



**P&Z Agenda**

**April 8<sup>th</sup>, 2024**

**CITY OF APALACHICOLA**  
PLANNING & ZONING BOARD  
REGULAR MEETING  
Monday, April 8<sup>th</sup>, 2024  
**City Meeting Room – 74 6<sup>th</sup> Street**  
Agenda

**Regular Meeting: 6:00 PM**

1. Approval of March 11<sup>th</sup>, 2024 workshop, regular meeting and public hearing minutes.
2. Review, Discussion and Decision for Mobile Home. **(R-3) @ 338 22<sup>nd</sup> Ave**, Block 217 Lot 10,11,12. For Shuler Bros. Rentals, Inc. - Owner; Contractor: Ironwood homes, Inc.
3. Review, Discussion and Decision for Addition. **(R-2) @ 252 Jacobi Oneal Ln**, Block 226 Lot 1. For David & Harolyn Walker; Contractor: Scott's Framing Services, LLC.
4. Review, Discussion and Decision for Certificate of Appropriateness & Addition. **(O/R) (Historic District) @ 116 11<sup>th</sup> Street**, Block 78 Lot 4. For David & Tara Lynn Jones; Contractor: TBD
5. Review, Discussion and Decision for Certificate of Appropriateness & Addition/Renovation. **(R-1) (Historic District) @ 98 Bay Avenue**, Block 193 Lots 6-10. For Philip & Rhonda Shelley; Contractor: William Ross Development
6. Review, Discussion and Decision for Certification of Appropriateness & Signs. **(C-1) (Historic District) @ 17 Avenue D**, Block E-2, Front 40' of lots 1-2 and 40x18.5' of lot 3. For Apalachicola Oasis, LLC.; Contractor: Self
7. Review, Discussion and Decision for Certification of Appropriateness & Accessory Structures/Stormwater Best Management Practice. **(O/R) (Historic District) @ 92 Avenue E**, Block 30 Lots SW 4&5. For Kevin Curry; Contractor: TBD

Other/New Business:

- **There is an alternate position open. Advertised on City Website for applicants 3/4/24 – applicants expected to be on City Commission agenda in May!**

**CITY OF APALACHICOLA**  
PLANNING & ZONING BOARD  
REGULAR MEETING  
Monday, April 8<sup>th</sup>, 2024  
**City Meeting Room – 74 6<sup>th</sup> Street**  
Agenda

Outstanding/Unresolved Issues:

- 94 Bay Avenue was tabled at the February meeting – they expect to re-submit their design for the May P&Z meeting.

**Motion to adjourn the meeting.**



## Minutes

March 11<sup>th</sup>, 2024

**CITY OF APALACHICOLA**  
PLANNING & ZONING BOARD  
WORKSHOP & REGULAR MEETING  
Monday, March 11<sup>th</sup>, 2024  
**City Meeting Room – 74 6<sup>th</sup> Street**  
Minutes

**Attendance:** Vice-Chair Chase Galloway, Myrtis Wynn, Jim Bachrach, Bobby Miller, Elizabeth Milliken

**Workshop: 5:00PM**

- Workshop to discuss the P&Z/Architectural Review Board's roles and responsibilities as written in the City LDC. The City Attorney, City Manager, and City Planner will go over applicable LDC, provide resources, and answer any questions that any Board members may have as the City has experienced some LDC changes over the last year. This meeting is not to discuss any potential changes to the LDC, but just to refresh on the current LDC. Adjourn by 5:50PM to allow a 10-minute break prior to the 6:00PM meeting.
  - **The City Manager, Travis Wade, discussed Robert's Rules of Order.**
  - **The City Attorney, Dan Hartman, discussed Sunshine Law. He also explained that P&Z members can meet with applicants about their projects on their own, but that they do have to disclose this when the project comes up for discussion.**
  - **The City Planner, Bree Robinson, explained how Municode works and how board members and applicants alike can easily search the Land Development Code online. She discussed the City website and directed the board to review the Planning page on the website for maps, links to resources, Q&A, and to see the forms that citizens see when applying for different projects, etc.**
  - **The City Attorney discussed the P&Z/Architectural Review Board's roles and responsibilities as laid out in Sec. 101-60. Section 109-21, 109-22, 109-48, and 109-51 were all discussed in how the P&Z Board is to discuss Certificates of Appropriateness and make considerations.**
  - **The Historic District Guidelines were discussed and the City Attorney gave a brief overview of the content as well as how to take them into account – he confirmed that they are a part of the City LDC as Historic District Guidelines and the P&Z Board should use them as a tool to approve and deny application for Certificates of Appropriateness.**

**CITY OF APALACHICOLA**  
PLANNING & ZONING BOARD  
WORKSHOP & REGULAR MEETING  
Monday, March 11<sup>th</sup>, 2024  
**City Meeting Room – 74 6<sup>th</sup> Street**  
Minutes

- Discussion was held and the board adjourned the workshop to enter the Regular Meeting.

**Regular Meeting: 6:00 PM**

1. Approval of February 12<sup>th</sup>, 2024 meeting minutes.
  - **Motion to approve by Jim Bachrach; 2nd by Myrtis Wynn. All in favor – motion carried.**
2. Review, Discussion and Decision for Fence. (R-2) @ 178 22<sup>nd</sup> Ave, Block 237 Lot 7. For Stephen Penn - Owner; Contractor: Self
  - **Motion to approve by Bobby Miller; 2nd by Elizabeth Milliken. All in favor – motion carried.**
3. Review, Discussion and Decision for Certificate of Appropriateness & Fence. (R-1) (Historic District) @ 140 Avenue D, Block 48 Lot 4/5. For Charles Miller; Contractor: Ryan McClain
  - **Motion to approve by Jim Bachrach; 2nd by Myrtis Wynn. All in favor – motion carried.**
4. Review, Discussion and Decision for Accessory Structures. (R-2) @ 245 Jacobie Oneal Lane, Block 226. For Olivia & Steve Wells; Contractor: TBD
  - **Motion to approve by Jim Bachrach; 2nd by Bobby Miller. All in favor – motion carried.**
5. Review, Discussion and Decision for Accessory Structure & Pavers. (R-2) @ 148 13<sup>th</sup> Street, Block 90 Lot ½ 2 & ½ 3. For Thomas Becknell & Pamela Erwin; Contractor: Self
  - **Motion to approve by Bobby Miller; 2nd by Jim Bachrach. All in favor – motion carried.**

**CITY OF APALACHICOLA**  
PLANNING & ZONING BOARD  
WORKSHOP & REGULAR MEETING  
Monday, March 11<sup>th</sup>, 2024  
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Minutes

6. Review, Discussion and Decision for Certificate of Appropriateness & Sign. (C-1) (Historic District) @ 25 Ave D, Block E-2 Lots 1-2-3. For Star Step Capital Florida Properties LLC (Oyster City); Contractor: William Ross Development
  - **Motion to approve by Jim Bachrach; 2nd by Myrtis Wynn. All in favor – motion carried.**
  
7. Review, Discussion and Decision for Certificate of Appropriateness, Fence, & Addition. (C-2) (Historic District) @ 111 Ave E, Block 32 Lots 8-19. For Tom Brocato; Contractor: Self
  - **Motion to approve by Bobby Miller; 2nd by Jim Bachrach. All in favor – motion carried.**

Other/New Business:

- **Justin McMillan has resigned from the Board – Myrtis Wynn is now a full voting member!**
- **There is an alternate position now open. Advertised on City Website for applicants 3/4/24.**

Outstanding/Unresolved Issues:

- **94 Bay Avenue was tabled at the February meeting – they expect to re-submit their design for the April P&Z meeting.**

**Motion to adjourn the meeting by Jim Bachrach; 2<sup>nd</sup> by Myrtis Wynn – meeting adjourned.**

Meeting Minutes Approved by:

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Chair – Joe Taylor

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Date

**CITY OF APALACHICOLA**  
PLANNING & ZONING BOARD  
QUASI-JUDICIAL PUBLIC HEARING  
MONDAY, MARCH 11<sup>th</sup>, 2024  
City Meeting Room – 74 6<sup>th</sup> Street  
Minutes

**Attendance: Chase Galloway – Vice Chair, Jim Bachrach, Bobby Miller, Elizabeth Milliken, Myrtis Wynn**

**Quasi-Judicial Public Hearing: Immediately following Regular Meeting @ 6:00 PM**

1. Discussion & Decision for proposed Accessory Structure (Shed) to be placed in the **O/R Zone** at **119 12th Street**, more specifically described as Block 78 Lot 6 for William Mulley – Owner; – Contractor: TBD. Applicant is requesting approval of a special exception for an accessory structure to be used as a storage shed.
  - **Discussion held – City Planner stated that she received 1 letter in support of the request.**
  
2. Pending approval of the special exception - decision on Development Order (site plan) approval and Certificate of Appropriateness for an accessory structure at 119 12<sup>th</sup> Street.
  - **Motion to approve by Jim Bachrach; 2<sup>nd</sup> by Bobby Miller. All in favor – special exception for accessory structure in O/R Zone, site plan, and certificate of appropriateness approved.**

Other/New Business:

Outstanding/Unresolved Issues:

**Motion to adjourn the meeting by Jim Bachrach; 2<sup>nd</sup> by Chase Galloway. Meeting adjourned.**

*In our continuing effort to keep the citizens of Apalachicola informed, this agenda is posted on our website at [www.cityofapalachicola.com](http://www.cityofapalachicola.com) prior to the scheduled meeting for public review. Additional information such as the City Land Development Code and zoning related maps, along with other development information is also available on the website for your convenience. Please direct any questions concerning items on this agenda or the Planning & Zoning Board to Bree Robinson (850)323-0985 or [brobinson@cityofapalachicola.com](mailto:brobinson@cityofapalachicola.com).*





**Mobile Home**

**338 22<sup>nd</sup> Ave**



**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**

Date Received: 3/21/24  
 Meeting Date: 4/8/24  
 Fees Due: 200.00  
 Date Fees Paid: 3/21/24

**OWNER INFORMATION**

Owner Shuler Bros. Rentals, Inc.  
 Address 34 4th Street  
 City Apalachicola State FL Zip 32320  
 Phone 850-653-1757

**CONTRACTOR INFORMATION**

Contractor Name Ironwood Homes, Inc.  
 State License # \_\_\_\_\_ City License # \_\_\_\_\_  
 Email feliciaethridge17@gmail.com  
 Phone 850-838-9090 or 850-843-0428  
cell

**PROJECT TYPE**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence                               |
| <input type="checkbox"/> Addition                    | <input type="checkbox"/> Repair                              |
| <input type="checkbox"/> Alteration/Renovation       | <input type="checkbox"/> Certificate of Appropriateness      |
| <input type="checkbox"/> Relocation                  | <input checked="" type="checkbox"/> Other <u>mobile Home</u> |
| <input type="checkbox"/> Demolition                  |  |

**PROPERTY INFORMATION**

Street Address (911 Address): 338 22nd Avenue  
 City & State: Apalachicola, FL Zip: 32320  
 Parcel ID #: 01 095 08W 8330 0217 0010 Block: 217 Lot: 10,11,12  
 Zoning District: R3 [ ] Historic District [ X ] Non-Historic District  
 FEMA Flood Zone: X

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required? Y ( N )  
 Setback Requirements of Property:  
 Front: 15 Rear: 25 Side: 15/plw  
 Corner Lot? Y ( N ) Street Sides: \_\_\_\_\_  
 Lot Coverage: 40%  
 STAFF NOTES/RECOMMENDATIONS:  
- meets LDC.

*This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.*

City Staff \_\_\_\_\_  
 Date Approved \_\_\_\_\_

*NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.*

**Shuler Brothers Rentals, Inc.**  
**338 22nd Avenue**  
**Block 217, Lots 10, 11 and 12**  
**Mobile Home Site Plan**

sm, Pres.  
 Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

13 x 72 mobile home 3 beds 2 bath. Same mobile home as the 2 approved in 2021 right next door in same block.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows	<b>See Bulding Permit Application and attachments to application</b>		
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other	<b>Shuler Brothers Rentals, Inc. 338 22nd Avenue Block 217, Lots 10, 11 and 12 Mobile Home Site Plan</b>		

*NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.*

## CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. There will be no charge for revisions. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

3-21-24

DATE

Shuler Bros. Rentals, Inc.

Thomas M. Shuler, President

SIGNATURE OF APPLICANT

**Shuler Brothers Rentals, Inc.**  
**338 22nd Avenue**  
**Block 217, Lots 10, 11 and 12**  
**Mobile Home Site Plan**

## Owners, Builders, Developers

### PLEASE NOTE:

1. If the proposed development is located within the City's Historic District; a Certificate of Appropriateness from the City's Planning & Zoning Board and Architectural Review Committee is necessary before any permitting can take place.
2. Required site plan elements and the Development Order/Certificate of Appropriateness applications are due 10 BUSINESS DAYS prior to the scheduled monthly meeting (second Monday of each month) of the Planning & Zoning Board.
3. Residential site plan approvals are valid for one year after issuance. If a building permit is not obtained within a year after receiving P&Z approval, the applicant must re-apply and receive P&Z approval again. (Commercial site plan approvals are valid for two years.)
4. After you have received your Planning & Zoning Approval and/or Certificate of Appropriateness, whichever applies, take all development documents to the Building Department at 192 Coach Wagoner Blvd, Apalachicola to apply for your building permit. A P&Z Development Order Application is not a building permit application – there will be building permit forms to fill out. Building permit issuance and all inspections will be coordinated with the Building Department Clerk. Please be advised that additional documentation may be required by the Building Clerk or Building Official. Please email [buildingdept@cityofapalachicola.com](mailto:buildingdept@cityofapalachicola.com) or call City Hall at (850)653-7592 with any permitting questions.
5. Land Development regulations can be found on the City of Apalachicola website @ [www.cityofapalachicola.com](http://www.cityofapalachicola.com).
6. Please note that if any shrubs are planted or any materials (concrete, gravel, etc.) are placed in the City Right of Way that there is a possibility of removal at no expense to the City.

*It is our intent to save you time any money in your plan preparation! The City of Apalachicola Planning & Zoning Board is a seven-member citizen board that also sits as the City's Architectural Review Board. Our responsibilities include protecting the historical character of the City. By working with the Planning & Zoning Board to obtain a Certificate of Appropriateness, your development will not only proceed more smoothly, but will also enhance the City's architectural integrity and historical character of Apalachicola.*

Bree Robinson  
City Planner  
(850)323-0985  
[brobinson@cityofapalachicola.com](mailto:brobinson@cityofapalachicola.com)

Thank you,  
PLANNING & ZONING BOARD  
CITY OF APALACHICOLA

oms, Pres.  
Applicant Initial

**OFC USE**  
**FEES:**  
 Application Fee: \$ \_\_\_\_\_  
 Other: \_\_\_\_\_ \$ \_\_\_\_\_  
 Total: \_\_\_\_\_ \$ \_\_\_\_\_  
 Paid: \_\_\_\_\_



**OFC USE**  
 Approved by Building Official: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Permit # \_\_\_\_\_

**City of Apalachicola**  
**BUILDING PERMIT APPLICATION**

Owner's Name: Shuler Brothers Rentals, Inc. EMAIL: MShulerlawfl.com  
 Address: 34 4<sup>th</sup> Street Phone#: 850-653-1757  
 Fee Simple Title Holder (If other than Owner): Same  
 Contractor's Name: Ironwood Homes, Inc. Ph# 850-838-9090  
 Address: 3483 S. Byron Butler Parkway Ph# 850-843-0428 - cell  
 State License #: Perry, FL 32348 COA # \_\_\_\_\_  
 Address of Project: 338 22<sup>nd</sup> Avenue  
 Purpose of Permit: mobile home install - new  
 Property/Parcel ID# & Legal description: 01-09S-08W-8330-0217-0010, Lots 11<sup>10</sup> & 12, Block 217  
 Will the Structure be located at least 30 feet from any body of water? Yes  
 If the application is for a Commercial Project please list the Name of the Business: n/a

Bonding Company: n/a Ph# \_\_\_\_\_  
 Architect's/Engineer Name: n/a Ph# \_\_\_\_\_  
 Mortgage Lender's Name: Peoples South Bank Ph# \_\_\_\_\_  
 Water System Provider: existing tap - C.O.A. Sewer System Provider: existing tap - C.O.A.  
 Private Water Well: n/a Septic Tank Permit # n/a

**WARNING TO OWNER:** Your failure to record a Notice of Commencement may result in you paying twice for improvements to your property. If you intend to obtain financing, consult with your lender or attorney BEFORE recording your Notice of Commencement.

**For improvements to real property with a construction cost of \$2,500.00 or more, a certified copy of the Notice of Commencement is required to be submitted to the Building Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided the Building Department BEFORE the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, fax, or hand-delivery.**

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has been commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a

separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to Ron Nippe, Building Permit Clerk, [rnippe@cityofapalachicola.com](mailto:rnippe@cityofapalachicola.com) or [buildingdept.@cityofapalachicola.com](mailto:buildingdept.@cityofapalachicola.com) or dropped off at City Hall, 192 Coach Wagoner Blvd., Apalachicola, FL 32320

Purpose of Building:

Single Family \_\_\_\_\_ Townhouse \_\_\_\_\_ Commercial \_\_\_\_\_ Industrial \_\_\_\_\_ Shed  
 \_\_\_\_\_ Multi-Family \_\_\_\_\_ Swimming Pool \_\_\_\_\_ Roof \_\_\_\_\_ Sign \_\_\_\_\_ Pole Barn  
 \_\_\_\_\_ Temp Pole \_\_\_\_\_ Demolition \_\_\_\_\_ Other: \_\_\_\_\_  
 \_\_\_\_\_ Addition, alteration or renovation of building: \_\_\_\_\_

Distance from property lines: Front 15 Rear 15 L. Side 15 R Side 25  
 Cost of Construction: \$ 100,000.00 Square Footage: 936 sf Area Heated/Cooled \_\_\_\_\_  
 EPI: \_\_\_\_\_ Flood Zone: X Lowest Floor Elevation: \_\_\_\_\_ #of Stories \_\_\_\_\_  
 #of Units \_\_\_\_\_ Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
 Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

NOTICE: City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS OR COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge, and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Thomas M. Shuler 3-18-24 t.b.d.  
 Owner President of Shuler Brothers Rentals, Inc. Date Contractor Date

\_\_\_\_\_  
 Notary as to Owner Date Notary as to Contractor Date

My Commission Expires: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_

**Shuler Brothers Rentals, Inc.**  
**338 22nd Avenue**  
**Block 217, Lots 10, 11 and 12**  
**Mobile Home Site Plan**



# VERIFICATION OF 911 ADDRESS FORM

## FRANKLIN COUNTY PLANNING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

[WWW.FRANKLINCOUNTYFLORIDA.COM](http://WWW.FRANKLINCOUNTYFLORIDA.COM)

**APPLICATION MUST BE COMPLETE:** (For more property information visit the Franklin County Property Appraiser's Website at [www.qpublic.net/franklin](http://www.qpublic.net/franklin)) **\*One Parcel per application.**

### Property Owner Information:

Property Owner(s): Shuler Brothers Rentals, Inc.  
Mailing Address: 34-4<sup>th</sup> street, Apalachicola, FL 32320

### Property Information:

Lot(s): 12, 11, 10 Block: 217 Subdivision: City Apalach Unit: \_\_\_\_\_  
Parcel Identification #: 01 095 08W 8330 0217 0010

(Form cannot be processed without a full/valid parcel id number)

### Requestor's Information:

Requestor's Name: Thomas M. Shuler, President  
Phone #: 850-653-1757  
Email Address: MShuler@shulerlawfl.com

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### OFFICE USE ONLY

**THIS 911 ADDRESS HAS BEEN ASSIGNED TO THE DESCRIBED PROPERTY BELOW. PLEASE SEE ATTACHED IF THIS PROPERTY IS A METES & BOUNDS PROPERTY:**

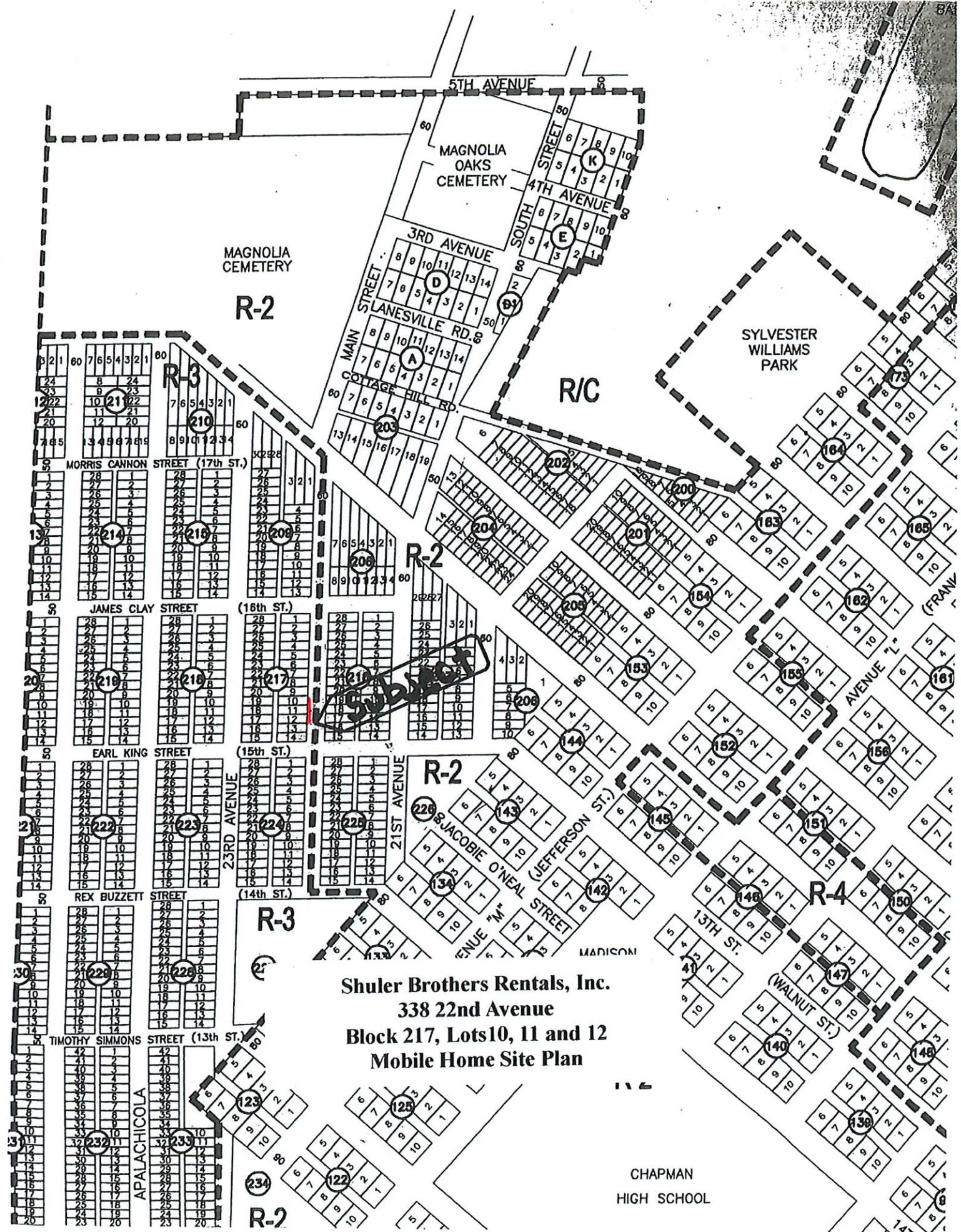
911/PHYSICAL ADDRESS: 338 22nd Ave., Apalachicola

Mark C. Cwenton, March 20, 2024  
**AUTHORIZED SIGNATURE/DATE**

THE ABOVE ADDRESS SHALL NOT BE CHANGED BY ANYONE OTHER THAN THIS DEPARTMENT AND WILL BE IN CONJUNCTION WITH THE POSTAL SERVICE AND THE 911 COORDINATOR FOR THE FRANKLIN COUNTY SHERIFF'S DEPARTMENT.

THIS FORM IS NOT VALID UNLESS SIGNED BY AN AUTHORIZED EMPLOYEE OF THE FRANKLIN COUNTY PLANNING DEPARTMENT





MAGNOLIA CEMETERY

R-2

MAGNOLIA OAKS CEMETERY

SYLVESTER WILLIAMS PARK

R/C

**Shuler Brothers Rentals, Inc.**  
**338 22nd Avenue**  
**Block 217, Lots 10, 11 and 12**  
**Mobile Home Site Plan**

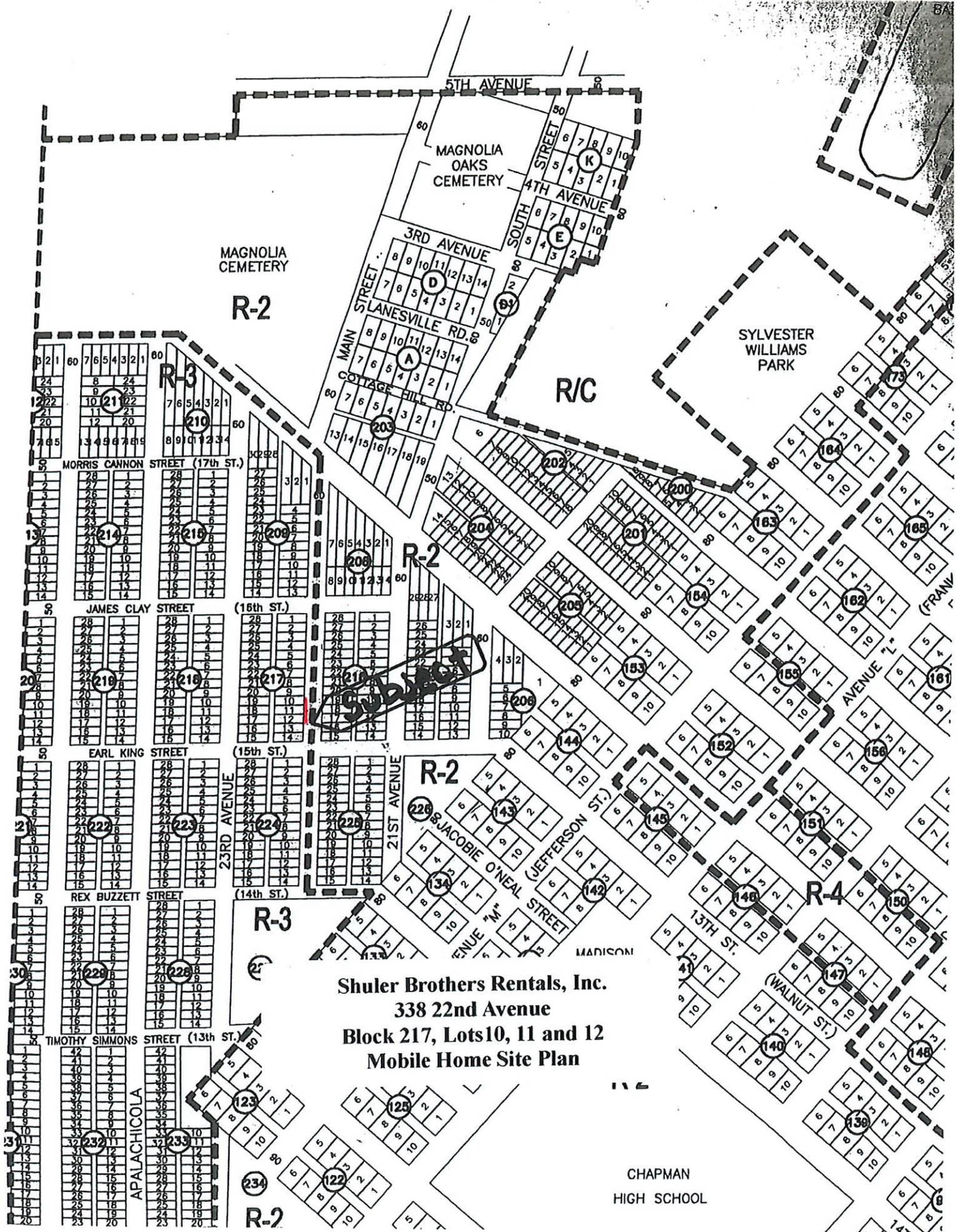
CHAPMAN HIGH SCHOOL

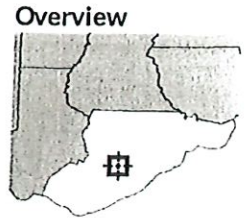
R-3

R-2

R-4

R-2





- Legend**
-  Parcels
  -  Roads
  -  City Labels
  - Flood Map**
  -  X: Outside 500 Year Flood
  -  A: 100 Year Special Flood Area
  -  AE: SFHA with base flood elevation BFI
  -  VE: Coastal SFHA with BFE & velocity wave action
  -  Openwater

Parcel ID	01-09S-08W-8330-0217-0010	Alternate ID	08W09S01833002170010	Owner Address	SHULER BROTHERS RENTALS INC
Sec/Twp/Rng	1-9S-8W	Class	MOBILEHOM		40 4TH STREET
Property Address	335 EARL KING	Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 217 LOTS 1 THRU 28 INC (Note: Not to be used on legal documents)				

Date created: 5/28/2021  
 Last Data Uploaded: 5/28/2021 7:42:37 AM

Developed by  **Schneider**  
 GEOSPATIAL

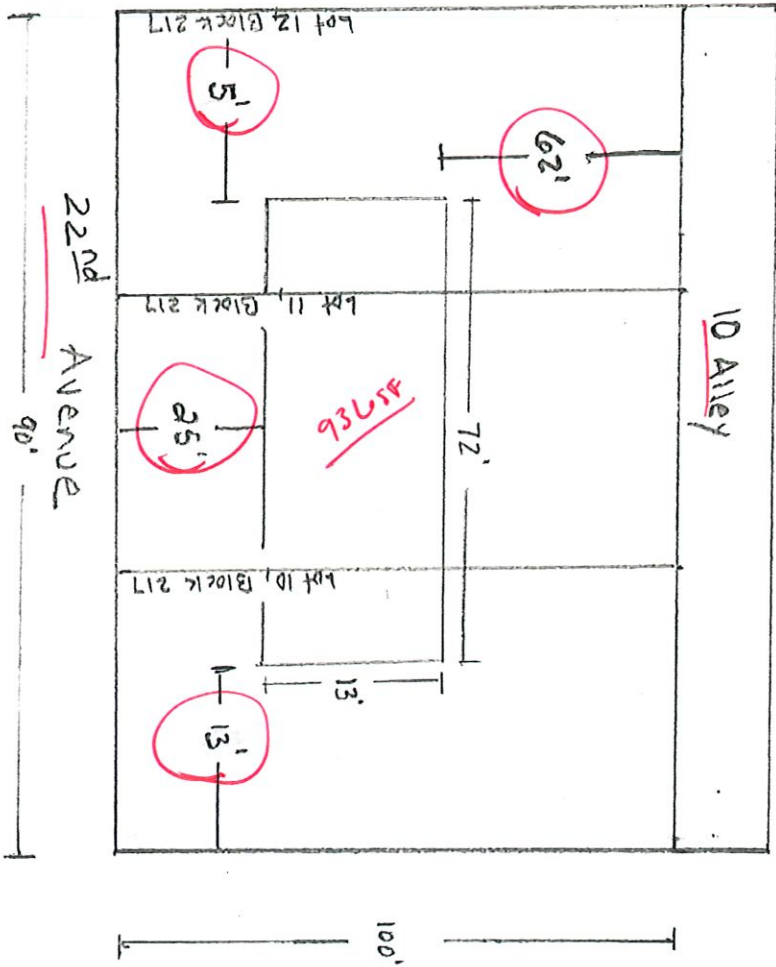
**"X" FLOOD ZONE**

**Shuler Brothers Rentals, Inc.**  
**338 22nd Avenue**  
**Block 217, Lots 10, 11 and 12**  
**Mobile Home Site Plan**

(Not to Scale)

9,000 SF lot  
40%: 3,600 SF

OK ✓

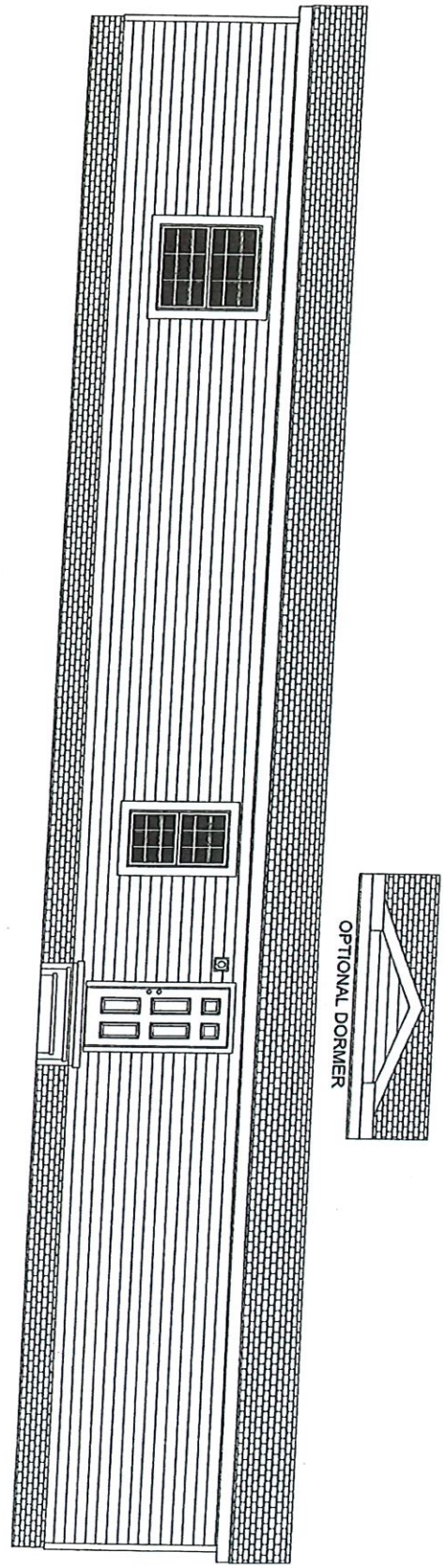
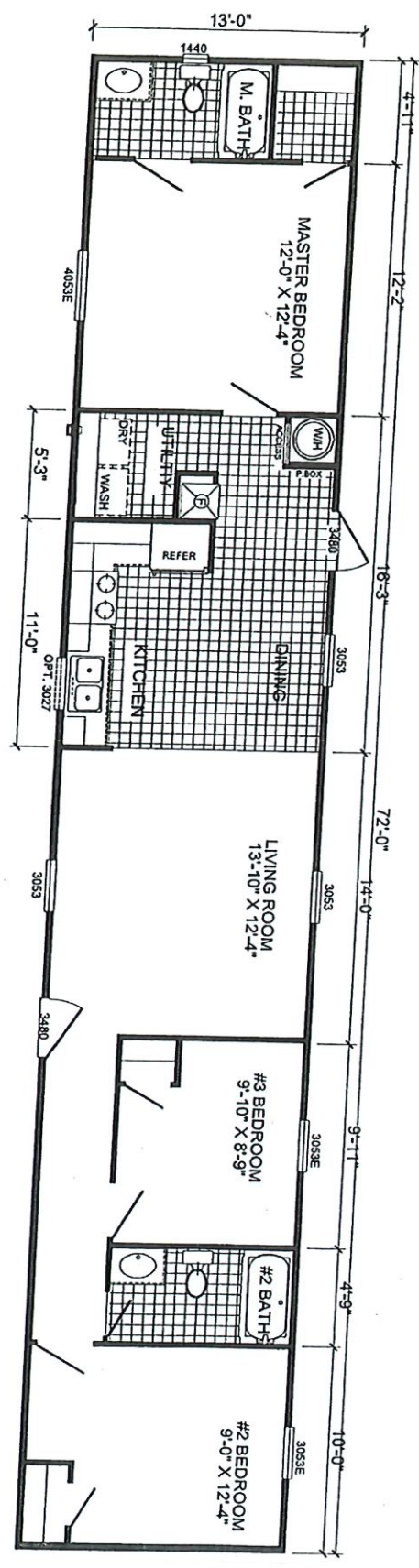


Shuler Brothers Rentals, Inc.  
338 22nd Avenue  
Block 217, Lots 10, 11 and 12  
Mobile Home Site Plan

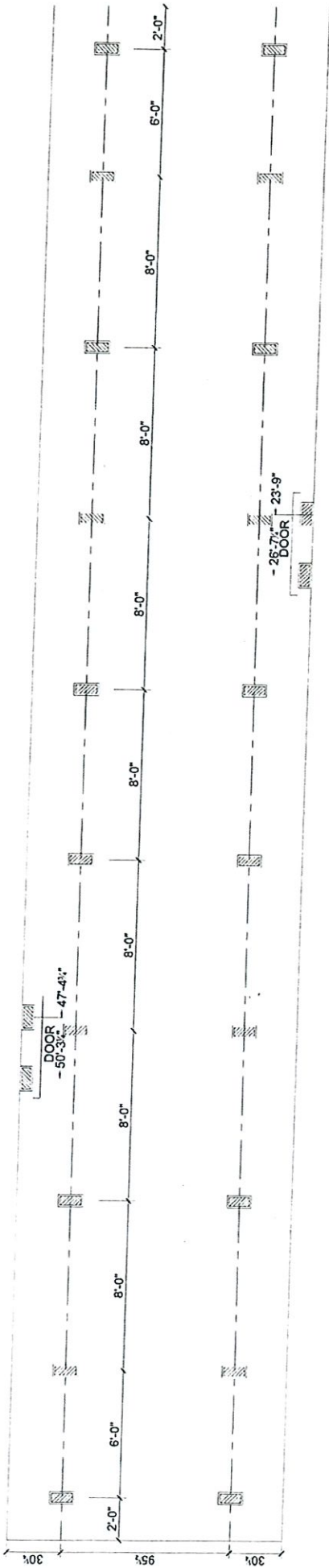
Shuler Brothers Rentals, Inc.  
338 22nd Avenue  
Block 217, Lots 10, 11 and 12  
Mobile Home Site Plan



**3-BEDROOM / 2-BATH**  
**14 X 72 - Approx. 936 Sq. Ft.**  
 Date: 10-30-2014  
 \* All room dimensions include closets and square footage figures are approximate.



**Shuler Brothers Rentals, Inc.**  
**338 22nd Avenue**  
**Block 217, Lots 10, 11 and 12**  
**Mobile Home Site Plan**



**SUPPORT PIER/TYP**

**FOUNDATION NOTES:**

- THIS DRAWING IS DESIGNED FOR THE STANDARD WIND ZONE AND IS TO BE USED IN CONJUNCTION WITH THE INSTALLATION MANUAL AND ITS SUPPLEMENTS.
- FOOTINGS ARE SHOWN FOR EXAMPLE ONLY QUANTITY AND SPACING MAY VARY BASED ON PAD TYPE, SOIL CONDITION, ETC.

6-25-2015

**Live Oak Homes  
MODEL: L-4723A - 14 X72  
3-BEDROOM / 1-BATH**

**Shuler Brothers Rentals, Inc.**  
338 22nd Avenue  
Block 217, Lots 10, 11 and 12  
Mobile Home Site Plan

**L-4723A**



**Addition**

**252 Jacobi Oneal Ln**



**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**

Date Received: 3/22/24  
 Meeting Date: 4/8/24  
 Fees Due: \$50.00  
 Date Fees Paid: 3/25/24

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner <u>David + Harolyn Walker</u>	Contractor Name <u>Scott's Framing Services, LLC</u>
Address <u>252 Jacobi Oneal Ln</u>	State License # <u>87-1304450</u> City License # _____
City <u>Apalachicola</u> State <u>FL</u> Zip <u>32320</u>	Email <u>jmscott2231@gmail.com</u>
Phone <u>850-899-5005</u>	Phone <u>850-653-7762</u>

**PROJECT TYPE**

<input type="checkbox"/> New Construction	<input type="checkbox"/> Fence
<input checked="" type="checkbox"/> Addition <u>Screen Porch</u>	<input type="checkbox"/> Repair
<input type="checkbox"/> Alteration/Renovation	<input type="checkbox"/> Certificate of Appropriateness
<input type="checkbox"/> Relocation	<input type="checkbox"/> Other _____
<input type="checkbox"/> Demolition	

**PROPERTY INFORMATION**

Street Address (911 Address): 252 Jacobi Oneal Ln  
 City & State: Apalachicola, FL Zip: 32320  
 Parcel ID #: 01-095-08W-8330-0226-0011 Block: 226 Lot: 1797/108  
 Zoning District: County/City R-2 [ ] Historic District [X] Non-Historic District 904/600  
 FEMA Flood Zone: \_\_\_\_\_

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required? Y / <u>N</u> Setback Requirements of Property: Front: <u>15</u> Rear: <u>25</u> Side: <u>15.5 plw</u> Corner Lot? Y / <u>N</u> Street Sides: <u>15</u> Lot Coverage: <u>40%</u> STAFF NOTES/RECOMMENDATIONS: <u>-meets LDC.</u>	<i>This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning &amp; Zoning Board and a building permit is authorized to be issued.</i>
_____	City Staff
_____	_____
_____	Date Approved

*NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.*

Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Add a screened porch to the back of the house 20X12. The porch would be attached to the house with one door, 3/4 screened + 1/4 at bottom wrapped with same siding as the house. Materials list attached.

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

**NOTE:** Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.



## CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. There will be no charge for revisions. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

3/25/24

DATE



SIGNATURE OF APPLICANT

## Owners, Builders, Developers

### PLEASE NOTE:

1. If the proposed development is located within the City's Historic District; a Certificate of Appropriateness from the City's Planning & Zoning Board and Architectural Review Committee is necessary before any permitting can take place.
2. Required site plan elements and the Development Order/Certificate of Appropriateness applications are due 10 BUSINESS DAYS prior to the scheduled monthly meeting (second Monday of each month) of the Planning & Zoning Board.
3. Residential site plan approvals are valid for one year after issuance. If a building permit is not obtained within a year after receiving P&Z approval, the applicant must re-apply and receive P&Z approval again. (Commercial site plan approvals are valid for two years.)
4. After you have received your Planning & Zoning Approval and/or Certificate of Appropriateness, whichever applies, take all development documents to the Building Department at 192 Coach Wagoner Blvd, Apalachicola to apply for your building permit. A P&Z Development Order Application is not a building permit application – there will be building permit forms to fill out. Building permit issuance and all inspections will be coordinated with the Building Department Clerk. Please be advised that additional documentation may be required by the Building Clerk or Building Official. Please email [buildingdept@cityofapalachicola.com](mailto:buildingdept@cityofapalachicola.com) or call City Hall at (850)653-7592 with any permitting questions.
5. Land Development regulations can be found on the City of Apalachicola website @ [www.cityofapalachicola.com](http://www.cityofapalachicola.com).
6. Please note that if any shrubs are planted or any materials (concrete, gravel, etc.) are placed in the City Right of Way that there is a possibility of removal at no expense to the City.

*It is our intent to save you time any money in your plan preparation! The City of Apalachicola Planning & Zoning Board is a seven-member citizen board that also sits as the City's Architectural Review Board. Our responsibilities include protecting the historical character of the City. By working with the Planning & Zoning Board to obtain a Certificate of Appropriateness, your development will not only proceed more smoothly, but will also enhance the City's architectural integrity and historical character of Apalachicola.*

**Bree Robinson**  
City Planner  
(850)323-0985  
[brobinson@cityofapalachicola.com](mailto:brobinson@cityofapalachicola.com)

*Thank you,*  
**PLANNING & ZONING BOARD**  
**CITY OF APALACHICOLA**

  
Applicant Initial

curvature  
1,414 or 2 ✓

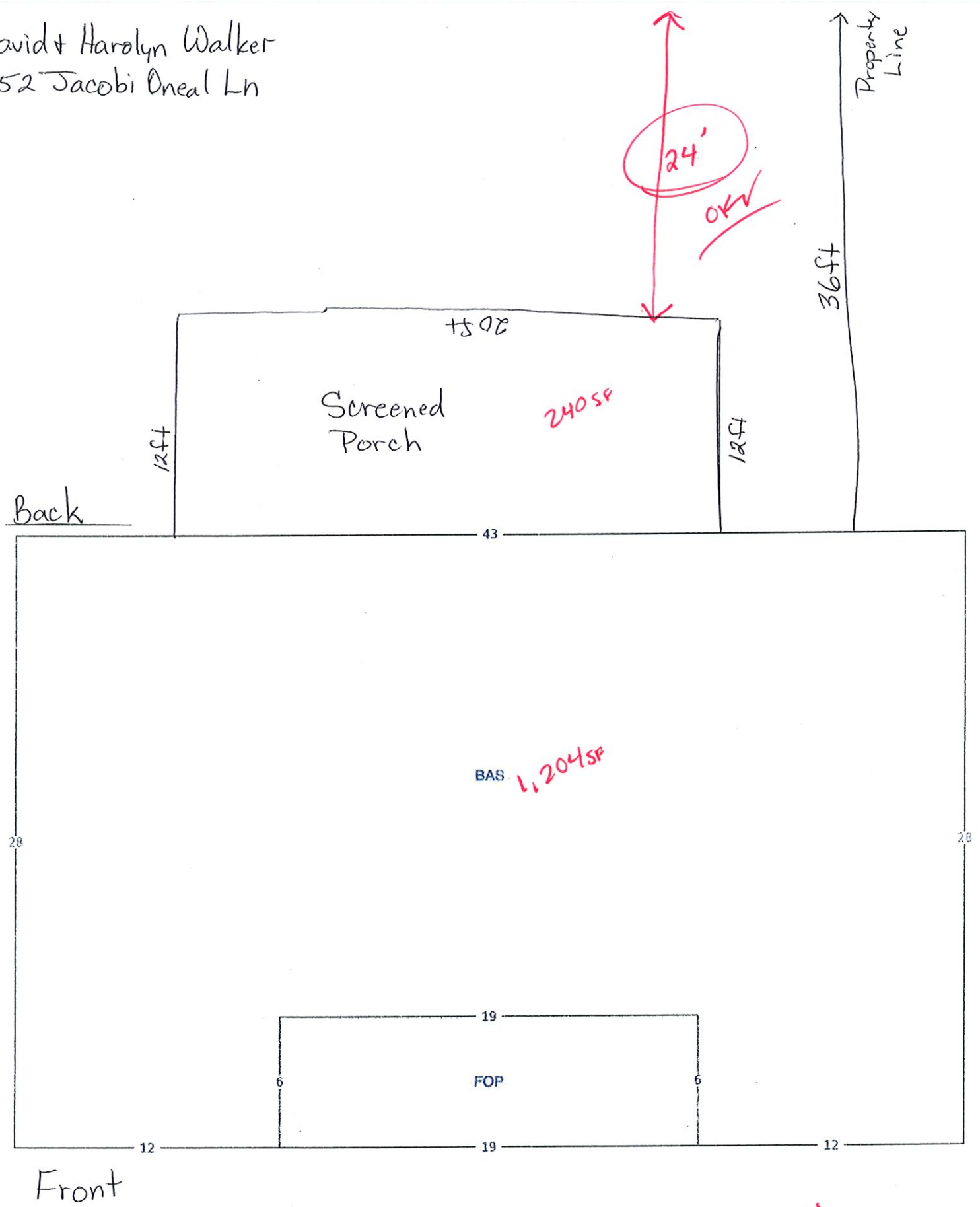
SF = 11,197  
40% = 4,478 SF

North  
Savannah  
Savannah  
Savannah



\* See  
next  
Photo

David + Harolyn Walker  
252 Jacobi Oneal Ln



Front

Current = 1,204  
+ 240  
1,444 SF  
OKV

2:48 ↖



Harolyn Walker  
252 Jacobi Oneal Ln

### Material list ▼

Done

#### Lowe's Home Centers, LLC

Sales Person: Sharon Brenson Sales #: 4965514  
Contact: James Scott Customer #: 8506537762  
Store #: 0448 Project #: 204970904 Date Estimated: 03/24/24

Quantity	Item #	Item Description	Vendor Part#
12	5142	2-in x 4-in x 12-ft Southern Yellow Pine Kiln-dried Lumber	020412#2 SYP
13	74740	2-in x 6-in x 16-ft Southern Yellow Pine Kiln-dried Lumber	37019
10	12246	3/8-in x 4-ft x 8-ft Pine Plywood Sheathing	721366
12	5142	2-in x 4-in x 12-ft Southern Yellow Pine Kiln-dried Lumber	020412#2 SYP
25	312282	2-in x 4-in x 8-ft #2 Southern Yellow Pine Pressure Treated Lumber	OG220408-AG
9	12242	19/32-in x 4-ft x 8-ft Pine Plywood Sheathing	NA
1	43564	2-in x 0.113-in 21 Degree Hot-Dipped Galvanized Ring Collated Framing Nails (1000-Per Box)	20171SHPT
12	12246	3/8-in x 4-ft x 8-ft Pine Plywood Sheathing	721366

Total For Items \$1,209.56  
 \*Freight Charges \$0.00  
 \*Delivery Charges \$0.00  
 \*Tax Amount \$0.00  
 \*Total Estimate \$1,209.56

\*Freight, Delivery and Taxes will be calculated at the time of checkout.

The quote is valid until 03/24/2024.

\_\_\_\_\_  
Manager Signature

\_\_\_\_\_  
Date



**COA + Addition**

**116 11<sup>th</sup> Street**



**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**

Date Received: 3/19/24  
 Meeting Date: 4/8/24  
 Fees Due: \$90.  
 Date Fees Paid: 3/19/24

**OWNER INFORMATION**

**CONTRACTOR INFORMATION**

Owner David & Tara Lynn Jones  
 Address 2213 Tallahassee DR  
 City Tallahassee State FL Zip 32309  
 Phone 850-510-7323

Contractor Name TBD  
 State License # \_\_\_\_\_ City License # \_\_\_\_\_  
 Email \_\_\_\_\_  
 Phone \_\_\_\_\_

**PROJECT TYPE**

- |   |  |
|---|--|
| <input type="checkbox"/> New Construction                 | <input type="checkbox"/> Fence                                     |
| <input type="checkbox"/> Addition                         | <input type="checkbox"/> Repair                                    |
| <input checked="" type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Variance                                  |
| <input type="checkbox"/> Relocation                       | <input checked="" type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Demolition                       | <input type="checkbox"/> Other _____                               |

**PROPERTY INFORMATION**

Street Address (911 Address): 116 11th st  
 City & State: Apalachicola FL Zip: 32320  
 Parcel ID #: \_\_\_\_\_ Block: 78 Lot: 4  
 Zoning District: O/R [] Historic District [ ] Non-Historic District  
 FEMA Flood Zone: \_\_\_\_\_

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required?  Y  N  
 Setback Requirements of Property:  
 Front: 15' Rear: 25' Side: 15' splash  
 Corner Lot?  Y  N Street Sides: \_\_\_\_\_  
 Lot Coverage: 40%

**STAFF NOTES/RECOMMENDATIONS:**

- meets LDC  
- needs C.o.A.

*This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.*

City Staff \_\_\_\_\_

Date Approved \_\_\_\_\_

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

we are adding an 8' x 24' back porch that will be the same design & materials as the existing front porch wood with metal roof

→ We are adding an 8' x 27' deck & a 3' x 25' wheelchair ramp with typical wood construction

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck		8' x 24' porch with typical wood & metal roof construction 8 x 27' deck & 3' x 25' wheelchair ramp with typical wood construction	
Fencing			
Driveways/Sidewalks			
Other			

**NOTE:** Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.



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1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
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10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

★ 3/19/24

DATE

David Jones

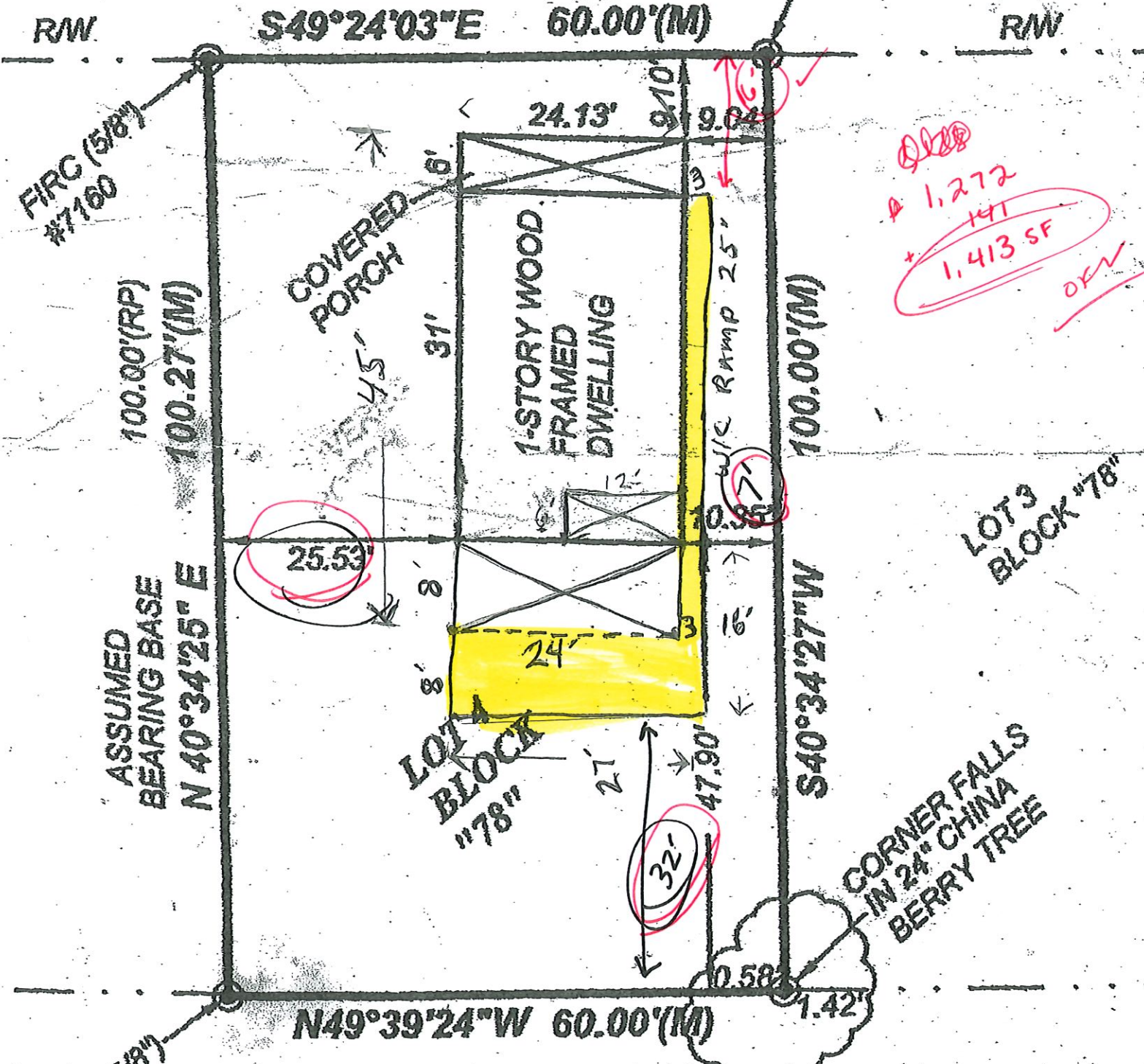
SIGNATURE OF APPLICANT

David Jones (850) 510-7323  
 2213 Tallahassee DR  
 Tallahassee FL 32309  
 david.jones@sportsability.org

O/R

# 11TH STREET

(ORANGE STREET - 80' RW - PAVED)

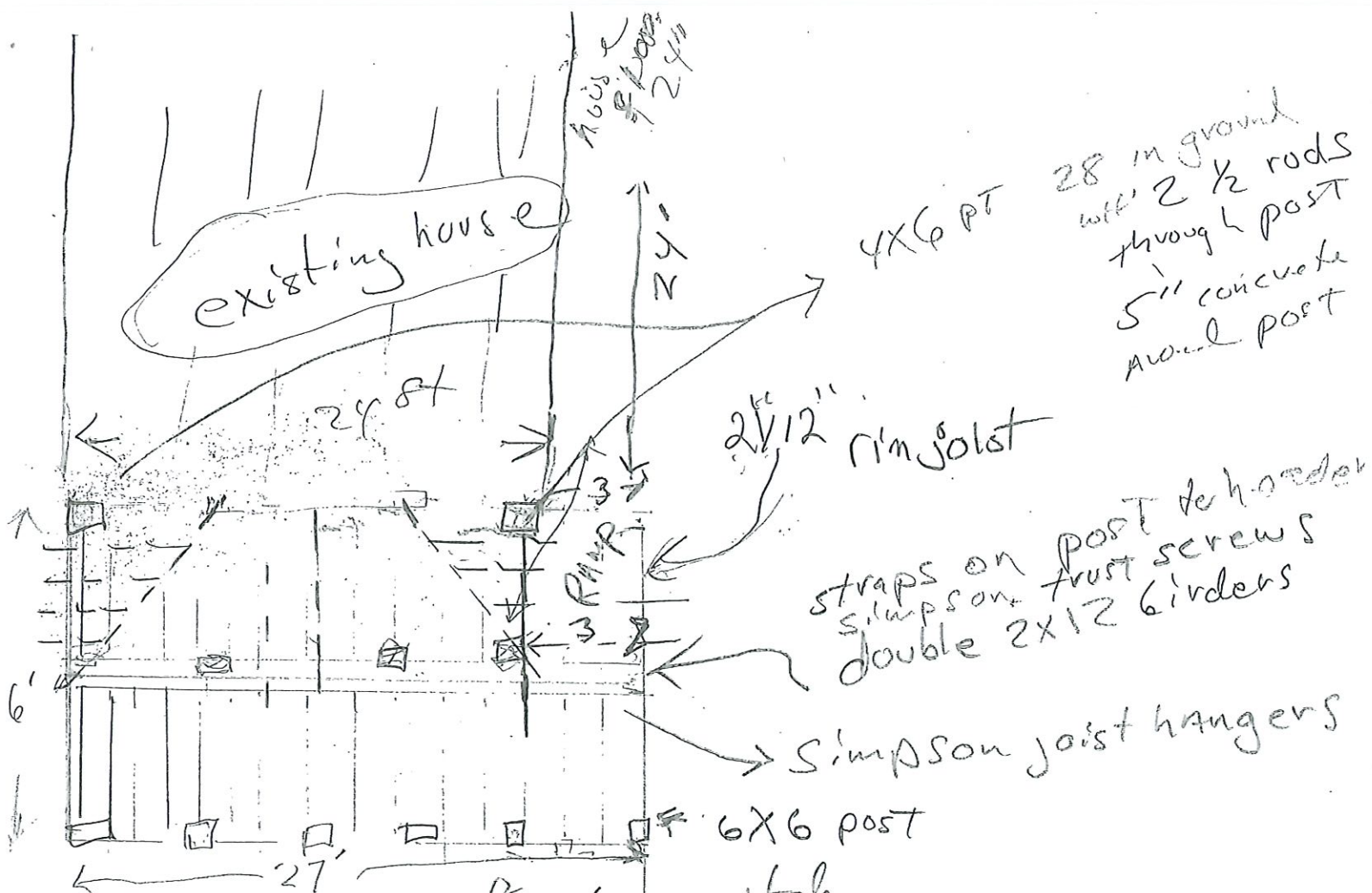


*Handwritten notes:*  
 1,272  
 141  
 1,413 SF  
 OKV

LOT 3  
 BLOCK "78"

CORNER FALLS  
 IN 24" CHINA  
 BERRY TREE

## ALLEY



- hip roof 3/2 pitch
- 3x8 Kingheaders
- 4x8 headers
- 4x8 rafters
- 32" OC
- 1/2 roof decking (2x6)
- Simpson Trust screws
- 2x8 ledger to existing house
- Deck 2x8 joist 16" OC
- 5/4 decking
- Metal roofing

**NOTICE OF COMMENCEMENT**

Space Reserved For Recording:

PERMIT # \_\_\_\_\_ PARCEL ID # \_\_\_\_\_

STATE OF FLORIDA, COUNTY OF FRANKLIN

The UNDERSIGNED hereby gives notice that improvements will be made to certain real property, an in accordance with Chapter 713, Florida Statutes, the following information is provided in the Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY: (Include Street Address)

116 11<sup>th</sup> St / Charles Watson St Apalachicola FL

General Description of Improvements: rebuild <sup>covered</sup> back porch and extend deck

Owner Information or Lessee Information Contracted For The Improvements:

Name: David C. Jones

Phone Number: (850) 510-7323

Address: 2213 Tallahassee Dr. Tallahassee, FL 32309

Owner's Interest In Site Of The Improvement: 100%

Name & Address Of Fee Simple Titleholder:

(If Different From Owner Listed Above):

Contractor's Name:

Phone Number:

Address:

Surety: (If Applicable, A Copy Of The Payment Bond Is Attached):

Name & Address:

Amount: \$

Lender Name: N/A

Phone Number:

Address:

PERSONS WITH IN THE STATE OF FLORIDA DESIGNATED BY THE OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED FOR BY FLORIDA STATUTE 713.13(1) (A) 7.

NAME:

ADDRESS:

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES THE FOLLOWING PERSON(S) TO RECEIVE A COPY OF THE LEINOR'S NOTICE AS PROVIDED IN SECTION 713.13 (1)(B) FLORIDA STATUTES:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT (THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DAT OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.)

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOBSITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner/Agent Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

NOTARY SEAL:

Sworn to me this \_\_\_\_\_ day of \_\_\_\_\_ In the year of 20 \_\_\_\_\_

Notary Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

OFC USE  
**FEES:**  
 Application Fee: \$ \_\_\_\_\_  
 Other: \$ \_\_\_\_\_  
 Total: \$ \_\_\_\_\_  
 Paid: \_\_\_\_\_



OFC USE  
**Approved by Building Official:**  
 \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Permit # \_\_\_\_\_

**City of Apalachicola  
 BUILDING PERMIT APPLICATION**

Owner's Name: David C. Jones EMAIL: davidjones@fdoa.org  
 Address: 2213 Tallahassee Dr. Tall., FL 32309 Phone#: (850) 510-7323  
 Fee Simple Title Holder (if other than Owner): \_\_\_\_\_  
 Contractor's Name: \_\_\_\_\_ Ph# \_\_\_\_\_  
 Address: \_\_\_\_\_ Ph# \_\_\_\_\_  
 State License #: \_\_\_\_\_ COA # \_\_\_\_\_  
 Address of Project: 116 11th St. Apalachicola, FL  
 Purpose of Permit: rebuild covered porch and extend deck  
 Property/Parcel ID# & Legal description: \_\_\_\_\_  
 Will the Structure be located at least 30 feet from any body of water? \_\_\_\_\_  
 If the application is for a Commercial Project please list the Name of the Business: \_\_\_\_\_

Bonding Company: N/A Ph# \_\_\_\_\_  
 Architect's/Engineer Name: N/A Ph# \_\_\_\_\_  
 Mortgage Lender's Name: N/A Ph# \_\_\_\_\_  
 Water System Provider: City of Apalach Sewer System Provider: City of Apalach  
 Private Water Well: No Septic Tank Permit # N/A

**WARNING TO OWNER:** Your failure to record a Notice of Commencement may result in you paying twice for improvements to your property. If you intend to obtain financing, consult with your lender or attorney BEFORE recording your Notice of Commencement.

**For improvements to real property with a construction cost of \$2,500.00 or more, a certified copy of the Notice of Commencement is required to be submitted to the Building Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided the Building Department BEFORE the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, fax, or hand-delivery.**

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has been commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a

separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to Ron Nippe, Building Permit Clerk, [rnippe@cityofapalachicola.com](mailto:rnippe@cityofapalachicola.com) or [buildingdept.@cityofapalachicola.com](mailto:buildingdept.@cityofapalachicola.com) or dropped off at City Hall, 192 Coach Wagoner Blvd., Apalachicola, FL 32320

**Purpose of Building:**

Single Family    \_\_\_ Townhouse    \_\_\_ Commercial    \_\_\_ Industrial    \_\_\_ Shed  
 \_\_\_ Multi-Family    \_\_\_ Swimming Pool    \_\_\_ Roof    \_\_\_ Sign    \_\_\_ Pole Barn  
 \_\_\_ Temp Pole    \_\_\_ Demolition    \_\_\_ Other: \_\_\_\_\_  
 Addition, alteration or renovation of building: rebuild back porch + extend deck

Distance from property lines: Front 9.10    Rear 31.9    L. Side 10.85    R Side 25.53  
 Cost of Construction: \$ 2,400.00    Square Footage: 1928 & 192    Area Heated/Cooled NA  
 EPI: \_\_\_\_\_    Flood Zone: \_\_\_\_\_    Lowest Floor Elevation: 24"    #of Stories NA  
 #of Units NA    Type of Roof Metal    Type of Walls NA    Type of Floor 5/4 deck boards  
 Extreme Dimensions of:    Length 16'    Height 16"    Width 24"

**NOTICE:** City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS OR COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge, and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Owner	Date	Contractor	Date
Notary as to Owner	Date	Notary as to Contractor	Date
My Commission Expires: _____		My Commission Expires: _____	



**COA + Addition/Renovation**

**98 Bay Avenue**



**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**

Date Received: 3/22/24  
 Meeting Date: 4/8/24  
 Fees Due: \$90.00  
 Date Fees Paid: \_\_\_\_\_

**OWNER INFORMATION**

Owner Philip and Rhonda Shelley  
 Address P.O. Box 189  
 City Apalachicola State FL Zip 32329  
 Phone 847 505 9933

**CONTRACTOR INFORMATION**

Contractor Name William Ross Development  
 State License # CBC 1261354 City License # \_\_\_\_\_  
 Email rusty@southernshoresbuilders.com  
 Phone 662.871.2698

**PROJECT TYPE**

- |   |  |
|---|--|
| <input type="checkbox"/> New Construction                 | <input type="checkbox"/> Fence                                     |
| <input type="checkbox"/> Addition                         | <input type="checkbox"/> Repair                                    |
| <input checked="" type="checkbox"/> Alteration/Renovation | <input checked="" type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Relocation                       | <input type="checkbox"/> Other _____                               |
| <input type="checkbox"/> Demolition                       |  |

**PROPERTY INFORMATION**

Street Address (911 Address): 98 Bay Avenue  
 City & State: Apalachicola Zip: 32320  
 Parcel ID #: 01-098-08W-8330-0193-0010 Block: 193 Lot: 6-B  
 Zoning District: R-1 [X] Historic District [ ] Non-Historic District  
 FEMA Flood Zone: AE/VE

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required? Y/N  
 Setback Requirements of Property:  
 Front: 15' Rear: 20' Side: 15/5'  
 Corner Lot? Y/N Street Sides: \_\_\_\_\_  
 Lot Coverage: \_\_\_\_\_

**STAFF NOTES/RECOMMENDATIONS:**

- see plans, needs C.o.A. for back deck additions
- meets LDC for stairs addition.
- See renderings!

*This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.*

City Staff \_\_\_\_\_

Date Approved \_\_\_\_\_

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

  
 Applicant Initial



Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Join two Decks to match Deck below.  
 construct 6' additional Roof overhang  
 construct Stairs to 1<sup>st</sup> Floor Deck

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing		metal standing seam	
Trim			
Foundation			
Shutters			
Porch/Deck		composite with treated lumber Framing	
Fencing			
Driveways/Sidewalks			
Other			

*NOTE: Please have a site plan prepared to turn in with your application. At minimum, the site plan needs to contain: a North arrow, surrounding streets, lot lines, lot dimensions, setbacks, current structure dimensions, proposed structure dimensions, fence locations, and fence heights. Applications requiring a Certificate of Appropriateness will also need to submit renderings/elevations of any proposed structures and note the materials proposed. More information may be requested by City Staff.*

## CERTIFICATION

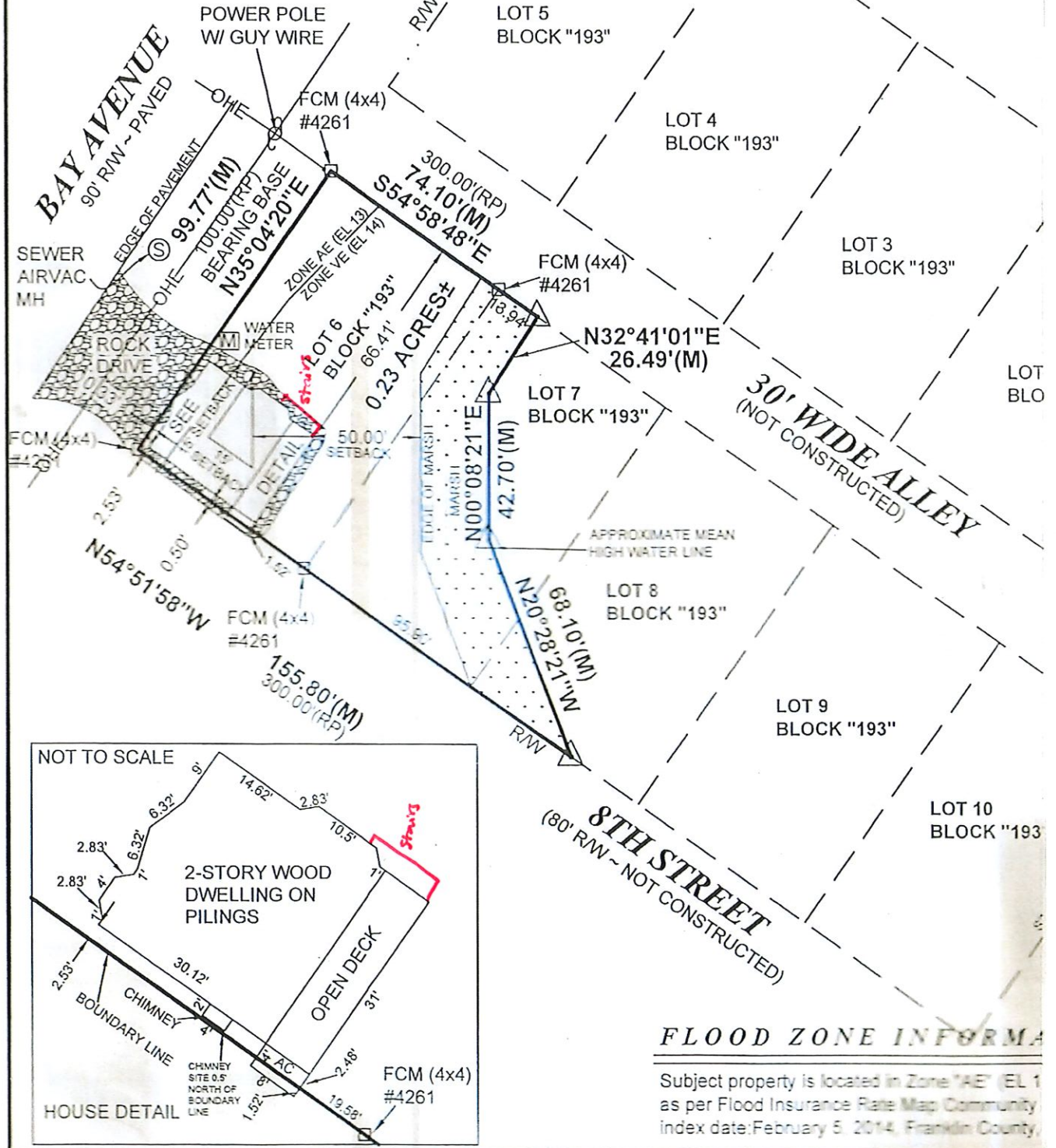
By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel numbers(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola to enter onto the property in question during regular business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 business days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the Planning & Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning & Zoning Board or staff in NO way constitutes approval of a Building Permit for Construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a Certificate of Appropriateness or Development Order application have to be approved by the P&Z Board before work commences on those changes. There will be no charge for revisions. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the P&Z Board may be appealed to the City Commission within 30 days after the decision by the P&Z Board; otherwise, the decision will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year after issuance. They are renewable for six months without cause if requested, and for an additional six months upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documents to City Staff, if needed.
9. I/We understand that P&Z Board approval is permission to obtain a permit for work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that there will be no issuance of a Certificate of Appropriateness without the property owner obtaining Homeowner's Association approval (if required) prior to the P&Z Board Meeting and/or before the beginning of an work and in no way authorizes work that is in violation of any association rules or regulations.

3/22/2024  
DATE

  
SIGNATURE OF APPLICANT

PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
PHIL SHELLEY

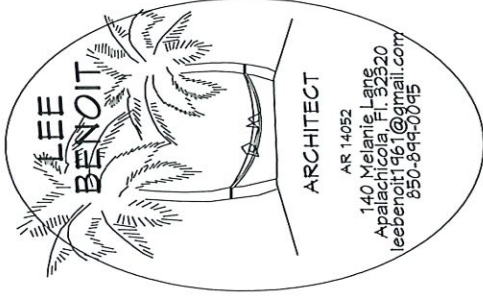


# SHELLEY RENOVATION

98 BAY AVENUE, APALACHICOLA, FL 32320

## DRAWING INDEX:

- A-1 GROUND FLOOR PLAN
- A-2 1ST FLOOR PLAN
- A-3 2ND FLOOR PLAN
- A-4 FRONT ELEVATION
- A-5 RIGHT ELEVATION
- A-6 REAR ELEVATION
- A-7 LEFT ELEVATION
- A-8 NEW FOUNDATION PLAN & STRUCTURAL SECTION
- A-9 ROOF PLAN



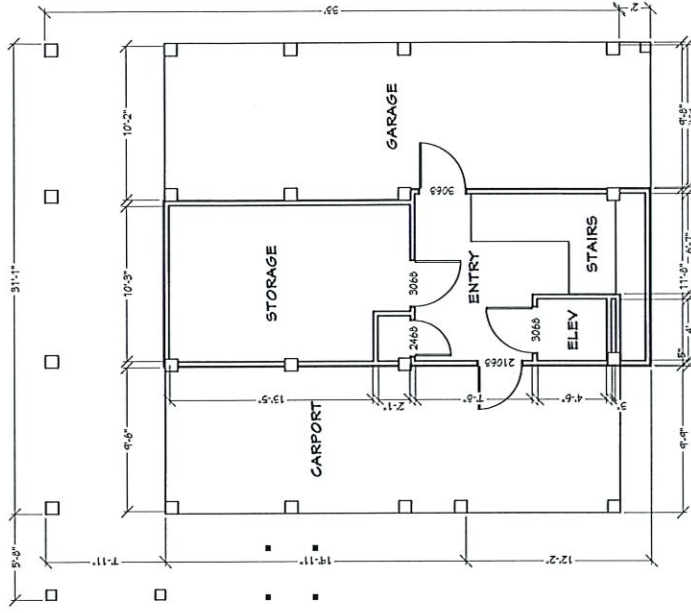
date	02/25/2024
rev	3
drawn	ZACH MARD

plans/renovation

PLANS CONFORM TO THE 2020 F.B.C.

## INFORMATION ON DRAWINGS AS PER 1606.1.1 FLORIDA BUILDING CODE

- 1 BASIC WIND SPEED: 140 MPH
- 2 WIND IMPORTANCE FACTOR: 1.0 / BUILDING CATEGORY: LOW RISE, HURRICANE PROTECTED
- 3 WIND EXPOSURE: C
- 4 APPLICABLE INTERNAL PRESSURE COEFFICIENT: +/- .55
- 5 COMPONENTS AND CLADDING DESIGN PRESSURE: 45 PSF

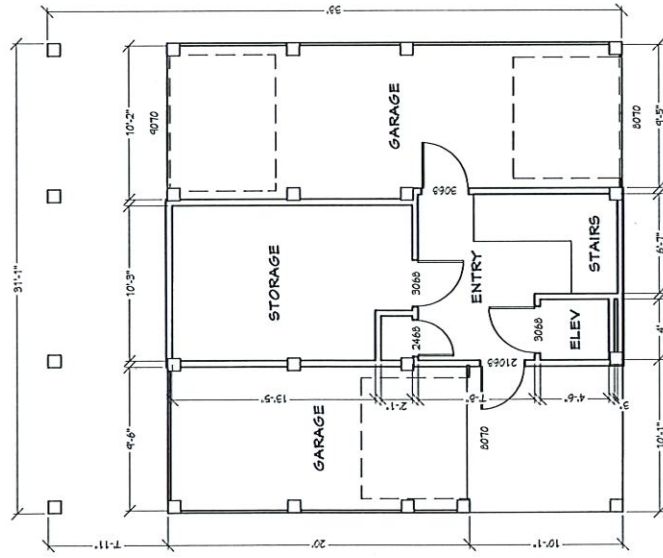


**NEW GROUND FLOOR PLAN**

184 sq ft ENTRY

1/8" = 1' (11"x11" @ 100%)

1/4" = 1' (24"x36" @ 200%)

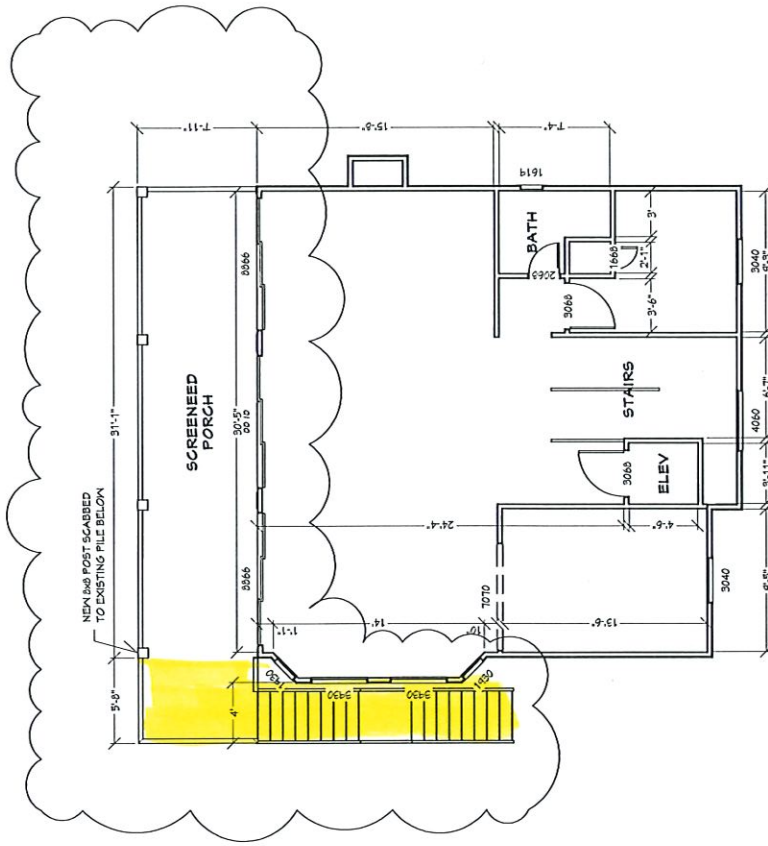


**CURRENT GROUND FLOOR PLAN**

160 sq ft ENTRY

1/8" = 1' (11"x11" @ 100%)

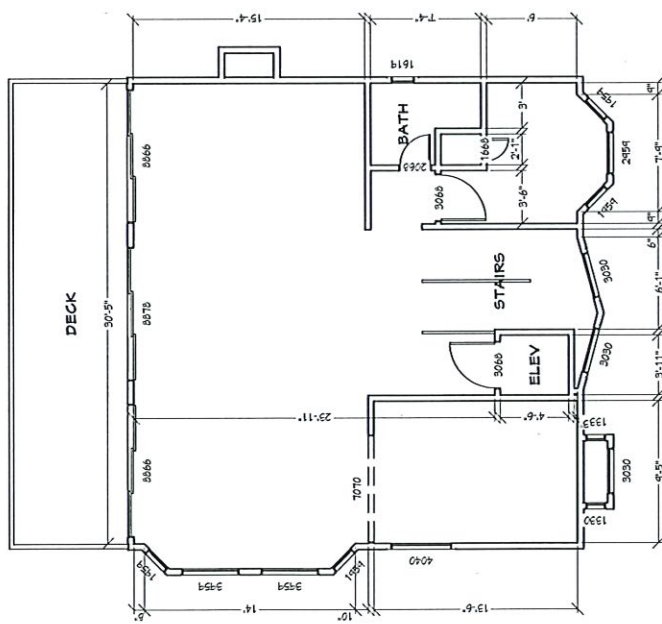
1/4" = 1' (24"x36" @ 200%)



**NEW 1ST FLOOR PLAN**

1/8" = 1' (11"x17" @ 100%)  
 1/4" = 1' (24"x36" @ 200%)

1,005 sq ft H&C



**CURRENT 1ST FLOOR PLAN**

1/8" = 1' (11"x17" @ 100%)  
 1/4" = 1' (24"x36" @ 200%)

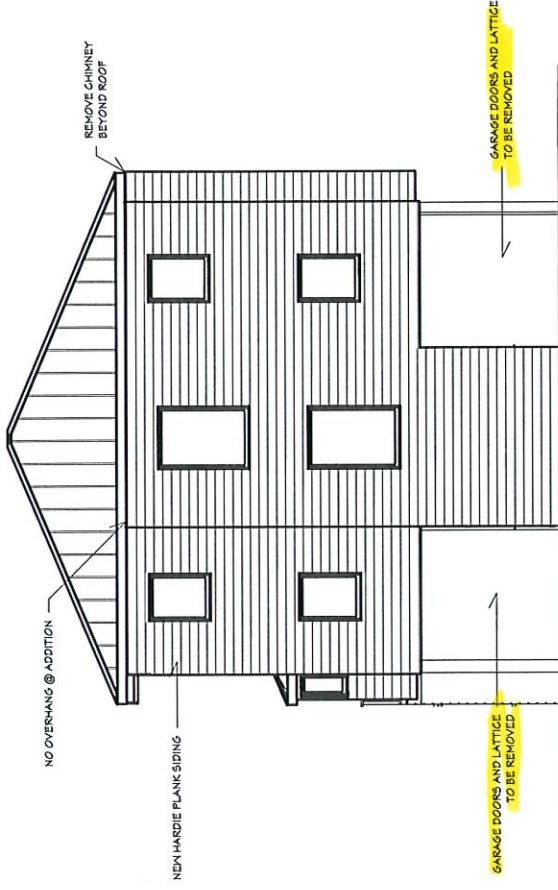
983 sq ft H&C





CURRENT FRONT ELEVATION

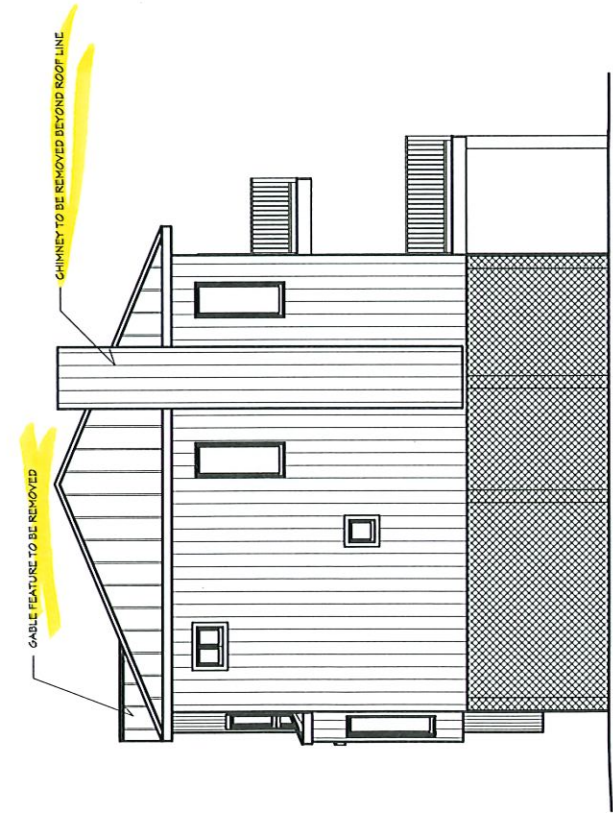
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 1/4" = 1' (24"x36" @ 200%)



NEW FRONT ELEVATION

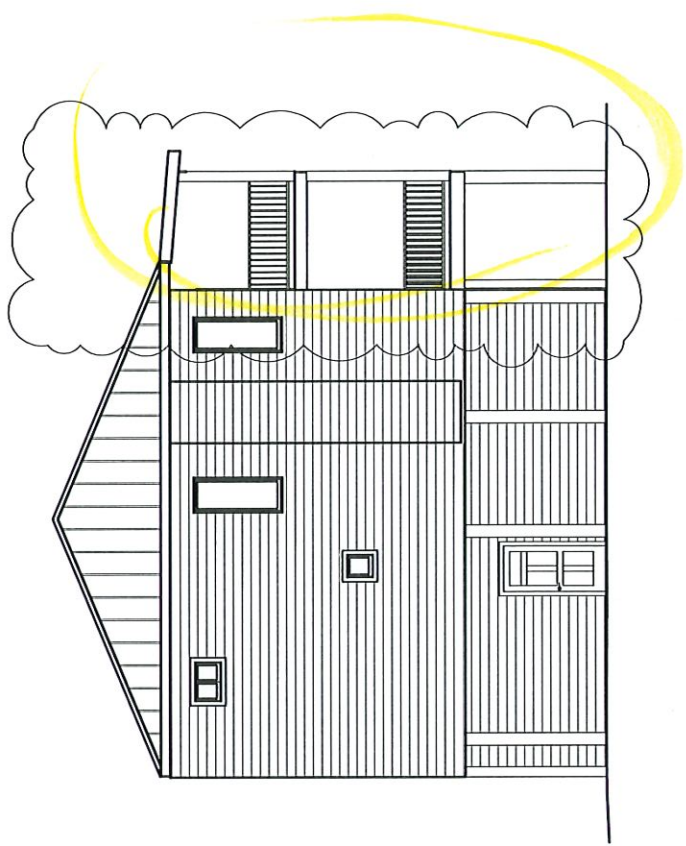
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 1/4" = 1' (24"x36" @ 200%)





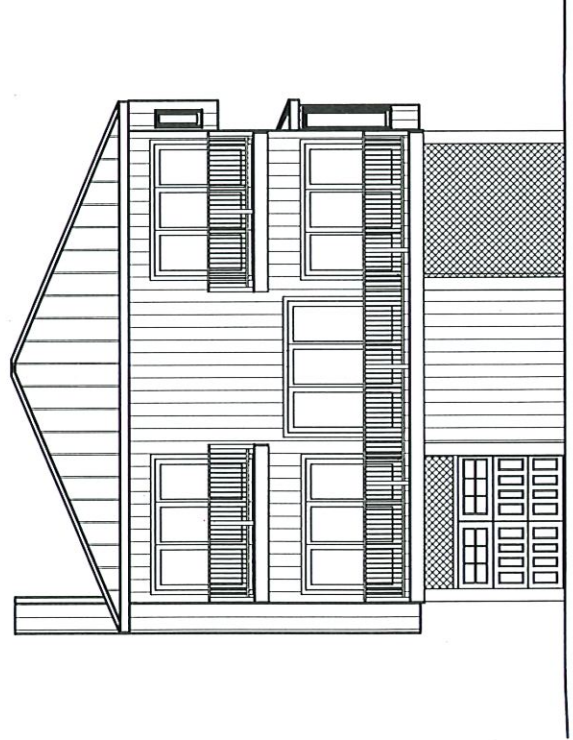
CURRENT RIGHT ELEVATION

1/8" = 1' (11"x17" @ 100%)  
 1/4" = 1' (24"x36" @ 200%)



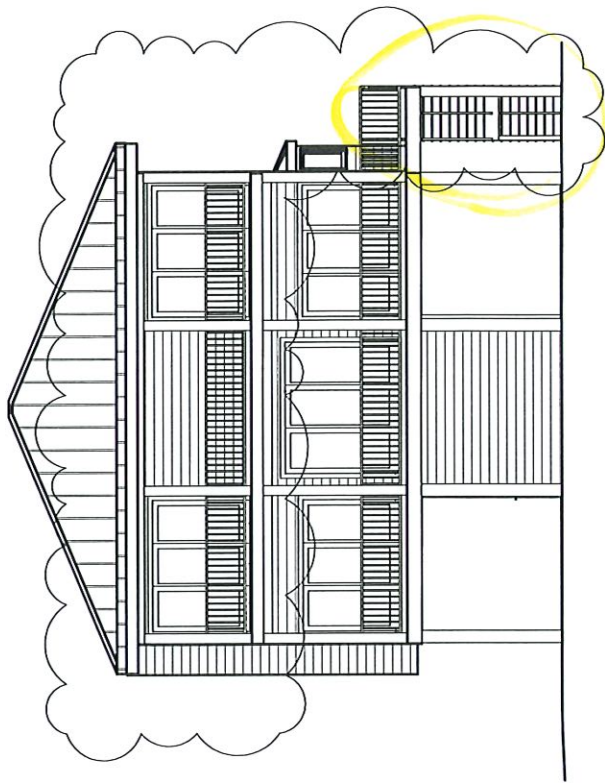
NEW RIGHT ELEVATION

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 1/4" = 1' (24"x36" @ 200%)



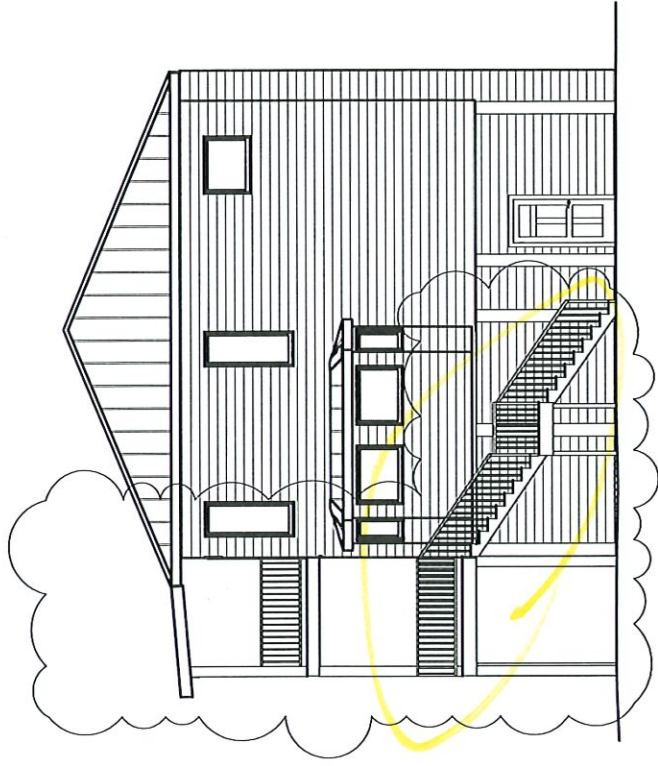
CURRENT REAR ELEVATION

1/8" = 1' (11"X17" @ 100%)  
1/4" = 1' (24"X36" @ 200%)



NEW REAR ELEVATION

1/8" = 1' (11"X17" @ 100%)  
1/4" = 1' (24"X36" @ 200%)



**NEW LEFT ELEVATION**

1/8" = 1' (11"x17" @ 100%)

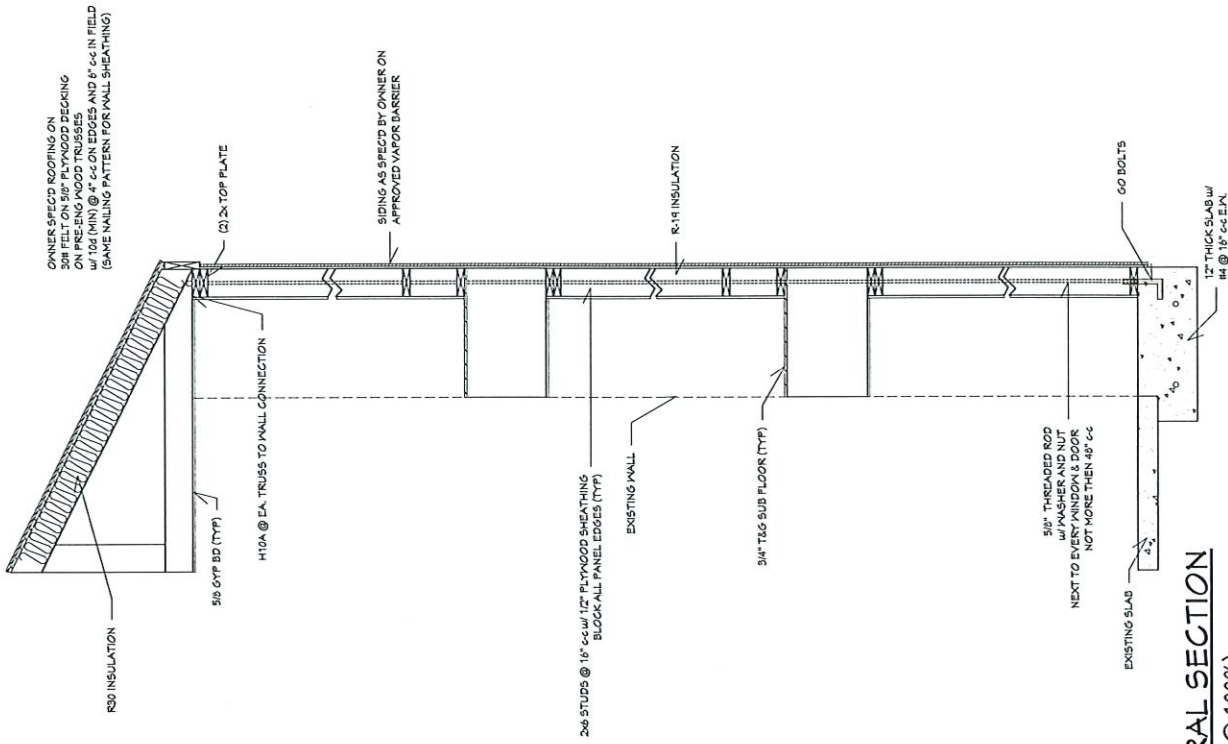
1/4" = 1' (24"x36" @ 200%)



**CURRENT LEFT ELEVATION**

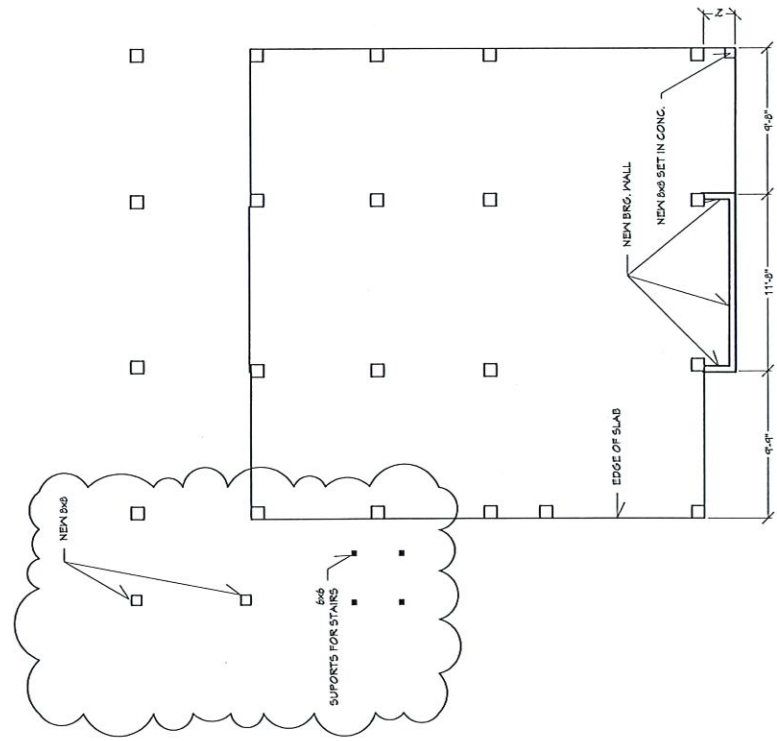
1/8" = 1' (11"x17" @ 100%)

1/4" = 1' (24"x36" @ 200%)



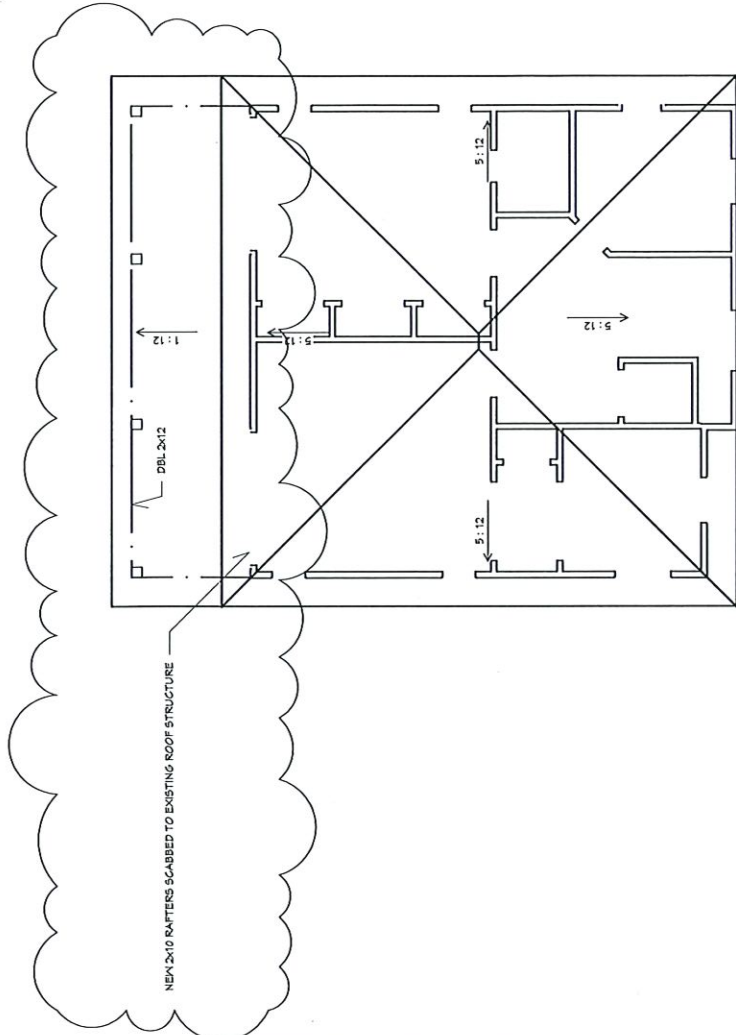
**STRUCTURAL SECTION**

1/8" = 1' (11"x17" @ 100%)  
 1/4" = 1' (24"x36" @ 200%)



**NEW FOUNDATION PLAN**

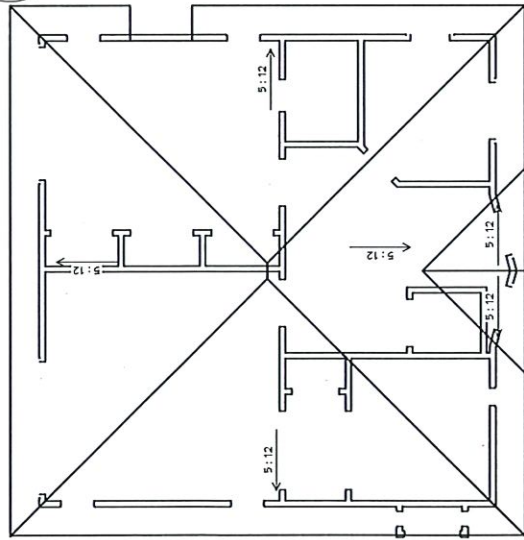
1/8" = 1' (11"x17" @ 100%)  
 1/4" = 1' (24"x36" @ 200%)



**NEW ROOF PLAN**

1/8" = 1' (11"x17" @ 100%)

1/4" = 1' (24"x36" @ 200%)



**CURRENT ROOF PLAN**

1/8" = 1' (11"x17" @ 100%)

1/4" = 1' (24"x36" @ 200%)



**COA + Signs**

**17 Ave D**



**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**  
 Date Received: 3/22/24  
 Meeting Date: 4/8/24  
 Fees Due: \$50.00  
 Date Fees Paid: 3/22/24

**OWNER INFORMATION**

Owner Apalachicola Oasis, LLC  
 Address 134 13th St  
 City Apalachicola State FL Zip 32320  
 Phone (850)

**CONTRACTOR INFORMATION**

Contractor Name Self  
 State License # \_\_\_\_\_ City License # \_\_\_\_\_  
 Email \_\_\_\_\_  
 Phone \_\_\_\_\_

**PROJECT TYPE**

- |  |  |
|--|--|
| <input type="checkbox"/> New Construction      | <input type="checkbox"/> Fence                                     |
| <input type="checkbox"/> Addition              | <input type="checkbox"/> Repair                                    |
| <input type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Variance                                  |
| <input type="checkbox"/> Relocation            | <input checked="" type="checkbox"/> Certificate of Appropriateness |
| <input type="checkbox"/> Demolition            | <input checked="" type="checkbox"/> Other <u>Sign</u>              |

**PROPERTY INFORMATION**

Street Address (911 Address): 17 Avenue D  
 City & State: Apalachicola, FL Zip: 32320  
 Parcel ID #: 01-095-08W-8330-00D1-0060 AND 0040 Block: D1E-2 Lot: 4,5,6,7,8,9  
 Zoning District: C-1 [] Historic District [ ] Non-Historic District  
 FEMA Flood Zone: AE-13

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required?  Y  N  
 Setback Requirements of Property:  
 Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: NA  
 Corner Lot?  Y  N Street Sides: \_\_\_\_\_  
 Lot Coverage:       

**STAFF NOTES/RECOMMENDATIONS:**

- meets LDC  
- needs C.o.A.

*This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.*

City Staff \_\_\_\_\_

Date Approved \_\_\_\_\_

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

CM  
 Applicant Initial

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Window graphic to replace current OCBC graphics on Ave D side attached with description  
 Winkercraft logo to replace current OCBC logo on top of Ave D side of building - Vinyl lettering.

Same on Commerce St side

All dimensions listed in description - attached

2 Dangle signs, one in front of door on Ave D side + one on Commerce side

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other	Must See	Vinyl lettering signs	

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3/22/24

DATE

  
SIGNATURE OF APPLICANT

## Owners, Builders, Developers

### PLEASE NOTE:

1. If the proposed development is located within the City's Historic District; a Certificate of Appropriateness from the City's Planning & Zoning Board and Architectural Review Committee is necessary before any permitting can take place.
2. Required site plan elements and the Development Order/Certificate of Appropriateness applications are due 10 BUSINESS DAYS prior to the scheduled monthly meeting (second Monday of each month) of the Planning & Zoning Board.
3. Residential site plan approvals are valid for one year after issuance. If a building permit is not obtained within a year after receiving P&Z approval, the applicant must re-apply and receive P&Z approval again. (Commercial site plan approvals are valid for two years.)
4. After you have received your Planning & Zoning Approval and/or Certificate of Appropriateness, whichever applies, take all development documents to the Building Department at 192 Coach Wagoner Blvd, Apalachicola to apply for your building permit. A P&Z Development Order Application is not a building permit application – there will be building permit forms to fill out. Building permit issuance and all inspections will be coordinated with the Building Department Clerk. Please be advised that additional documentation may be required by the Building Clerk or Building Official. Please email [buildingdept@cityofapalachicola.com](mailto:buildingdept@cityofapalachicola.com) or call City Hall at (850)653-7592 with any permitting questions.
5. Land Development regulations can be found on the City of Apalachicola website @ [www.cityofapalachicola.com](http://www.cityofapalachicola.com).
6. Please note that if any shrubs are planted or any materials (concrete, gravel, etc.) are placed in the City Right of Way that there is a possibility of removal at no expense to the City.

*It is our intent to save you time any money in your plan preparation! The City of Apalachicola Planning & Zoning Board is a seven-member citizen board that also sits as the City's Architectural Review Board. Our responsibilities include protecting the historical character of the City. By working with the Planning & Zoning Board to obtain a Certificate of Appropriateness, your development will not only proceed more smoothly, but will also enhance the City's architectural integrity and historical character of Apalachicola.*

Bree Robinson  
City Planner  
(850)323-0985  
[brobinson@cityofapalachicola.com](mailto:brobinson@cityofapalachicola.com)

Thank you,  
PLANNING & ZONING BOARD  
CITY OF APALACHICOLA

  
Applicant Initial

WATERCRAFT BREWING COMPANY SIGN PROPOSAL 17 Avenue D

Avenue D side, existing glass window 63.75 x 64.5"

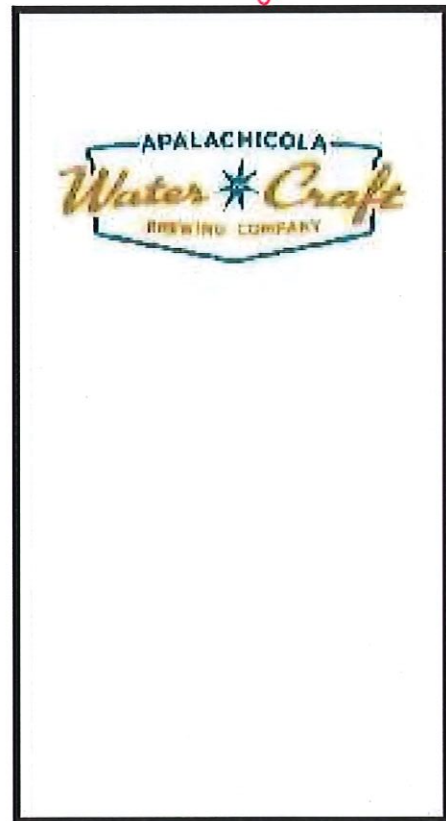
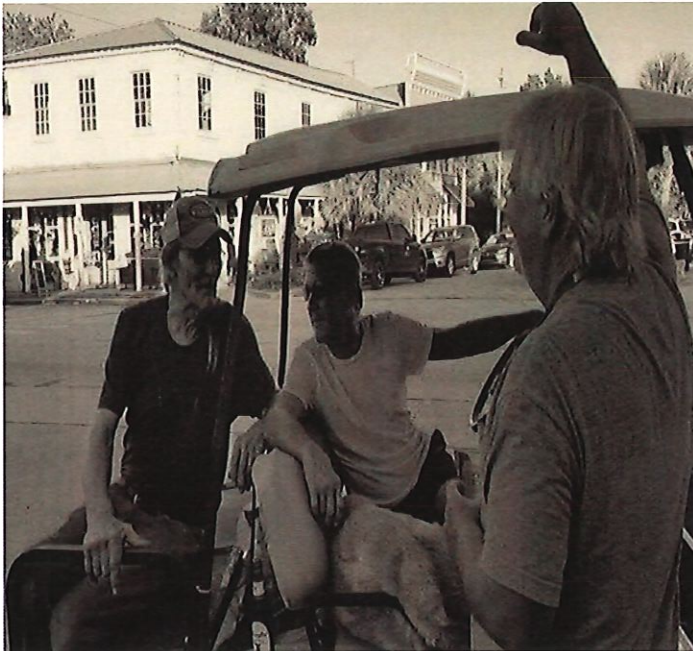
*not a sign, OK*

Replace current Oyster City with memorial photo of Stan, Dan, and Harry

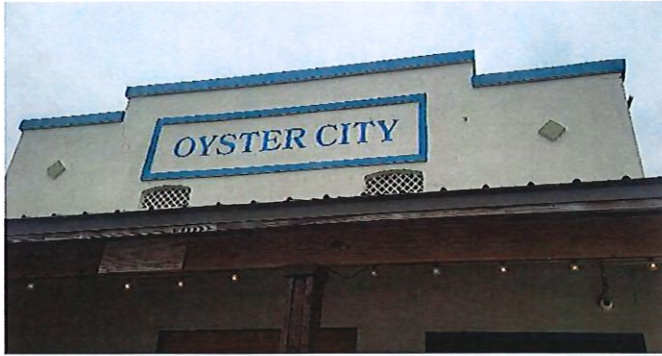
Avenue D side, glass door 30.5 x 76" Background color to match existing building façade color, logo  
26" x 12"

*= 2.17' x 1' = 2.17 SF door*

*door*



Ave D.



Commerce



Avenue D top façade, Commerce St top facade

Single letter VINYL signage, total width spanning 135". "W", starburst. "C" 18.67",

'BREWING COMPANY' 4.25"

"  
 $11.25' \times 1.6' = 17.5 \text{ SF}$

*OKW*

2 Dangle signs, printed front and back, one each on Avenue D and Commerce Street 36"x 16"



4 SF

OK ✓



**COA + Accessory Structure/Stormwater Best  
Management Practice**

**92 Ave E**



**City of Apalachicola Planning & Zoning**  
**Application for Development/Site Plan Approval**

**Official Use Only**

Date Received: 3/22/24  
 Meeting Date: 4/8/24  
 Fees Due: \$90.00  
 Date Fees Paid: 3/22/24

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner <u>KEVIN CURRY</u>	Contractor Name <u>TBD</u>
Address <u>1620 HAWTHORNE LANE</u>	State License # _____ City License # _____
City <u>EASTPOINT</u> State <u>FL</u> Zip <u>32328</u>	Email _____
Phone <u>(678) 592-6112</u>	Phone _____

**PROJECT TYPE**

<input type="checkbox"/> New Construction	<input type="checkbox"/> Fence
<input checked="" type="checkbox"/> Addition	<input type="checkbox"/> Repair
<input type="checkbox"/> Alteration/Renovation	<input checked="" type="checkbox"/> Certificate of Appropriateness
<input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> Other <u>PECKING, STEWARK</u>
<input type="checkbox"/> Demolition	<u>CARPORIT/STORAGE</u>
	<u>STORM WATER TREATMENT</u>

**PROPERTY INFORMATION**

Street Address (911 Address): 92 AVENUE E.  
 City & State: APALACHICOLA, FL Zip: 32320  
 Parcel ID #: 01-095-03W-8330-0030-0041 Block: 30 Lot: SW 4+5  
 Zoning District: O/R [  ] Historic District [  ] Non-Historic District  
 FEMA Flood Zone: X<sub>1</sub> AE

**OFFICIAL USE ONLY**

Certificate of Appropriateness Required? <u>Y</u> / N Setback Requirements of Property: Front: <u>15</u> Rear: <u>25</u> Side: <u>15/s'</u> Corner Lot? Y / <u>N</u> Street Sides: <u>10</u> Lot Coverage: <u>40% + 10% pervious decking</u> STAFF NOTES/RECOMMENDATIONS: <u>- O/R - accessory structures = special exception</u> <u>- if application is "approvable", could</u> <u>be on a contingency to get special</u> <u>exception.</u>	This development request has been approved for a Certificate of Appropriateness (if applicable), zoning, land use, and development review by the City of Apalachicola Planning & Zoning Board and a building permit is authorized to be issued.
City Staff _____	
Date Approved _____	

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC.) Please be aware that other documentation may be required by the Building Official.

\* Please review all supplemental docs. Plans are over lot coverage allocation, but this application calls the impervious surface coverage definition into question - see attached. Q's: Is this a true BMP? BMP's are exempt from impervious coverage reqs, but lot coverage? See attached!

KDC  
 Applicant Initial

\* Not approved as-is - would require storm treatment

Describe the proposed project and materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

STEELWORK TO INCLUDE LANDSCAPING, DECKING, STORM WATER CHAMBERS.

SECONDARY STRUCTURE TO INCLUDE A CARPORT AND ENCLOSED STORAGE SPACE

SITEWORK BY WE LOVE LAND, STUDIO, INC 850.370.0215

STRUCTURE BY ERC, LLC 850.323.1601

PROJECT SCOPE	MANUFACTURER	PRODUCT DESCRIPTION	FL PRODUCT APPROVAL #
---------------	--------------	---------------------	-----------------------

Siding	BOARD AND BATTEN	HARDY PANEL	
--------	------------------	-------------	--

Doors	4-0 x 7-0		
-------	-----------	--	--

Windows	TRANSOM - ANDERSON	COASTAL IMPACT	
---------	--------------------	----------------	--

Roofing	STANDING SEAM,	STEEL/GALVANIZED	
---------	----------------	------------------	--

Trim	HARDY 1"x4"		
------	-------------	--	--

Foundation	CMU ON CONC.	FOOTING	
------------	--------------	---------	--

Shutters			
----------	--	--	--

Porch/Deck	COMPOSITE	DECKING	
------------	-----------	---------	--

Fencing			
---------	--	--	--

Driveways/Sidewalks	GRAVEL,	DECKING	
---------------------	---------	---------	--

Other	NDS	STORM CHAMBER	
-------	-----	---------------	--

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March 21, 2024  
DATE

  
SIGNATURE OF APPLICANT

## Owners, Builders, Developers

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1. If the proposed development is located within the City's Historic District; a Certificate of Appropriateness from the City's Planning & Zoning Board and Architectural Review Committee is necessary before any permitting can take place.
2. Required site plan elements and the Development Order/Certificate of Appropriateness applications are due 10 BUSINESS DAYS prior to the scheduled monthly meeting (second Monday of each month) of the Planning & Zoning Board.
3. Residential site plan approvals are valid for one year after issuance. If a building permit is not obtained within a year after receiving P&Z approval, the applicant must re-apply and receive P&Z approval again. (Commercial site plan approvals are valid for two years.)
4. After you have received your Planning & Zoning Approval and/or Certificate of Appropriateness, whichever applies, take all development documents to the Building Department at 192 Coach Wagoner Blvd, Apalachicola to apply for your building permit. A P&Z Development Order Application is not a building permit application – there will be building permit forms to fill out. Building permit issuance and all inspections will be coordinated with the Building Department Clerk. Please be advised that additional documentation may be required by the Building Clerk or Building Official. Please email [buildingdept@cityofapalachicola.com](mailto:buildingdept@cityofapalachicola.com) or call City Hall at (850)653-7592 with any permitting questions.
5. Land Development regulations can be found on the City of Apalachicola website @ [www.cityofapalachicola.com](http://www.cityofapalachicola.com).
6. Please note that if any shrubs are planted or any materials (concrete, gravel, etc.) are placed in the City Right of Way that there is a possibility of removal at no expense to the City.

*It is our intent to save you time any money in your plan preparation! The City of Apalachicola Planning & Zoning Board is a seven-member citizen board that also sits as the City's Architectural Review Board. Our responsibilities include protecting the historical character of the City. By working with the Planning & Zoning Board to obtain a Certificate of Appropriateness, your development will not only proceed more smoothly, but will also enhance the City's architectural integrity and historical character of Apalachicola.*

**Bree Robinson**  
City Planner  
(850)323-0985  
[brobinson@cityofapalachicola.com](mailto:brobinson@cityofapalachicola.com)

Thank you,  
PLANNING & ZONING BOARD  
CITY OF APALACHICOLA

  
Applicant Initial



## PROJECT INTRODUCTION:

*Curry Residence | 92 Avenue E Apalachicola, FL 32320*

Mr. & Mrs. Curry are new homeowners in Apalachicola. The current site has a very high lot coverage rate due to the previous owner's expansions and activity. They are requesting a simple structural carport for their car to protect it from the elements and enclosed shed. They would like to achieve this goal in the most ecologically responsible way possible while addressing the current nonconforming, impervious lot coverage.

*Project goals:*

- + reduce impervious lot coverage within acceptable municipal requirements
- + address current drainage issues on site
- + improve storm water quality and overall site runoff
- + improve usable outdoor space
- + add native and naturalized planting

*Additional concerns for this site:*

- current impervious lot coverage is approximately 48%
- drainage issues
- water pooling on site and overflowing off site at east corner
- existing impervious stone patio is set on compacted soil and gravel
- invasive plant species removal

Standard Apalachicola best management practices as outlined in the 'City of Apalachicola Guide to Specific Storm water Best Management Practices' highlight the use of detention ponds and vegetated swales. These traditional methods are not always applicable on a small residential scale- and are not applicable to this current site.

## PROPOSAL:

*Please review landscape plans (by We Love Land Studio, Inc) and architecture plans (by ERC Construction, llc.) to follow.*

*Introduction to the site specific underground storm water infiltration system included in plans:*

We are proposing a storm water infiltration system that will capture the storm water from the proposed carport/shed, clean it, store it, and allow it to infiltrate back into the soil on site to recharge the groundwater aquifer. This system, when installed, will improve water quality and reduce runoff. Since the existing site is sloped, stormwater runoff are increased. We can capture and treat more water with the structure in place than without. **It will also take pressure off of the city's current storm water system and reduce the outflow of water volume, and pollutants, to the surrounding waterways.** This system benefits everyone; the homeowner, the city, and the bay.

*\*A note to the board:* The proposed system is considered a storm water best management practice throughout the country and in environmentally delicate areas adjacent to waterways here in Florida. (Please see attached NDS case study with design packet.) We believe the city can benefit tremendously through the responsible use of this practice. Whether implemented to retrofit existing sites, or utilized with new construction, it has the ability to retain, treat, and infiltrate the storm water produced on most sites.

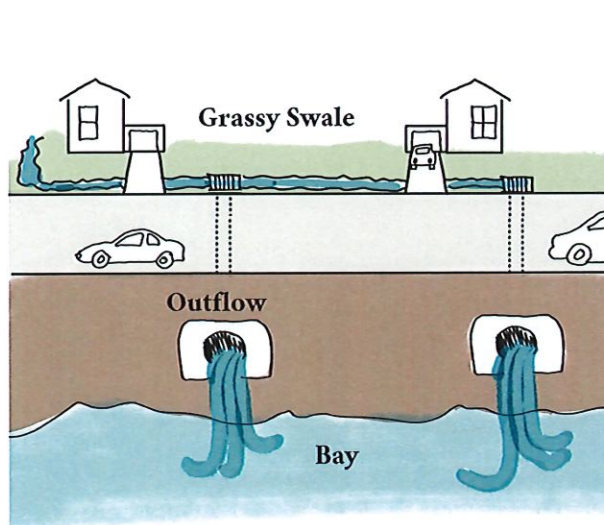
*"Of primary importance to minimizing the effects of stormwater on water quality is the First Flush. This term describes the washing action that stormwater has on accumulated pollutants in a watershed. In the early stages of runoff the land surfaces, especially the impervious surfaces like streets and parking areas, are flushed clean by the stormwater. This creates a shock load of pollutants that are flushed into the nearby coastal waters.*

*Studies in Florida have determined that the first one inch of runoff generally carries 90% of the pollution from a storm. Treatment of the first flush is the key to proper stormwater management." - City of Apalachicola 'Guide to Site Specific Stormwater Best Management Practices' - Page 4*

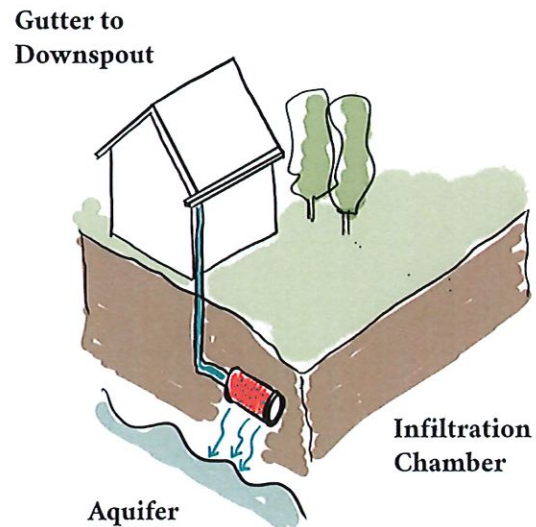
Not only does this system most effectively treat the 'first flush', it gives residents more flexibility within their property while simultaneously reducing the strain on the current city storm water drainage system and will reduce the contaminants entering the bay. Our goal with this document is to illustrate the benefits of the proposed system, so the city can find a responsible way to include it in the future overall city strategy of stormwater best management practices.

Thank you for your time and consideration.

#### SYSTEMS COMPARISON:



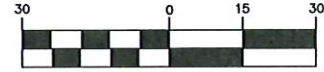
*Current stormwater trajectory flows mostly above ground, or in pipes throughout the city, before being expelled into the waterways. This process puts a majority of the 'first flush' directly into the bay. A small portion of this water recharges the aquifer through infiltration.*



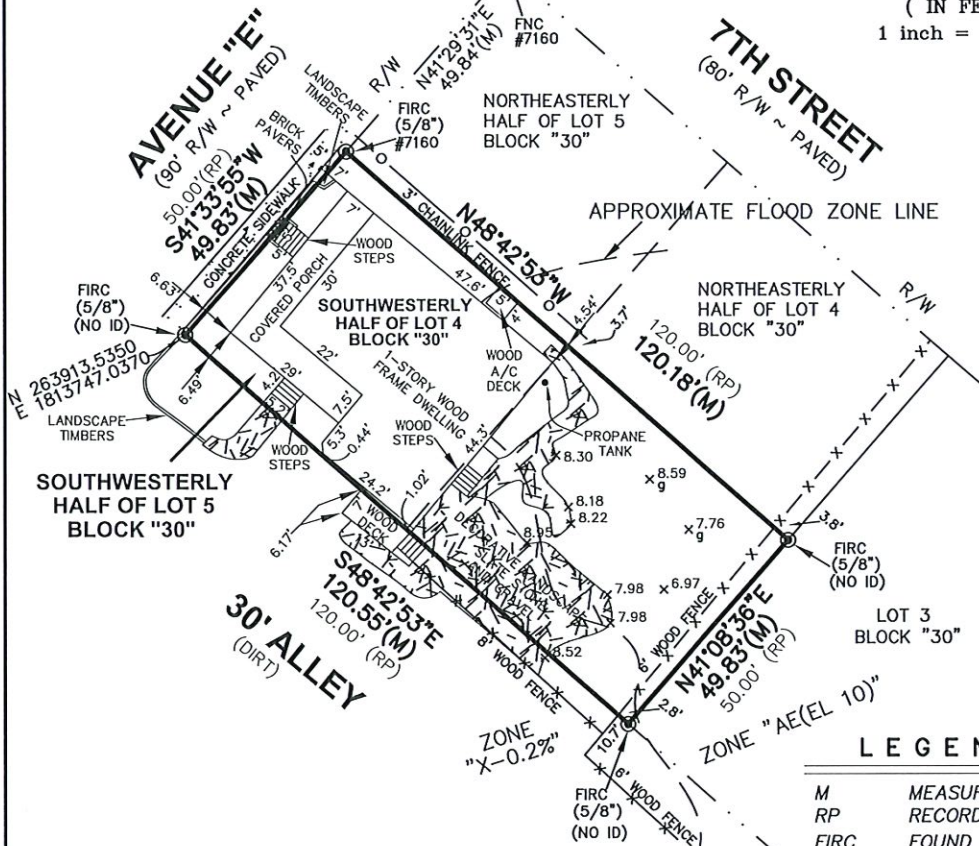
*Underground infiltration chamber storm water system captures the water and treats the 'first flush' naturally before recharging the aquifer localized and on-site.*

PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
 KEVIN CURRY and KAREN CURRY,  
 DONNA DUNCAN, P.A.,  
 CHICAGO TITLE INSURANCE COMPANY

GRAPHIC SCALE



( IN FEET )  
 1 inch = 30 ft.



**LEGAL DESCRIPTION:**

Southwesterly half of Lots 4 and 5, Block "30" of the CITY OF APALACHICOLA, as per map or plat in common use on file at the Clerk of the Circuit Court in Franklin County, Florida

**NOTES:**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: ALL BEARINGS established using Florida Grid North datum.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

**FLOOD ZONE INFORMATION:**

Subject property is located in Zone "X-0.2%" and "AE (EL 10)" as per Flood Insurance Rate Map Community Panel No: 120089 0526F, index date: February 05, 2014, Franklin County, Florida.

**LEGEND**

M	MEASURED
RP	RECORD PLAT
FIRC	FOUND IRON ROD AND CAP
FNC	FOUND NAIL & CAP
SIRC	SET (5/8") IRON ROD AND CAP #7160
R/W	RIGHT-OF-WAY
—	NOT TO SCALE
△	POINT NOT SET OR FOUND

JAMES T. RODDENBERRY  
 Surveyor and Mapper  
 Florida Certificate No: 4261



**THURMAN RODDENBERRY & ASSOCIATES, INC**

PROFESSIONAL SURVEYORS AND MAPPERS  
 P.O. BOX 100 • 125 SHELTON STREET • SOPCHOPPY, FLORIDA 32358  
 PHONE NUMBER: 850-952-2338 FAX NUMBER: 850-952-1103  
 LB # 7160

DATE: 02/14/24	DRAWN BY: BB	N.B.682 PG.17	COUNTY: FRANKLIN
FILE: 05430.DWG	DATE OF LAST FIELD WORK: 02/13/24	CHECKED BY: AW	JOB NUMBER: 05-430

## Case Study

## NDS StormChamber™ System

### TRANSFORMING A SURFACE POND INTO USABLE LAND WITH UNDERGROUND CHAMBER SYSTEM

An existing single-family residence nestled on a beautiful waterfront property on the Ponce Inlet in Florida was going through a remodel and expansion. County regulations required new stormwater storage – primarily roof and hardscape drainage.

The contractor reached out to NDS to determine the best possible drainage solution for the homeowner, who wanted a system that was aesthetically pleasing and would complement the landscape and atmosphere of the yard. They didn't want a retention pond and were hoping for more usable green space.

An NDS representative was able to visit the jobsite and helped confirm an underground stormchamber solution would be ideal.

#### NDS STORMCHAMBER™ SIZE PERFECT FOR RESIDENCE

One of the NDS StormChamber sizes is an 18 in. version. It is often the go-to solution for small residential applications since it's ideal for depth restrictions.

After assessing the site's exact needs, NDS Design Worx® services developed a StormChamber system layout, which married up to the overall site plan for the property. The placement of approximately 4 rows of 18 in. high chambers would need to be placed for a total of 1,300 cubic ft. of water storage capability.

Stormchambers are great for residential applications since they are a cost-effective way to store and infiltrate water. It's a simpler installation and less expensive than other types of underground stormwater management systems because it has no header pipe manifold to contend with, which is often required on competitive systems.



NDS StormChamber units are manufactured from thermoformed high-density weight polyethylene (HMWPE), provide a 100-year life expectancy and can handle H-20 loads.

#### DESIGN WORX SERVICES A BENEFIT DURING INSTALLATION

A pro-con meeting was held with the team to review the steps and make sure that the install would go well. An NDS rep was also on hand during construction of the new subsurface pond. Even with minor challenges related to excavating sandy soil, the contractor reported the installation was "quick and clean," and completed on schedule in less than two weeks.

This new underground system not only performs well during storms but has provided the homeowner with more usable green space in their backyard.

### PROJECT SUMMARY

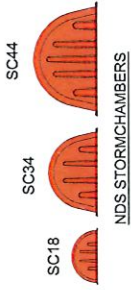
<b>PROJECT TYPE</b> Infiltration	<b>PROPERTY</b> Residence
-------------------------------------	------------------------------

**STAKEHOLDERS**  
SiteOne  
Mills Design Group  
Tom Anthony Construction

**NDS PRODUCTS USED**  
StormChamber™ system units: (5) SC-1820-S-O,  
(19) SC-1820-M-O, (5) SC-1820-E-O, (2) SC-WFF-75

#### NDS Design Worx Services Utilized:

1. Product specification
2. Drainage calculation
3. System layout
4. Installation instructions



92 AVENUE E  
APALACHICOLA, FL

### NDS STORMCHAMBER SYSTEM SPECIFICATIONS

1. CHAMBERS SHALL BE NDS STORMCHAMBER.
2. CHAMBERS SHALL BE ARCH SHAPED AND SHALL BE MANUFACTURED FROM HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE.
3. CHAMBERS MEET OR EXCEED ASTM F2922 AND ASTM F2787. MEET AASHTO HS-20, HS-25 AND HL-93 LIVE LOADING PER AASHTO LRFD SECTION 12.
4. MANUFACTURED NOMINAL DIMENSIONS OF START, MIDDLE AND END CHAMBERS
  - SC18 3.17 FT WIDE X 18 INCHES TALL
  - SC34 5 FT WIDE X 34 INCHES TALL
  - SC44 6.35 FT WIDE X 44 INCHES TALL
5. MINIMUM COVER FOR SC18 AND SC34 IS 18 INCHES, MINIMUM COVER FOR SC44 IS 22 INCHES.
6. SEDIMENTTRAP MANUFACTURED WITH HIGH MOLECULAR WEIGHT, HIGH DENSITY POLYETHYLENE.
7. NON-WOVEN POLYPROPYLENE FILTER FABRIC TMG-4OZ/NWG BY TMOG OR APPROVED EQUAL
8. WOVEN POLYPROPYLENE FILTER FABRIC 300HTM BY WINFAB OR APPROVED EQUAL.
9. THE PERFORMANCE OF NDS STORMCHAMBER™ IS DIRECTLY CORRELATED TO THE LOAD BEARING CAPACITY, PLASTICITY, AND PERMEABILITY OF NATIVE SOIL; FROST-HEAVE POTENTIAL; VOLUME AND LOAD-RATING OF PROJECT TRAFFIC; INSTALLATION METHODS USED; AS WELL AS THE TYPE, GRADATION, AND THICKNESS OF THE SURROUNDING AND OVERLAY ROCK.

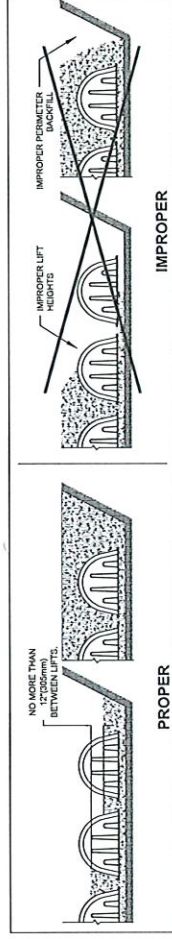
### REQUIREMENTS FOR CONSTRUCTION EQUIPMENT

1. NDS RECOMMENDS 3 BACKFILL METHODS. STONESHOOTER LOCATED OFF THE CHAMBER BED, BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE AND BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR. CONVEYORS OR EXCAVATORS SHOULD BE LOCATED SUCH THAT THEIR LOADS DO NOT INFLUENCE THE CHAMBERS SHOULD BE USED TO PLACE BACKFILL STONE.
2. NO CONSTRUCTION EQUIPMENT ALLOWED ON TOP OF THE CHAMBER SYSTEM UNTIL MINIMUM STONE COVER REQUIREMENTS HAVE BEEN MET, 6-INCH FOR SC-18 AND SC-34 AND 12-INCH FOR SC-44, ONLY THEN SHOULD A SKID STEER OR SMALL DOZER (D4) BE ALLOWED ON TOP.
3. NO WHEEL LOADS SHOULD BE APPLIED OVER THE SYSTEM, ONCE THE MINIMUM STONE HAS BEEN PLACED OVER THE CROWN OF THE CHAMBERS, ONLY SMALL WALK BEHIND VIBRATORY COMPACTION EQUIPMENT CAN BE USED UNTIL A 12 INCHES OF COVER IS ACHIEVED, LIGHTWEIGHT TRACKED DOZERS WITH A MAXIMUM GROUND PRESSURE OF 1100 PSF ARE PERMITTED OVER THE STRUCTURE.
4. DOZERS MUST SPREAD STONE WORKING IN A DIRECTION PARALLEL WITH THE CHAMBER ROWS; NOT WORKING ACROSS THE CHAMBER ROWS. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMCHAMBER STANDARD WARRANTY.
5. ONCE 18"(457mm) OF COMPACTED MATERIAL IS OVER THE CHAMBERS, HIGHWAY VEHICLES OF HS-20 AND HS-25 CAN BE OPERATED OVER THE STRUCTURES.
6. A FRONT END LOADER CAN BE OPERATED OVER THE STRUCTURES AS LONG AS THE MAXIMUM WHEEL LOAD DOES NOT EXCEED 16000 POUNDS. COMPACTION EQUIPMENT CAN BE OPERATED OVER THE STRUCTURES AS LONG AS THE DYNAMIC FORCE FROM THE DRUM DOES NOT EXCEED 20000 POUNDS AND THE GROSS VEHICLE WEIGHT DOES NOT EXCEED 12000 POUNDS.

### BACKFILL, HANDLING AND INSTALLATION REQUIREMENTS

1. THIS DOCUMENT IS NOT A SUBSTITUTE FOR THE INSTALLATION GUIDE.
2. STORMCHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE NDS STORMCHAMBER INSTALLATION GUIDE.
3. STORMCHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS. CONTACT NDS SPECIALIST 571-521-9538 OR LOCAL REPRESENTATIVE.
4. IN HOT WEATHER CONDITIONS, IF POSSIBLE, STORE ALL CHAMBERS AND BACKFILL STONE IN A SHADED AREA UNTIL THEY ARE READY TO BE INSTALLED. OUR RECOMMENDATION IS THAT THE SYSTEM BE LAID OUT AND ALL PIPES CONNECTED THE DAY PRIOR TO BACKFILLING WITH STONE. WHEN TEMPERATURES ARE ABOVE 85°F, BACKFILLING SHOULD BE RESTRICTED TO COOLER MORNING PERIODS ONLY.
5. 3/4" TO 2" CLEAN, CRUSHED, WASHED, ANGULAR STONE AASHTO M43 DESIGNATION OF #3 OR #4 OR CRUSHED CONCRETE OF THE SAME SIZE. SEE ACCEPTABLE FILL MATERIAL TABLE ON PAGE 3.
6. FOOTING OF CHAMBERS SHOULD BE CONNECTED WITH A DRYWALL SCREW WHEN OVERLAPPING AND INSTALLING.
7. MINIMUM SPACING BETWEEN THE CHAMBER ROWS SC18 & SC34 = 6 INCHES, SC44 = 9 INCHES.
8. INLET, OUTLET, AND INSPECTION PIPES MUST BE INSERTED A MINIMUM OF 12 INCHES (300 mm) INTO CHAMBER.
9. STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
10. PLACE THE BACKFILL MATERIAL IN 6-8 INCH LOOSE LIFTS AND COMPACT. USE MECHANICAL HAND TAMPERS OR APPROVED COMPACTION EQUIPMENT TO COMPACT ALL BACKFILL AND EMBANKMENT IMMEDIATELY ADJACENT TO EACH SIDE OF THE INSTALLATION AND OVER TOP OF THE INSTALLATION TO THE MINIMUM DEPTH SPECIFIED.
11. PLACE BACKFILL SO THERE IS NO MORE THAN A TWO LIFT DIFFERENTIAL BETWEEN ANY OF THE CHAMBERS AT ANYTIME DURING THE BACKFILLING PROCESS (12 INCHES).
12. PERIMETER STONE MUST BE BROUGHT UP EVENLY WITH CHAMBER ROWS. PERIMETER MUST BE FULLY BACKFILLED WITH STONE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL.

### BACKFILL METHODS



PROJECT NAME : 92 AVENUE E  
PROJECT LOCATION : APALACHICOLA, FL

PROJECT # 4691 - 4692

DATE: 2/19/2024  
DRAWN BY: ARH

REVISION: JAR/2024



NDS STORMCHAMBER SYSTEM DETAILS  
NDS SPECIALIST: 571-521-9538







# AVENUE "E" / HWY 98

(90' R/W -PAVED)

EXISTING IMPERVIOUS  
AREA CALCULATIONS:  
SOUTHWESTERLY HALF OF LOTS 4&5 BLOCK "30"

A. 1 STORY FRAME DWELLING,  
PORCHES & STAIRS -  
2,220 SF | 37%

DECORATIVE SLATE STONE -

B. 634.79 SF | 10.58%

C. 14.97 SF | 00.25%

TOTAL DECORATIVE SLATE STONE AREA :  
649.76 SF | 10.83%

TOTAL EXISTING IMPERVIOUS AREA:  
2,869.76 SF | 47.83%

EXISTING IMPERVIOUS AREA TO BE REMOVED:  
649.76 SF | 10.83% (AREAS B & C)

EXISTING DECK AREA:

D1+D2+D3+D4 = 97.82 SF | 1.63% (10% MAX.)

\*ALL EXISTING DECK WILL BE INSPECTED  
AND ADJUSTED (IF NECESSARY) TO  
HAVE A 1/8" GAP BETWEEN BOARDS

TOTAL IMPERVIOUS AREA TO REMAIN:  
2,220 SF | 37%

DECK AREA LOCATED IN CITY R.O.W. :

D5 WOODEN PORCH & STAIRS  
89.66 SF

\*AREA E-2 IS DECK & PART OF A  
HISTORIC STRUCTURE

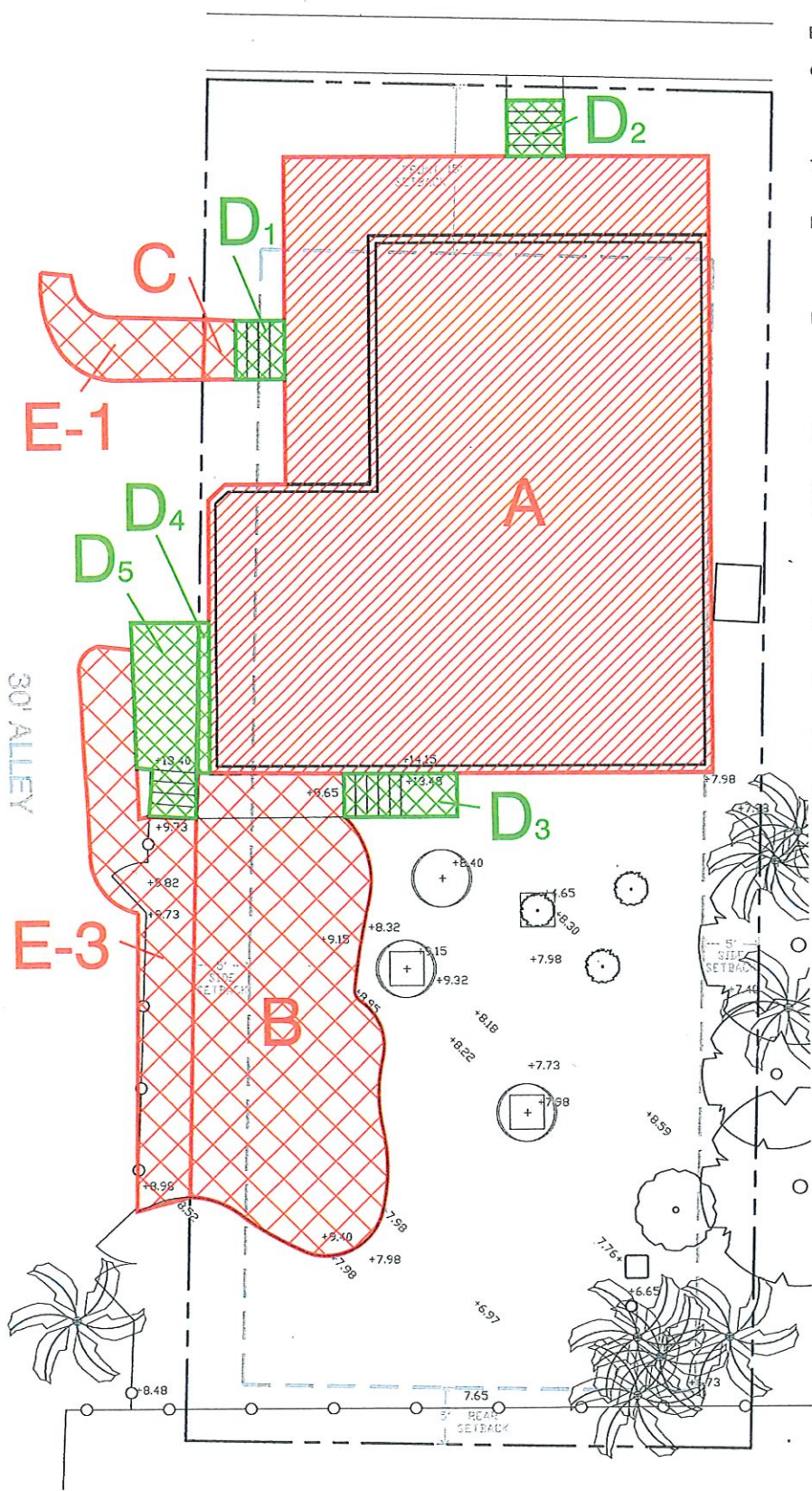
IMPERVIOUS AREAS IN CITY R.O.W.:

E-1 DECORATIVE STONE PATH  
81.2 SF

E-2 DECORATIVE STONE PAVING  
265 SF

TOTAL EXISTING IMPERVIOUS AREA IN R.O.W. :  
346.2 SF

TOTAL EXISTING IMPERVIOUS AREA IN R.O.W.  
TO BE REMOVED: (E-1 & E-3)  
346.2 SF



\*TOTAL PROPERTY AREA LOT CALCULATIONS:  
BLOCK 30 SOUTHWESTERLY HALF OF LOTS 4&5  
APPX. 50' x 120' = 6,000 SF

TOTAL AREA = 6,000 SF



# AVENUE "E" / HWY 98

(90' R/W --PAVED)

IMPERVIOUS AREA CALCULATIONS:  
SOUTHWESTERLY HALF OF LOTS 4&5 BLOCK "30"

- A. 1 STORY FRAME DWELLING,  
PORCHES & STAIRS -  
2,220 SF | 37%

**TOTAL APPROXIMATE EXISTING IMPERVIOUS  
AREA TO REMAIN:**  
2,220 SF or 37%

PROPOSED IMPERVIOUS AREA CALCULATIONS:

EXISTING DECK AREA:

$D1+D2+D3+D4 = 97.82$  SF | 1.63%

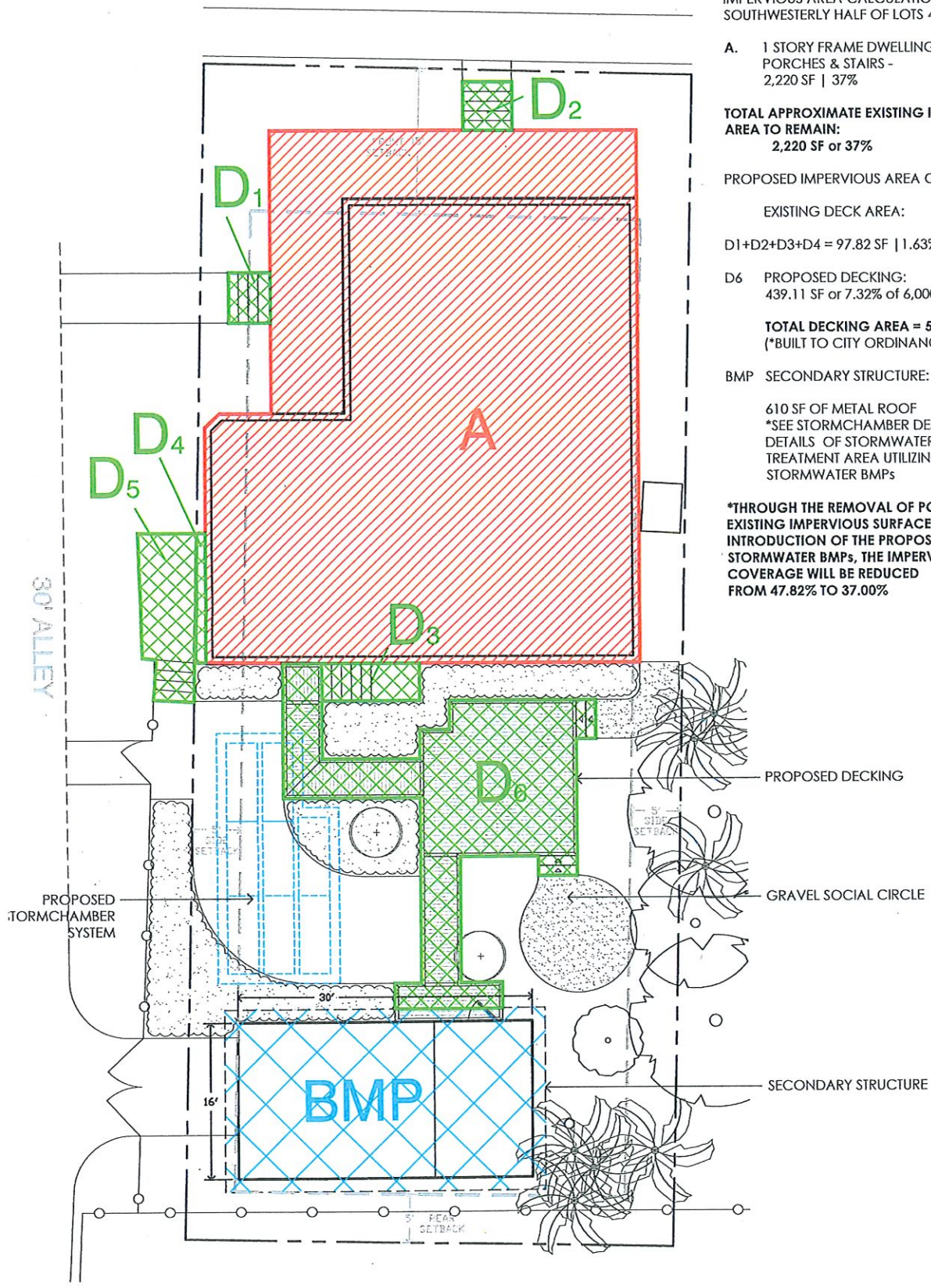
D6 PROPOSED DECKING:  
439.11 SF or 7.32% of 6,000 SF

**TOTAL DECKING AREA = 536.93 | 9%**  
(\*BUILT TO CITY ORDINANCE 23-05)

BMP SECONDARY STRUCTURE:

610 SF OF METAL ROOF  
\*SEE STORMCHAMBER DESIGN FOR  
DETAILS OF STORMWATER  
TREATMENT AREA UTILIZING  
STORMWATER BMPs

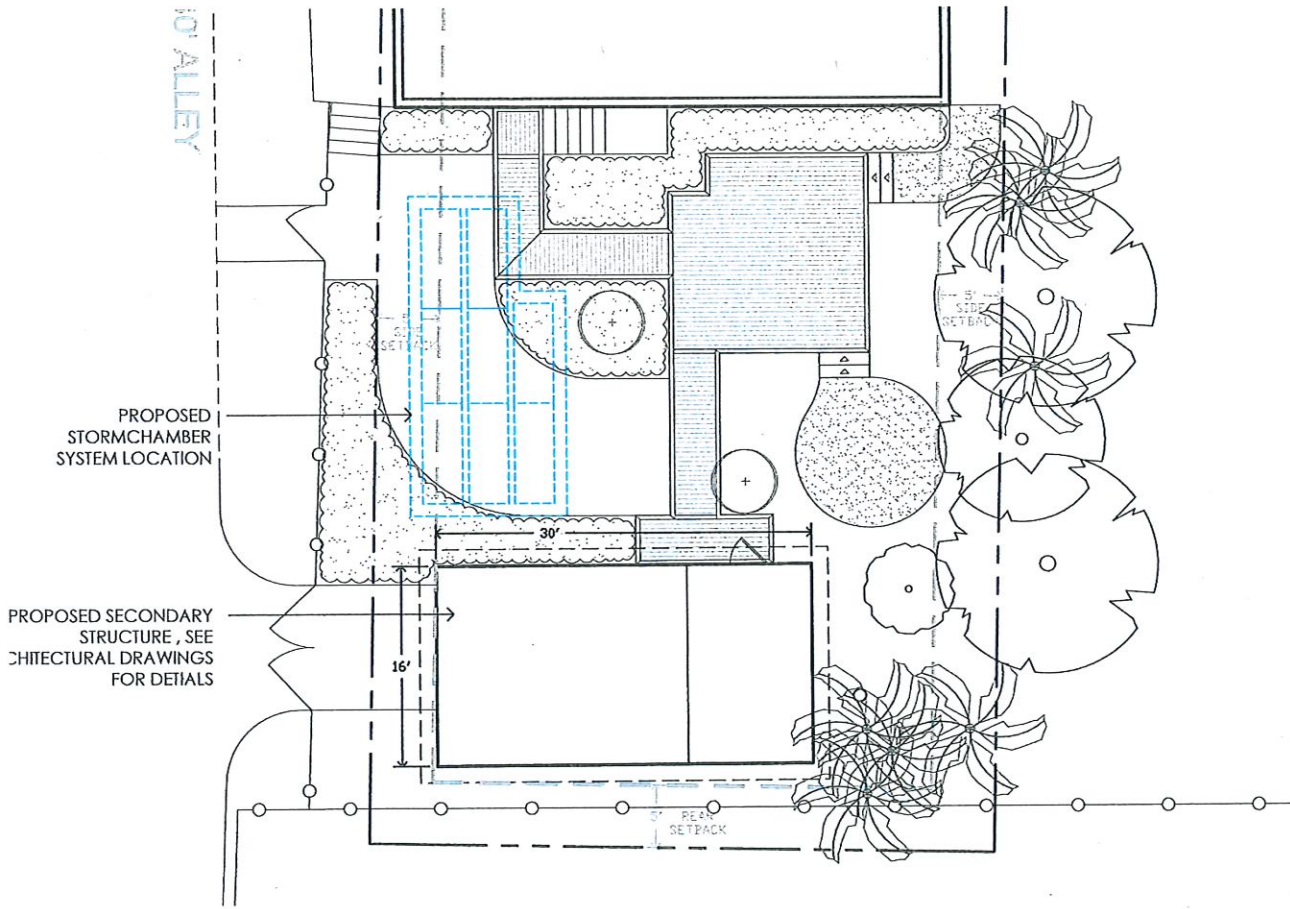
**\*THROUGH THE REMOVAL OF PORTIONS OF THE  
EXISTING IMPERVIOUS SURFACES AND THE  
INTRODUCTION OF THE PROPOSED  
STORMWATER BMPs, THE IMPERVIOUS SITE  
COVERAGE WILL BE REDUCED  
FROM 47.82% TO 37.00%**



\*TOTAL PROPERTY AREA LOT CALCULATIONS:  
BLOCK 30 SOUTHWESTERLY HALF OF LOTS 4&5  
APPX. 50' x 120' = 6,000 SF

TOTAL AREA = 6,000 SF

10' ALLEY



**LANDSCAPE DESIGN- DESIGN CONCEPT & STORMWATER CALCULATIONS:**

**SIGN CONCEPT-**  
 The goal of the Storm water Best Management Practice at work for this project is to ensure the proposed secondary structure (16' x 30') does not have a negative storm water impact on the site.  
 The structure has a metal roof, one open side (facing the alley) with screening on two sides, provides a covered parking space and an elevated enclosed storage area (approximately 10x16').  
 The storm water best management practice concept utilized employs the use of underground storm water chambers that are designed and specified to capture the precipitation that falls on the metal roof. Water Quality will be addressed by the proposed storm water chamber system. It is designed to treat the initial 1" of storm water runoff from the roof (610 SF) by filtering out sediment and contaminants. The entirety of the storm water that is captured will infiltrate out from the system into the surrounding soil. This system has the capacity to treat the total storm water volume from a 2 yr (or 1" of rain for a 24 hr) storm event (or flood attenuation).

**STORM WATER CALCULATIONS-**

WATER QUALITY VOLUME CALCULATIONS:

610SF	=	Drainage Area (Square Feet / SF) -	Total Area of Metal Roof w/ 4:12 roof pitch and 1'-4" overhang
1"	=	Rainfall Depth (Inches / in.) -	Typical amount of Rainfall treated to ensure water quality in a 2yr. Storm event
50.83CF	=	Required Volume (Cubic Feet / CF) -	Generated from 1" of rainfall on Drainage Area

GEOTECHNICAL DATA UTILIZED FOR STORMWATER CALCULATIONS:

50.88CF	=	Required Water Quality
Soil Group	=	A
0.60"- 2.00"	=	Ksat - per Hour (infiltration rate provided by USDA Websoil Survey)

\*Geotechnical Data acquired from (USDA - Web Soil Survey & Site Soil Report)

2 YEAR / 24 HOUR STORM DATA:

6.00"	=	Rainfall depth occurring in a 24 hour period
0.25"	=	Rainfall depth occurring per hour during storm event

\*Data from the Soil Conservation Services historic rainfall data, a 2 year 24 hour storm event is the design standard for stormwater infiltration systems

FLOOD ATTENUATION CALCULATIONS:

Required Flood Attenuation Volume	=	Rainfall Volume x Time Duration x Cubic Foot Conversion x Total Proposed Stormwater Drainage Area (Metal Roof Area)
305CF	=	.25 inches per hour x 24 hours x 610 Square Feet

SUMMARY OF REQUIRED STORMWATER VOLUMES TO BE TREATED:

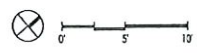
50.88CF	=	Water Quality Treatment
305CF	=	Flood Attenuation Volume

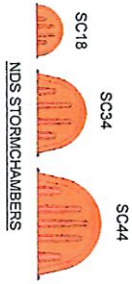
NDS STORMCHAMBER CAPACITY SUMMARY:

398.69CF = Installed System Storage Capacity, see attached NDS StormChamber documents for further details.

RECOVERY TIME CALCULATIONS:

Total Recovery Time (Hours)	=	Installed System Depth (Inches) / Infiltration rate (Inches per Hour)
From 50 to 15 HRs	=	30" / 0.60"- 2.00" per Hour (as per infiltration rate (Ksat) provided by USDA Websoil Survey)





92 AVENUE E  
APALACHICOLA, FL

### NDS STORMCHAMBER SYSTEM SPECIFICATIONS

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  - SC34 5 FT WIDE X 34 INCHES TALL
  - SC44 6.35 FT WIDE X 44 INCHES TALL
5. MINIMUM COVER FOR SC18 AND SC34 IS 18 INCHES. MINIMUM COVER FOR SC44 IS 22 INCHES.
6. SEMIENRAPH MANUFACTURED WITH HIGH MOLECULAR WEIGHT, HIGH DENSITY POLYETHYLENE.
7. NONWOVEN POLYPROPYLENE FILTER FABRIC TMS-402NMG BY TMSG OR APPROVED EQUAL.
8. WOVEN POLYPROPYLENE FILTER FABRIC 300HTM BY WINFAB OR APPROVED EQUAL.
9. THE PERFORMANCE OF NDS STORMCHAMBER IS DIRECTLY CORRELATED TO THE LOAD BEARING CAPACITY, PLASTICITY, AND PERMEABILITY OF NATIVE SOIL. FROST-HEAVE POTENTIAL, VOLUME AND LOAD-RATING OF PROJECT TRAFFIC, INSTALLATION METHODS USED, AS WELL AS THE TYPE, GRADATION, AND THICKNESS OF THE SURROUNDING AND OVERLAY ROOK.

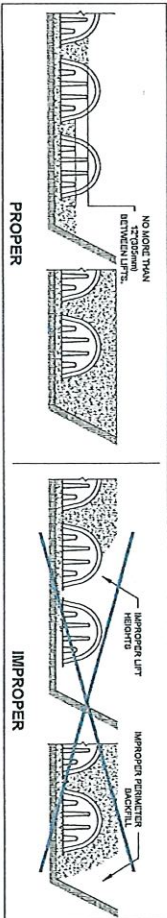
### REQUIREMENTS FOR CONSTRUCTION EQUIPMENT

1. NDS RECOMMENDS 3 BACKFILL METHODS. STONESHOOTER LOCATED OFF THE CHAMBER BED. BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE AND BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR, CONVEYORS OR EXCAVATORS SHOULD BE LOCATED SUCH THAT THEIR LOADS DO NOT INFLUENCE THE CHAMBERS SHOULD BE USED TO PLACE BACKFILL STONE.
2. NO CONSTRUCTION EQUIPMENT ALLOWED ON TOP OF THE CHAMBER SYSTEM UNTIL MINIMUM STONE COVER REQUIREMENTS HAVE BEEN MET. 6-INCH FOR SC-18 AND SC-34 AND 12-INCH FOR SC-44. ONLY THEN SHOULD A SHOULDER OR SMALL DOZER (DA) BE ALLOWED ON TOP.
3. NO WHEEL LOADS SHOULD BE APPLIED OVER THE SYSTEM. ONCE THE MINIMUM STONE HAS BEEN PLACED OVER THE CROWN OF THE CHAMBERS, ONLY SMALL WALK BEHIND VIBRATORY COMPACTION EQUIPMENT CAN BE USED UNTIL A 12 INCHES OF COVER IS ACHIEVED. LIGHTWEIGHT TRACKED DOZERS WITH A MAXIMUM GROUND PRESSURE OF 1100 PSF ARE PERMITTED OVER THE STRUCTURE.
4. DOZERS MUST SPREAD STONE WORKING IN A DIRECTION PARALLEL WITH THE CHAMBER ROWS. NOT WORKING ACROSS THE CHAMBER ROWS. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMCHAMBER STANDARD WARRANTY.
5. ONCE 18"(457mm) OF COMPACTED MATERIAL IS OVER THE CHAMBERS, HIGHWAY VEHICLES OF HS-20 AND HS-25 CAN BE OPERATED OVER THE STRUCTURES.
6. A FRONT END LOADER CAN BE OPERATED OVER THE STRUCTURES AS LONG AS THE MAXIMUM WHEEL LOAD DOES NOT EXCEED 16000 POUNDS. COMPACTING EQUIPMENT CAN BE OPERATED OVER THE STRUCTURES AS LONG AS THE DYNAMIC FORCE FROM THE DRUM DOES NOT EXCEED 20000 POUNDS AND THE GROSS VEHICLE WEIGHT DOES NOT EXCEED 12000 POUNDS.

### BACKFILL, HANDLING AND INSTALLATION REQUIREMENTS

1. THIS DOCUMENT IS NOT A SUBSTITUTE FOR THE INSTALLATION GUIDE.
2. STORMCHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE NDS STORMCHAMBER INSTALLATION GUIDE.
3. STORMCHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS. CONTACT NDS SPECIALIST 571-521-9538 OR LOCAL REPRESENTATIVE.
4. IN HOT WEATHER CONDITIONS, IF POSSIBLE, STORE ALL CHAMBERS AND BACKFILL STONE IN A SHADED AREA UNTIL THEY ARE READY TO BE INSTALLED. OUR RECOMMENDATION IS THAT THE SYSTEM BE LAID OUT AND ALL PIPES CONNECTED THE DAY PRIOR TO BACKFILLING WITH STONE. WHEN TEMPERATURES ARE ABOVE 85°F, BACKFILLING SHOULD BE RESTRICTED TO COOLER MORNING PERIODS ONLY.
5. 3/4" TO 2" CLEAN, CRUSHED, WASHED, ANGULAR STONE AASHTO M43 DESIGNATION OF #3 OR #4 OR CRUSHED CONCRETE OF THE SAME SIZE. SEE ACCEPTABLE FILL MATERIAL TABLE ON PAGE 3.
6. FOOTING OF CHAMBERS SHOULD BE CONNECTED WITH A DRYWALL SCREW WHEN OVERLAPPING AND INSTALLING.
7. MINIMUM SPACING BETWEEN THE CHAMBER ROWS SC18 & SC34 = 6 INCHES, SC44 = 9 INCHES.
8. INLET, OUTLET, AND INSPECTION PIPES MUST BE INSERTED A MINIMUM OF 12 INCHES (300 mm) INTO CHAMBER.
9. STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
10. PLACE THE BACKFILL MATERIAL IN 6-8 INCH LOOSE LIFTS AND COMPACT. USE MECHANICAL HAND TAMPERS OR APPROVED COMPACTING EQUIPMENT TO COMPACT ALL BACKFILL AND EMBANKMENT IMMEDIATELY ADJACENT TO EACH SIDE OF THE INSTALLATION AND OVER TOP OF THE INSTALLATION TO THE MINIMUM DEPTH SPECIFIED.
11. PLACE BACKFILL SO THERE IS NO MORE THAN A TWO LIFT DIFFERENTIAL BETWEEN ANY OF THE CHAMBERS AT ANYTIME DURING THE BACKFILLING PROCESS (12 INCHES).
12. PERIMETER STONE MUST BE BROUGHT UP EVENLY WITH CHAMBER ROWS. PERIMETER MUST BE FULLY BACKFILLED WITH STONE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL.

### BACKFILL METHODS



PROJECT NAME : 92 AVENUE E  
PROJECT LOCATION : APALACHICOLA, FL

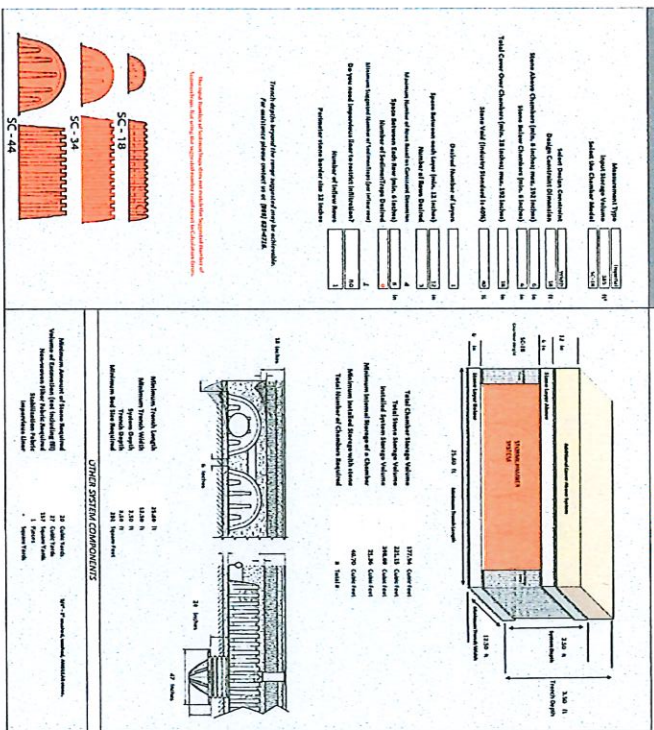
PROJECT # 4691 - 4692  
DATE: 3/10/2024  
DRAWN BY: JAH

REVISION: 2/20/2024



NDS STORMCHAMBER SYSTEM DETAILS  
NDS SPECIALIST: 571-521-9538

**SYSTEM DETAILS**



**ACCEPTABLE FILL MATERIALS: NDS STORMCHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	ADAPTATION CATEGORIES	CONSTRUCTION REQUIREMENT
1	FOUNDATION STONE BELOW CHAMBERS FROM THE OUTSIDE UP TO THE FOOT (BOTTOM) OF CHAMBER.	CLASS. CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION 3/2 INCH (19.0mm)	FLAT CONTACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY.
2	TEMPERATURE STONE COMPENSATING THE CHAMBER FROM THE FOUNDATION STONE (1" LAYERS TO THE 3" LAYER ABOVE)	CLASS. CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION 3/2 INCH (19.0mm)	95% T90.
3	FILL MATERIAL FOR LAYERS STARTING FROM THE TOP OF THE 3" LAYER TO THE BOTTOM OF THE 1" LAYER	ANGULAR, WELL-SORTED, NON-COMPACTIBLE MATERIALS. 25% FINES MOST PAYMENT LID OF THE LAYER.	REGION COMPACTED AFTER 12" PAVING OF MATERIAL OVER THE CHAMBER IS REACHED. ADAPTO M40 - 4, A54, A3
4	FILL MATERIAL FOR LAYERS STARTING FROM THE TOP OF THE 1" LAYER TO THE BOTTOM OF THE 1" LAYER	ANGULAR, WELL-SORTED, NON-COMPACTIBLE MATERIALS. 25% FINES MOST PAYMENT LID OF THE LAYER.	ADAPTO M40 - 4, A54, A3

PROJECT NAME : 92 AVENUE E - SYSTEM #2  
PROJECT LOCATION : APALACHICOLA, FL

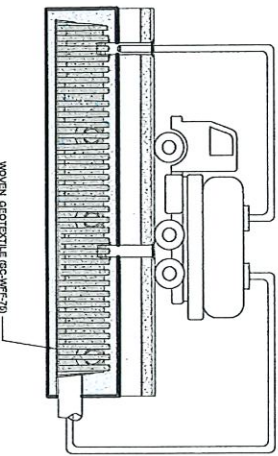
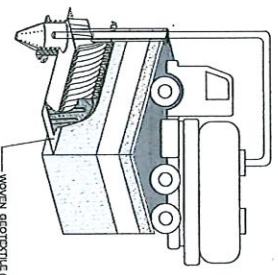
PROJECT #4692  
DATE: 10/20/2023  
DRAWN BY: MSB

**INSPECTION AND MAINTENANCE OF STORMCHAMBER SEDIMENTTRAP ROW**  
STORMCHAMBER™ WITH SEDIMENTTRAP™ ROW IS DESIGNED FOR EASE OF INSPECTION AND REDUCED LONG-TERM MAINTENANCE COST MONITORING T.S.S. BUILDUP IN A SEDIMENTTRAP™ CAN BE DONE WITHOUT THE NEED FOR A THIRD PARTY AS THE TRAP SITS DIRECTLY BELOW THE OBSERVATION PORT. A CAMERA WITH LIGHT AND/OR LONG MEASURING STICK CAN SUCCESSFULLY INSPECT AND DETERMINE WHEN MAINTENANCE IS NEEDED. AS NEEDED, SEDIMENT REMOVAL WITH A VACUUM TRUCK REQUIRES LITTLE OR NO WATER JETTING AS WITH OTHER COMPETING SYSTEMS.

**INSPECTION AND MAINTENANCE SCHEDULE**  
THE QUANTITY AND LOCATION OF INSPECTION PORTS VARY BY SITE. PLEASE REFER TO THE SITE PLAN AND LAYOUT TO CONFIRM INSPECTION PORT LOCATIONS. NEW INSTALLATIONS SHOULD BE INSPECTED QUARTERLY AND AFTER EACH LARGE STORM EVENT TO SEE HOW IT PERFORMS. IT IS RECOMMENDED THAT A LOGBOOK BE MAINTAINED SHOWING THE DEPTH OF WATER IN THE STORMCHAMBER AT EACH OBSERVATION IN ORDER TO DETERMINE THE RATE AT WHICH THE STORMCHAMBER SYSTEM DEMATERS AFTER RUNOFF PRODUCING STORM EVENTS. ONCE THE PERFORMANCE CHARACTERISTICS OF THE STORMCHAMBER HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS. UNLESS THE PERFORMANCE DATA SUGGESTS THAT A MORE FREQUENT SCHEDULE IS REQUIRED, SEDIMENT SHOULD BE SERVICED WHEN DEPOSITS APPROACH WITHIN 6 INCHES FROM THE TOP OF THE SEDIMENTTRAP OR CHAMBER BOTTOM.

- 1. MAINTENANCE WITH SEDIMENTTRAP - VACUUM TRUCK METHOD**  
REMOVE LID FROM INSPECTION PORTS. MEASURE THE DEPTH OF SEDIMENT BUILDUP IN THE SEDIMENTTRAPS. IF SEDIMENT BUILDUP IN THE SEDIMENTTRAP IS WITHIN 6 INCHES FROM THE TOP OF THE SEDIMENTTRAP OR CHAMBER BOTTOM THEN PROCEED TO MAINTENANCE STEPS BELOW. IF SEDIMENT BUILDUP IS LESS THAN 6 INCHES, LOG THE RESULTS AND PLACE THE LIDS BACK ON.  
• INSERT VACUUM TUBE THROUGH 10 INCH CLEAN OUT RISER.  
• REMOVE TUBE WILL NEED TO REACH THE BOTTOM DEPTH OF SEDIMENTTRAP (TYP. 7-10 FEET BELOW FINISHED GRADE).  
• VACUUM TUBE USING VACUUM TRUCK/EQUIPMENT UNTIL NO FURTHER SEDIMENT IS BEING REMOVED.  
• INSPECT SEDIMENT BUILDUP AGAIN TO ENSURE PROPER CLEANOUT.

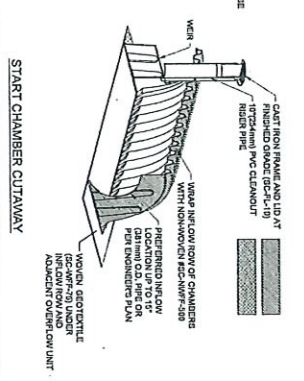
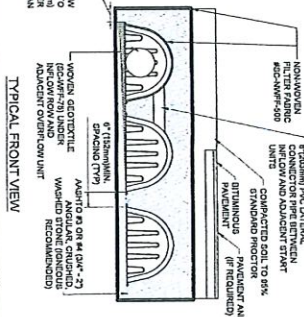
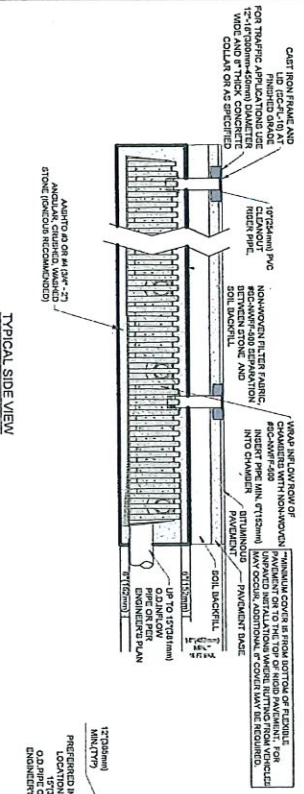
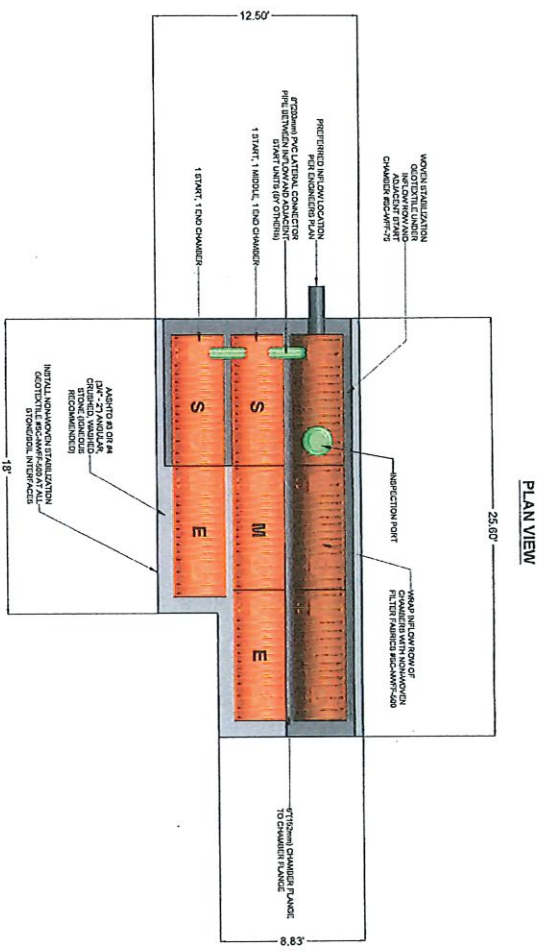
- 2. MAINTENANCE WITHOUT SEDIMENTTRAP - WATER JET METHOD**  
REMOVE LID FROM INSPECTION PORTS. MEASURE THE DEPTH OF SEDIMENT BUILDUP ON THE UNDERLYING WOVEN FABRIC UNDER THE CHAMBERS. IF SEDIMENT BUILDUP IS GREATER THAN 3 INCHES THEN PROCEED TO MAINTENANCE STEPS BELOW. IF SEDIMENT BUILDUP IS LESS THAN 3 INCHES, LOG THE RESULTS AND PLACE THE LIDS BACK ON.  
• REMOVE SEDIMENT FROM SEDIMENT ROW USING A HIGH PRESSURE WATER JET SYSTEM.  
• PREFERRED EQUIPMENT REQUIRED SHOULD HAVE A FIXED FLOOR CLEANING NOZZLE (REAR FACING) WITH A SPREAD OF AROUND 45 INCHES.  
• APPLY AS MANY PASSES IN THE ROW UNTIL THE BACKFLUSH WATER IS CLEAN.  
• VACUUM AREAS UNDER INSPECTION PORTS AND OUT OF ANY MANHOLES.



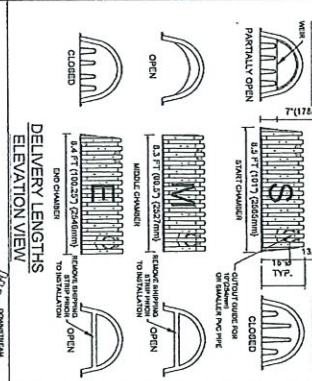
MAINTENANCE WITH SEDIMENTTRAPS USING VACUUM TRUCK

MAINTENANCE WITHOUT SEDIMENTTRAPS USING WATER JET

CHAMBER WIDTH PART	HEIGHT	WEIGHT	ACTUAL VOLUME	INSTALLABLE CHAMBER	INSTALLED STORAGE VOLUME
START 38" (965)	14" (355)	41 (924)	10 (228)	22.563	46.81 (3)
MIDDLE 38" (965)	14" (355)	41 (924)	10 (228)	22.563	46.81 (3)
END 38" (965)	14" (355)	41 (924)	10 (228)	22.563	46.81 (3)
START 48" (1219)	14" (355)	53 (1174)	13 (292)	28.750	58.01 (2)
MIDDLE 48" (1219)	14" (355)	53 (1174)	13 (292)	28.750	58.01 (2)
END 48" (1219)	14" (355)	53 (1174)	13 (292)	28.750	58.01 (2)



DESCRIPTION	MATERIAL LIST	STOCK CODE	QTY	UNITS
CHAMBER AND ACCESSORIES:				
START CHAMBER	SC-1820-A	3	EACH	
MIDDLE CHAMBER	SC-1820-B	2	EACH	
END CHAMBER	SC-1820-C	3	EACH	
CONNECTED CHAMBER	SC-1820-D	NA	EACH	
GEOTEXTILE	SC-21	NA	EACH	
NONWOVEN GEOTEXTILE	SC-MW-500	1	ROLL	
WOVEN STABILIZATION GEOTEXTILE	SC-MW-700	1	ROLL	
1/2\"/>				



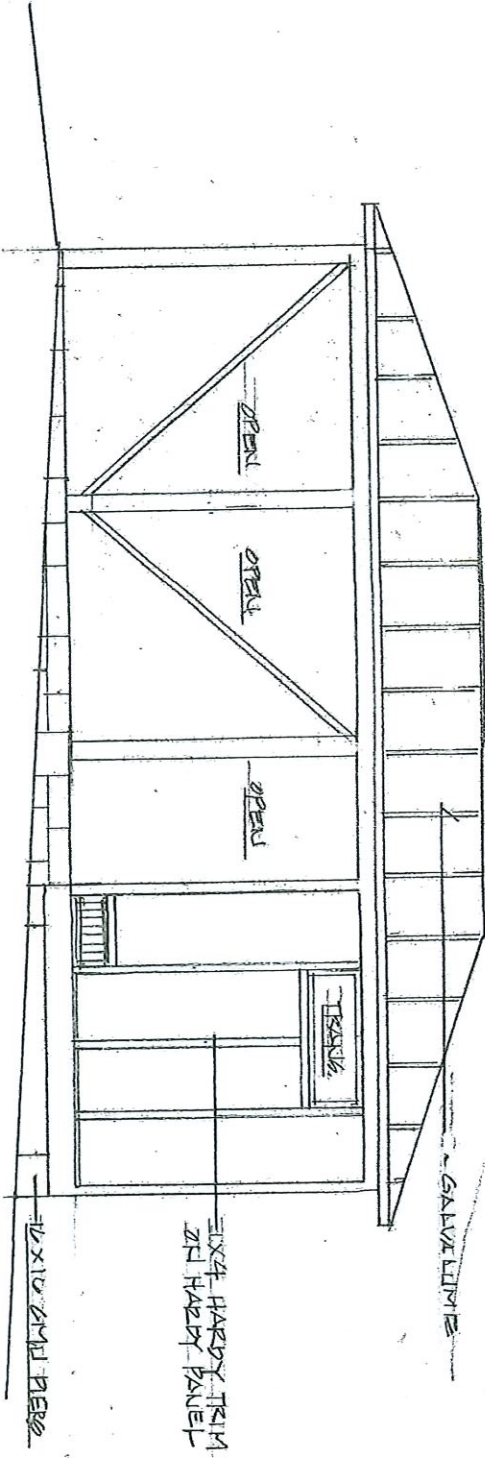
**NOTES**

1. START CHAMBER LOCATED AT THE DOWNSTREAM END.
2. ARE PLACED AT THE DOWNSTREAM END OF THE ROW.
3. NONWOVEN GEOTEXTILE AND CHAMBER.
4. PLACE RIGHT END OF THE NEXT CHAMBER IN THE ROW OVER THE LEFT END OF THIS CHAMBER.

**INSTALLATION ELEVATION VIEW**

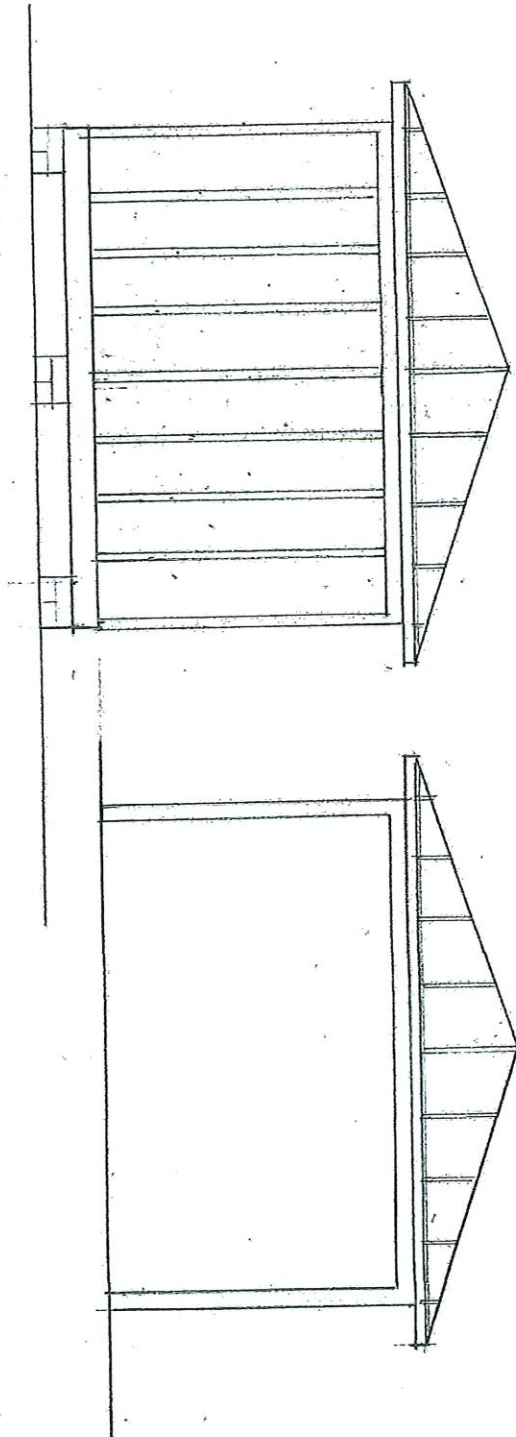






South Elevation

1/4" = 1'-0"



East and West Elevations

1/4"=1'-0"



### **Definitions/Code of Note:**

**Impervious surface coverage:** Those hard surface man-made areas that do not allow, or minimally allow, the penetration of water, that reduce the natural rate or percolation of water or result in an increase in the natural quantity and rate of storm water runoff. Examples include but are not limited to roof tops, parking, clay, asphalt, concrete, brick, compacted gravel, paved recreational areas such as pools, tennis courts, and landscape pavers.

Exceptions: Pervious decks as described herein and **items identified on a site plan as a best management practice to treat stormwater shall be allowed within open space and not considered impervious.** Pervious decks are defined as decks with a minimum spacing of 1/8 inch between decking boards. Pervious decks shall be limited to an additional ten percent additional total lot coverage (i.e. ten percent additional total lot coverage above the code maximum for impervious coverage applicable to each zoning category; e.g. if max impervious coverage is forty percent then a deck may be added which covers additional lot area up to a total of fifty percent lot coverage when adding the total impervious lot coverage and the pervious deck coverage). (LDC, [Ch. 101](#), Art. I, [Sec. 101-8](#) Definitions.)

**Storm water management system:** A surface water system that is designed and constructed or implemented to control discharges which are necessitated by rainfall events, incorporating methods to collect, convey, store, absorb, inhibit, treat, use, or reuse water to prevent or reduce flooding, over drainage, environmental degradation, and water pollution or otherwise affect the quantity and quality of discharges from the system.

**Stormwater best management practice (BMP):** The term "best management practices (BMP)" means those practices and principles designed to manage water from rainfall events, reduce nonpoint sources of pollution and in some cases, protect wildlife and habitat. Methods may include structural devices or nonstructural practices, such as, but not limited to compensatory storage, swales, gutters, rain barrels and rain gardens. A City of Apalachicola Guide to Site-Specific Stormwater Best Management Practices is available to download from the city's website.

**Lot coverage** means the area of the lot covered by the ground floor of all principal and accessory uses and structures, including all areas covered by the roof of such uses and structures, measured along the exterior faces of the walls, along the foundation wall line, between the exterior faces of supporting columns, from the centerline of walls separating two buildings or as a combination of the foregoing, whichever produces the greatest total ground coverage for such uses and structures. Lot coverage shall also include all impervious surfaces such as drives, parking areas, walkways, swimming pools, patios, terraces and the like.

### **Sec. 115-1. - City requirements.**

(1) Certain types of residential and commercial development trigger State stormwater permitting permits depending on size and type of proposed development. As an area of critical state concern, the city has adopted more stringent stormwater standards than state requirements. A more comprehensive overview of state permitting requirements and the relationship to the city standards may be found online at [cityofapalachicola.com/building.Dept.cfm](http://cityofapalachicola.com/building.Dept.cfm):

a. Residential. Applications for all new residential development in special waterfront district or areas of special hazard (A&V zone) must include a stormwater management plan which may consist of a best management practice (BMP) as part of their site plan. Proposed improvements that increase lot coverage shall also provide for stormwater treatment by indicating the stormwater treatment best management practice that will be utilized.

Sec. 111-272. - O/R office residential.

(a) *District intent.* The provisions of the O/R district are intended to apply to areas with a specialized intensive residential character wherein a variety of housing types and compatible limited non-retail commercial, education, religious, recreation uses are permitted. This district shall occur in that area shown as office residential on the Official Land Use Map of Apalachicola.

(b) *Permitted uses and structures.*

(1) *Principal.*

- a. Single-family residential.
- b. Two-family residential.
- c. Professional offices and services.
- d. Studios and galleries for photography, music, art, dance, vocal and drama.
- e. Medical offices and services.
- f. Bed and breakfasts.

(2) *Accessory.* Accessory uses and structures are considered incidental and subordinate to permitted principal and approved special exception uses and structures. Habitable accessory uses are not permitted. All accessory uses must be approved by special exception. Accessory uses are subject to the following requirements: the accessory use must be subordinate to the principal use; must be related to the principal use; is not a separate commercial or retail business; does not require separate signage; and does not increase traffic or parking beyond the principal use requirements. Additional restrictions governing accessory uses, including, but not limited to, size and parking may be determined by the planning and zoning board.

(3) *Special exceptions.* After public notice and hearing and appropriate conditions and safeguards, the planning and zoning board may permit as special exceptions:

- a. Funeral homes.
- b. Utilities substations.
- c. Hospitals and clinics.
- d. Public buildings.
- e. Cemeteries.
- f. Churches and church-sponsored businesses.
- g. Schools.
- h. Residential apartment units.
- i. Child care centers.

(c) *Prohibited uses and structures.*

(1) Mobile homes or housetrailers.

- (2) Establishments for the conduct of retail trade.
- (3) Storage yards or warehouses.
- (4) Any structure or use not of a nature specifically or provisionally permitted herein.

(d) *Development standards.*

(1) *Minimum lot or site size.*

- a. Single-family and other principal uses.
  1. Area: 6,000 square feet.
  2. Width: 60 feet.
  3. Depth: 100 feet.
- b. Two-family.
  1. Area: 9,000 square feet.
  2. Width: 90 feet.
  3. Depth: 100 feet.

(2) *Minimum building setbacks.*

- a. Front: 15 feet.
- b. Side, interior lot: 7½ feet each side, or any combination of setbacks on each side that equals at least 15 feet, provided that no such setback shall be less than five feet.
- c. Side, corner lot: 15 feet.
- d. Rear: 25 feet.

(3) *Minimum building size.* Single-family dwelling: 800 square feet.

(4) *Maximum building restrictions.*

- a. Lot coverage: 40 percent.
- b. Permissible building height: 35 feet.

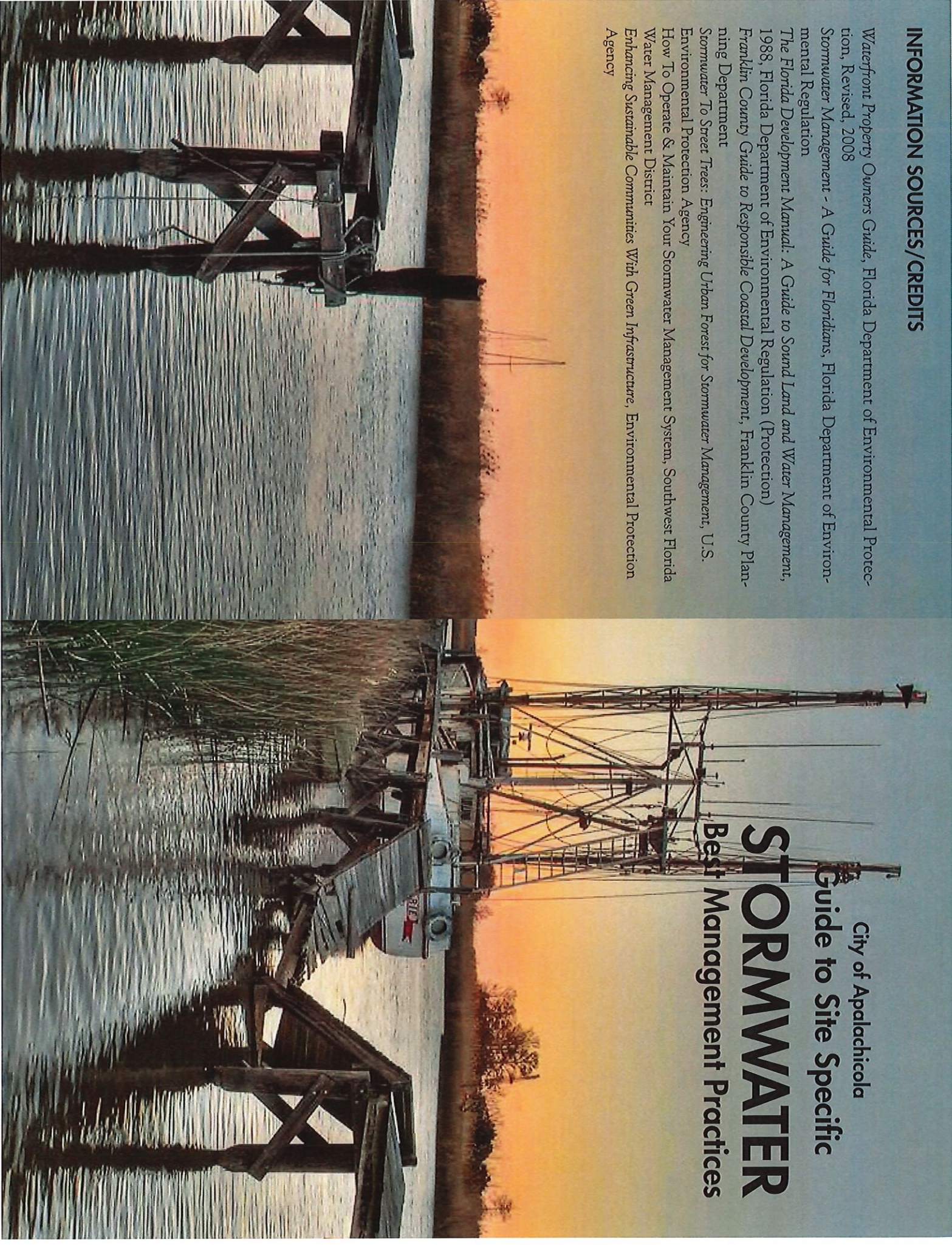
(e) *Applicable regulations.*

(1) *Parking regulations.* See section 111-288.

(2) *Special exceptions.* Unless otherwise specified, special exceptions must comply with development standards for principal uses. If deemed appropriate by the planning and zoning board in order to grant a special exception, certain more stringent standards may be imposed. Any accessory use proposed as part of a special exception request must meet the following conditions: must not be for habitable purposes, must be subordinate to the principal use; must be related to principal use; is not a separate commercial or retail business; does not require separate signage and does not increase traffic or parking beyond the principal use requirements. Additional restrictions concerning accessory uses, including, but not limited to, size and parking may be determined by the planning and zoning board.

## INFORMATION SOURCES/CREDITS

*Waterfront Property Owners Guide*, Florida Department of Environmental Protection, Revised, 2008  
*Stormwater Management - A Guide for Floridians*, Florida Department of Environmental Regulation  
*The Florida Development Manual: A Guide to Sound Land and Water Management*, 1988, Florida Department of Environmental Regulation (Protection)  
*Franklin County Guide to Responsible Coastal Development*, Franklin County Planning Department  
*Stormwater To Street Trees: Engineering Urban Forest for Stormwater Management*, U.S. Environmental Protection Agency  
*How To Operate & Maintain Your Stormwater Management System*, South Florida Water Management District  
*Enhancing Sustainable Communities With Green Infrastructure*, Environmental Protection Agency



City of Apalachicola  
**Guide to Site Specific  
STORMWATER  
Best Management Practices**





City of Apalachicola  
Site Specific Stormwater  
Best Management Practices,  
Apalachicola Planning  
Department, May 2015

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Rebecca Jaton, Mark Yelland, Florida Department of Economic Opportunity

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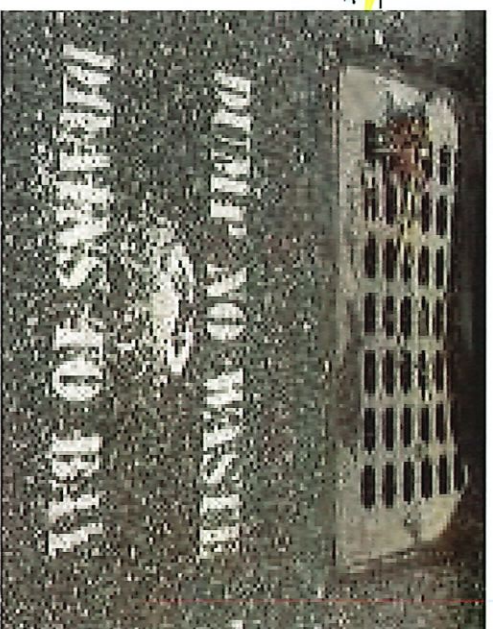
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## THE BIG PICTURE

Because stormwater runoff is generated from dispersed land surfaces—pavements, yards, driveways, and roofs—efforts to control stormwater pollution must consider individual, household, and public behaviors and activities that can generate pollution from these surfaces. These common individual behaviors have the potential to generate stormwater pollution:

- **Littering**
- **Disposing of trash and recyclables**
- **Disposing of pet-waste**
- **Applying lawn-chemicals**
- **Washing cars,**
- **Changing motor-oil on impervious driveways**
- **Household behaviors like disposing leftover paint and household chemicals**



## COMMON SENSE TIPS

1. Use Garden and Lawn Chemicals Wisely - Follow package directions carefully, and only use pesticides, herbicides and fertilizers when other methods fail! Do not apply if rain is in the forecast. WHY? Excessive fertilizers and chemicals wash off the property and into surface and ground waters.
2. Keep irrigation water on the lawn and garden, not on paved surfaces.
3. Divert rain spouts to unpaved areas or swales, and wash vehicles where water will drain to vegetated areas. WHY? This allows runoff to soak into the soil and not wash off the property into nearby waterbodies after picking up pollutants.
4. Compost Leaves, Grass and Shrub Clippings. Use these materials as mulch to supplement fertilizers. Do not take these materials into roadways or swales. WHY? These materials will decompose, returning nutrients to the soil so that you can use less fertilizers. If placed in roads or swales, yard debris will block drainage flows and end up in your nearest waterbodies.
5. Don't Drain Used Motor Oil Into Storm Drains. Take used motor oil and antifreeze to service stations to recycle them. WHY? These products are toxic and add pollutants to surface waters if placed or washed into storm drains.
6. Service Your Car Regularly. Have your car inspected and maintained regularly. WHY? To prevent leakage of motor oil, antifreeze and other fluids that can end up in the nearest waterbody. Well maintained vehicles reduce harmful emissions that also can contaminate surface waters.

## STRUCTURAL DETENTION BMPs - PONDS

*In areas with slowly percolating soils, high water tables and flat terrain, permanently wet detention systems and wetland treatments systems are likely to be the preferred BMPs. Detention systems are storage areas that maintain a planned permanent level of water even after stormwater discharge has ceased. If properly planned and constructed, wet detention areas provide multiple benefits including "lake-front" property, possibilities for recreation and wildlife habitat, water for irrigation and fire protection.*

### DETENTION PONDS

If your property is located in an area where the water table is near the surface, a wet detention pond may be the BMP for managing your stormwater. Although wet ponds are not commonly used on residential lots, if your

property has a natural contour that forces water to drain into one or two locations, a pond may be good BMP. Detention ponds are more commonly used for to serve large areas, such as subdivisions or commercial developments.



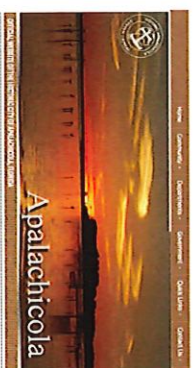
## Untreated stormwater is a source of pollution to Apalachicola Bay.

Oils and petroleum from cars, asphalt from roads, chemicals and greases from businesses and even household soaps, garden fertilizers and pesticides can all harm aquatic life if washed directly into the bay. Additionally, coastal land clearing and construction activities can degrade water quality if the soil or cleared debris is allowed to wash directly into the water.

If you plan new commercial or large scale development in the City or if you own property along the Apalachicola River or Bay and you propose new construction or significant land clearing, you will need to provide a plan for how you intend to keep untreated stormwater runoff from draining into the coastal waters. (City of Apalachicola Land Use Regulations, Section VIII)

The type of development you propose will determine the design and permitting approval process for your stormwater plan. Commercial or large scale residential projects are required to receive State permitting and/or notifications from the Florida Department of Environmental Protection and the Northwest Florida Water Management District.

Small scale development adjacent to coastal waters can meet the City's stormwater standards with Green Infrastructure Low Impact Development (LID) measures to ensure that non-point pollution is treated before making its way to area coastal waters.



You can visit the [Cityofapalachicola.com](http://Cityofapalachicola.com) website to learn more about stormwater planning efforts in the city. You can also download the City of Apalachicola Stormwater Regulations by scanning the code below.



LID is an approach to land development (or redevelopment) that works with nature to manage stormwater as close to its source as possible. LID employs principles such as preserving and recreating natural landscape features, minimizing effective imperviousness to create functional and appealing site drainage that treat stormwater as a resource rather than a waste product. There are many practices that have been used to adhere to these principles such as bioretention facilities, rain gardens, vegetated rooftops, rain barrels, and permeable pavements. By implementing LID principles and practices, water can be managed in a way that reduces the impact of built areas and promotes the natural movement of water within an ecosystem or watershed. Applied on a broad scale, LID can maintain or restore a watershed's hydrologic and ecological functions.

## THE FIRST FLUSH

Of primary importance to minimizing the effects of stormwater on water quality is the First Flush. This term describes the washing action that stormwater has on accumulated pollutants in a watershed. In the early stages of runoff the land surfaces, especially the impervious surfaces like streets and parking areas, are flushed clean by the stormwater. This creates a shock load of pollutants that are flushed into the nearby coastal waters.

Studies in Florida have determined that the first one inch of runoff generally carries 90% of the pollution from a storm. Treatment of the first flush is the key to proper stormwater management.

## BEST MANAGEMENT PRACTICES (BMPs)

Best Management Practices (BMPs) are methods used to reduce stormwater pollution. BMPs are classified into two categories - Nonstructural and Structural. Nonstructural measures are preventative in nature and include such concepts as Green Infrastructure (GI) site planning, good housekeeping techniques and landscape planning. Nonstructural BMPs are considered the first line of defense and are the easiest methods for homeowners to use. Structural controls include traditional facilities such as detention ponds, retention basins, trenches, pervious paving and filters. Structural BMPs are generally used for commercial or large scale residential subdivisions and require engineering to implement. The Florida Land Development Manual - Guide to Sound Land and Water Management contains specific information on such BMPs. You can download that manual at [www.dep.state.fl.us](http://www.dep.state.fl.us) or call the Florida Department of Environmental Protection at (850) 245-7508 for more information.



## STRUCTURAL RETENTION BMPs - BASINS AND SWALES

*Retention BMPs retain stormwater onsite, allowing it to infiltrate into the ground or to evaporate. These practices reduce the volume of stormwater and are the most effective for reducing stormwater pollution since the the first flush is not discharged to surface waters. Commonly used retention BMPs include retention basins and grassed swales.*

### RETENTION BASINS

If you live in an area with sandy soils or where the water table is deep, you can create retention areas to treat stormwater. Retention areas are simply small depressions in your landscape where the water can pond for a short time before soaking into the ground or evaporating. These areas can be planted with appropriate native vegetation that helps maintain soil permeability, filter runoff and use less fertilizers/pesticides. These types of landscaped retention areas are also called “bioretention” practices.

### GRASSED SWALES

Swales, also called grassed waterways, are one of the oldest stormwater BMPs, and have been used along streets and highways for years. A swale is a man-made depression in the land which should run parallel to the area to be treated and the wetland. Proper placement of a swale and berm system slows down the rapid flow of stormwater runoff entering water bodies. After the swale catches the flow, it is held back by the berm. Impurities

sink to the bottom and the cleaner water lining the surface spills over when the swale becomes full. Slowly the stormwater evaporates and percolates through the soil. The percolation process cleanses stormwater runoff and helps recharge underground aquifers.

Swales are most effective in areas with good drainage and sufficient land to allow for adequate percolation. A swale should have gently sloping sides of at least three (3) feet horizontal to each one (1) foot vertical. These dimensions allow for easier maintenance which should only require mowing and periodic removal of trash and other debris.

*Maintenance requirements for swales are not significantly greater than those for a normal lawn. However public education is essential, especially for residents who live in developments served by swales. Residents need to be informed about the benefits provided by their swale so they take pride in maintaining it and do not fill it in. Leaves, limbs and other vegetation, along with debris and oil should not be disposed of in the swale.*

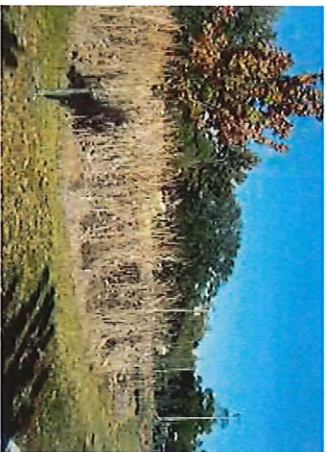


## VEGETATION IS IMPORTANT TO STORMWATER MANAGEMENT

*Vegetation provides several benefits in managing stormwater. It absorbs the energy of rain, prevents erosion, maintains the soil's capacity to absorb water, promotes infiltration. Vegetation also slows the velocity of runoff, reducing peak discharge rate. Vegetation is especially important in reducing erosion and sedimentation during construction. By phasing and limiting the removal of vegetation, and by decreasing the area that is cleared and limiting the time bare land is exposed to rainfall, sedimentation at construction sites can be reduced by up to 90%.*

### VEGETATED BUFFERS

If you own a medium to large size parcel of waterfront property, you may wish to consider a vegetated buffer between your property and the water as a filter for runoff. This vegetation helps reduce pollutants in surface and ground waters flowing into a waterbody.



### RESHAPE OR CONTOUR

Contouring or reshaping your property allows you to provide areas where water can pond temporarily and soak into the ground.



### TERRACING

If your property is steeply sloped, you may wish to incorporate the technique of terracing to minimize stormwater runoff from cascading down a steep yard. Terracing your yard can help slow down the water, minimizing the potential for erosion. Terracing can create dramatic views and broaden your yard's use for landscaping or gardening.



## SITE SPECIFIC STORMWATER BMPs FOR HOMEOWNERS

*Depending on the lot size and lot coverage, there are several effective nonstructural and simple structural stormwater BMPs that can be built and used by property owners. Some of the most popular methods include Guttering into Rain Barrels, Cisterns or Rain Gardens, Porous Paving, Vegetated Buffers, Contouring and Terracing.*

### GUTTERING

One of the easiest methods of managing residential stormwater is through the use of guttering which is directed by down spouts to either your lawn or flower bed rather than to your driveway. Another variation on that method is to set up a rain barrel or cistern to capture your roof runoff and use it to irrigate your yard. This method of treatment is best used for small to medium residential lots where space is at a premium.

*The Appalachian National Estuarine Research Reserve offers classes periodically on how to build Rain Barrels and other Green Infrastructure BMPs. Contact them at 850-670-7708 to learn more.*



### How To Build A Rain Barrel

It's pretty easy to build your own rain barrels from plastic drums or trash cans. Start with a plastic 55-gallon drum with a cover. Place the drum near a downspout, drill a hole in the side near the bottom and screw in a drain valve. This installation will work if you plan to run a soaker hose to your garden. If you want to use a wand or a spray nozzle, you'll need to elevate the barrel on a stand for more water pressure. Water is heavy (55 gallons weighs 440 lbs.), so use 4x4 treated lumber for the legs and secure everything with construction screws or stainless steel lags. If you have large gardens and want to store more water, double-size the stand and add a second barrel.

Cut holes in the bottoms of the barrels with a 2-1/4-in. hole saw. Then screw in a 2-in. male threaded electrical conduit adapter. Squirt a thin bead of silicone caulk around the opening and screw on a threaded electrical PVC coupler to cinch the barrel between the two fittings. Next, glue together sections of 2-in. PVC pipe, unions, reducers and valves. As long as you're at it, install an overflow pipe so you can direct the excess where you want it. Finally, cut a hole in one of the covers and mount a screen to filter out leaves and debris.

*You can download complete instructions for how to build a rain barrel at <http://www.epa.gov/region3/p2/make-rainbarrel.pdf>*

## RAIN GARDENS

A rain garden is a good option for homeowners with a medium to large lot with plenty of open space. You will want to gutter the rain at least 10 feet away from the house as this is a wet-detention form of stormwater management.

A rain garden is basically a plant pond - a garden bed that you plant with special deep-rooted species. These plants help the water rapidly seep into the soil. You direct the rainwater from the downspouts to the garden via a swale (a stone channel) or plastic piping. The garden captures the water and, when properly designed, drains it into the soil within a day. If there's an especially heavy rainfall, excess water may overflow the rain garden and run into the storm sewer system. Even so, the rain garden will have done its job. It will have channeled water away from your foundation and reduced the load on the sewer system. A rain garden also reduces the amount of lawn chemicals and pet wastes that may otherwise run off into local waters.

Create the rain garden by building a berm in a low spot in the yard, then build swales to channel runoff from the gutters and higher parts of the yard. The water is then absorbed into the soil through the network of deep plant roots. Use a mix of plants adapted to your area and to the different water depths.

*Learn more about how to build a rain garden by visiting: [www.familyhandyman.com/garden/how-to-build-a-rain-garden-in-your-yard/view-all](http://www.familyhandyman.com/garden/how-to-build-a-rain-garden-in-your-yard/view-all).*



## How Big Should My Rain Garden Be?

To determine the best size for your garden, estimate the volume of water that would flow off the roof and down the spout that feeds it during a 1-in. rainfall (the rainfall from an average storm). To do this, calculate the rough area of the roof that drains down the spout. For example, in a 2,400-sq.-ft. rectangular home with a downspout at each corner, you'd have approximately 600 sq. ft. of runoff going to each downspout. Multiply by rainfall depth (1 in., or 1/12 ft.) to get the volume of water—50 cu. ft. in this case. If your soil porosity can handle a 6-in.-deep (that is, 1/2 ft.) garden bed, dividing by 1/2 ft. gives you a 100-sq.-ft. (10 x 10 ft.) garden size.



## POROUS PAVING

Porous paving blocks (or other pervious material such as uncompacted rock or shell) can be an effective stormwater management option for patios, driveways and pathways. As its name implies, this is a highly porous form of concrete. It's made from aggregate (small stones) and cement, which binds the aggregate together. However, unlike conventional concrete, pervious concrete contains little, if any, sand. This results in a substantial number of open spaces in the concrete, basically a lot of holes through which water can flow into the ground.

The purpose of porous concrete is to allow rain to soak into these areas rather than run off your property. Porous concrete is particularly suitable for driveways or patios. Properly installed, a driveway constructed with porous concrete can remain pervious and act as a retention area, thereby reducing stormwater volume and pollution load. However, porous concrete is only feasible and cost effective on sites with gentle slopes, permeable soils and relatively deep water tables.

## PERMEABLE CONCRETE PAVERS

For patios or walkways, permeable concrete pavers may be a suitable option. The pavers are solid, but if they're spaced correctly, water drains between them. Pavers are placed over a bed of sand or gravel, which filters water before it percolates into the soil. Permeable pavers are made from concrete or cut stone and are available in several styles.

Most permeable paver blocks are designed to support vehicles, but are sufficiently open to allow water to drain through them. The spaces are filled with gravel or sand. Grass or low ground cover can grow in the open spaces, which helps reduce heat buildup.

*Note: Pervious paving is considered lot coverage and is subject to the lot coverage restrictions identified in the zoning code district standards.*