet.

## **STAFF FINDINGS:**

### **Code of Ordinances:**

- **Section 111-269. R-2 Multifamily Residential.**
  - Single-family residential is a permitted principal use in this district.
  - Minimum building size for a single-family residence is 800 square feet.
  - Maximum lot coverage for a single-family residence is 40%.
    - *Lot coverage not including gravel driveway is 21%.*
  - Maximum building height is 35 ft.
  - Minimum building setbacks are:
    - Front: 15 ft.
    - Side (corner lot): 15 ft.
    - Rear: 25 ft.
- **Section 111-288(i). Parking Requirements:**



- There must be one parking space for each dwelling unit; no part of the parking area shall be closer than five feet to any established road right-of-way or alley line.
  - *Gravel driveway will be used to meet the parking requirement; the golf cart garage is an additional feature.*


**RECOMMENDATION:** Approval, meets all requirements of the Code of Ordinances.





**Certificate of Appropriateness & Permeable Pavers**  
**101 Bay Avenue**



 <b>City of Apalachicola Planning &amp; Zoning</b> <b>Application for Development/Site Plan Approval</b>		<b>Official Use Only</b> Date Received: _____ Meeting Date: _____ Fees Due: _____ Date Fees Paid: _____
<b>OWNER INFORMATION</b>	<b>CONTRACTOR INFORMATION</b>	
Owner <u>Patricia McOmre</u> Address <u>101 Bay Ave</u> City <u>Apalachicola</u> State <u>FL</u> Zip <u>32320</u> Phone <u>850-653-7110</u>	Contractor Name _____ State License # _____ City License # _____ Email _____ Phone _____	
<b>PROJECT TYPE</b>		
<div style="display: flex; justify-content: space-between;"> <div style="width: 48%;"> <input type="checkbox"/> New Construction  <input type="checkbox"/> Addition  <input type="checkbox"/> Alteration/Renovation  <input type="checkbox"/> Relocation  <input type="checkbox"/> Demolition         </div> <div style="width: 48%;"> <input type="checkbox"/> Fence  <input type="checkbox"/> Accessory Structure  <input type="checkbox"/> Certificate of Appropriateness  <input checked="" type="checkbox"/> Other <u>PAVERS</u>  <u>800/900 sq. feet</u> </div> </div>		
<b>PROPERTY INFORMATION</b>		
Street Address (911 Address): <u>101 Bay Avenue</u> City & State: <u>Apalachicola FL</u> Zip: <u>32320</u> Parcel ID #: <u><del>80230 205 02320</del></u> Block: <u>36</u> Lot: <u>1,2,3,4,5</u> Zoning District: <u>R1</u> <input checked="" type="checkbox"/> Historic District <input type="checkbox"/> Non-Historic District FEMA Flood Zone: _____ Parcel ID: <u>R 01-095-08W-8330-0036-0010</u>		
<b>OFFICIAL USE ONLY</b>		
Certificate of Appropriateness Required? Y / N _____ Setback Requirements of Property: Front: _____ Rear: _____ Side: _____ Corner Lot? Y / N _____ Street Sides: _____ Lot Coverage: _____ STAFF NOTES/RECOMMENDATIONS: _____ _____ _____ _____	<i>This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning &amp; Zoning Board and a building permit is authorized to be issued.</i>  _____ City Staff  _____ Date Approved	

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

  
**Applicant Initial**



Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

We would like to finish our driveway w/ <sup>permissible</sup> pavers -  
 We had previously applied for a permit which included this area in 2019, but only partly paved the driveway

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks	Kilgore Pavers PSS. FL	PAVERS To match pavers that are currently in driveway	
Other			

**NOTE:** Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

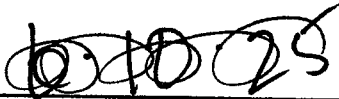


## CERTIFICATION

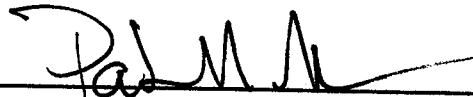
By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
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9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

7.7.25

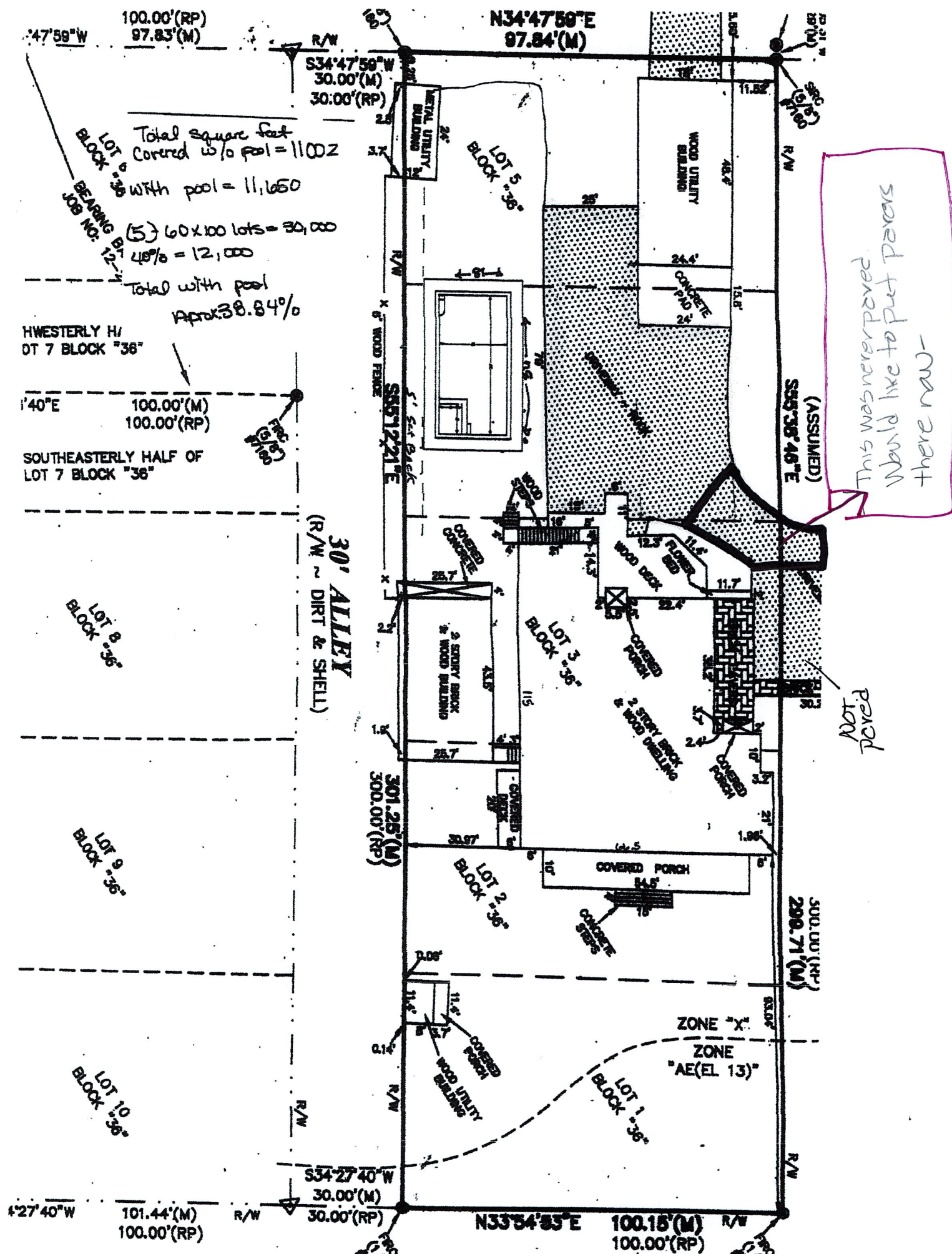


DATE



SIGNATURE OF APPLICANT



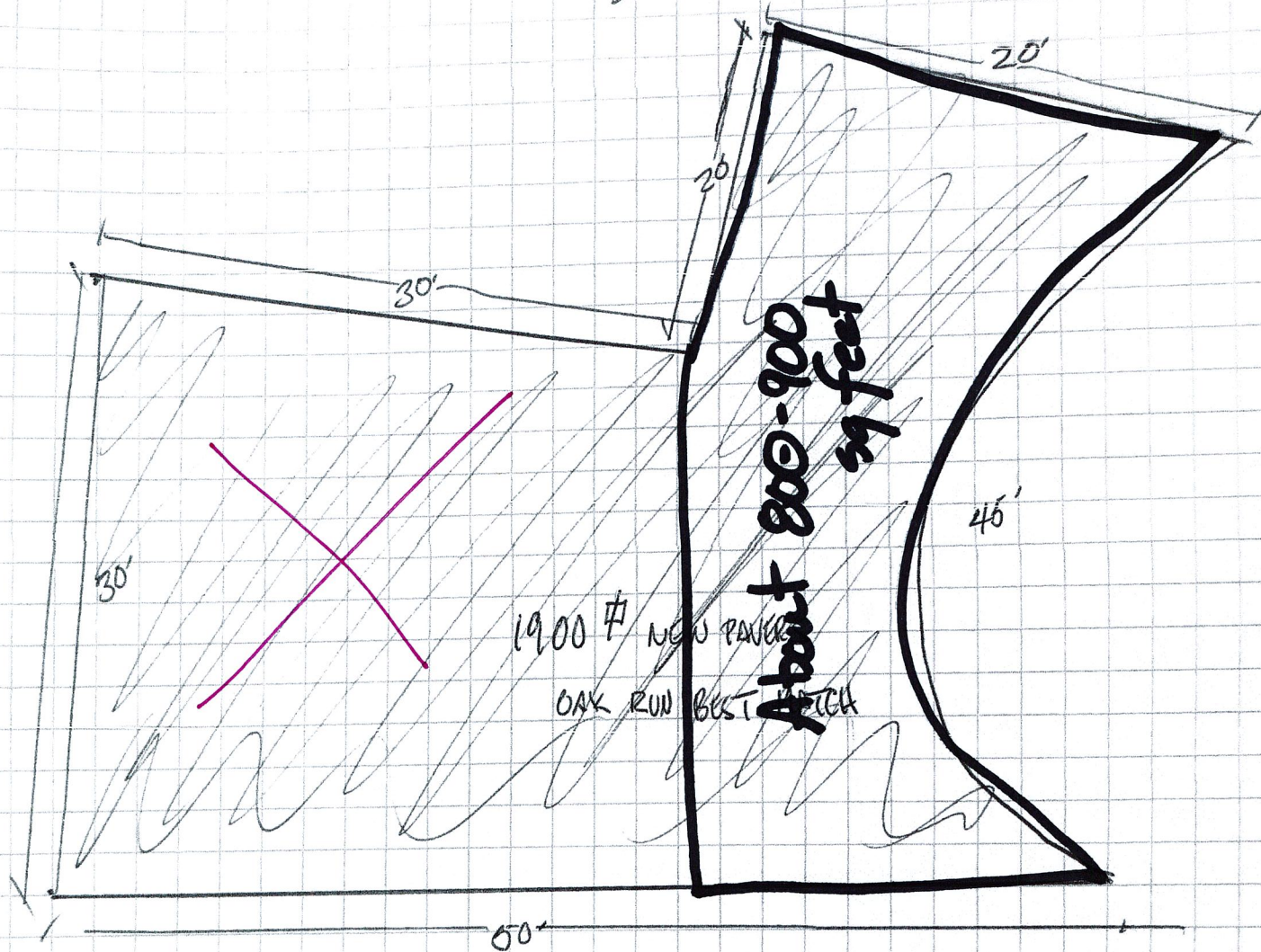






TRICA McLe more  
101 Bay Ave Appolache

NEW FRONT DRIVE  
PART III





# STAFF FINDINGS REVIEW

**PROPERTY OWNER:** Patricia McLemore

**AGENT** (if applicable): N/A

**CONTRACTOR:** Self

**PROPERTY ADDRESS** (if available): 101 Bay Avenue

**PARCEL ID:** 01-09S-08W-8330-0036-0010

→ Lots 1-5 Block 36

**HISTORIC DISTRICT:** Yes

**ACREAGE:** -- (~30,000 square feet)

**FUTURE LAND USE:** Residential (R-1 Single-Family Residential)

**WETLANDS:** No

**FLOODPLAIN:** Predominantly “X” with minor “AE” on Lot 1.

**CORNER LOT:** No

→ Pavers would be placed on Lots 3 + 4, which are not corner lots.

## **DESCRIPTION OF PROJECT:**

- Additional lot coverage to pave a section (~800/900 square feet) of the driveway with permeable pavers.
  - Previously applied for a permit for the entire driveway in 2019 but this specific section was not paved at that time.

## **STAFF FINDINGS:**

### **Code of Ordinances:**

- **Definitions:**
  - **Lot coverage** means the area of the lot covered by the ground floor of all principal and accessory uses and structures, including all areas covered by the roof of such uses and structures, measured along the exterior faces of the walls, along the foundation wall line, between the exterior faces of supporting columns, from the centerline of walls separating two buildings or as a combination of the foregoing, whichever produces the greatest total lot ground coverage for such uses and structures. Lot coverage shall also



include all impervious surfaces such as drives, parking areas, walkways, swimming pools, patios, terraces and the like.

- **Impervious surface coverage.** Those hard surface man-made areas that do not allow, or minimally allow, the penetration of water, that reduce the natural rate or percolation of water or result in an increase in the natural quantity and rate of storm water runoff. Examples include but are not limited to roof tops, parking, clay, asphalt, concrete, brick, compacted gravel, paved recreational areas such as pools, tennis courts, and landscape pavers.

**Exceptions:** Pervious decks as described herein and items identified on a site plan as a best management practice to treat stormwater shall be allowed within open space and not considered impervious.

→ **Section 111-268. R-1 Single-Family Residential.**

- Maximum lot coverage is 40%.
  - *Total lot size: 30,000 SF, five 60 x 100 lots.*
  - *Total existing lot coverage: 11,650 SF (38.84%).*
  - *Total proposed lot coverage: 12,450 – 12,550 SF (41.5% - 41.84%).*
    - *Permeable pavers treated as open space rather than impervious surface would leave the lot coverage at 38.84%.*

**RECOMMENDATION:** Approval, meets all requirements of the Code of Ordinances.





**Commercial Sign**

**343 25th Avenue**





**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**

Date Received: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Fees Due: \_\_\_\_\_

Date Fees Paid: \_\_\_\_\_

**OWNER INFORMATION**

Owner Daisy Jimenez

Address 328 22nd Ave

City Apalachicola State FL Zip 32320

Phone 8503706062

**CONTRACTOR INFORMATION**

Contractor Name \_\_\_\_\_

State License # \_\_\_\_\_ City License # \_\_\_\_\_

Email \_\_\_\_\_

Phone \_\_\_\_\_

**PROJECT TYPE**

☐ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☐ Accessory Structure

☐ Certificate of Appropriateness

☐ Other Commercial sign

**PROPERTY INFORMATION**

Street Address (911 Address): 343 25th Ave

City & State: Apalachicola Florida Zip: 32320

Parcel ID #: 01-09S-08W-8330-0222-0210 Block: 222 Lot: 21-22

Zoning District: \_\_\_\_\_ [ ] Historic District [ x ] Non-Historic District

FEMA Flood Zone: Zone X

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_

Corner Lot? Y / N Street Sides: \_\_\_\_\_

Lot Coverage: \_\_\_\_\_

STAFF NOTES/RECOMMENDATIONS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.*

\_\_\_\_\_  
City Staff

\_\_\_\_\_  
Date Approved

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

Dj  
**Applicant Initial**



Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

The comercial sign will be place on the front left side of the property. The sign is a 24" x 36" double sided polymetal sign with 4"x4" posts/frame

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

**NOTE:** Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.



## CERTIFICATION

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7/22/25

DATE

D. [Signature]

SIGNATURE OF APPLICANT



# BUILDING PERMIT APPLICATION CHECKLIST

(ALL STEPS MAY NOT APPLY TO SMALLER PROJECTS)

- \_\_\_\_\_ 1. Approval from City Planning & Zoning Board
- \_\_\_\_\_ 2. Complete Building Permit Application
- \_\_\_\_\_ 3. TWO COMPLETE SETS OF PLANS INCLUDING:
- Site Plan
  - Final Site Plan (New Construction) – Stormwater Management Plan
  - Signed/Sealed Structural Drawings
  - Elevations
  - Floor Plan
  - Fire Protection
  - Drawn to Scale
- \_\_\_\_\_ 4. Contractor Information
- License
  - Photo ID of License Holder
  - COI: Workers Comp/General Liability
  - Letter of Authorization
- \_\_\_\_\_ 5. Contract Scope of Work
- \_\_\_\_\_ 6. Energy Forms
- \_\_\_\_\_ 7. Notice of Commencement (All permits valued at \$2,500 or more)
- \_\_\_\_\_ 8. Flood Elevation Certificate
- \_\_\_\_\_ 9. Fill Permit Application
- \_\_\_\_\_ 10. Floodplain Management Application (NOT if Flood Zone X)
- \_\_\_\_\_ 11. Water/Sewer Impact Fees Receipt (if applicable)

Daisy Jimenez, D. Jimenez  
Applicant Name, Signature

07/22/25  
Date

City of Apalachicola Building Department  
192 Coach Wagoner Blvd. Apalachicola, FL 32320  
(850)653-9319

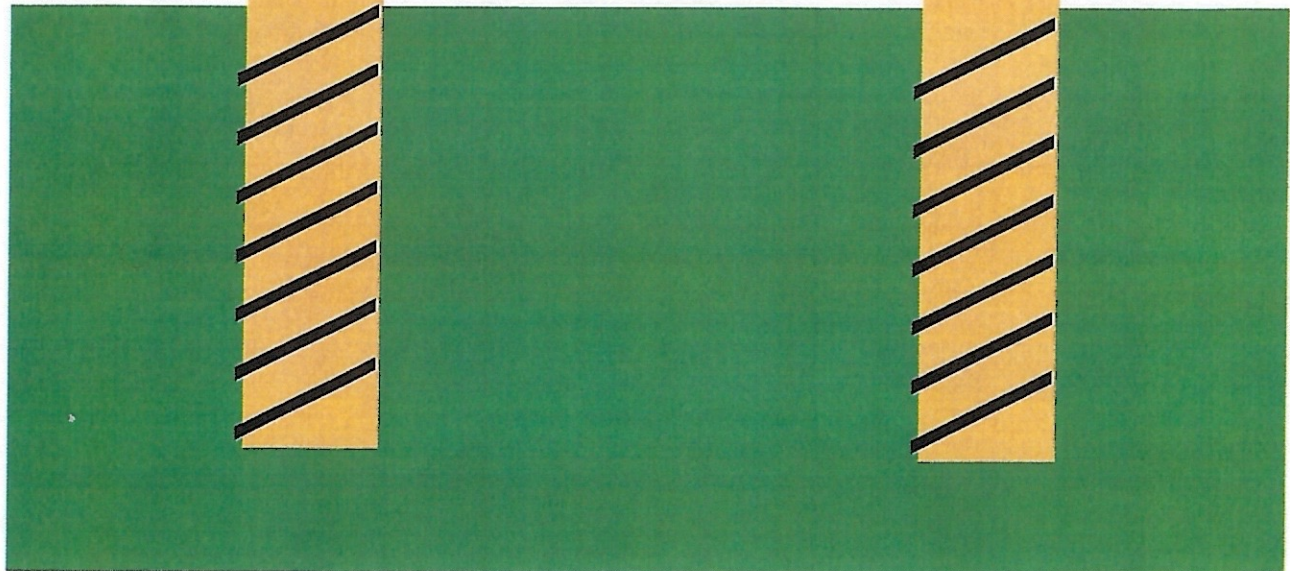


**24"x36" double sided polymetal sign**  
**with 4"x4" posts/frame** *my example*

# **Clearwater Apalach LLC**

**Monthly Short Term  
Rentals**

**343 25th Ave, Apalachicola**









# STAFF FINDINGS REVIEW

**PROPERTY OWNER:** Daisy Jimenez

**AGENT** (if applicable): N/A

**CONTRACTOR:** Self

**PROPERTY ADDRESS** (if available): 343 25<sup>th</sup> Avenue

**PARCEL ID:** 01-09S-08W-8330-0222-0210

→ Block 222 Lots 21-22

**HISTORIC DISTRICT:** No

**ACREAGE:** -- (~6,000 SF)

**FUTURE LAND USE:** R-3 (Mobile Home Residential)

**WETLANDS:** No

**FLOODPLAIN:** "X"

**CORNER LOT:** No

## **DESCRIPTION OF PROJECT:**

→ Installation of a 24" x 36" freestanding double-sided sign on 4'x4' posts for a monthly vacation rental business.

## **STAFF FINDINGS:**

### **Code of Ordinances:**

#### → **Section 113-3. Computations.**

- **Computation of sign area.** The surface area of a sign shall be computed as including the entire area within a regular geometric form comprising all of the display area of the sign and including all of the elements of the matter displayed. Frames and structural members not bearing advertising matter shall not be included in computation of surface area and shall be kept to the minimum requirements necessary to meet the Florida Building Code. Where a sign has two or more faces, the area of all faces shall be combined in determining the area of the sign.

#### → **Section 113-4. Purpose and scope of sign regulations.**

- The requirements of this chapter are the minimum necessary to promote the public health, safety, and welfare, including traffic safety, and to protect the



character and aesthetics of residential, commercial, and business areas throughout the city. Therefore, the display of signs should be appropriate to the land, building, structure, or use to which they are appurtenant and be adequate, but not excessive, for their intended purpose. It is the intent of this chapter that signs be accessory and incidental to their respective land, building, structure, or use

→ **Section 113-83. Signs permitted in residential zones.**

- **For home occupations:** one non-illuminated wall sign, not to exceed three square feet in size is permitted.
- **For permitted nonresidential uses** other than home occupations, including churches and synagogues: one freestanding monument sign not to exceed 12 square feet in area or 8 feet in height.
  - *The total area of the sign is 864 square inches or 6 square feet.*

**RECOMMENDATION:** Approval, meets all requirements of the Code of Ordinances.





**New Residential Construction**  
**162 Bay Colony Way**



To: Apalachicola Planning & Zoning  
From: Matt & Megan Lee/Jeff Stephens

My name is Jeff Stephens. My Daughter & Son in law are building a new house at 162 Bay ColonyWay. I am helping them with the paperwork for P&Z. I have attached the required documents for the P&Z meeting August 11. I also need to know what the fee is going to be so we can get it paid before the deadline for the meeting. Please let me know if you need anymore information. Feel free to contact me - email, call or text: 770-655-1228  
Lakeshoreprop@yahoo.com

Thanks,  
Jeff Stephens





**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**

Date Received: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Fees Due: \_\_\_\_\_

Date Fees Paid: \_\_\_\_\_

**OWNER INFORMATION**

Owner Matt & Megan Lee  
Address 65 '16th Street  
City Apalachicola State FL Zip 32320  
Phone 770-547-8952

**CONTRACTOR INFORMATION**

Contractor Name Jubilee Builders  
State License # CRC-1334417 City License # \_\_\_\_\_  
Email marc@jubileebuilders.com  
Phone 304-678-8401

**PROJECT TYPE**

☒ New Construction

☐ Fence

☐ Addition

☐ Accessory Structure

☐ Alteration/Renovation

☐ Certificate of Appropriateness

☐ Relocation

☐ Other \_\_\_\_\_

☐ Demolition

**PROPERTY INFORMATION**

Street Address (911 Address): 162 Bay Colony Way  
City & State: Apalachicola Zip: 32320  
Parcel ID #: 12-095-08W-1000-0000-0110 Block: \_\_\_\_\_ Lot: 11  
Zoning District: 3 [ ] Historic District [X] Non-Historic District  
FEMA Flood Zone: X, X-0.2%

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required? Y / N  
Setback Requirements of Property:  
Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_  
Corner Lot? Y / N Street Sides: \_\_\_\_\_  
Lot Coverage: \_\_\_\_\_  
STAFF NOTES/RECOMMENDATIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.*

\_\_\_\_\_  
City Staff

\_\_\_\_\_  
Date Approved

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

ML ML  
Applicant Initial



Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

New house on 3 foot piers, Concrete Foundation  
House has attached single car garage & screen porch  
3-Bedrooms 2 bath (full) HVAC SE 1689, Total U R SE 2314  
Board & Batten siding, Spray Foam wall & ceiling insulation,  
Metal Roof  
Vingl Windows, Fiber glass exterior doors

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	James Hardi	Hardi Panels	FL13192.1 P5
Doors	Plast Pro	Fiberglass	FL 17342.1
Windows	Jeld-Wen	single Hung Premium Atlantic Vingl	FL 14095.1
Roofing	Dixieland metals	metal Roof	FL 4149 R3
Trim	James Hardi	soffit Panels	F13787.R1
Foundation		Concrete & Blocks	
Shutters			
Porch/Deck		Pressure treated lumber	
Fencing			
Driveways/Sidewalks			
Other Trusses	Townsend	Engineered Roof truss	

**NOTE:** Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.



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8/21/2025  
DATE

Megyn Lee Megyn Lee  
SIGNATURE OF APPLICANT



PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
MATTHEW LEE and MEGAN LEE,  
DONNA DUNCAN, P. A.,  
CHICAGO TITLE INSURANCE COMPANY

# GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.

## LEGEND

M	MEASURED
RP	RECORD PLAT
FCM	FOUND CONCRETE MONUMENT
SIRC	SET 5/8" RE-ROD #7160
FIRC	FOUND IRON ROD AND CAP
FIR	FOUND IRON ROD
R/W	RIGHT-OF-WAY
~	NOT TO SCALE
Δ	POINT NOT SET OR FOUND

## LEGAL DESCRIPTION:

Lot 11 of BAY COLONY, a subdivision as per map or plat thereof recorded in Plat Book 8, Page 5 of the Public Records of Franklin County, Florida

## NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: ALL BEARINGS established by Florida Grid North datum.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. FENCE LOCATIONS depicted hereon are exaggerated for clarity.
8. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.

## FLOOD ZONE INFORMATION:

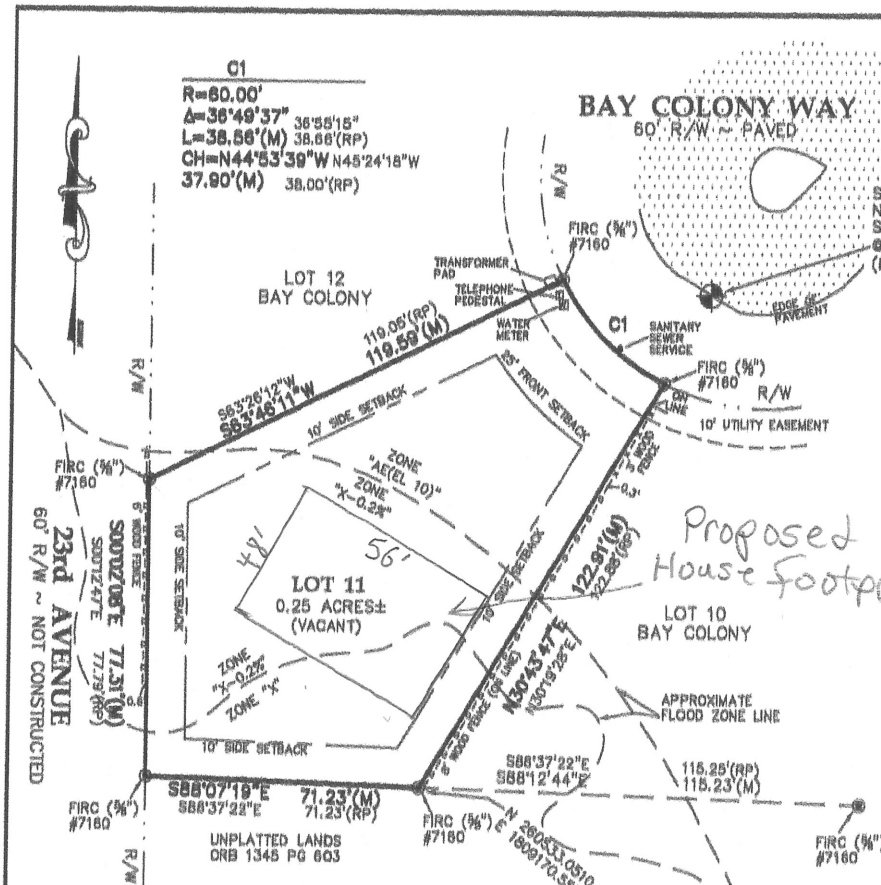
Subject property is located in Zones "X", "X-0.2%" and "AE (EL 10)" as per Flood Insurance Rate Map Community Panel No: 120090 0509G, Index date: October 10, 2024, Franklin County, Florida.

TR  
&A

Thurman Roddenberry & Associates, Inc.

PROFESSIONAL SURVEYORS AND MAPPERS  
P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358  
PHONE NUMBER: 850-962-2535 FAX NUMBER: 850-962-1103  
LE # 7160

DATE: 06/18/25	DRAWN BY: BB	N.B. PER PLAT	COUNTY: Franklin
FILE: 02487L11.DWG	DATE OF LAST FIELD WORK: 06/18/25	CHECKED BY: TR	JOB NO: 02-487



I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (P.A.C. 53-17.001/.002).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

*James T. Roddenberry*  
JAMES T. RODDENBERRY  
Surveyor and Mapper  
Florida Certificate No. 4261







These plans are designed in accordance with the American Forest and Paper Association (AF & PA) Wood Frame Construction Manual (WFCM) for one & two family dwellings & the 8th edition (2023) Florida Building Residential Code requirements.

## LEE RESIDENCE

PROJECT ADDRESS: 162 BAY COLONY WAY  
APALACHICOLA, FL 32320

SQ.FT.	MAIN FLOOR LIVING AREA
SQ.FT.	FRONT PORCH
SQ.FT.	BACK PORCH
SQ.FT.	TOTAL AREA

DRAWING INDEX	
Label	Title
A-0.1	COVER SHEET
E-1	EXTERIOR ELEVATIONS
A-1.1	MAIN FLOOR FRAMING PLAN
A-1.2	MAIN FLOOR REFLECTED CEILING PLAN
A-3.1	ROOF SLOPE PLAN

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNERS AND/OR BUILDERS SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE OWNERS AND/OR BUILDERS EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS. DRAFTER IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.

	<b>JUBILEE BUILDERS</b> 6655 US Hwy 251 South Dothan, Alabama 36001 Phone/Fax (256) 878-9401
	SCALE: PRINTED ON 24x36 (FULL SCALE) PRINTED ON 12x18 (1/2 SCALE)
DRAWING PROVIDED BY: <b>Skylar Robinette</b>	<b>CUSTOMER NAME</b>
DIMENSIONS AND JOB CONDITIONS TO BE VERIFIED BY CONTRACTOR	COVER SHEET
PAGE: A-0.1 7/19/2025 12:43:51 PM	

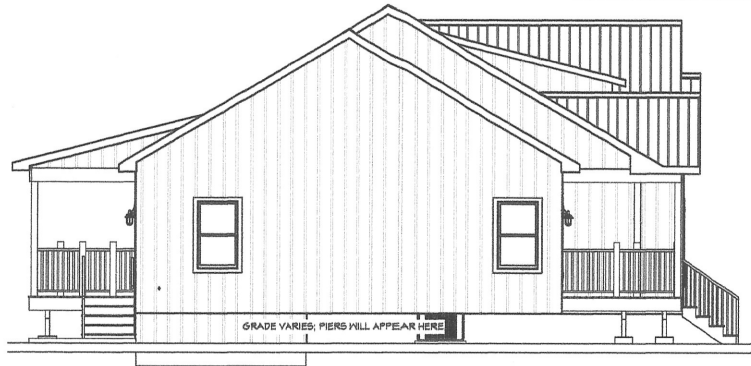


# **NOTES:**

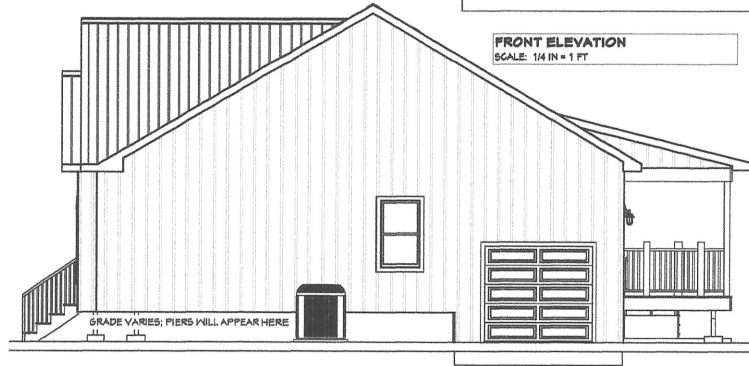
- ROOF OVERHANG TYPICALLY 16".
- ALL ROOFS PITCH ARE 7/12.
- 6'-4"X4'-0" DORMER W/ TWO 2020FX WINDOWS.
- BACK PORCH IS SCREENED IN.
- DOVETAIL RAFTERS.
- BOARD AND BATTEN SIDING.



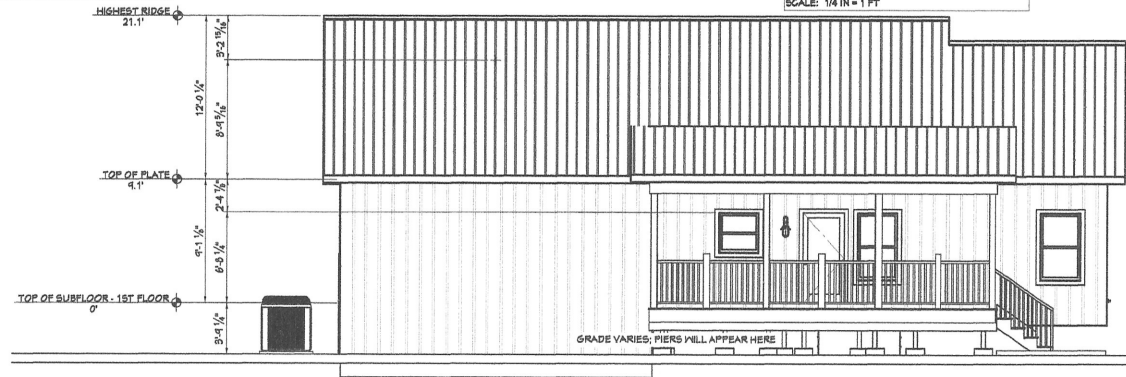
**FRONT ELEVATION**  
SCALE: 1/4 IN = 1 FT



**LEFT ELEVATION**  
SCALE: 1/4 IN = 1 FT



**RIGHT ELEVATION**  
SCALE: 1/4 IN = 1 FT

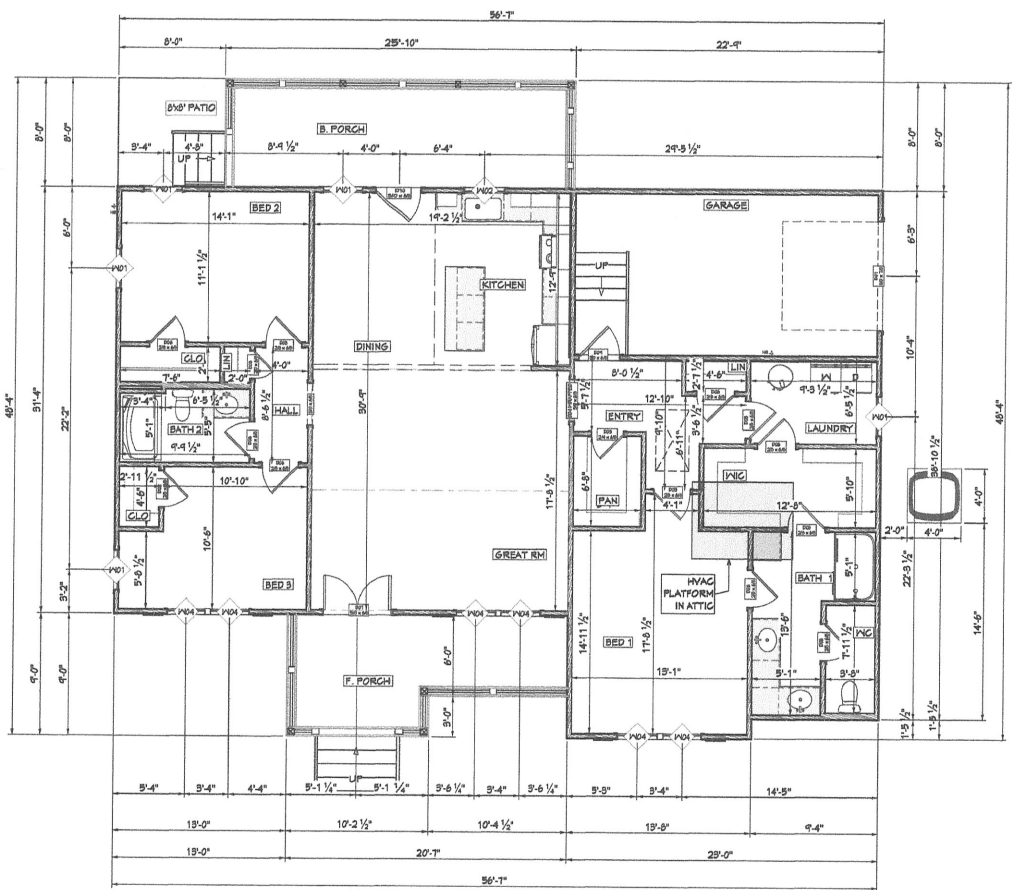


**REAR ELEVATION**  
SCALE: 1/4 IN = 1 FT

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNER'S AND/OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE ON THEN AFTER PRINTS ARE MADE WILL BE DONE AT THE OWNERS AND/OR BUILDERS EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS. DRAFTER IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.

<p><b>JUBILEE BUILDERS</b> 6609 US Hwy 291 South Fort Worth, Texas 76151 Phone: (817) 634-5401</p>	<p>SCALE: PRINTED ON 24x36 (FULL SCALE) PRINTED ON 12x18 (1/2 SCALE)</p>	<p>DRAWING PROVIDED BY: Skylar Robinette</p>	<p><b>CUSTOMER NAME</b></p>
<p><b>PAGE: E-1</b> 7/14/2025 12:43:51 PM</p>	<p><b>DIMENSIONS AND JOB CONDITIONS TO BE VERIFIED BY CONTRACTOR</b> <b>EXTERIOR ELEVATIONS</b></p>		





**FLOOR PLAN NOTES:**

- 1 CUSTOMER IS RESPONSIBLE FOR APPLIANCES, PAINTING, FLOORING, UTILITIES (WATER AND SEPTIC) AND THEIR CONNECTIONS, BATH ACCESSORIES, FINAL GRADE AND LANDSCAPE.
- 2 ALL WOOD CABINETRY; BASE CAB. BLOCKING AT 35.5" AND WALL CAB. BLOCKING AT 72".
- 3 30-YEAR ARCHITECTURAL SHINGLES. *metal roof*
- 4 NO CROWN MOLDING.
- 5 VAULT IN MAIN AREA; 3:12 PITCH
- 6 9' CEILINGS THROUGHOUT
- 7 LINEN CLOSETS ARE 4 SHELVES, ROOM CLOSETS HAVE 1 SHELF
- 8 BACK PATIO IS UNCOVERED
- 9 SPRAY FOAM INSUL. W/ 15 SEER
- 10 1x6 BASEBOARDS
- 11 FLOOD LIGHTS INSTALLED IN SOFFITS
- 12 BACK PORCH SCREENED IN

NUMBER	QTY	SIZE	R/O	TYPE
D01	1	8'0"0"	CP261	GARAGE
D02	1	2660 L IN	35 1/2x32 1/2	HINGED
D03	4	2660 R IN	34'x32 1/2"	HINGED
D04	2	3560	30'x34 1/2"	DOORWAY
D05	1	2460 L IN	30'x34 1/2"	HINGED
D06	7	2660 L IN	34'x32 1/2"	HINGED
D07	1	3560 L IN EX	32'x38"	DOUBLE HINGED
D08	1	2060 L IN	26'x34 1/2"	HINGED
D09	1	3060 L EX	34'x38"	HINGED
D10	1	3060 R EX	34'x38"	HINGED

BP EXTERIOR ELEVATION	NUMBER	QTY	SIZE	R/O	DESCRIPTION
	W01	5	3030SH	36"x60"	SINGLE HUNG
	W02	1	3030SH	36"x36"	SINGLE HUNG
	W03	2	2020PX	24"x24"	FIXED GLASS
	W04	6	3060SH	36"x12"	SINGLE HUNG

**A-1.1 MAIN FLOOR FRAMING PLAN**  
SCALE: 1/4" IN = 1' FT

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNERS AND OR BUILDERS SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE OWNERS AND/OR BUILDERS EXPENSES AND LIABILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWING. DRAFTER IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE USER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.

**JUBILEE BUILDERS**  
6609 US Hwy 281 South  
Dothan, Alabama 36001  
Phone/Fax (334) 675-6401

SCALE: PRINTED ON 24x36 (FULL SCALE)  
PRINTED ON 12x18 (1/2 SCALE)

PAGE: A-1.1  
DIMENSIONS AND JOB CONDITIONS  
TO BE VERIFIED BY CONTRACTOR

DRAWING PROVIDED BY:  
**Skylar Robinette**

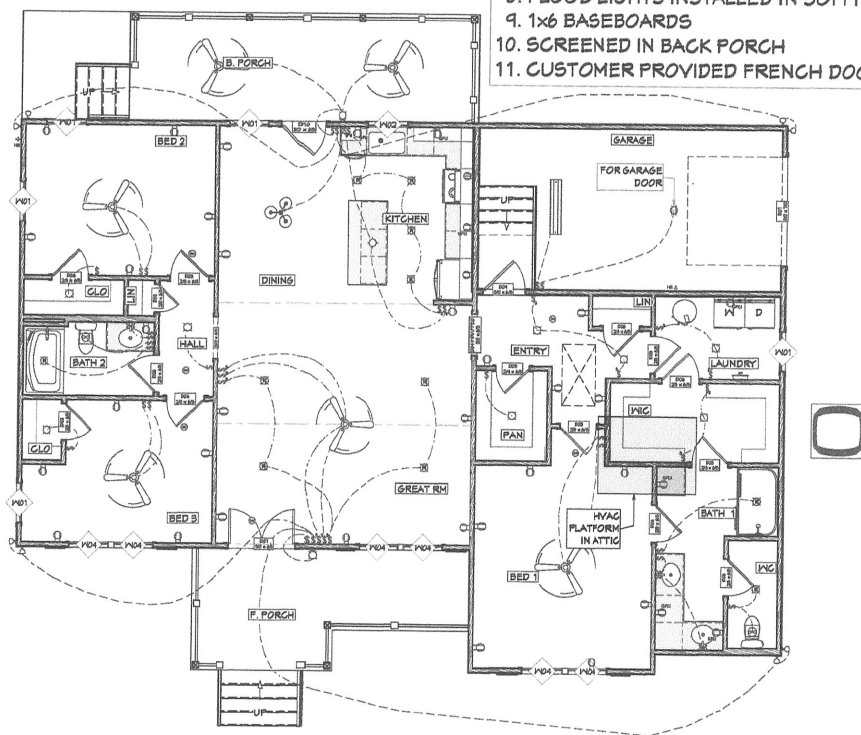
CUSTOMER NAME

DATE: 7/14/2025  
TIME: 12:43:51 PM

MAIN FLOOR FRAMING PLAN



1. ALL BEDROOM RECEPTACLES SHALL BE ARC FAULT PROTECTED.
2. RANGE WIRE #6 WITH 50 AMP BREAKER.
3. PLACEMENTS MARKED WITH FANS IN GREAT ROOM, BACK PORCH, AND ALL BEDROOMS SHALL BE PRE-WIRED AND BRACED FOR A CEILING FAN. HOWEVER, JUBILEE DOES NOT INSTALL OR INCLUDE CEILING FANS IN THEIR PACKAGE.
4. 9' CEILINGS THROUGHOUT.
5. SPRAY FOAM INSULATION.
6. 3:12 VAULT IN MAIN AREA.
7. 8x8' PATIO ON BACKSIDE OF HOME.
8. FLOOD LIGHTS INSTALLED IN SOFFITS.
9. 1x6 BASEBOARDS
10. SCREENED IN BACK PORCH
11. CUSTOMER PROVIDED FRENCH DOOR.



ELECTRICAL SCHEDULE	
ID SYMBOL	DESCRIPTION
	EXHAUST FAN
	ELECTRICAL PANEL - SURFACE MOUNTED
	3 BLADE CEILING FAN
	3 DOWN LIGHTS
	CONTEMPORARY FLUSH
	GRAN ANDROS PENDANT
	RECESSED DOWN LIGHT 6
	SMOKE DETECTOR 1
	220V
	DUPLEX
	GFCI
	GRAN TENOS
	SINGLE POLE
	CAGED LANTERN SCONCE
	THREE WAY
	SHOP LIGHT (SHORT) 45 1/4"
	DUPLEX CEILING MOUNTED
	SINGLE FLOOD LIGHT

**A-1.3 MAIN FLOOR RCP PLAN**  
SCALE: 1/4 IN = 1 FT

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNERS AND/OR BUILDERS SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE MUST BE DONE AT THE OWNERS AND/OR BUILDERS EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWING. DRAWER IS NOT LIABLE FOR ERRORS OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE INFORMATION OF THIS PLAN TO AVOID ANY RESPONSIBILITY. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE FOR ANY CONSTRUCTION DEFICIENCIES.



**JUBILEE BUILDERS**

SCALE:  
PRINTED ON 24x36 (FULL SCALE)  
PRINTED ON 12x18 (1/2 SCALE)

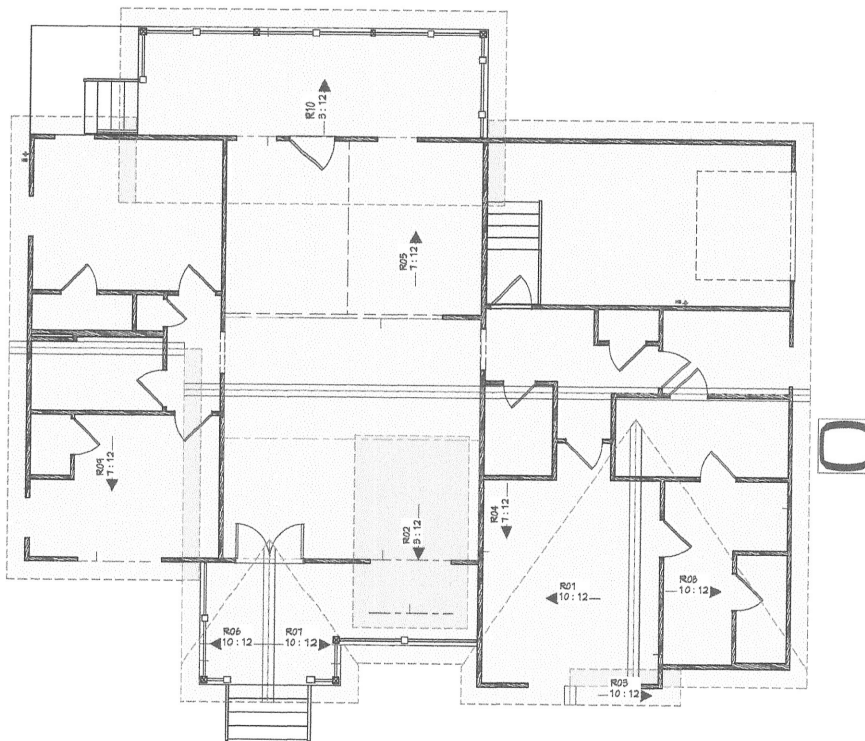
**DRAWING PROVED BY:**  
**Skylar Bohan**

**DIMENSIONS AND JOB CONDITIONS  
TO BE VERIFIED BY CONTRACTOR**

PAGE: A-1.2

7/9/2025  
12:43:57 PM





**Notes:**  
 -ROOF OVERHANG IS TYPICALLY 16".  
 -SPRAY FOAM INSULATION.

ROOF SCHEDULE			
NUMBER	PITCH	AREA SURFACE (SQ FT)	SCOFFIT (SQ FT)
R01	10:12	125.34	24.37
R02	9:12	126.34	33.24
R03	10:12	217.04	14.51
R04	7:12	140.12	160.05
R05	7:12	1155.02	47.44
R06	10:12	61.32	14.32
R07	10:12	61.32	62.21
R08	10:12	174.7	22.46
R09	7:12	214.65	21.8
R10	9:12	410.9	29.17
TOTALS:		3217.35	317.66

**R-1 ROOF SLOPE PLAN**  
 SCALE: 1/4" IN = 1' FT

TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE DRAWN TO COMPLY WITH ORDINANCES AND/OR BUILDERS SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE OWNER'S AND/OR BUILDERS EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS. DRAFTER IS NOT LIABLE FOR ANY CONSTRUCTION DEFECTS OR OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER. MISFEAS, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.

	<b>PAGE: A-3.1</b> 7/19/2025 12:43:51 PM	<b>DIMENSIONS AND JOB CONDITIONS TO BE VERIFIED BY CONTRACTOR</b> ROOF SLOPE PLAN	<b>DRAWING PROVIDED BY:</b> Skylar Robinette	<b>SCALE:</b> PRINTED ON 24x36 (FULL SCALE) PRINTED ON 36x48 (1/2 SCALE)	<b>JUBILEE BUILDERS</b> 1000 N. 10TH AVE. DOWNEY, ALABAMA 36601 Phone/Fax: (204) 878-6401
---	--	--	---	--	--



# STAFF FINDINGS REVIEW

**PROPERTY OWNER:** Matt & Megan Lee

**AGENT** (if applicable): Jeff Stephens

**CONTRACTOR:** Jubilee Builders

**PROPERTY ADDRESS** (if available): 162 Bay Colony Way

**PARCEL ID:** 12-09S-08W-1000-0000-0110

→ Lot 11 (Bay Colony Subdivision)

**HISTORIC DISTRICT:** No

**ACREAGE:** 0.25 (~10,890 SF)

**FUTURE LAND USE:** R-2 (Multi-Family Residential)

**WETLANDS:** No

**FLOODPLAIN:** Mixed “X” and “AE”

**CORNER LOT:** No

## **DESCRIPTION OF PROJECT:**

→ New single-family residential home (2,699 SF) on 3 ft piers with attached single car garage.

## **STAFF FINDINGS:**

### **Code of Ordinances:**

→ **Section 111-269. R-2 Multifamily Residential.**

- Single-family residential is a permitted principal use in this district.
- Minimum building size for a single-family residence is 800 square feet.
- Maximum lot coverage for a single-family residence is 40%.
  - Approximate lot coverage is 25%, not including driveway.
- Maximum building height is 35 ft.
- Minimum building setbacks are:
  - Front: 15 ft.
  - Side (interior lot): 7½ ft each side, or combination 15 ft.
  - Rear: 25 ft.

**RECOMMENDATION:** Approval, meets all requirements of the Code of Ordinances.





**Accessory Structure & Fence**

**148 13th Street**



July 23, 2025

John W. Swan  
Lesley J. Wentworth  
148 Willie B. Speed Boulevard  
Apalachicola, Florida 32320

City of Apalachicola  
Planning & Zoning Board  
192 Coash Wagoner Boulevard  
Apalachicola, Florida 32320

RE: 148 Willie B. Speed Boulevard (aka 13<sup>th</sup> Street)

Dear Board Members:

Please accept this letter and the attached documents in support of our Application to replace an existing forty (40) inch high chain link fence with a six (6) foot high wooden shadow box fence, and construct a 16' x 16' wooden posted carport with a metal roof.

As shown on the attached Site Plan the carport will add 256 square feet in lot coverage to the existing 60' x 100' lot. This additional square footage will bring the total lot coverage to 1,722 square feet or 29 percent of the lot.

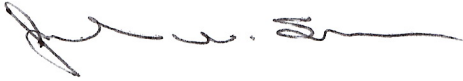
In addition to the required Application we have included a Proposed Site Plan, Boundary Survey showing the existing conditions, pictures of the proposed fence and carport.

This addition will require the removal of three (3) small bushes. We also intend to transplant one (1) small magnolia tree.

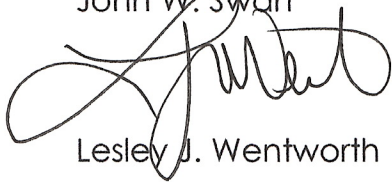


If you have any questions or need additional information, please do not hesitate to contact us. We look forward to meeting with the Board in August to answer any questions in person.

Very truly yours,

A handwritten signature in black ink, appearing to read "John W. Swan".

John W. Swan

A handwritten signature in black ink, appearing to read "Lesley J. Wentworth".

Lesley J. Wentworth

Attachments





**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**

Date Received: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Fees Due: \_\_\_\_\_

Date Fees Paid: \_\_\_\_\_

**OWNER INFORMATION**

Owner JOHN W. SWAN / LESLEY J. WENTWORTH  
Address 148 WILLIE B. SPEED BLVD.  
City APALACHICOLA State FL Zip 32320  
Phone (207) 615-4483

**CONTRACTOR INFORMATION**

Contractor Name OWNER  
State License # \_\_\_\_\_ City License # \_\_\_\_\_  
Email FISHINGSWAN@GMAIL.COM  
Phone (207) 615-4483

**PROJECT TYPE**

☐ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☒ Fence

☒ Accessory Structure

☐ Certificate of Appropriateness

☐ Other \_\_\_\_\_

**PROPERTY INFORMATION**

Street Address (911 Address): 148 WILLIE B. SPEED BLVD. (AKA 13TH ST.)  
City & State: APALACHICOLA, FL. Zip: 32320  
Parcel ID #: R-01-095-08W-8330-0090-0020 Block: 90 Lot: NW 1/2 lot 2  
Zoning District: R-2 [ ] Historic District [X] Non-Historic District SW 1/2 lot 3  
FEMA Flood Zone: X

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_

Corner Lot? Y / N Street Sides: \_\_\_\_\_

Lot Coverage: \_\_\_\_\_

STAFF NOTES/RECOMMENDATIONS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.*

City Staff \_\_\_\_\_

Date Approved \_\_\_\_\_

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

[Signature]  
Applicant Initial



Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

AS OUTLINED IN OUR COVER LETTER, WE WANT TO REPLACE A PORTION OF THE EXISTING 40" HIGH CHAIN LINK FENCE WITH A 6' HIGH WOODEN FENCE. THE REMAINING PORTION OF CHAIN LINK FENCE TO BE REMOVED (SEE FENCE PHOTO). WE ALSO WANT TO CONSTRUCT A 16'X16' POSTED CARPORT IN THE REAR OF OUR LOT ADJACENT TO THE ALLEY (SEE CARPORT PHOTO). THE ATTACHED SURVEY AND SITE PLAN SHOW THE SIZE AND LOCATION OF EXISTING AND PROPOSED IMPROVEMENTS.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	N/A		
Doors	N/A		
Windows	N/A		
Roofing	METAL		
Trim	N/A		
Foundation	N/A		
Shutters	N/A		
Porch/Deck	N/A		
Fencing	6' WOODEN ATTACHED PHOTO		
Driveways/Sidewalks	GRAVEL		
Other	N/A		

**NOTE:** Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.



## CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

7/23/25

DATE



SIGNATURE OF APPLICANT





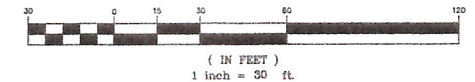
**PLAT OF BOUNDARY SURVEY CERTIFIED TO:**  
**LESLEY J. WENTWORTH and JOHN W. SWAN,**  
**DONNA DUNCAN, P.A.,**  
**CHICAGO TITLE INSURANCE COMPANY**

**NOTES:**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northerly boundary of subject parcel having an assumed bearing of South 44 degrees 59 minutes 19 seconds West.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

**LEGAL DESCRIPTION:**  
 NORTHWEST HALF OF LOT 2 AND THE  
 SOUTHEAST HALF OF LOT 3, BLOCK "90" OF  
 THE CITY OF APALACHICOLA AS PER MAP OR  
 PLAT IN COMMON USE ON FILE AT THE CLERK  
 OF THE CIRCUIT OFFICE IN FRANKLIN COUNTY,  
 FLORIDA

**GRAPHIC SCALE**



**LEGEND**

- FCM SETTING OF FENCE/POST
- RW RIGHT-OF-WAY
- LI MEASURED
- NOT TO SCALE
- POINT NOT SET OR FOUND
- SRC FOUND (S/V) MON. ROD AND CAP
- FRC FOUND (S/V) MON. ROD AND CAP
- RP RECORDED PLAT
- RND FOUND
- RND FOUND
- CM CONCRETE MONUMENT

**FLOOD ZONE INFORMATION:**

Subject property is located in Zone X as per Flood  
 Insurance Rate Map Community Panel No: 120089 0526F  
 Index date October 10, 2024, Franklin County, Florida.

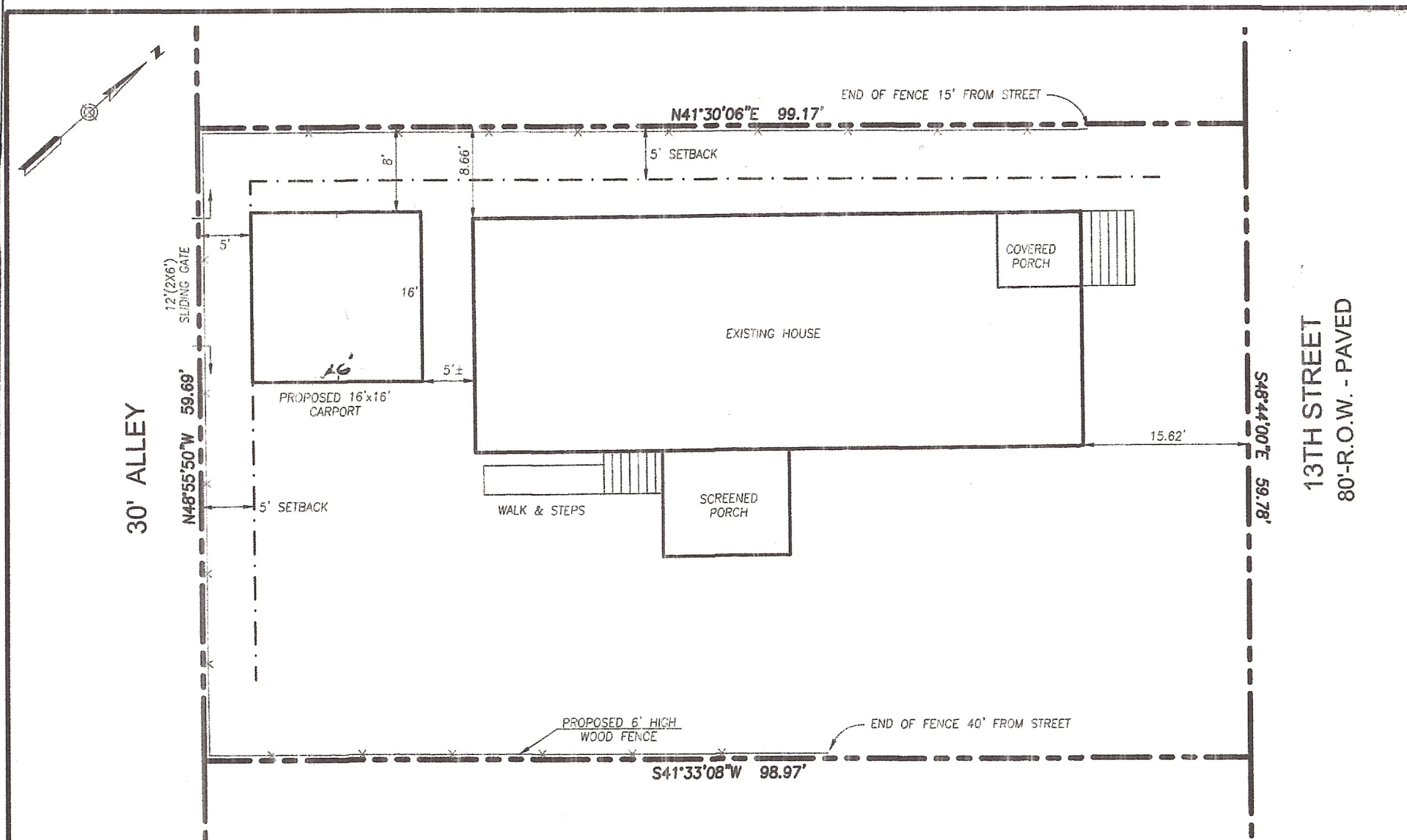
<b>TR &amp; A</b>			
<b>THURMAN RODDENBERRY &amp; ASSOCIATES, INC.</b>			
<b>PROFESSIONAL SURVEYORS AND MAPPERS</b>			
P.O. BOX 100 • 125 SHELTON STREET • SOPCHOPPY, FLORIDA 32358			
PHONE NUMBER: 850-962-2558		FAX NUMBER: 850-962-2101	
L.S. # 7168			
DATE: 06/27/25	DRAWN BY: MD	N.B. PLAT	COUNTY: FRANKLIN
FILE: 20254.DWG	DATE OF LAST FIELD WORK: 06/26/25	CHECKED BY:	JOB NUMBER: 20-254

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey maps or extends the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/052).

The undersigned surveyor has not been provided a current title opinion or abstract of title affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

JAMES I. RODDENBERRY  
 Surveyor and Mapper  
 Florida Certificate No. 4261





### PLAN REFERENCES

"PLAT OF BOUNDARY SURVEY CERTIFIED TO: LESLEY J. WENTWORTH & JOHN W. SWAN DATED 6/27/25 BY THURMAN RODDENBERRY & ASSOCIATES, INC.

### GENERAL NOTES

1. PROPERTY IS NOT LOCATED WITHIN HISTORIC DISTRICT.
2. PROPERTY IS ZONED R-2
3. SIDE & REAR SETBACK FOR ACCESSORY STRUCTURES = 5'.
4. SITE PLAN PREPARED BY OWNER BASED ON REFERENCED PLAN.

SCALE : 1" = 10'



### Site Plan Proposed Fence Replacement & Carport Addition

148 Willie B. Speed Blvd., Apalachicola, FL 32320

Made For  
John W. Swan & Lesley J. Wentworth

DATE: 7/7/2025

SCALE: 1" = 10'

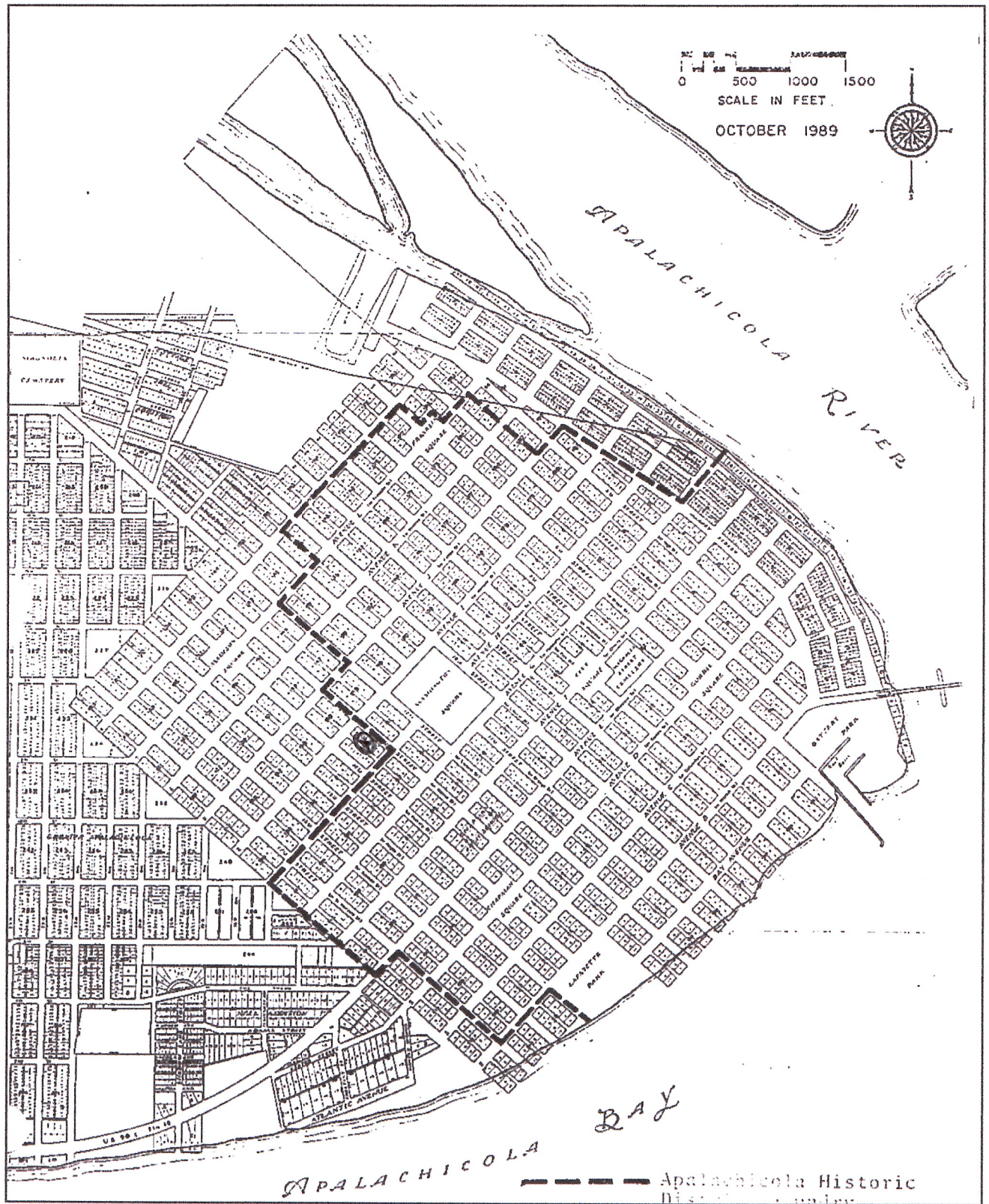


[webmap=25d6c5d3e2db4c6cb8ab438e633f937c&extent=-85.0166,29.7111,-84.966,29.7357&home=true&zoom=true&scale=true&search=true&searchextent=true&details=true&legend=true&active\\_panel=details&basemap\\_gallery=true&theme=light\)](http://webmap=25d6c5d3e2db4c6cb8ab438e633f937c&extent=-85.0166,29.7111,-84.966,29.7357&home=true&zoom=true&scale=true&search=true&searchextent=true&details=true&legend=true&active_panel=details&basemap_gallery=true&theme=light)

[View larger map \(https://baygeo.maps.arcgis.com/apps/Embed/index.html?](https://baygeo.maps.arcgis.com/apps/Embed/index.html?)



# HISTORIC DISTRICT BOUNDARIES











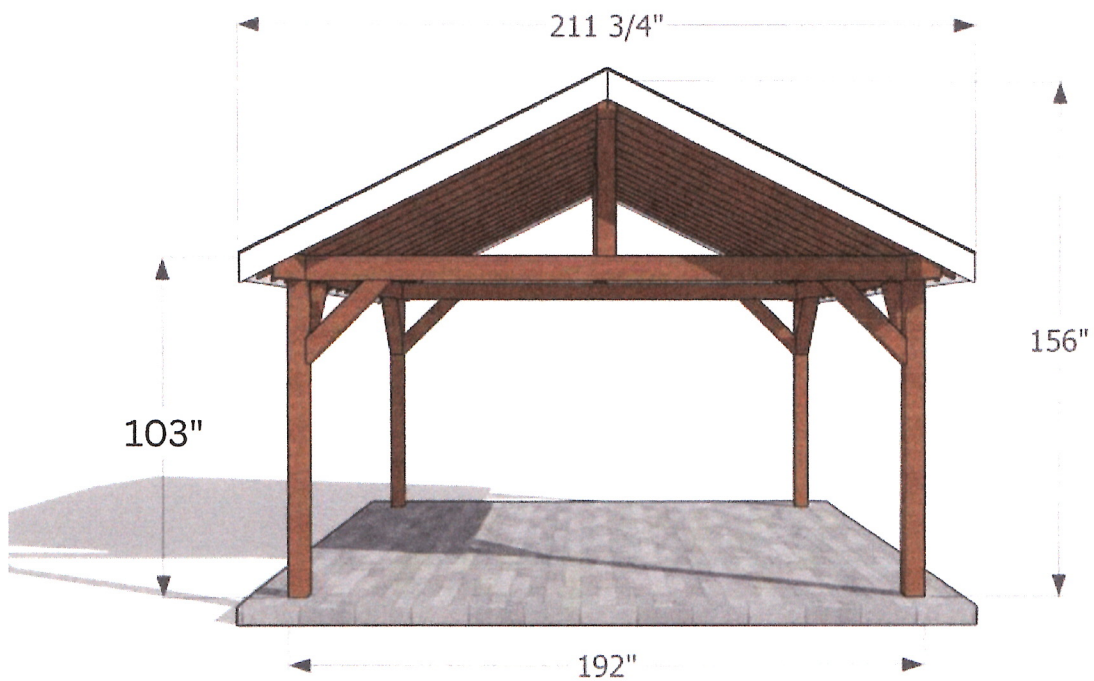
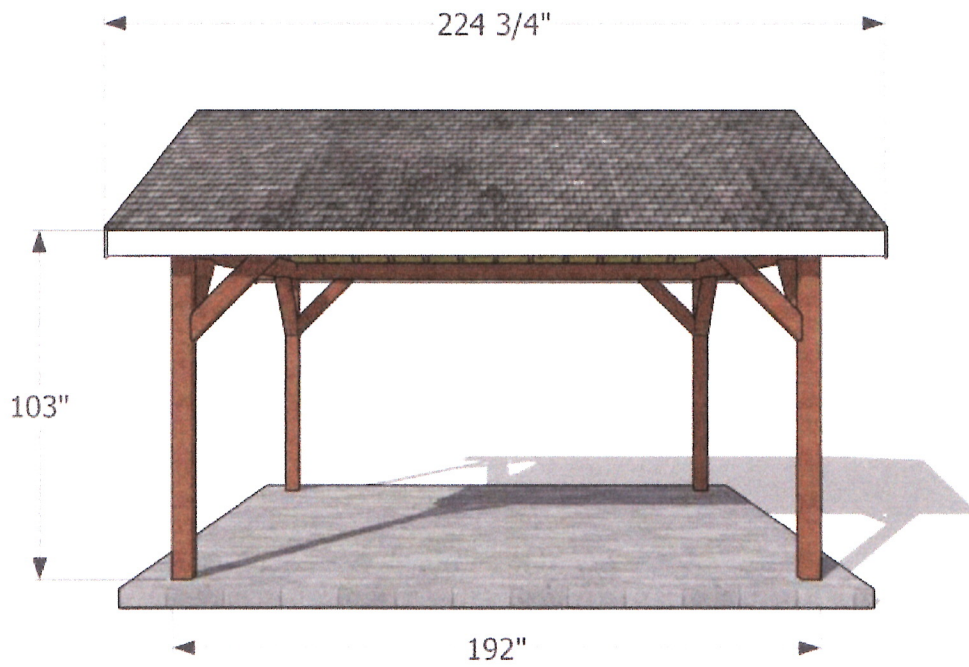


# 16X16 PAVILION

©MyOutdoorPlans.com











Notice Of AD Valorem Taxes & Non-AD Valorem Assessments

Bill # R 1648800 2024

R 01-09S-08W-8330-0090-0020

REAL ESTATE TAX/NOTICE RECEIPT FOR FRANKLIN COUNTY

TAXING AUTHORITY	MILLAGE RATE	TAX AMOUNT
COUNTY	.00522220	\$1,340.78
SCHOOL-LRE	.00187600	\$528.56
SCHOOL-DISC	.00224800	\$633.37
APALACHICOLA	.00834570	\$2,142.73
NW FL WATER MGMNT	.00002180	\$5.60
<b>TOTAL AD-VALOREM:</b>		<b>\$4,651.04</b>

BECKNELL THOMAS IRA  
ERWIN PAMELA JANE  
148 13TH STREET  
APALACHICOLA, FL 32320

0.000 ACRES  
BL 90 NW 1/2 LOT 2 & SW  
1/2 LOT 3 61/295  
1161/297 1216/34 1264/717 1387  
/128

TAXING AUTHORITY	TAX AMOUNT
<b>TOTAL NON-AD VALOREM:</b>	<b>\$0.00</b>
<b>COMBINED TAXES &amp; ASMTS:</b>	<b>\$4,651.04</b>
<b>DISCOUNT:</b>	<b>\$0.00</b>
<b>UNPAID BALANCE:</b>	<b>\$0.00</b>

\$310,809.00

3

\$306,746.00

\$50,000.00

\$256,746.00

Exemptions: HX-\$25,000.00 HB-\$25,000.00

**\*\* PAID \*\***

Property Address:  
148 WILLIE B SPEED APALACHICOLA 32320

Last Payment: 12/03/2024  
Amount Collected: \$4,465.00

Receipt Number: 142554  
Discount Amount: \$0.00

Tax Roll Property Summary

0109S08W833000900020 R	2024	\$4,651.04	\$0.00	12/3/2024	\$4,465.00	\$0.00
0109S08W833000900020 R	2023	\$4,589.67	\$0.00	11/29/2023	\$4,406.08	\$0.00
0109S08W833000900020 R	2022	\$186.74	\$0.00	11/22/2022	\$179.27	\$0.00
0109S08W833000900020 R	2021	\$375.44	\$0.00	3/16/2022	\$375.44	\$0.00
0109S08W833000900020 R	2020	\$388.46	\$0.00	2/1/2021	\$384.58	\$0.00
0109S08W833000900020 R	2019	\$400.11	\$0.00	3/12/2020	\$400.11	\$0.00
0109S08W833000900020 R	2018	\$524.47	\$0.00	3/20/2019	\$524.47	\$0.00
0109S08W833000900020 R	2017	\$544.07	\$0.00	1/17/2018	\$533.19	\$0.00
0109S08W833000900020 R	2016	\$450.40	\$0.00	1/26/2017	\$441.39	\$0.00
0109S08W833000900020 R	2015	\$451.54	\$0.00	12/8/2015	\$437.99	\$0.00

DUAL DV

D&T Ventures

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# STAFF FINDINGS REVIEW

**PROPERTY OWNER:** John W. Swan & Lesley J. Wentworth

**AGENT** (if applicable): N/A

**CONTRACTOR:** Self

**PROPERTY ADDRESS** (if available): 148 13<sup>th</sup> Street

**PARCEL ID:** 01-09S-08W-8330-0090-0020

→ Block 90 Lot 2

**HISTORIC DISTRICT:** No

**ACREAGE:** -- (~6,000 SF)

**FUTURE LAND USE:** R-2 (Multifamily Residential)

**WETLANDS:** No

**FLOODPLAIN:** “X”

**CORNER LOT:** No

## **DESCRIPTION OF PROJECT:**

→ Replace an existing 40 inch chain link fence with a 6 ft wooden fence; construction of a 16’ x 16’ carport (wooden posts with metal roof).

## **STAFF FINDINGS:**

### **Code of Ordinances:**

#### → **Section 111-269. R-2 multifamily residential.**

- Accessory structures customarily incidental and subordinate to permitted principal uses (single-family residential) and not of a commercial nature are permitted in this district.
- Maximum lot coverage for a single-family residence is 40%.
  - *Current lot coverage: 1,516 square feet (25%).*
  - *Proposed lot coverage 1,722 square feet (29%).*
- Minimum building setback for an accessory structure is 5 ft.

#### → **Section 111-288(e). Fences**

- Requirements apply to **all zoning districts** and the **historic district**.



- Fences shall be erected on the lot of the applicant and shall not extend into a public right-of-way. Fences may be erected within the required setback area (i.e., area between the front, side, and rear property lines and the front, side, and rear setback lines).
- A fence may abut but shall not be located on any property line.
- Requirements for **all residential districts**.
  - No fence or wall in excess of four feet (48 inches) in height shall be allowed in the front yard (for corner lots, the two sides of the lot paralleling the two streets).
    - *The 6' fence does not enter the front yard.*
  - A fence extending from the side of a principal structure to the side lot line shall attach to the structure no closer to the front lot line than where the facade (not including any covered front porch, uncovered porch, uncovered steps, and uncovered balconies) is located. These fences shall not exceed six feet (72 inches) in height.
    - *The proposed fence will not be attached to the side of the house.*
  - No fence or wall in excess of six feet (72 inches) in height shall be allowed in side and/or rear yards. These fences may begin from the rear of the principal structure facade.
    - *The portion of the fence in the side/rear yard will be six feet.*
  - All fence construction, repair and replacement of any section or portion thereof must be consistent with the remaining fence on the property. The intent of this section is to ensure that all fencing erected on a property is uniform and consistent in construction and appearance.

**RECOMMENDATION:** Approval, meets all requirements of the Code of Ordinances.





**New Residential Construction**

**245 7th Street**





**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**

Date Received: \_\_\_\_\_  
Meeting Date: \_\_\_\_\_  
Fees Due: \_\_\_\_\_  
Date Fees Paid: \_\_\_\_\_

**OWNER INFORMATION**

Owner Alex Littlefield  
Address 1912 CREEK HOLLOW TR.  
City TALLAHASSEE State FL Zip 32317  
Phone 850-570-1321

**CONTRACTOR INFORMATION**

Contractor Name OWNER  
State License # \_\_\_\_\_ City License # \_\_\_\_\_  
Email \_\_\_\_\_  
Phone \_\_\_\_\_

**PROJECT TYPE**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence                          |
| <input type="checkbox"/> Addition                    | <input type="checkbox"/> Accessory Structure            |
| <input type="checkbox"/> Alteration/Renovation       | <input type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Relocation                  | <input type="checkbox"/> Other _____                    |
| <input type="checkbox"/> Demolition                  |   |

**PROPERTY INFORMATION**

Street Address (911 Address): 245 7th STREET  
City & State: APALACHICOLA FL Zip: 32320  
Parcel ID #: 01-095-08W-8330-0174-0080 Block: 174 Lot: 8  
Zoning District: R-1 [ ] Historic District [X] Non-Historic District  
FEMA Flood Zone: X

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required? Y / N  
Setback Requirements of Property:  
Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_  
Corner Lot? Y / N Street Sides: \_\_\_\_\_  
Lot Coverage: \_\_\_\_\_  
STAFF NOTES/RECOMMENDATIONS:

*This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.*

City Staff

Date Approved

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

Applicant Initial



Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

1. NEW HOUSE 37X32 w/ Porches 6X32 + 6X32  
 WOOD FLOOR SYSTEM ON CONCRETE PIERS, FRAMED 2X  
 STUD WALLS, SHEET ROCK WALLS & CEILING, BOARD & BATTEN  
 WOOD EXTERIOR, ALUMINUM WINDOWS, WOOD DOORS, WOOD  
 TRIM, WOOD FLOORS, TILE IN KITCHEN AND BATHS  
 3/4 BOARD FOR PORCHES, SKIRTING TO COVER OPENING UNDERNEATH

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding		BOARD & BATTEN	
Doors		WOOD	
Windows		SINGLE HUNG ALUMINUM	
Roofing		METAL	
Trim		WOOD	
Foundation		CONCRETE PIERS	
Shutters		N/A	
Porch/Deck		T&G 1X6 PINE	
Fencing		N/A	
Driveways/Sidewalks		GRAVEL	
Other			

**NOTE:** Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.

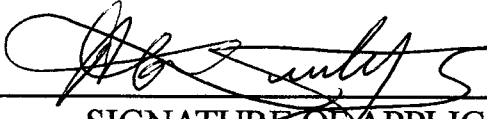


## CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

July 11, 2025  
DATE

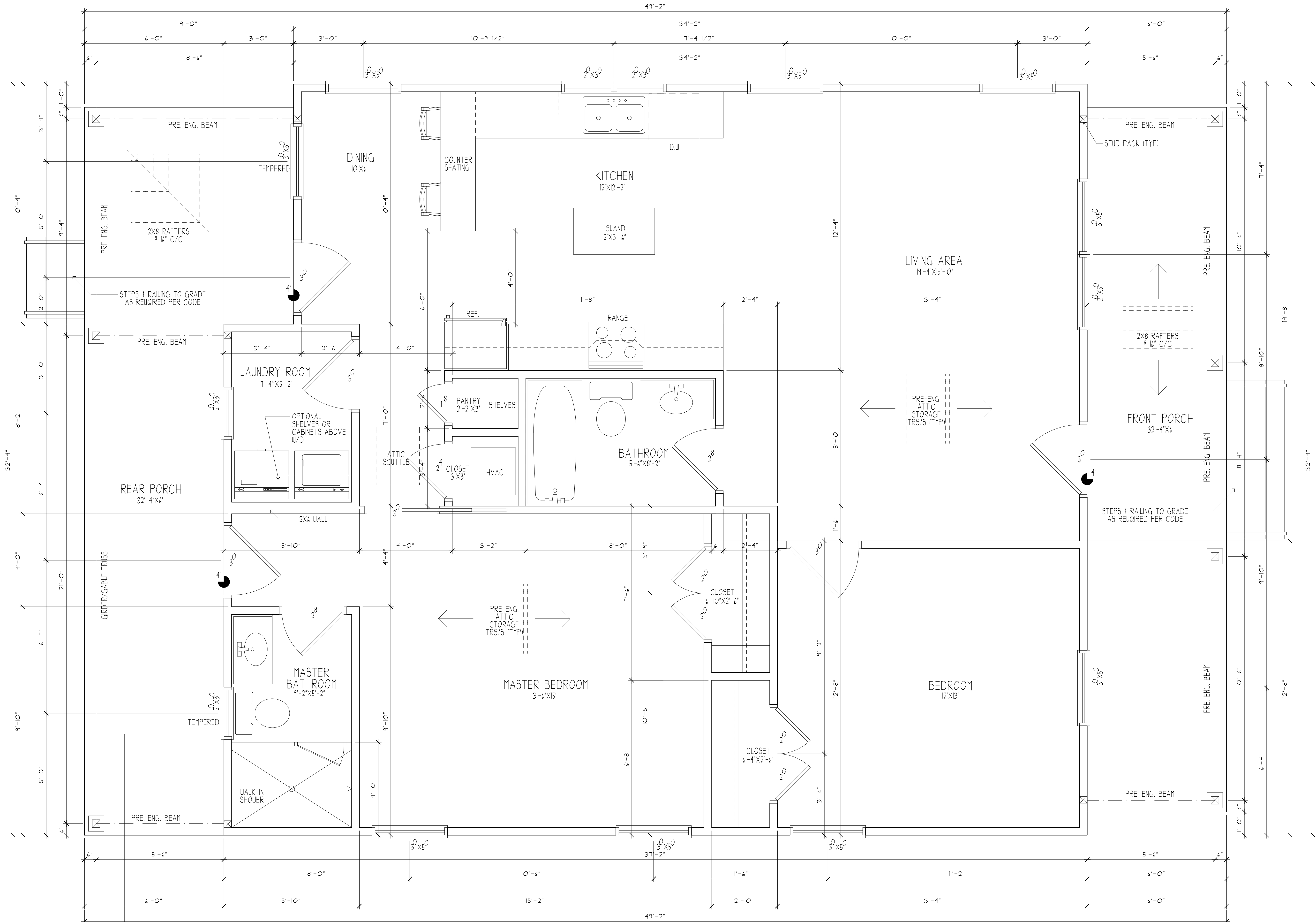
  
SIGNATURE OF APPLICANT



THE LITTLEFIELD RESIDENCE  
APALACHICOLA, FLORIDA

ISSUE DATE	
MARCH 2025	
DRAWN BY: ANW	
PROJECT NO:	
REVISIONS:	
DATE	REMARKS

Drawings represent proposed construction and are not to be used for construction or other purposes without the approval of the designer. The designer assumes no liability in connection with the design and drawings and any construction therefrom. Commencement of construction constitutes acknowledgment by owner and contractor of designer's complete liability release. Contractor and owner to verify and conform all structural and building code requirements for all local code conditions before proceeding.



PROPOSED FLOOR PLAN  
SCALE:

AREA=1,110 FT2 H/C  
1/2"=1'-0"

B A3

A A3

C A3

A1



THE LITTLEFIELD RESIDENCE  
THE APALACHICOLA, FLORIDA

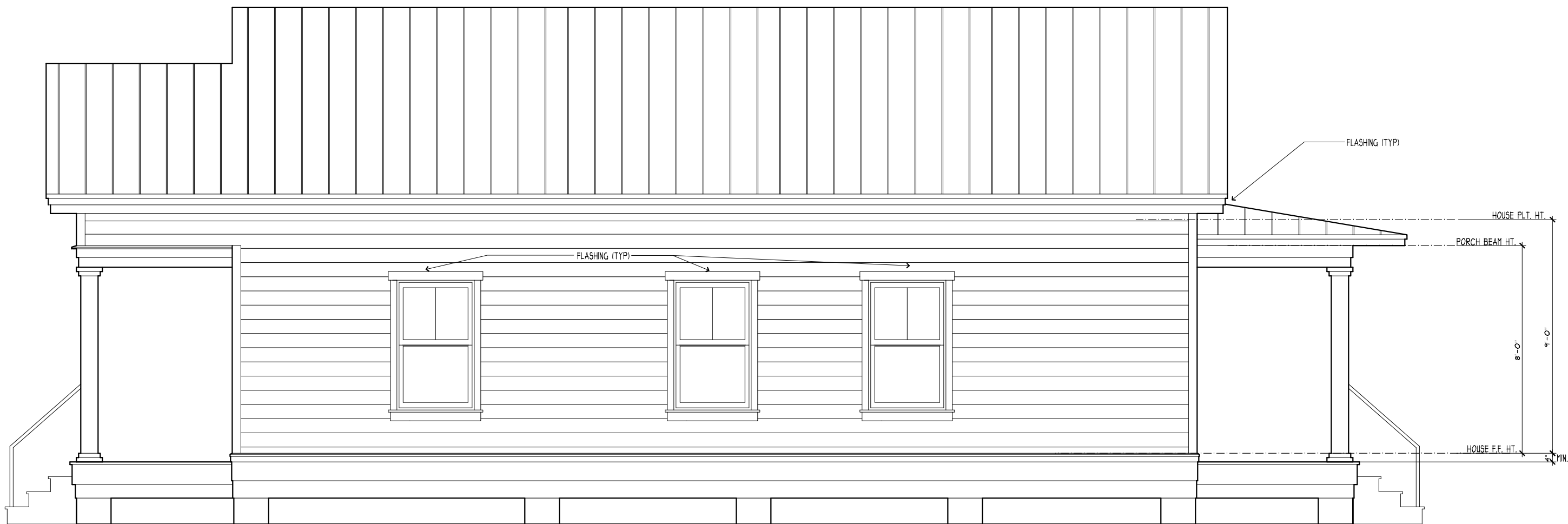
ISSUE DATE	MARCH 2025
DRAWN BY:	ANW
PROJECT NO:	
REVISIONS:	
DATE	REMARKS
4.29.25	LAYOUT CHANGE

Drawings represent conceptual design of "SERIES" product only. Contractor and owner must verify all existing and proposed conditions and engineering with local jurisdiction before proceeding with construction. Drawings represent location only. All engineering details must be approved by a licensed engineer or architect. Contractor and owner to verify and conform to all local code requirements before proceeding.

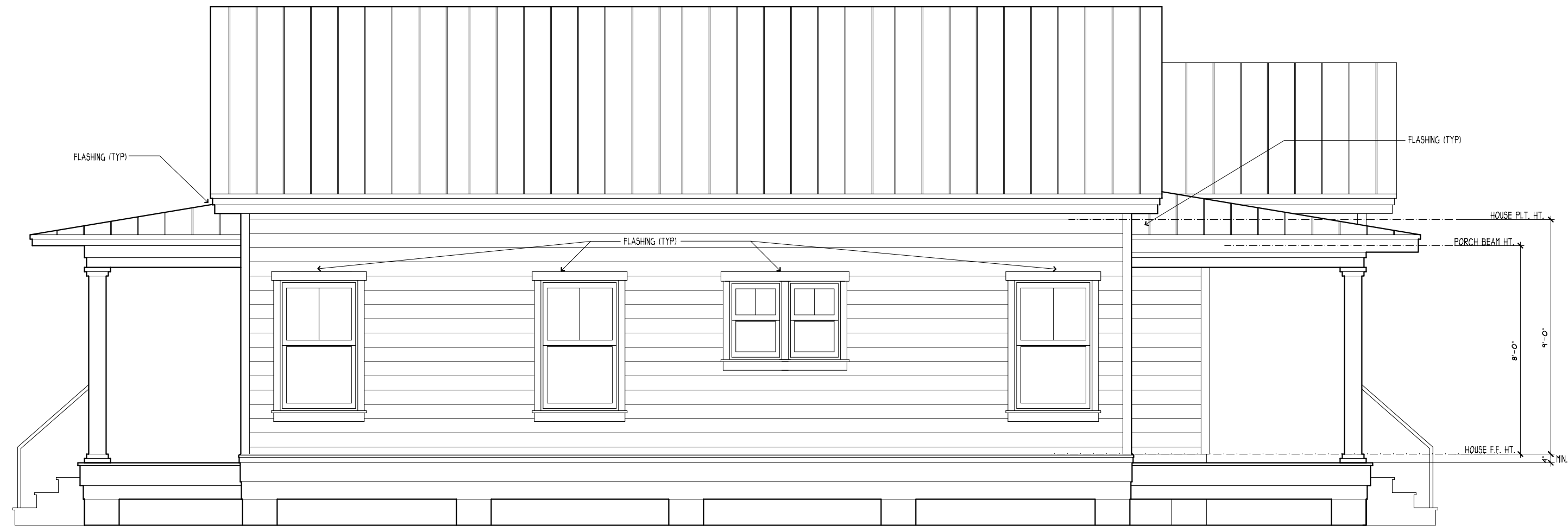
A2



FRONT ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION

PROPOSED ELEVATIONS  
SCALE: 1/4"=1'-0"

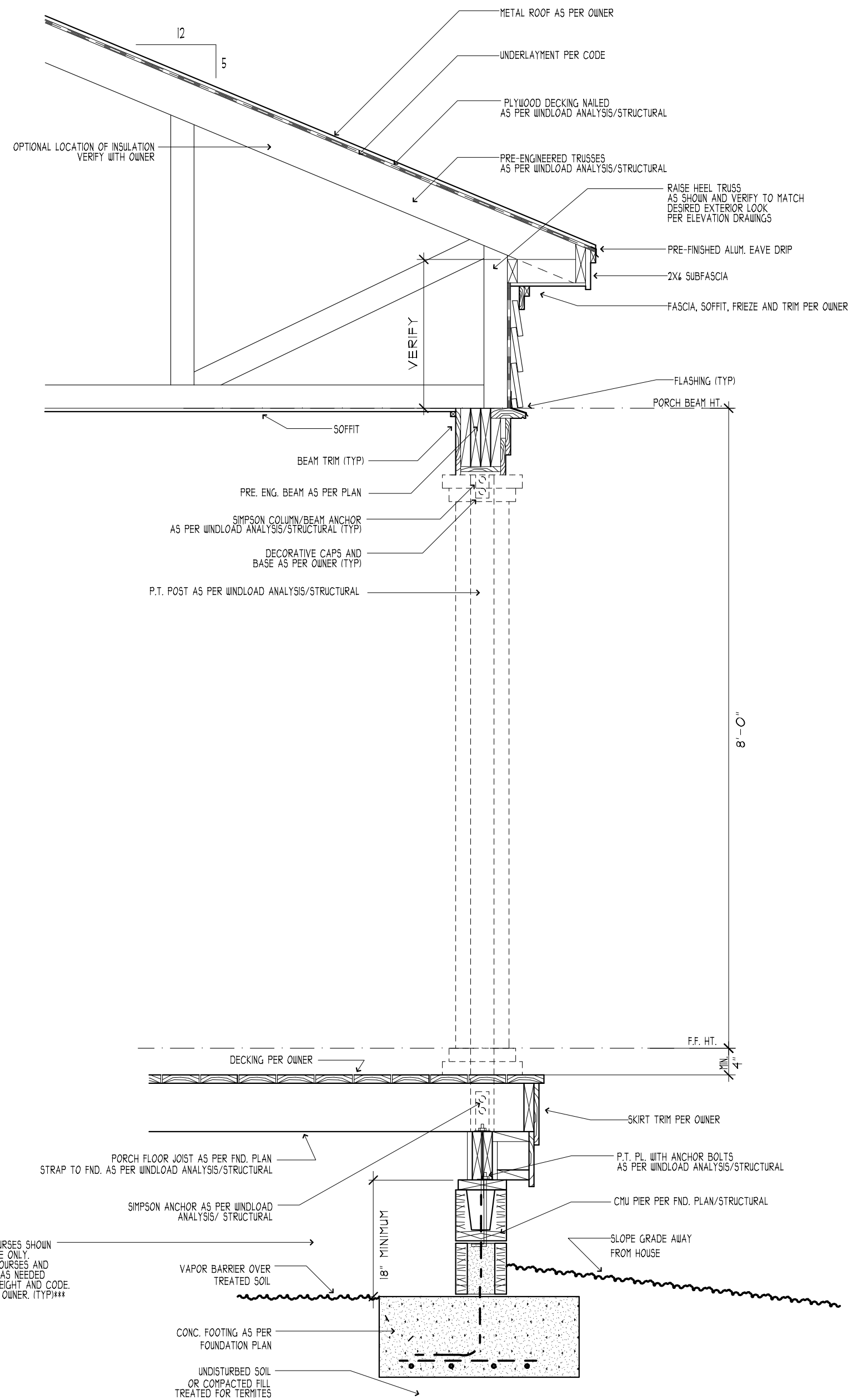


LITTLEFIELD RESIDENCE  
APALACHICOLA, FLORIDA

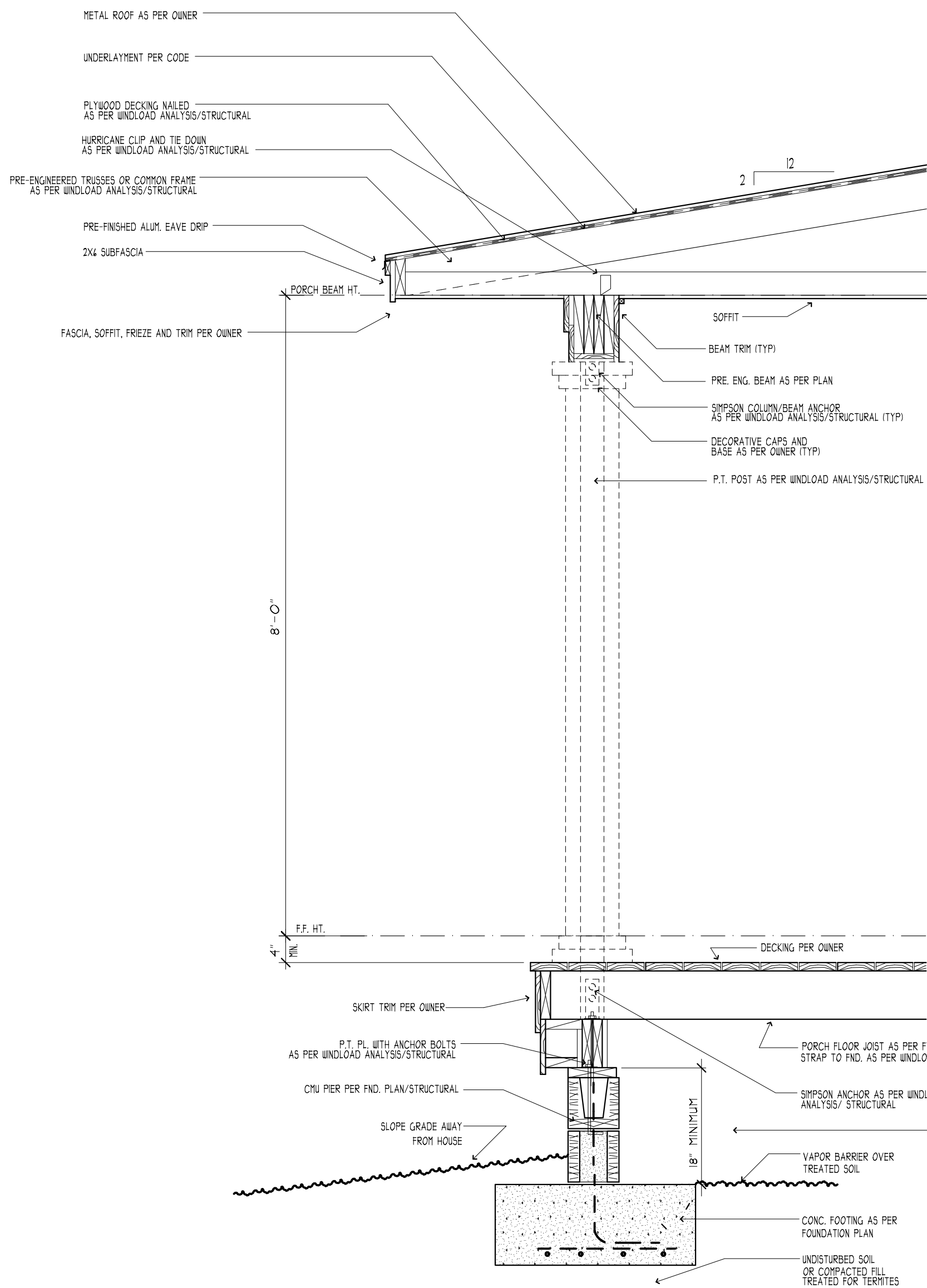
ISSUE DATE	
MARCH 2025	
DRAWN BY: ANW	
PROJECT NO:	
REVISIONS:	
DATE	REMARKS

Drawings represent conceptual only. Contractor and owner must verify all existing conditions prior to construction. Contractor and owner must verify all engineering aspects shown incorporate actual site conditions, and all structural components used by a licensed engineer are required. Drawings represent locations only; all engineering aspects shown incorporate actual site conditions, and all structural components used by a licensed engineer are required. Designer assumes no liability in connection with the design and drawings and any construction therefrom. Commencement of construction constitutes acknowledgment by owner and contractor of designer's complete liability release. Contractor and owner to verify and conform all structural work and details as necessary for all local code conditions before proceeding.

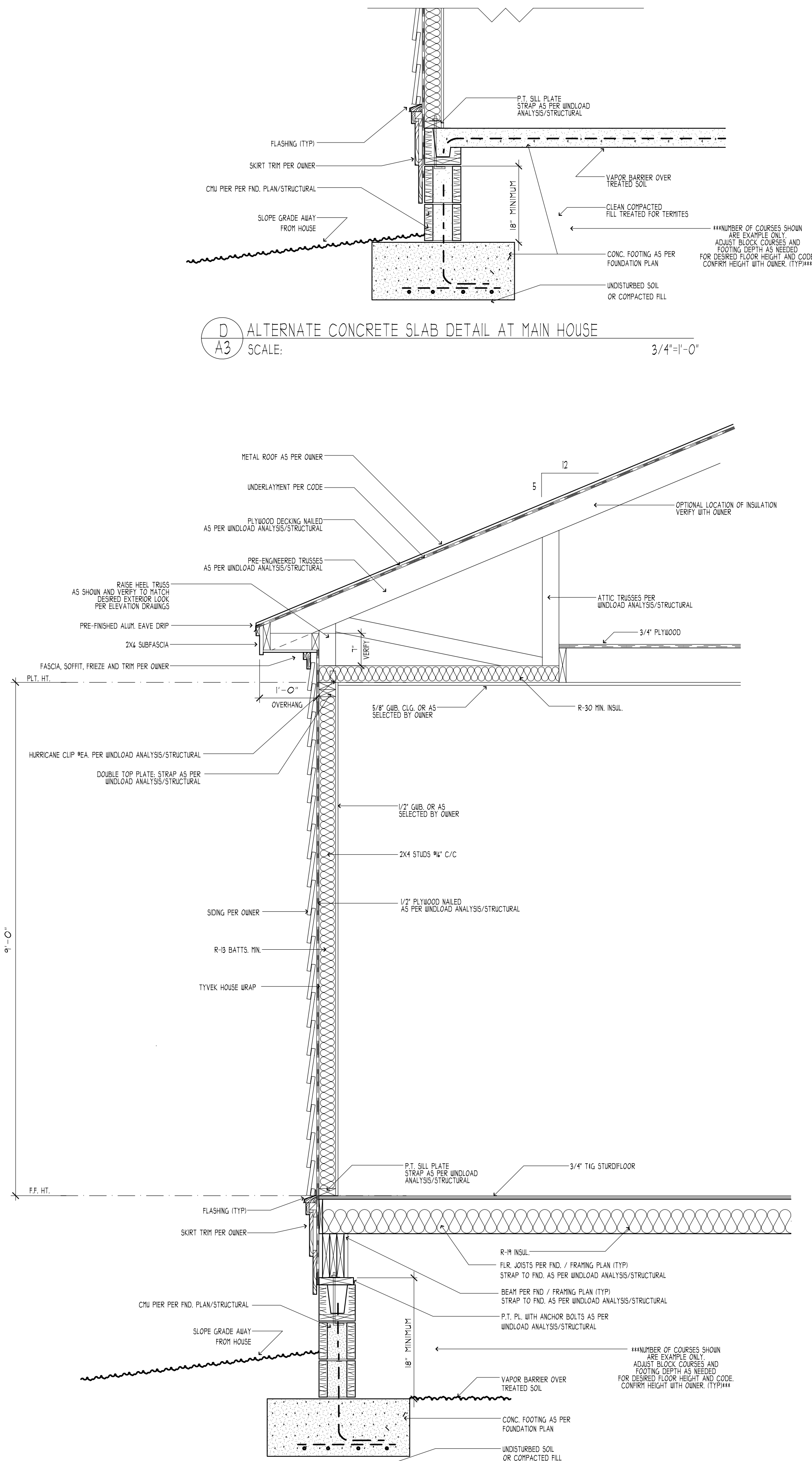
A3



B SECTION AT GABLE OF REAR PORCH  
SCALE: 3/4"=1'-0"



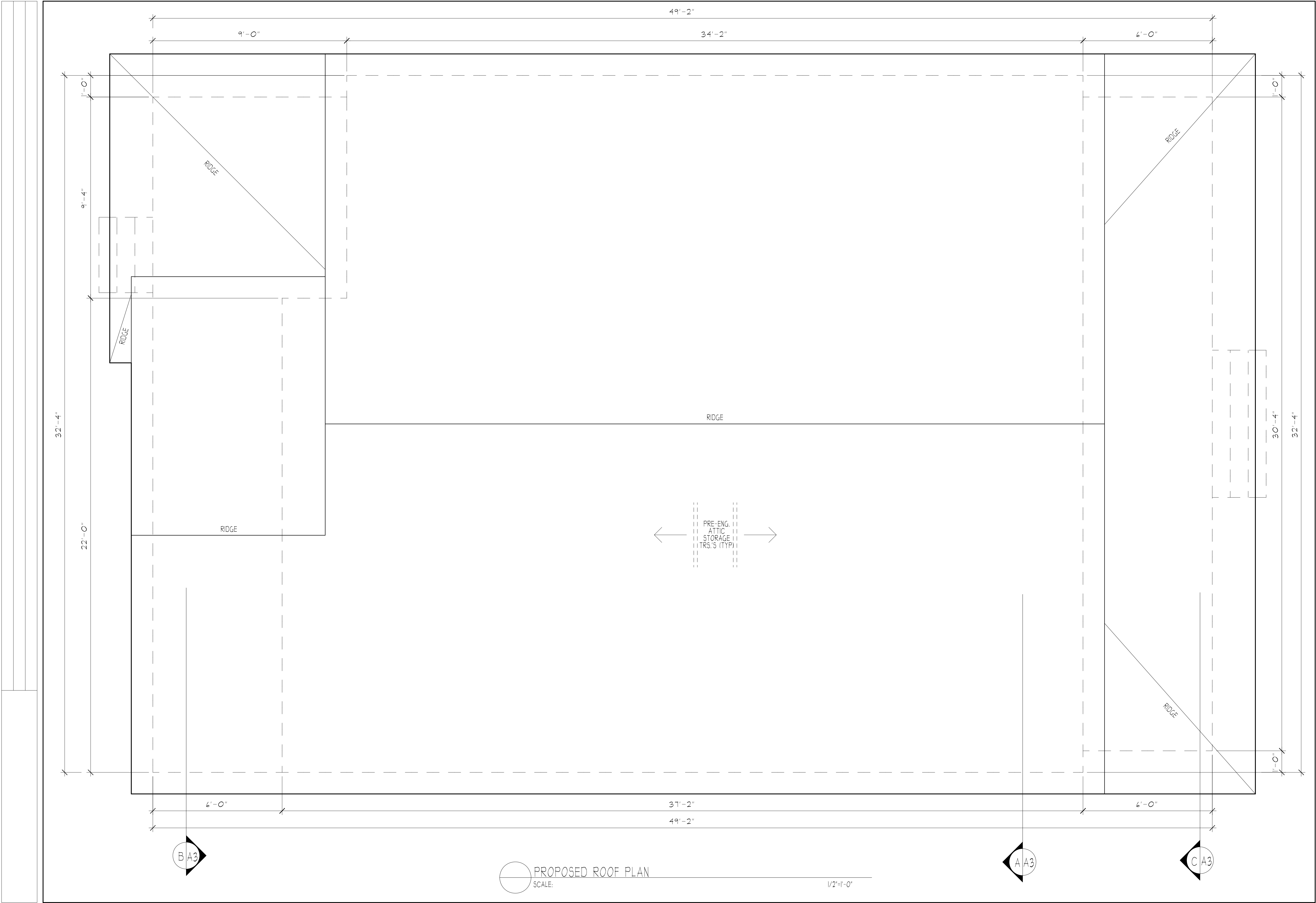
C PORCH SECTION  
SCALE: 3/4"=1'-0"



A WALL SECTION AT MAIN HOUSE  
SCALE: 3/4"=1'-0"

D ALTERNATE CONCRETE SLAB DETAIL AT MAIN HOUSE  
SCALE: 3/4"=1'-0"





THE LITTLEFIELD RESIDENCE

APALACHICOLA, FLORIDA

ISSUE DATE

MARCH 2025

DRAWN BY: ANW

PROJECT NO:

REVISIONS:

DATE	REMARKS

Drawings represent conceptual construction and are not to be used for construction without the approval of the designer. Contractor and owner must verify all dimensions, locations, and materials before construction or proceeding.

Drawings represent locations only; all engineering details shall incorporate actual site conditions and all structural components shall be a licensed engineer or required.

Designer assumes no liability in connection with design and drawings and no construction therefrom. Construction of construction constitutes acknowledgment, by owner and contractor of designer's complete liability release.

Contractor and owner to verify and conform all drawings, and all modifications necessary for all work conditions before proceeding.

AA4



MARCH 2025

PROJECT NO:

DATE	REMARKS
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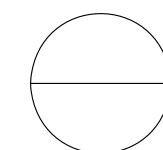
Drawings represent conceptual description of desired product only. Contractor and owner to verify all existing conditions and make necessary adjustments prior to proceeding with work described on plan.

Contractor and owner must verify all existing conditions, program and structural components to be confirmed prior to proceeding with construction.

Drawings represent locations only; all engineering requests a contractor acquire exact conditions, and all structural components used by a licensed engineer as required.

Contractor assumes no liability in connection with this contract. Owner assumes all construction thereafter. Commencement of construction shall constitute acceptance by owner and contractor of designer's complete liability release.

Contractor and owner to verify and confirm all described work and modify as necessary for all local code conditions and existing conditions.



SCALE:

$$1/8^v = 1' - 0^v$$



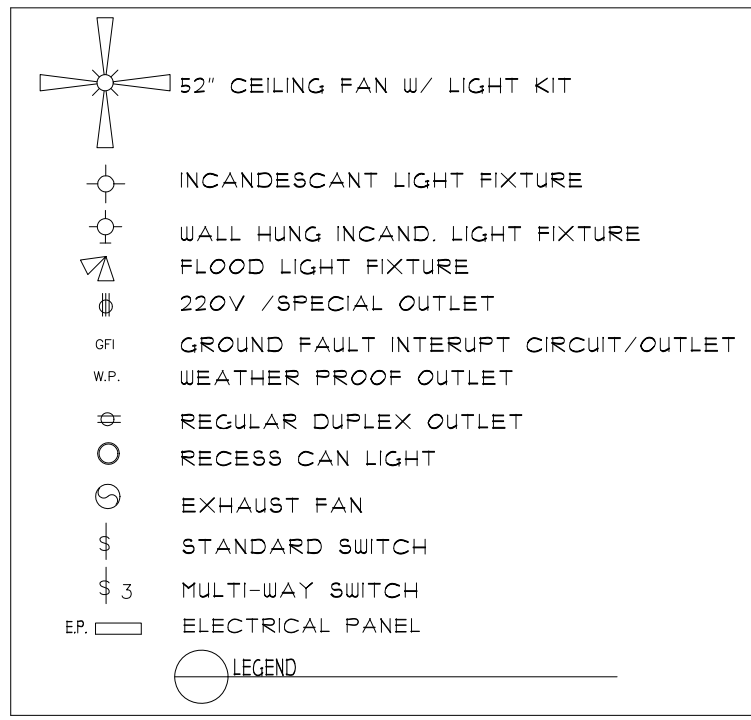
**Drawings represent conceptual description of desired product only. Contractor and owner agree that drawings are not intended to be adequate basis for construction with the exception of existing conditions to be adequately shown.**

**Contractor and owner must verify all dimensions, property setbacks and other information shown on drawings to be confirmed before proceeding with construction.**

**Drawings represent locations only; all engineering aspects should incorporate actual site conditions. All structural components used by a licensed engineer require a professional seal.**

**Designer assumes no liability in connection with this design and drawings and only represents therefor. The contractor of construction constructs acknowledgment by the contractor of designer's complete liability release.**

**Contractor and owner to verify and confirm all work and conditions as shown as necessary for all local code conditions before proceeding.**





# STAFF FINDINGS REVIEW

**PROPERTY OWNER:** Alex Littlefield

**AGENT** (if applicable): N/A

**CONTRACTOR:** Self

**PROPERTY ADDRESS** (if available): 245 7<sup>th</sup> Street

**PARCEL ID:** 01-09S-08W-8330-0174-0080

→ Block 174 Lot 8

**HISTORIC DISTRICT:** No

**ACREAGE:** -- (~6,000 SF)

**FUTURE LAND USE:** R-1 (Single-Family Residential)

**WETLANDS:** No

**FLOODPLAIN:** "X"

**CORNER LOT:** No

**DESCRIPTION OF PROJECT:**

→ New single-family residential home (~1,568 square feet).

**STAFF FINDINGS:**

**Code of Ordinances:**

→ **Section 111-268. R-1 single-family residential.**

- Single-family residential is a permitted principal use in this district.
- Minimum building size is 800 square feet.
  - *Total area for the principal structure will be approximately 1,568 square feet.*
- Minimum building setbacks:
  - Front: 15 ft.
  - Side (interior): 7 ½ ft. or combination 15 ft.
  - Rear: 25 ft.
- Maximum impervious lot coverage is 40%.
  - *Total proposed lot coverage is 26% not including driveway.*
- Maximum permitted building height is 35 ft.



→ **Section 111-288(i). Parking Requirements:**

- There must be one parking space for each dwelling unit; no part of the parking area shall be closer than five feet to any established road right-of-way or alley line.
  - *Driveway will be used to meet the parking requirement; there will be no attached garage based on provided documents.*

→ **Section 105.23 Protected Trees.**

- Elms are not considered protected trees; tree permit is not required for removing an unprotected tree.
  - *7/31/25: Applicant call to clarify that the tree was mistakenly identified as an elm on the included plans and is instead a hickory tree. Pecans (Carya illinoensis), a species of hickory, are protected native trees. This specific tree was previously struck by lightning.*
- **Patriarch tree.** A protected native tree whose trunk is 35 or more inches in diameter at breast height.
  - On private property, the planning and zoning board approves the issuance of a tree permit to a private landowner to remove or substantially alter a tree on a lot because not doing so would make the lot undevelopable for any principal structure (section 105-26(1)(c)).

**RECOMMENDATION:** Approval, on the condition that the applicant verify whether the tree on the property is a protected pecan (Carya illinoensis) requiring a tree permit for removal.





**Certificate of Appropriateness & Accessory Structure**

**130 5th Street**





**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**

Date Received: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Fees Due: \_\_\_\_\_

Date Fees Paid: \_\_\_\_\_

**OWNER INFORMATION**

Owner Ed and Tammy Davis

Address 130 5th Street

City Apalachicola State FL Zip 32320

Phone 404-723-1243

**CONTRACTOR INFORMATION**

Contractor Name Bryce Ward

State License # Rb0066825 City License # \_\_\_\_\_

Email bryce@1stchoicebuilders.net

Phone 850-653-7777

**PROJECT TYPE**

☐ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☐ Fence

☒ Accessory Structure

☐ Certificate of Appropriateness

☐ Other \_\_\_\_\_

**PROPERTY INFORMATION**

Street Address (911 Address): 130 5th Street

City & State: Apalachicola FL Zip: 32320

Parcel ID #: 01-095-08w-8330-0019-0030 Block: 19 Lot: 3

Zoning District: \_\_\_\_\_ [ ] Historic District [ ] Non-Historic District

FEMA Flood Zone: AE 9

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_

Corner Lot? Y / N Street Sides: \_\_\_\_\_

Lot Coverage: \_\_\_\_\_

STAFF NOTES/RECOMMENDATIONS:

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*This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.*

City Staff

Date Approved

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

BW  
**Applicant Initial**



Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

8' wide x 20' long enclosed shed. Metal Shed roof with corrugated metal siding. Wood doors facing 5th Street.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	Corrugated Metal	Corrugated metal roofing used as siding	
Doors	Custom Built Wood Doors		
Windows	No Windows		
Roofing	Metal Roofing	Metal Roofing	
Trim	No trim		
Foundation	6x6 wood poles set in concrete to support walls		
Shutters	N/A		
Porch/Deck	N/A		
Fencing	N/A		
Driveways/Sidewalks	Rocks to match the driveway as the floor of the shed		
Other			

**NOTE:** Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.



## CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Building Department.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

07/21/2025

DATE



SIGNATURE OF APPLICANT



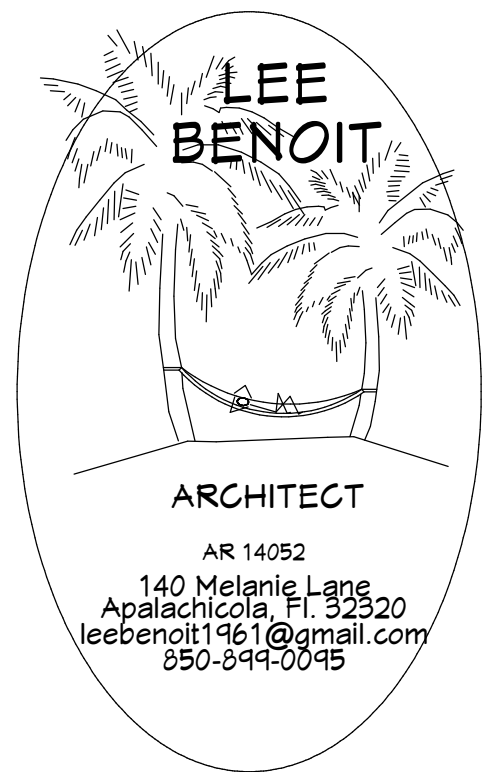
# DAVIS CARPORT SITE PLAN

130 5TH STREET, APALACHICOLA, FL 32320

DRAWING INDEX:

S-1 SURVEY (BY OTHERS)

A-1 SITE PLAN

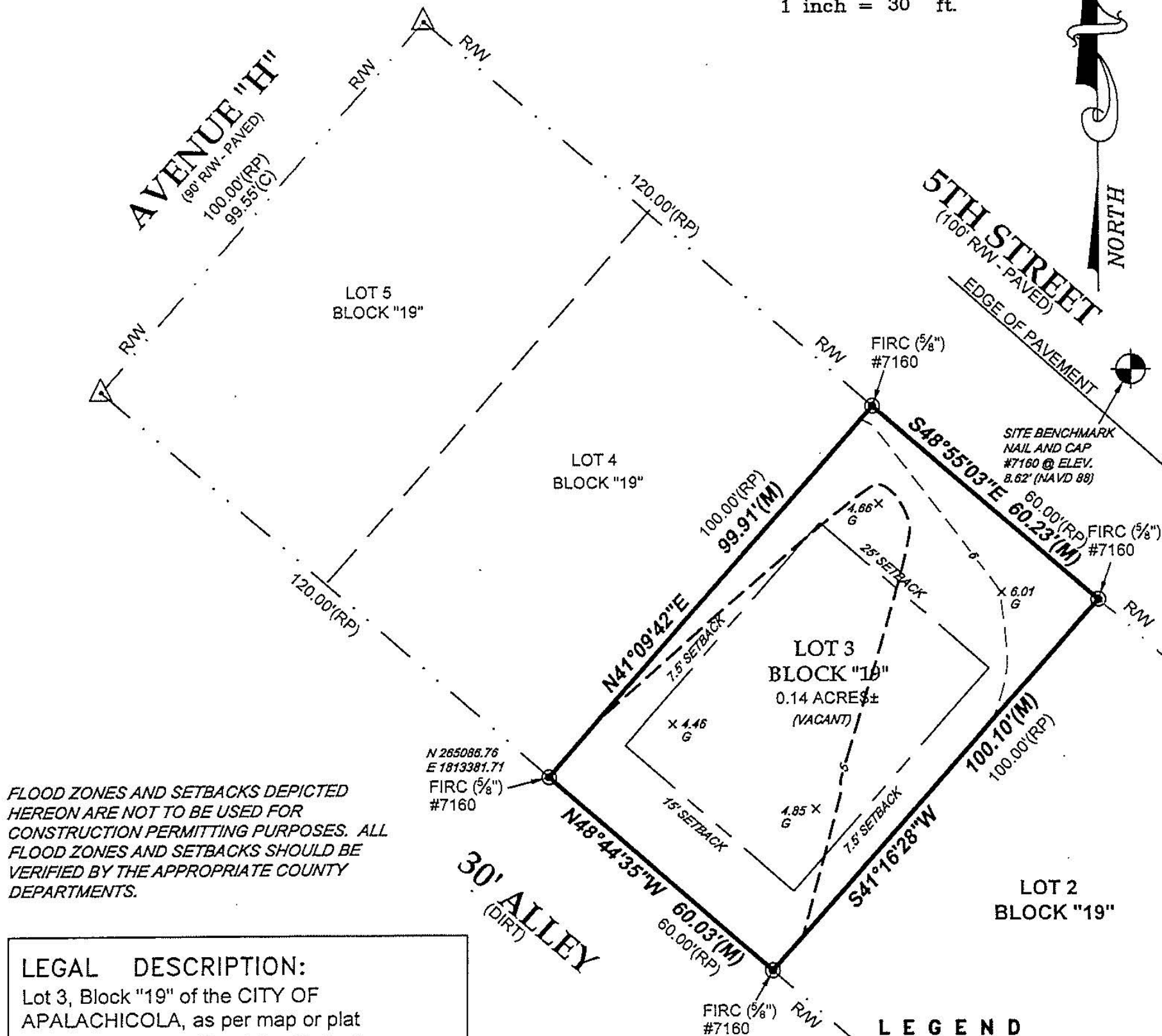
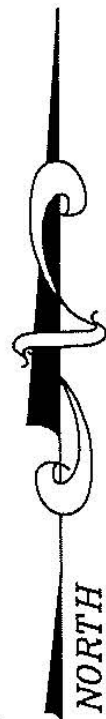
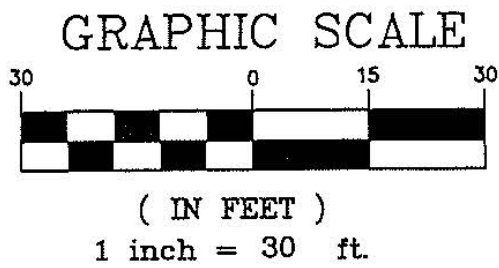


date	07/25/2025
rev	1
drawn	ZACH WARD

plans/1stry/davis



PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
EDGAR D. DAVIS and TAMMY S. DAVIS,  
DODD TITLE COMPANY, INC,  
FIRST AMERICAN TITLE INSURANCE COMPANY



FLOOD ZONES AND SETBACKS DEPICTED  
HEREON ARE NOT TO BE USED FOR  
CONSTRUCTION PERMITTING PURPOSES. ALL  
FLOOD ZONES AND SETBACKS SHOULD BE  
VERIFIED BY THE APPROPRIATE COUNTY  
DEPARTMENTS.

**LEGAL DESCRIPTION:**  
Lot 3, Block "19" of the CITY OF  
APALACHICOLA, as per map or plat  
in common use on file at the Clerk of  
the Circuit Office in Franklin County, Florida

- NOTES:** REVISED 07/15/24; ADD TOPO - MD
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
  2. BEARING REFERENCE: Bearings based on Florida Grid North (NAD 83)
  3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
  4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
  5. This survey is dependent upon EXISTING MONUMENTATION.
  6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

I hereby certify that this is a true and correct representation of  
the property shown hereon and that this survey meets  
the minimum technical standards for land surveying (Chapter 5J-17,  
.051/.052 Florida Administrative Code).

The undersigned surveyor has not been provided a current title  
opinion or abstract of matters affecting title or boundary to the  
subject property. It is possible there are deeds of records,  
unrecorded deeds, easements or other instruments which could affect  
the boundaries.

JAMES T. RODDENBERRY  
Surveyor and Mapper  
Florida Certificate No: 4261

LEGEND	
	POINT NOT SET OR FOUND
RP	RECORD PLAT
RW	RIGHT-OF-WAY
M	MEASURED
	NOT TO SCALE
SIRC	SET 5/8" RE-ROD #7160
FCM	FOUND CONCRETE MONUMENT
FIRC	FOUND IRON ROD AND CAP (5/8")
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FCIP	FOUND CRIMPED IRON PIPE
FPIP	FOUND PINCHED IRON PIPE
FND	FOUND
RND	ROUND

**EFFECTIVE FLOOD ZONE INFORMATION:**

Subject property is located in Zone "AE" (EL 9) as per Flood  
Insurance Rate Map Community Panel No: 120089 0526F  
index date: February 5, 2014, Franklin County, Florida.

	THURMAN RODDENBERRY & ASSOCIATES, INC		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 850-962-2538 FAX NUMBER: 850-962-1103 LB # 7160		
	DATE: 02/02/07	DRAWN BY: BB	N.B.470 Pg.32 COUNTY: Franklin
FILE: 07051L3.DWG	DATE OF LAST FIELD WORK: 07/12/24	JOB NUMBER: 07-051	

SURVEY (BY OTHERS)

NTS







# STAFF FINDINGS REVIEW

**PROPERTY OWNER:** Ed and Tammy Davis

**AGENT** (if applicable): N/A

**CONTRACTOR:** Bryce Ward

**PROPERTY ADDRESS** (if available): 130 5<sup>th</sup> Street

**PARCEL ID:** 01-09S-08W-8330-0019-0030

→ Block 19 Lot 3

**HISTORIC DISTRICT:** Yes

**ACREAGE:** 0.14 acres (~6,000 square feet)

**FUTURE LAND USE:** R-1 (Single-Family Residential)

**WETLANDS:** No

**FLOODPLAIN:** "AE"

**CORNER LOT:** No

## **DESCRIPTION OF PROJECT:**

- Installation of a new 8' x 20' enclosed golfcart shed / carport (160 square feet) with corrugated metal siding, metal roof, and wooden doors.
  - *Principal structure (single-family residence) was previously approved and is under construction.*

## **STAFF FINDINGS:**

### **Code of Ordinances:**

- **Section 111-268. R-1 single-family residential.**
  - Accessory structures such as private garages, sheds, and carports are permitted in this district.
  - Accessory structures cannot be located in front yards.
    - *The proposed structure will be in the side yard.*
  - Accessory structures must be setback 5 ft from property lines.
    - *The proposed structure will be 5 ft from the side property line and 40 ft from the rear property line.*

**RECOMMENDATION:** Approval, meets all requirements of the Code of Ordinances.





**Certificate of Appropriateness, New Residential  
Construction, Accessory Structure, Additional  
Lot Coverage & Fence  
911 Address Pending  
*(Block 181 Lot 9)***





**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**

Date Received: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Fees Due: \_\_\_\_\_

Date Fees Paid: \_\_\_\_\_

**OWNER INFORMATION**

Owner Christian & Audrey Robin

Address 7790 SW 129th Ave

City Cedar Key State FL Zip 32625

Phone 813-263-8817

**CONTRACTOR INFORMATION**

Contractor Name By Owner - N/A

State License # \_\_\_\_\_ City License # \_\_\_\_\_

Email \_\_\_\_\_

Phone \_\_\_\_\_

**PROJECT TYPE**

☒ New Construction

☐ Addition

☐ Alteration/Renovation

☐ Relocation

☐ Demolition

☒ Fence

☒ Accessory Structure

☒ Certificate of Appropriateness

☐ Other \_\_\_\_\_

**PROPERTY INFORMATION**

Street Address (911 Address): \_\_\_\_\_ - \_\_\_\_\_

City & State: Apalachicola, FL Zip: 32320

Parcel ID #: 01-095-08W-8330-0181-0090 Block: 181 Lot: 9

Zoning District: R-1 [ X ] Historic District [ ] Non-Historic District

FEMA Flood Zone: X

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required? Y / N

Setback Requirements of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_

Corner Lot? Y / N Street Sides: \_\_\_\_\_

Lot Coverage: \_\_\_\_\_

STAFF NOTES/RECOMMENDATIONS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.*

\_\_\_\_\_  
City Staff

\_\_\_\_\_  
Date Approved

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

**CAR**  
Applicant Initial



Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

New Construction Residential (3 bed 2 baths) ~1900SF Footprint principle structure ~280SFAccessory 2-story home borrowing design elements from gothic revival homes per historical guidelines as follows: Board & Batt Siding on front, Lap on side & rear, Steeply pitched Gables w/ cross gabling, Appropriate Dormers, Painted open eaves w/ T-111 Plywood facedown into eaves, Cont. Masonry Stem wall foundation w/ brick veneer. Siding materials LP Wood Smartside to be smooth and shall not exhibit exaggerated or fake wood texture

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding	LP Solutions	Panel Board & Batten Front Lap siding sides & Rear All Wood smooth finish	FL9190
Doors	Masonite	Craftsman 6-lite fiberglass	FL22363.5
Windows	Pella 250 Series	White Vinyl Insulated Low-E	FL16812
Roofing	Tri-County Metals	26g Ultra Rib Metal Roofing	FL 36904
Trim	LP Solutions	Wood Trim w/ Brushed Smooth Texture	N/A
Foundation	N/A	3000 PSI Poured Stem Wall Brick Veneer Siding	N/A
Shutters	N/A	N/A	N/A
Porch/Deck	N/A	#2 PT SYP 5/4 x 6 Rear Porch Brick Veneer Front Porch	N/A
Fencing	N/A	Wood picket fence 6' on sides & rear 4' on front	N/A
Driveways/Sidewalks	N/A	Brick Paver or gravel	N/A
Other	N/A	N/A	N/A

**NOTE:** Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.



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6/28/2025

---

DATE



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SIGNATURE OF APPLICANT



# Fence Information

**Type:**

Severe Weather 4-ft x 8-ft Pressure Treated Pine Gothic Spaced picket Fence Panel (Painted)



4' Fence front

6' standard pressure treated privacy fence on sides & rear





Outlook

---

**Re: Planning payment for Robin**

---

**From** Brianna Williams <bwilliams@arpc.org>**Date** Thu 7/24/2025 2:20 PM**To** Christian Robin <plans@robinridgeplans.com>**Cc** Justin Stiell <jstiell@arpc.org>; Building Dept (Shared) <buildingdept@cityofapalachicola.com>; Planning (Shared) <planning@cityofapalachicola.com>

Received, thank you.

I will put your item on the agenda for August accompanied by the revised site plan. If the P&Z Board approves your application, the approval will be valid for one year.

The P&Z meeting will be August 11<sup>th</sup> at 6:00 PM at 74 Sixth Street in the city meeting room. I would highly encourage you to attend in person to answer any questions the Board has; if you are not present to answer them your application may be tabled until the September meeting. Additionally, their vote to approve must be unanimous if the owner, applicant, or representative is not present.

Sincerely,

**Brianna Williams**  
***Growth Management Planner***  
**Apalachee Regional Planning Council**  
2507 Callaway Road, Suite 100  
Tallahassee, FL 32303  
(850) 312-3910

---

**From:** Christian Robin <plans@robinridgeplans.com>**Sent:** Thursday, July 24, 2025 1:56 PM**To:** Brianna Williams <bwilliams@arpc.org>**Subject:** Re: Planning payment for Robin

Good Afternoon,

I have not received a 911 address from the county yet so that is very much appreciated. In regards to the deck on the back, that is covered in the impervious surface because it is under the roof and is included in my impervious surface calculation just like the front porch. I have broken them out below. Regarding the pervious brick pavers, I will just go ahead and drop the brick pavers to gravel. I have attached an updated Site plan below.

1688ft<sup>2</sup> Primary Structure  
160ft<sup>2</sup> Covered Rear Deck  
90ft<sup>2</sup> Covered Front Porch  
280ft<sup>2</sup> Accessory Structure



180ft^2 Pool Area

2398 total = 39.9% Lot Coverage

On Thu, Jul 24, 2025 at 1:02 PM Brianna Williams <[bwilliams@arpc.org](mailto:bwilliams@arpc.org)> wrote:

Good afternoon,

I have two updates for you regarding your application. First, while review old meeting minutes I noticed that the City has previously accepted applications for P&Z review without a 911 address. The item would be listed as "911 Address Pending" on the agenda and the Board's decision would likely come with the condition that a 911 address be obtained before applying for a building permit.

The second item concerns your site plan. Given that the lot coverage is so close to the maximum allowed in this zoning district, please provide engineer stamped product information about the pavers. As I understand based on discussion with the previous planner, the P&Z Board will likely want more information about the brick material and spacing to supplement the note on the site plan that the bricks are permeable. Regarding the deck at the rear of the structure, we also need to know the spacing between the decking boards to determine whether it fits the definition of "pervious."

Sincerely,

**Brianna Williams**  
***Growth Management Planner***  
**Apalachee Regional Planning Council**  
2507 Callaway Road, Suite 100  
Tallahassee, FL 32303  
(850) 312-3910

---

**From:** Christian Robin <[plans@robinridgeplans.com](mailto:plans@robinridgeplans.com)>

**Sent:** Friday, July 18, 2025 9:31 AM

**To:** Brianna Williams <[bwilliams@arpc.org](mailto:bwilliams@arpc.org)>

**Subject:** Re: Planning payment for Robin

Good Morning,

I completed the 911 form with the county last week and am just awaiting them to return it to me with an address. I will forward it as soon as they return it

Thank you for getting back to me,  
Christian Robin

On Fri, Jul 18, 2025 at 9:25 AM Brianna Williams <[bwilliams@arpc.org](mailto:bwilliams@arpc.org)> wrote:

Good morning,

To be placed on the August agenda, please complete the attached 911 Address Verification form and return it to us (via email) with an authorized signature from the Franklin County Planning Department by next Friday, July 25th. You can also find this form on the City's website, [here](#), under 'Forms.'



Sincerely,

**Brianna Williams**  
***Growth Management Planner***  
**Apalachee Regional Planning Council**  
2507 Callaway Road, Suite 100  
Tallahassee, FL 32303  
(850) 312-3910

---

**From:** Christian Robin <[plans@robinridgeplans.com](mailto:plans@robinridgeplans.com)>

**Sent:** Thursday, July 17, 2025 9:20 AM

**To:** Justin Stiell <[jstiell@arpc.org](mailto:jstiell@arpc.org)>; Brianna Williams <[bwilliams@arpc.org](mailto:bwilliams@arpc.org)>

**Cc:** [buildingdept@cityofapalachicola.com](mailto:buildingdept@cityofapalachicola.com) <[buildingdept@cityofapalachicola.com](mailto:buildingdept@cityofapalachicola.com)>

**Subject:** Re: Planning payment for Robin

Good Morning,

If it is possible, could I please get confirmation of my request to be placed on the agenda for the board of appropriateness for August 11th? I have re-attached my proof of payment to the city for the Planning & Zoning application and have re-attached all relevant documents listed on your planning & zoning application. If there is anything else that I need to do, please let me know.

Thank you,  
Christian Robin

On Mon, Jul 14, 2025 at 9:41 AM Christian Robin <[plans@robinridgeplans.com](mailto:plans@robinridgeplans.com)> wrote:

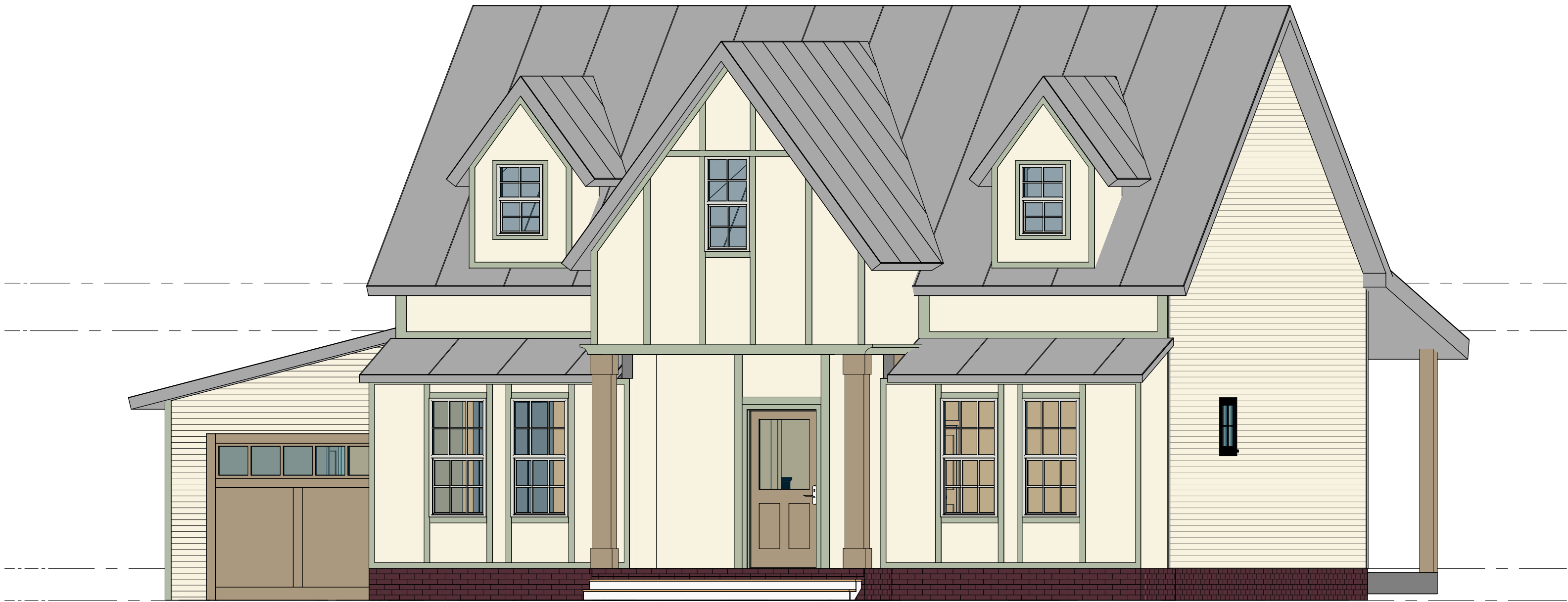
Good morning,

Attached is the proof of payment for a P&Z application to the city of Apalachicola regarding the proposed new construction of the Robin residence on 6th street.

I am sending this email per your request. Please confirm that I am on the agenda for the August board of appropriateness meeting.

Thank you,  
Christian Robin





New Construction  
Lot 9, Blk 181  
Apalachicola, FL

Abbreviations

A/C.: Air Conditioner	DWG.: Drawing
A.C.: Asphaltic Concrete	DWR.: Drawer
Adj.: Adjustable	Ea.: Each
A.F.F.: Above Finished Floor	E.J.: Expansion Joint
A.F.G.: Above Finished Grade	Elec.: Electrical
AISC: American Institute of Steel Construction	Elev.: Elevation
AISI: American and Steel Institute	EQ: Equal, or Equally
Al.: Aluminum	EQMT.: Equipment
Approx.: Approximate	E.W.: Each Way
Arch.: Architectural	Exc: Excavate
ASTM: American Society for Testing and Materials	(E) Exst.: Existing
AWG: American Wire Gauge	Ext.: Exterior
Bd.: Board	FAO: Finish All Over
Bldg.: Building	F.C.O.: Floor cleanout
Blkg: Blocking	F.D.: Floor Drain
Bm.: Beam	FDN.: Foundation
B.O.F.: Bottom of Footing	F.F.L.: Finished Floor Level
B.O.M: Bill of Material	F.G. Finish Grade
BOT: Bottom	Fin.: Finish
B.O.W.: Bottom of Wall	FL: Floor Level
BP: Blue Print (or B/P)	Fluor. Fluorescent
Cab.: Cabinet	F.O.C.: Face of Concrete
CAD: Cadmium or Computer-Aided Drafting	F.O.F.: Face of Finish
C.C.: Center to Center	F.O.S.: Face of Stud
C.D.: Construction Document	FRPF: Fireproof
Cem.: Cement	FS: Far Side
Cer.: Ceramic	FT.: Feet or Foot
C.F.M.: Cubic Feet per Minute	FTG: Fitting
CFS: Cubic Feet per Second	GA.: Gauge
C.I.: Cast Iron	Galv.: Galvanized
CL.: Closet	G.C.: General Contractor
CL: Center Line	G.F.I.: Ground-Fault Circuit-Interrupter
CL.G.: Ceiling	GL.: Glass
CLR.: Clear	GPM: Gallons Per Minute
CMU: Concrete Masonry Unit	Gyp.: Gypsum
C.O.: Cleanout	H.: High
Col.: Column	H.B.: Hose Bib
Conc.: Concrete	H.C.: Hollow Core
Cont.: Continuous	HDWE.: Hardware
CRES: Corrosion-Resistant Steel	H.M.: Hollow Metal
CSINK: Countersink	Horiz.: Horizontal
Cr.: Center	HRS: Hot Rolled Steel
FT.: Cubic Feet	HR.: Hour
YD.: Cubic Yard	HV: High Voltage
Dbl.: Double	H.V.A.C.: Heating or Cooling Systems
Dept.: Department	H.W.: Hot Water
Dia.: Diameter	IAW: In Accordance With
Dim.: Dimension	In.: Inch
DN.: Down	Insul.: Insulation
DR.: Door	Int.: Interior

Notice To Owner

It is important that the Client and Builder examine the drawings and documentation in detail. It shall be the final responsibility of the builder to review and check the plans for accuracy and compliance with regulatory agencies. It is customary and ordinary not to include details well within the knowledge of the licenced contractor. If necessary, further clarification of the plans should be achieved before signing the construction contract and obtaining a building permit, otherwise the builder assumes responsibility for the construction in question. methods of construction shall be determined by the contractor.

Design Criteria

Building Codes: 2023 Florida Building Code - Residential 8th Edition  
2023 Florida Building Code - Mechanical 8th Edition  
2023 Florida Building Code - Plumbing 8th Edition  
2023 Florida Building Code - Energy Conservation 8th Edition  
National Electrical Code (NEC) 2020

Franklin County, FL  
Parcel ID: 01-095-08W-8330-0181-0090  
Residence to be located in FEMA zone X

Index

Sheet	
1	Coversheet
2	Floor Plan
3	Structural Drawings
4	Roof Drawings
5	Elevations
6	Electrical & Plumbing
7	Additional Details
8	Engineering

Area

First Floor Conditioned	1397
Second Floor Conditioned	647
Conditioned Total	2044
First Floor Garage	287
First Floor Porches	252
Accessory Structure Garage	280
Unconditioned Total	819

Copywrite Information

\*Copyright 2024 by Delta Coast Construction. No part of this plan may be reproduced or transmitted in any form or by any means, electronic or mechanical (including photocopying, recording, or any information retrieval system), without the written approval of Delta Coast Construction, Inc. No derivative works of this plan may be made without rior written permission. The purchase of this set of home plans entitles the purchaser to use this set of plans for the construction of only one building. The purchase of additional set(s) of plans does not entitle the purchaser to construct more than one building.

General Notes

- All work shall comply to all applicable local codes.
- These plans are subject to modification as necessary to meet code requirements or to facilitate mechanical/ plumbing installations or to incorporate design improvements. The designer and owner reserves the right to make any changes for any reason at any time providing they comply with code.
- The sub-contractor shall compare and coordinate all drawings, when a discrepency or an error or omission exists, the sub-contractor shall comply with code and contrac the designer and owner in writing for proper adjustment.
- These plans are not to be scaled for construction purposes. written dimensions and notes supersede all scale references.
- In the event certain features of construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.

Mechanical, Electrical, Plumbing Notes

- Mechanical contractor is responsible for the design and installation of mechanical systems including duct sizes and register sizes for air conditioning and heating. systems shall be installed per manufaccturers' specifications and recommendations and as per all applicable codes.
- Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturer's specifications and recommendations and as per allapplicable codes.
- Electrical contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the national electric code, the local power company and all applicable codes. Fixtures and apparatuses are selected by the builder and shall be UL Approved.
- Electrical contractors to verify and install all smoke detectors, carbon monoxide detectors, GF'I's and AFCI's per code.

Rivers Engineering, LLC.

Gregory P. Rivers, PE  
1 563-272-4516  
20772 NW 252nd Street  
High Springs, FL 32643  
  
Structural design is in accordance with the 2023 Florida Building Code. Signature/Seal on any sheet is valid only for the structural design, or to indicate conformance with the structural design. This item has been digitally sealed by Gregory P. Rivers PE on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and signature must be verified on any electronic copies.

Gregory P. Rivers. P.E. FL #35800



7790 SW 126th Ave Cedar Key, FL  
Plans@RobinRidgeplans.com

Robin Apalachicola  
City Home

Cover Sheet

Project number	2025.13
Date	7/24/2025
Drawn by	Christian Robin
Scale	



Rivers Engineering, LLC.

Gregory P. Rivers, PE  
1-563-272-4516  
20772 NW 252nd Street  
High Springs, FL 32643  
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Robin Ridge  
PLANS & DRAFTING

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City Home

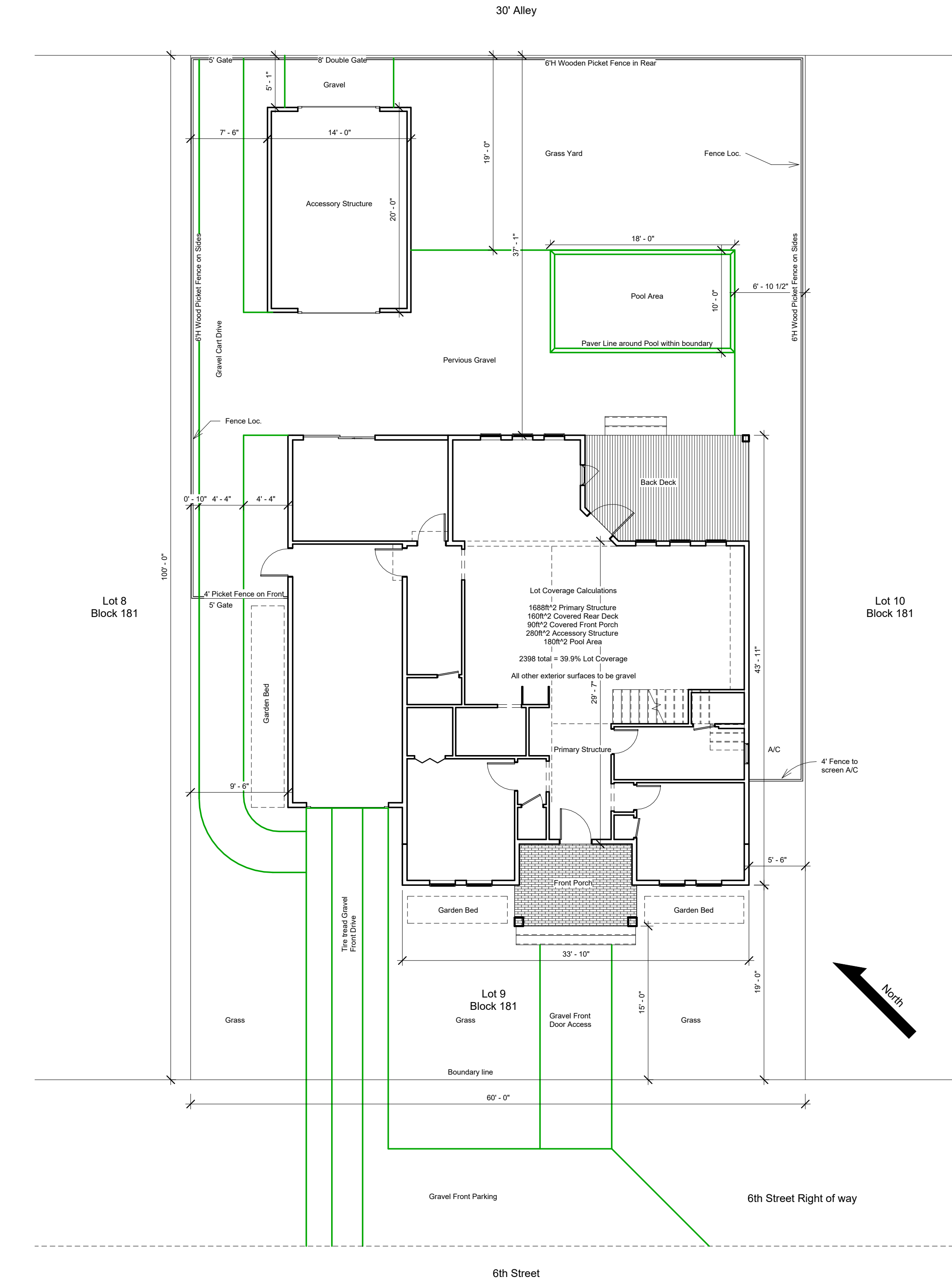
Floor Plan &  
Site Plan

Project number 2025.13  
Date 7/24/2025  
Drawn by Christian Robin

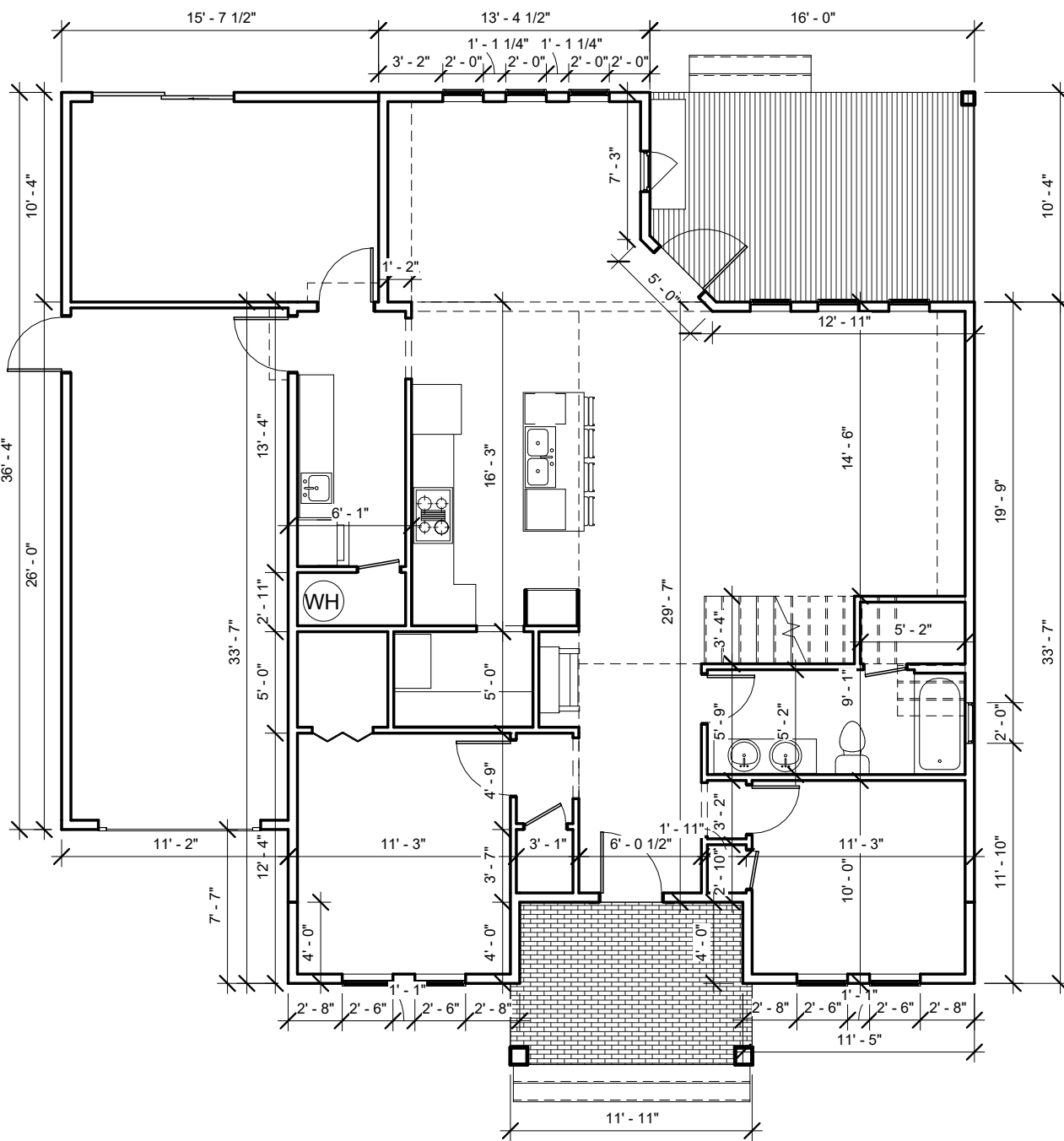
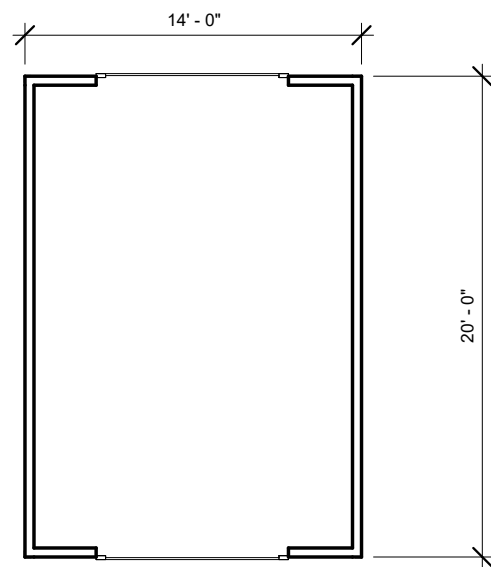
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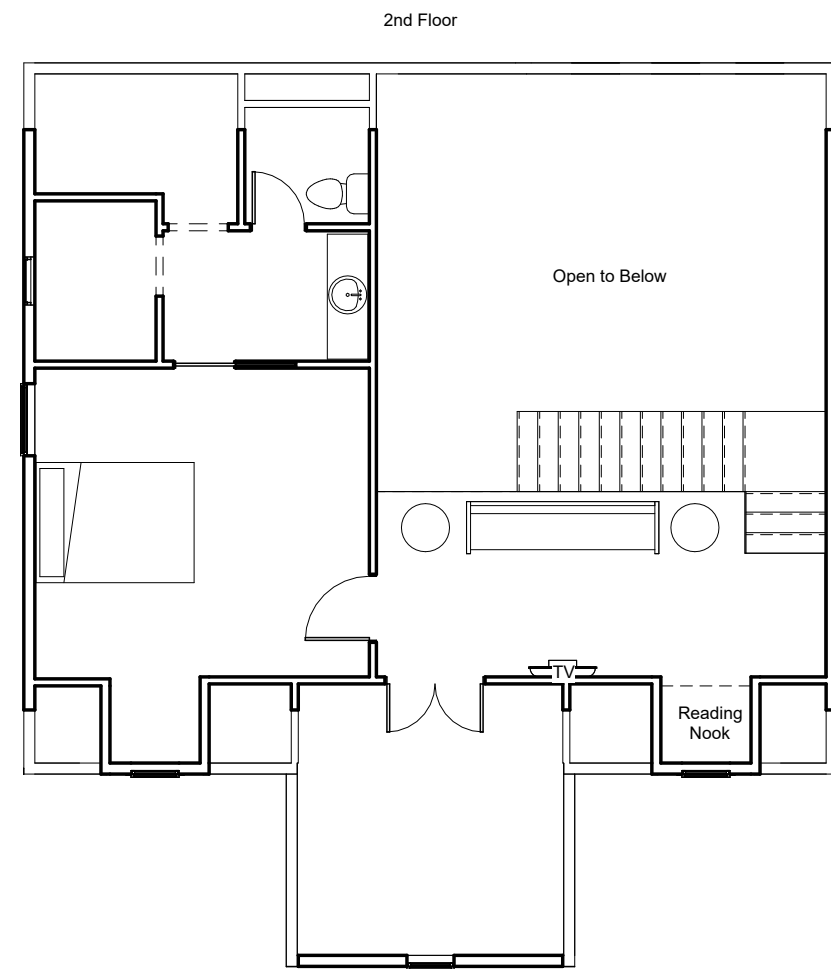
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1 Site Plan  
1/8" = 1'-0"



2 First Floor  
1/8" = 1'-0"



3 2nd Floor  
1/8" = 1'-0"



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Primary  
Elevations

Project number	2025.13
Date	7/24/2025
Drawn by	Christian Robin

Scale

1/4" = 1'-0"

7/24/2025 1:53:19 PM





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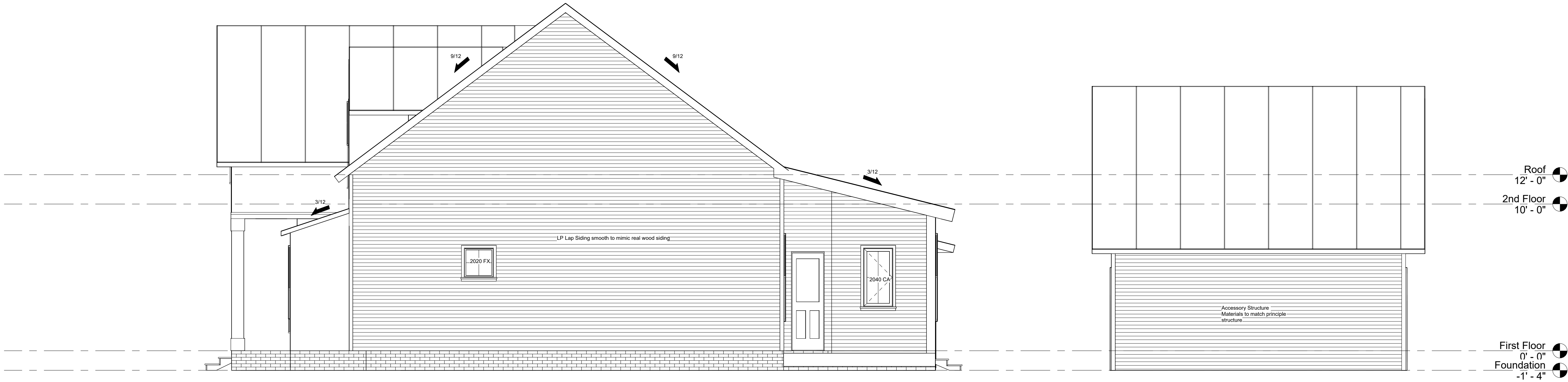
Secondary  
Elevations

Project number	2025.13
Date	7/24/2025
Drawn by	Christian Robin

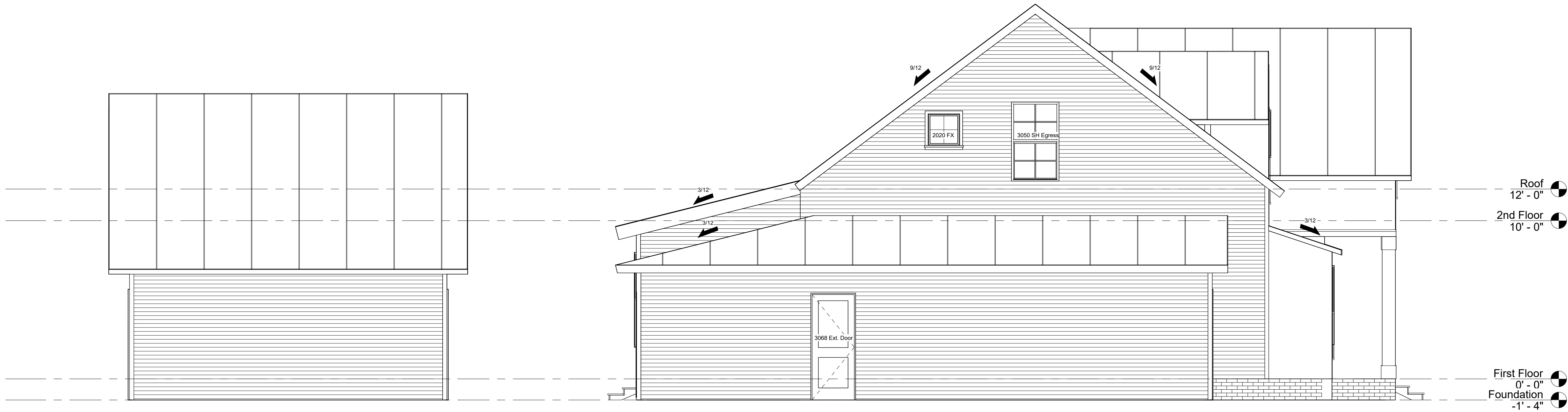
Scale

1/4" = 1'-0"

7/24/2025 1:53:20 PM



① East  
1/4" = 1'-0"



② West  
1/4" = 1'-0"



# STAFF FINDINGS REVIEW

**PROPERTY OWNER:** Christian & Audrey Robin

**AGENT** (if applicable): N/A

**CONTRACTOR:** Self

**PROPERTY ADDRESS** (if available): Pending

**PARCEL ID:** 01-09S-08W-8330-0181-0090

→ Block 181 Lot 9

**HISTORIC DISTRICT:** Yes

**ACREAGE:** -- (~6,000 square feet)

**FUTURE LAND USE:** R-1 (Single Family Residential)

**WETLANDS:** No

**FLOODPLAIN:** "X"

**CORNER LOT:** No

## **DESCRIPTION OF PROJECT:**

→ New construction of a single-family residential home (1,939 square feet), as well as an accessory structure (280 square feet), pool (180 square feet), and fence.

## **STAFF FINDINGS:**

### **Land Development Code:**

*Comments/findings from staff in italicized text.*

#### → **Section 41. Decks, patios, hot tubs and pools.**

- Amenities such as pools and decks should not be located as to be highly visible from the street.
- Wood decking or brick patios are allowed in side or rear yards.
- The proportion of decking, patio or pool dimensions should not exceed fifty percent of the total lot minus the building footprint.
  - Lot: 6,000 square feet.
  - Residence: 1,939 square feet.
  - *Maximum allowed pool/decking area would be 1,061 square feet.*



- Swimming pools may be built in a side or rear yard adjacent to a public right of way only if the pool is located directly behind the principal structure or it is set to the rear half of the side yard.
  - *This is an interior lot that is not adjacent to any public right of way.*

→ **Section 111-268. R-1 Single-Family Residential.**

- Accessory structures incidental and subordinate to permitted principal uses and structures and not of a commercial nature (e.g., private garages, sheds, gardens) are permitted in this district. Accessory structures may not be used for residential purposes.
- Minimum building size for a single-family residence is 800 square feet.
- Maximum lot coverage is 40%.
  - *Principal structure: 1,939 SF (including covered porch + deck)*
  - *Accessory structure: 280 SF*
  - *Pool: 180 SF*
  - *Total lot coverage: 2,399 SF (39.9%)*
- Maximum building height is 35 ft.
- Minimum building setbacks are as follows:
  - Front: 15 ft.
  - Side (interior): 7 ½ ft each side, or a combination that equals 15 ft. No side setback shall be less than 5 ft.
    - *Combination of side setbacks is 15'*
  - Rear: 25 ft (principal); 5 ft (accessory).

→ **Section 101-8. Definitions.**

- **Impervious surface coverage:** those hard surface man-made areas that do not allow, or minimally allow, the penetration of water, that reduce the natural rate or percolation of water or result in an increase in the natural quantity and rate of storm water runoff. Examples include but are not limited to roof tops, parking, clay, asphalt, concrete, brick, compacted gravel, paved recreational areas such as pools, tennis courts, and landscape pavers.
  - *Only compacted gravel is considered impervious and included in lot coverage calculations.*
- **Exceptions:** Pervious decks as described herein and items identified on a site plan as a best management practice to treat stormwater shall be allowed within open space and not considered impervious. Pervious decks are defined as decks with a minimum spacing of 1/8 inch between decking boards. Pervious decks shall be limited to an additional ten percent additional total lot coverage.



- *Both decks associated with this site are covered and are not considered pervious.*
- **Stormwater best management practices:** those practices and principles designed to manage water from rainfall events, reduce nonpoint sources of pollution and in some cases, protect wildlife and habitat. Methods may include structural devices or nonstructural practices, such as, but not limited to compensatory storage, swales, gutters, rain barrels and rain gardens.
  - Examples from **Section 115-1. City Requirements** include berms, shallow depressions, swales, contouring, terracing, landscaping, rain gardens, rain barrels, paving materials, concrete pavers and other stormwater best management practices [...]

→ **Section 111-288(e). Fences**

- Requirements apply to **all zoning districts** and the **historic district**.
  - Fences shall be erected on the lot of the applicant and shall not extend into a public right-of-way. Fences may be erected within the required setback area (i.e., area between the front, side, and rear property lines and the front, side, and rear setback lines).
  - A fence may abut but shall not be located on any property line.
- Requirements for **all residential districts**.
  - No fence or wall in excess of four feet (48 inches) in height shall be allowed in the front yard (for corner lots, the two sides of the lot paralleling the two street).
    - *The 6' fence will not be located in the front yard.*
  - A fence extending from the side of a principal structure to the side lot line shall attach to the structure no closer to the front lot line than where the facade (not including any covered front porch, uncovered porch, uncovered steps, and uncovered balconies) is located. These fences shall not exceed six feet (72 inches) in height.
    - *The 6' fence will be attached farther back to the side of the house.*
  - No fence or wall in excess of six feet (72 inches) in height shall be allowed in side and/or rear yards. These fences may begin from the rear of the principal structure facade.
    - *The portion of the fence in the side/rear yard will be 6'.*
  - All fence construction, repair and replacement of any section or portion thereof must be consistent with the remaining fence on the property. The intent of this section is to ensure that all fencing erected



on a property is uniform and consistent in construction and appearance.

→ **Section 111-288(i) Parking.**

- There must be one parking space for each dwelling unit or room to rent.
  - *Attached garage will be used to meet parking requirements.*
- Required off-street parking will be provided on the same parcel of land as the principal building or structure.

**RECOMMENDATION:** Approval, on two conditions: (1) the accessory structure cannot be used for residential purposes; (2) the applicant must obtain a 911 address from Franklin County before applying for a building permit.



