



November 14, 2022

P&Z Agenda Packet

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, November 14th, 2022
Community Center -1 Bay Avenue
Agenda

Regular Meeting: 6:00 pm

1. Approval of October 10th, 2022 regular meeting minutes.

2. Review, Discussion and Decision for Pool, Pool Decking, & Covered Porch. **(R-2) @ 250 Prado Street.** Block 2, Lots 7, 8, & 9. For D. & T. Robertson -Owner; Contractor: Forgotten Coast Pools & Self

3. Review, Discussion and Decision for Deck Addition. **(Historic District) (O/R) @ 71 15th Street,** Block 95, Lot 7. For W. Avery -Owner; Contractor: Earl Duggar

4. Review, Discussion and Decision for Sign. **(Historic District) (R-2) @ 205 17th Street.** For Denton Cove Ltd.–Owner; Contractor: RBK3, LLC.

5. Review, Discussion and Decision for Pavers & Pond Removal. **(R-2) @ 270 Acola/135 Bay Colony,** Block 5, Lots 7 & 8 + BC Lot 20. For D.& J. Lawrence -Owner; Contractor: Self

6. Review, Discussion and Decision for Demolition & New Construction. **(R-3) @ 189 25th Avenue.** Block 239 Lots 25-30. For Donna Crum – Owner; Contractor: Paul Judson

7. Review, Discussion and Decision for Porch/Deck Addition. **(Historic District) (C-2) @ 111 Avenue E.** Block 32 Lot 9. For C. & H. Brocato/Apalachicola Wellness LLC – Owner; Contractor: Matthew Godwin

Other/New Business: **N/A**

Outstanding/Unresolved Issues: **N/A**



October 10, 2022

Minutes

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, October 10th, 2022
Community Center/ City Hall -1 Bay Avenue
Minutes

Regular Meeting: 6:00 pm

Attendance: Al Ingle, Elizabeth Milliken, Chase Galloway, Joe Taylor, Jim Bachrach

1. Approval of September 12th, 2022 regular meeting minutes.
 - **Motion to approve by Jim Bachrach; 2nd by Elizabeth Milliken. All in favor – motion carries.**

2. Review, Discussion and Decision for New Construction. **(Historic District) (C-2) @ 911 Address Needed.** Block 160, Lots 4&5. For B. Desloge -Owner; Contractor: Salty Dog Construction, LLC
 - **Motion to approve contingent upon the 2 parcels being parceled together with Franklin County Property Appraiser by Jim Bachrach; 2nd by Chase Galloway. All in favor – motion carries.**

3. Review, Discussion and Decision for Shed. **(R-2) @ 21 18th Street,** Block 251, Lot N/A. For G. Hendels Jr. -Owner; Contractor: Self
 - **Motion to deny by Jim Bachrach; 2nd by Joe Taylor. All in favor – motion carries.**

4. Review, Discussion and Decision for Sign. **(Historic District) (C-2) @ 95 Avenue I.** Block 169, Lot 1. For C. Jones–Owner; Contractor: TBD
 - **Motion to approve by Joe Taylor; 2nd by Elizabeth Milliken. All in favor – motion carries.**

5. Review, Discussion and Decision for Sign. **(O/R) @ 79 6th Street,** Block 16, Lot 6-8. For Trinity Episcopal Church -Owner; Contractor: TBD
 - **Motion to deny by Jim Bachrach; 2nd by Joe Taylor. All in favor – motion carries.**

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, October 10th, 2022
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6. Review, Discussion and Decision for Sign – Palmer Pointe Townhomes. **(R-2) @ 270 Prado. Block 265.** For Mexico Beach, LLC – Owner; Contractor: Rudnick Development/Sean Marston, P.E.

- **Motion to approve by Jim Bachrach; 2nd by Elizabeth Milliken. All in favor – motion carries.**

7. Review, Discussion and Decision for Final Plat Approval – Palmer Pointe Townhomes. **(R-2) @ 270 Prado. Block 265.** For Mexico Beach, LLC – Owner; Contractor: Rudnick Development/Sean Marston, P.E.

- **Motion to approve with below contingencies by Jim Bachrach; 2nd by Joe Taylor. All in favor – motion carries.**
- **Contingencies:**
 - **Labeling errors as noted on the Final Plat Review from CDG addressed and fixed on Final Plat.**
 - **Final Plat reflects a 14' utility/drainage easement for storm water dedicated to the City on the Eastern side of the property.**
 - **Applicant will coordinate, size, and install a proper culvert at the appropriate chokepoint.**
- **This does not equal a Final Plat approval or record – this means that P&Z has approved the Final Plat to be sent to the City Commission for their final approval. Final Plat is going to be on the agenda for the November regular City Commission meeting.**

Other/New Business: **N/A**

Outstanding/Unresolved Issues: **N/A**

Motion to adjourn by Chase Galloway; 2nd by Joe Taylor.

Approved: Al Ingle 25 Oct 2022





250 Prado Street

Pool, Pool Decking, & Covered Porch

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner: DREW & TINA ROBERTSON
Address: 250 PRADO STREET
City: APALACHICOLA State FL Zip: 32320
Phone: (850) 745-4226

Contractor's Name: JIMMY CRENSHAW
FORGOTTEN COAST POOLS
State License # RP0067325 City License # N/A
Email Address: FORGOTTENCOASTPOOLS@GMAIL.COM
Phone: (850) 899-3300

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date: _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: POOL INSTALLATION
WITH PORCH (COVERED)

PROPERTY INFORMATION:

Street Address: 250 PRADO STREET City & State: APALACHICOLA FL Zip: 32320
 Historic District Non-Historic District Zoning District: R-2
Parcel #: 01-095-08W-8360-0002-0070 Block(s): 2 Lot(s): E10 LOT 7 & 8+9
IEMA Flood Zone/Panel #: X
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:
Front: 15' Rear: 25' Side: 7.5' Lot Coverage: 40%
Water Available: CITY Sewer Available: CITY Taps Paid: YES

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official connected to handle the City of Apalachicola Building Permits.

Bree Robinson
City Planner & Grant Coordinator
850.323.0985 / brobinson@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

PROJECT IS TO INSTALL A FIBERGLASS IN GROUND POOL ON SOUTH SIDE OF HOME, ALONG WITH A COVERED PORCH.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors	TBD	FRENCH DOORS FROM HOUSE TO PORCH	
Windows			
Roofing	TBD	METAL SCREW DOWN MILL FINISH	
Trim			
Foundation		CONCRETE W/ REBAR	
Shutters			
Porch/Deck		WOOD POST + BEAM, WOOD DECKING.	
Fencing			
Driveways/Sidewalks			
Other	PREMIUM FIBERGLASS POOLS	NEPTUNE MODEL	


CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above applied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this position.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

2022-10-18

DATE



SIGNATURE OF APPLICANT

BUILDING PERMIT APPLICATION CHECKLIST

- TBD 1. Approval From City Planning & Zoning Board
- ✓ 2. Complete Building Permit Application
- ✓ 3. 2 COMPLETE SETS OF PLANS INCLUDING:
 - Site plan
 - Final Site Plan(New Construction)-Stormwater Mgt.
 - Signed/Sealed Structural Drawings
 - Wall section foundation through the roof
 - Elevations
 - Floor Plan
 - Fire Protection
 - Drawn to scale
- N/A 4. Contractor Information
 - *License
 - *Photo ID of License Holder
 - *COI: Workers Comp/General Liability
 - *Letter of Authorlzation

SELF = FOR PORCH
- ✓ 5. Contract/Scope of Work
- N/A 6. Energy Forms
- N/A 7. Notice of Commencement on all permits of \$2500 or more
- N/A 8. Flood Elevation Certificate
- N/A 9. Fill permit application
- N/A 10. Floodplain Management Application (if not in flood zone X)
- N/A 11. Water/Sewer Impact Fees Receipt (if applicable)

Applicant 2022-10-24
Date

Building Official Date

CITY OF APALACHICOLA
BUILDING DEPT.
192 Coach Wagoner Blvd. 850-653-1522
APPLICATION FOR BUILDING PERMIT

DATE: 2022-10-18 Permit Issued: _____ Permit Fee _____

OWNER'S NAME: DREW + TINA ROBERTSON Email: GEORPAGROUP@GMAIL.COM

ADDRESS: 250 PRADO STREET

CITY, STATE & ZIP CODE: APALACHICOLA, FL 32320 PHONE # 850-745-4226

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): N/A

ADDRESS: N/A

CITY, STATE & ZIP CODE: N/A PHONE # N/A

CONTRACTOR'S NAME: FORGOTTEN COAST POOLS Email: FORGOTTENCOASTPOOLS@GMAIL.COM

ADDRESS: PO BOX 524

CITY, STATE & ZIP CODE: SGT FL 32328 PHONE # 850-899-3300

STATE LICENSE NUMBER: RP0067325 COMPETENCY CARD # N/A

ADDRESS OF PROJECT: 250 PRADO STREET

PURPOSE OF PERMIT: INSTALL POOL + CONSTRUCT PORCH

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 01-095-08W-8360-0002-0070

LEGAL DESCRIPTION OF PROPERTY: BLK 2, 10' LOT 7 AND 8-9 NEEL ADDITION

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: N/A

ADDRESS: N/A CITY, STATE & ZIP: N/A

ARCHITECT'S/ENGINEER'S NAME: PREMIUM FIBERGLASS POOLS / BLACKHAWK ENGINEERING

ADDRESS: 96 ONE GEORGIA DR. CITY, STATE & ZIP: ASHBURN, GA 31714

MORTGAGE LENDER'S NAME: N/A

ADDRESS: N/A CITY, STATE & ZIP: N/A

WATER SYSTEM PROVIDER: CITY SEWER SYSTEM PROVIDER: CITY

PRIVATE WATER WELL: NO SEPTIC TANK PERMIT NUMBER: N/A

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to towens@cityofapalachicola.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Roof Sign Pole Barn
 Temp Pole Demolition Other POOL

Addition, Alteration or Renovation to building. COVERED 16'x24' PORCH 384 sq ft

Distance from property lines: Front 15' Rear 25' L. Side 7.5'
 R. Side 7.5'
 Cost of Construction \$ 30,000 Square Footage 253 FT² (POOL)
 EPI N/A Flood Zone X-N/A Lowest Floor Elevation N/A
 Area Heated/Cooled N/A # Of Stories N/A # Of Units N/A
 Type of Roof METAL Type of Walls POSTS Type of Floor WOOD DECKING
 Extreme Dimensions of: Length 10' Height 13' PORCH (TALL) Width 24'

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner: [Signature] Date: 2022-10-29
 Signature of Contractor: [Signature] Date: 10-27-2022
 Notary as to Owner: Alicia M Mansfield Notary as to Contractor: Alicia M Mansfield
 Date: 10-24-2022 Date: 10-27-2022
 My Commission expires: June 7, 2023 My Commission expires: June 7, 2023



APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: towens@cityofapalachicola.com or drop off in City drop box)
 (make checks payable to City of Apalachicola)

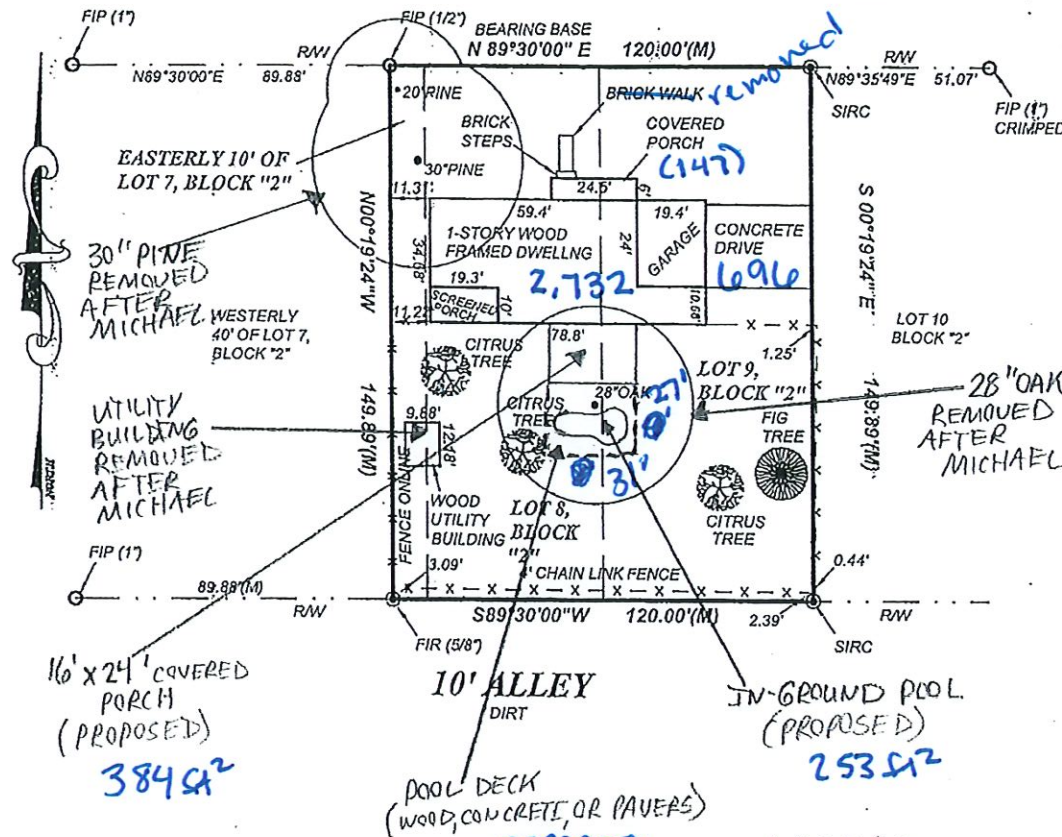
PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 DREW ROBERTSON, PG, CAM,
 FIRST AMERICAN TITLE INSURANCE COMPANY

GRAPHIC SCALE



(IN FEET)
 1 inch = 40 ft.

See next page for #'s.
THE PRADO
 50' RW - PAVED



LEGAL DESCRIPTION:

Easterly 10' of Lot 7, all of Lots 8 and Lot 9, Block "2" of NEEL ADDITION TO THE CITY OF APALACHICOLA a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

LEGEND

FCM	FOUND CONCRETE MONUMENT
RP	RECORD PLAT
RW	RIGHT-OF-WAY
M	MEASURED
—	NOT TO SCALE
SIRC	SET 5/8" RE-ROD #7160
FIRC	FOUND IRON ROD AND CAP

NOTES:

1. SURVEY SOURCE: Record plat, and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southerly right-of-way boundary of The Prado having an assumed bearing of North 89 degrees 38 minutes 00 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

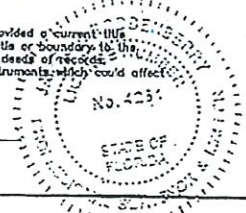
FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120088 0528F index date: February 5, 2014, Franklin County, Florida.

I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 53-17, Florida Administrative Code).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds or records, unrecorded deeds, easements or other instruments which could affect the boundaries.

Janet T. Roddenberry
 JANET T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4261



TR & A THURMAN RODDENBERRY & ASSOCIATES, INC

PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 109 • 115 SHIELD ON STREET • SOPCHOPPY, FLORIDA 32134
 PHONE NUMBER: 414-110-2111 FAX NUMBER: 414-110-2111

DATE: 04/14/14	DRAWN BY: LMD	N.B. 546 PG 70	COUNTY: Franklin
FILE: 14114.DWG	DATE OF LAST FIELD WORK: 04/10/14	JOB NUMBER: 14-114	

HAND WRITTEN NOTES BY: DREW ROBERTSON 2022-10-24

250 Prado Breakdown:

Setbacks = OK ✓

Lot Size = $120 \times 150 = 18,000$

Allowed lot coverage: $7,200 \text{ ft}^2$ allowed

Current:

home: 2,732

front porch: 147

concrete drive: 696

brick walk: removed

3,575 ft^2

Proposed:

pool: ~~253~~

pool deck: 837 (including pool)

covered porch: 384

1,221 ft^2

$3,575 + 1,221$

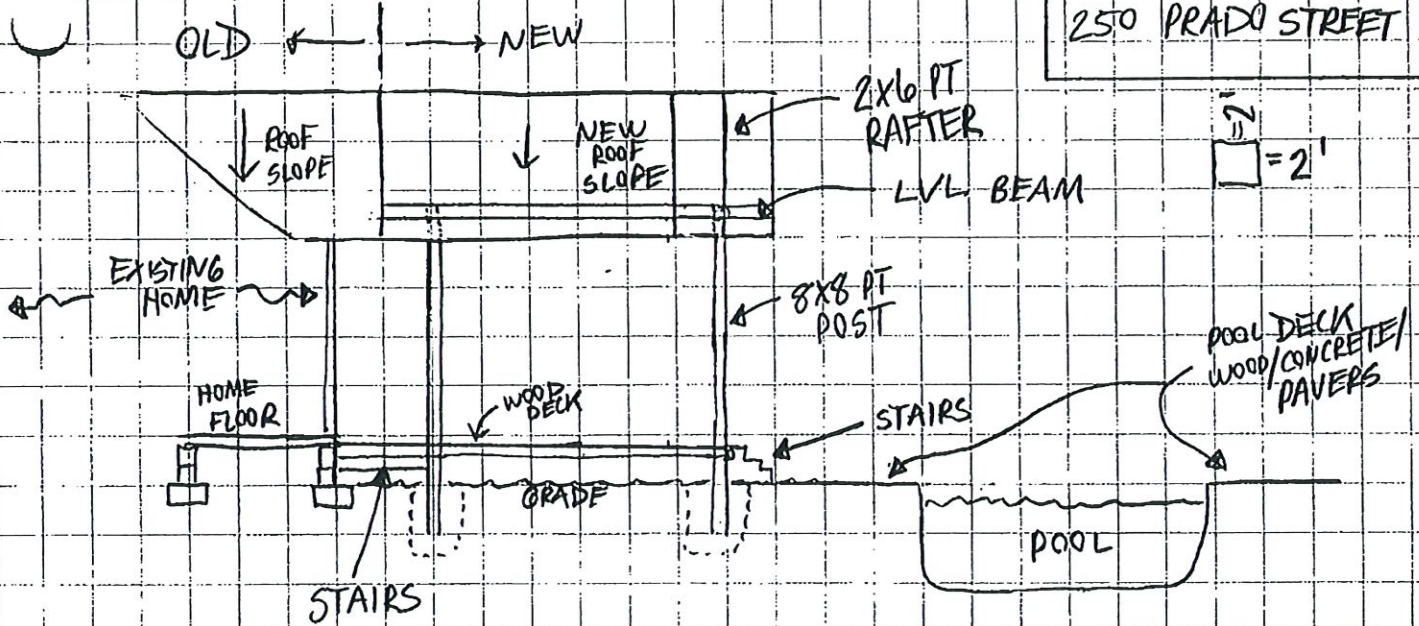
$= 4,796 \text{ ft}^2$
under 40%

OK ✓

PROPOSED POOL + PORCH ADDITION WEST ELEVATION

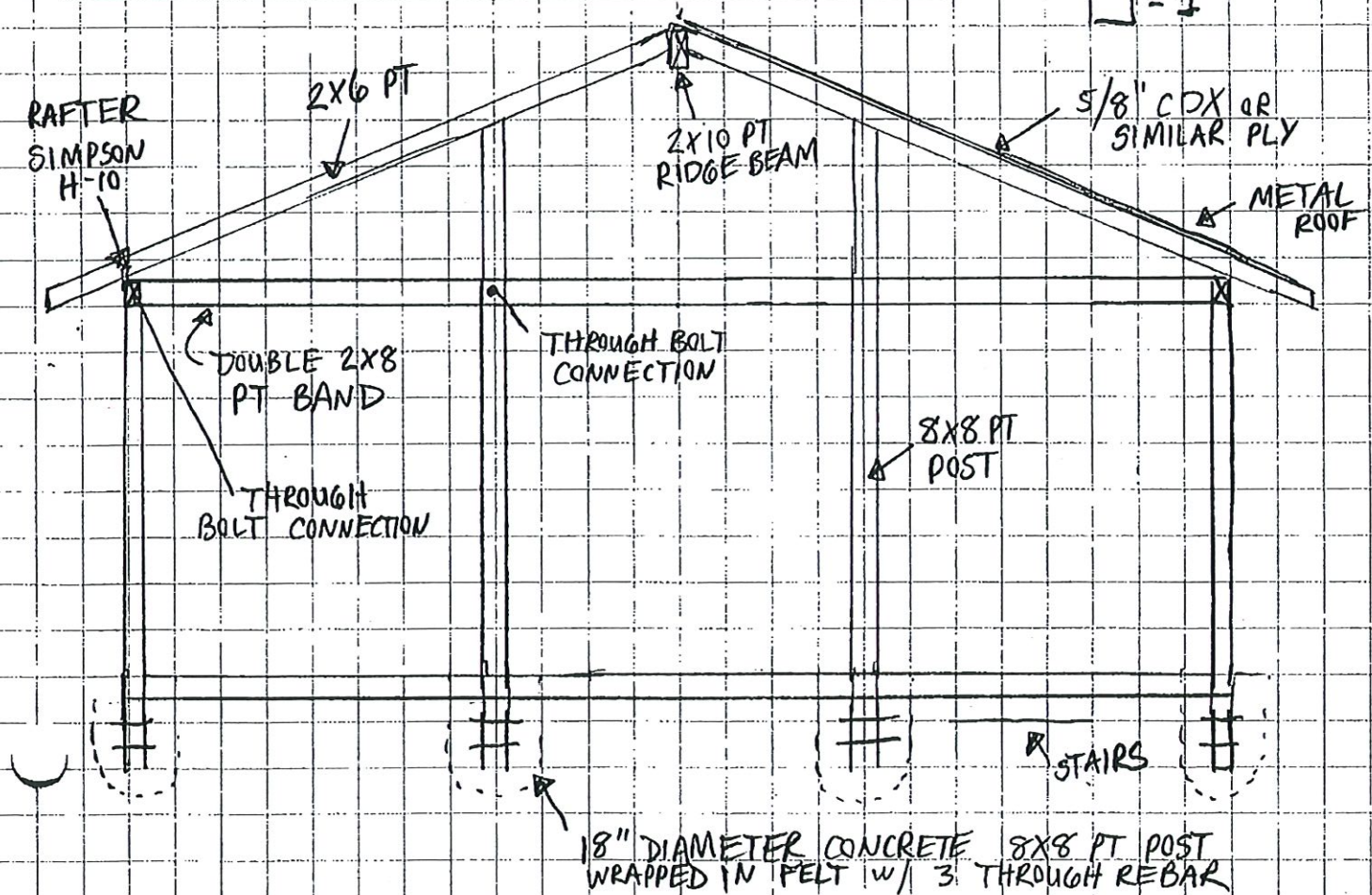
2022-10-24

DREW ROBERTSON
250 PRADO STREET



PROPOSED PORCH ADDITION SOUTH ELEVATION

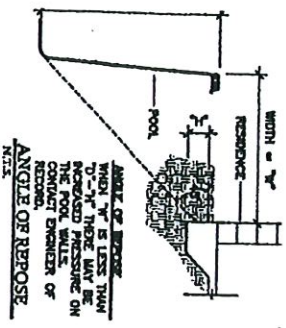
1" = 1'



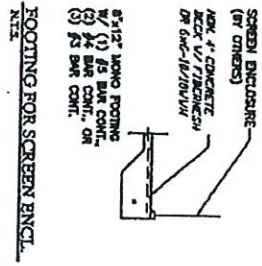
Premium Fiberglass Pools produce various styles of swimming pools and spas. Most of the overall pool dimensions, depth, and capacities are shown below. Measurements are made to the outside edge and may vary up to 3"

Premium Fiberglass Pools

Pool Name	Size	Depth	Weight lbs	Gallons	Perimeter feet	Surface feet
Aquamarine	12' x 25' 4"	3' 7" to 6'	1200	9520	79	230
Combo	14' x 28'	3' 7" to 5' 7"	1849	9800	80	318
Crystal	14' x 30'	3' 8" to 6'	1672	12800	82	375
Diamond	14' x 30'	3' 7" to 5' 11"	1672	12800	82	375
Diamond XL	14' x 30'	3' 7" to 5' 11"	1672	12800	82	375
Emerald	12' x 25'	3' 7" to 5' 7"	1200	9520	69	230
Evolution	9' 8" x 16'	4'	1000	3000	51	152
Jade	12' x 26'	4' 6"	1300	8000	70	279
Jasper	12' x 28'	4' 6"	1400	8800	74	295
Moonstone	14' x 28'	3' 7" to 5' 10"	1672	10000	84	318
Moonstone XL	15' x 34'	3' 5" to 5' 10.5"	2000	12800	88	334
Onyx	14' x 28'	3' 6" to 6' 6"	1772	12800	84	318
Pearl	7' x 10' R	3' 7"	275	525	22	38
Zircon	14' x 30'	3' 6" to 6' 6"	1600	12500	79	318
Lulu	12' x 28'	3' 5" to 6'	1790	11500	84	336
Serenade	16' x 36'	3' 6" to 6'	2975	23877	120	582
Islander	12' x 24'	3' 2" to 5' 6"	1100	10134	80	270
Isabella	16' x 35'	6'	3000	22966	102	550.25
Key West	12' x 22'	4'	1100	5926	70	225.75
Bellello	15' x 34'	3' 8" to 6' 8"	2200	17000	92	485.75
Atlantis	14' x 32'	3' 10.5" x 5' 6"	2200	17542	87	425.25
Aloha	15' x 34'	3' 8" x 8' x 3' 6"	2400	18218	88	485.75
Roman	11' x 27'	3' 4.5" x 5' 8"	1775	10434	68	278.25
Mira Largo	16' x 42'	4' 5" to 8'	4000	36,183	116	843.25
Mystic	15' x 32'	3' 11" x 6'	3500	18941	94	456.75
Neptune	11' x 23'	3' 6" x 5' 6"	2000	8859	68	236.25



* Pool to be installed with Hydro static relief valve. Pool is not to be drain unless instructed by professional.



- NOTES:**
1. PROVIDE MAIN DRAIN VALVE-TYPIC CONCRETE
 2. AT A SAFETY RECAUTION, VALVE MAIN DRAIN ONLY.
 3. ELECTRICAL CONNECTIONS AND WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
 4. SLOPE SHALL BE AT LEAST 1/4" PER FOOT AWAY FROM POOL.
 5. FENCES, BARRIERS, AND OTHER SAFETY REQUIREMENTS TO BE AS REQUIRED BY THE 7th EDITION FLORIDA RESIDENTIAL BUILDING CODE, SECTION 6309.4.
 6. THIS DRAWING IS PROVIDED TO PROVIDE A GENERAL IDEA OF THE POOL AND NOT BE CONSIDERED A CONTRACT DOCUMENT. CONTRACT DOCUMENTS SHALL NOT BE RECORDED FOR ANY PURPOSES INCLUDING PERMITS AND IN INSTALLATION ON A SPECIFIC SITE WITHOUT REVISIONS AND IN WRITING.
 7. ALL POOLS ARE TO BE 2" TO 4" DEEP. FLOOR SLABS ARE CONSTANT AND SLOPE AWAY EXCEPT AS SHOWN.
 8. STEPS TO HAVE 4" MIN. RISE, 8" MAX. RISE.
 9. THE POOL RESERVOIR, CONSTRUCTION AND CONSTRUCTION SHALL CONFORM WITH THE 2020 EDITION FLORIDA BUILDING CODE, SECTION 6309.4.
 10. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 EDITION OF THE NATIONAL ELECTRICAL CODE.
 11. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE 2020 EDITION OF THE FLORIDA PLUMBING CODE.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 20. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH LOCAL REGULATIONS AND SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

ENGINEERING REPORT ON Premium Fiberglass Pools

MARCH 21, 2009

-THIS PROJECT IS DESIGNED AND SHALL BE BUILT TO COMPLY WITH THE 2020 EDITION OF THE FLORIDA BUILDING CODE AND 2020 EDITION FBC RESIDENTIAL, R4501.1 - ALL ELECTRICAL WORK TO BE IN COMPLIANCE WITH THE 2017 EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL CODES. -ALL PLUMBING WORK TO BE IN COMPLIANCE WITH THE 7th EDITION OF THE FLORIDA PLUMBING CODE. -THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES. -THE STRUCTURAL CALCULATION SHALL ADHERE TO THE 2020 EDITION OF THE FLORIDA BUILDING CODE.

Note:
See manufacture for any questions.
signing engineer for parcel location only.

Professional Engineer Address:
DATE:

Site Address:
Robertson
250 Prado Street
Apalachicola, FL 32320

DATE:
9/19/22



71 15th Street

DECK ADDITION

CITY OF APALACHICOLA
 CERTIFICATE OF APPROPRIATENESS APPLICATION

HISTORIC DISTRICT ONLY.

Official Use Only

Application # _____
 City Representative _____
 Date Received _____

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner <u>William A. Avery</u>	Contractors Name: <u>EARL DUGGAR</u>
Address <u>71 15th STREET</u>	State License # <u>RR 006740</u> City License # _____
City <u>APALACHICOLA</u> State <u>FL</u> Zip <u>32320</u>	Email Address <u>etduggar@fairpoint.net</u>
Phone <u>(850) 323-8937</u>	Phone <u>(850) 653-7080</u>

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date: _____

*Reason for Denial: _____

PROJECT TYPE

<input type="checkbox"/> New Construction	<input type="checkbox"/> Fence
<input type="checkbox"/> Addition	<input type="checkbox"/> Repair (Extensive)
<input type="checkbox"/> Alteration/Renovation	<input type="checkbox"/> Variance
<input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> Other <u>BUILD DECK</u>
<input type="checkbox"/> Demolition	

PROPERTY INFORMATION:

Street Address: 71 15th STREET City & State: APALACHICOLA, FL Zip: 32320

Historic District | Non-Historic District Zoning District: O/R

Parcel # 01-095-08W-8330-0095-0080 Block(s) 95 Lot(s) 7

FEMA Flood Zone/Panel # X
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25 Side: 15/7 Lot Coverage: 40

Water Available: _____ Sewer Available: _____ Taps Paid: _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contacted to handle the City of Apalachicola Building Permits.

Bree Robinson
 Grant Coordinator & City Planner
 City of Apalachicola
 o: 850-323-0985
 brobinson@cityofapalachicola.com

Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

CONSTRUCT A DECK - PRESSURE TREATED MATERIALS

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

CITY OF APALACHICOLA
BUILDING DEPT.
192 Conch Wyngoner Blvd. 850-653-1522
APPLICATION FOR BUILDING PERMIT

DATE: _____ Permit Issued: _____ Permit Fee _____

OWNER'S NAME: William A. Avery Email: _____

ADDRESS: 71 15th STREET

CITY, STATE & ZIP CODE: APALACHICOLA, FL 32320 PHONE # _____

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: EARL DUGGAR Email: etduggar@fairpoint.net

ADDRESS: 80 WADDELL ROAD

CITY, STATE & ZIP CODE: APALACHICOLA, FL PHONE # 850/653-7080

STATE LICENSE NUMBER: RR006740139320 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 71 15th STREET

PURPOSE OF PERMIT: CONSTRUCTION OF DECK

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 01-095-08N-8330-0095-0080

LEGAL DESCRIPTION OF PROPERTY: SE 20' of Lot 7 and NW 30' of Lot, Block 95

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to towens@cityofapalachicola.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Roof Sign Pole Barn
 Temp Pole Demolition Other DECK 10'x22'
 Addition, Alteration or Renovation to building.

Distance from property lines: Front ATTACHED TO REAR OF Rear 26' L. Side 12'
 R. Side 13'
 Cost of Construction \$ 10,000.00 Lease HO Square Footage 220 sq. ft.
 BPI X Flood Zone X Lowest Floor Elevation 0.18"
 Area Heated/Cooled N/A # Of Stories N/A # Of Units N/A
 Type of Roof N/A Type of Walls N/A Type of Floor PT/wood
 Extreme Dimensions of: Length 22' Height 10.18" Width 10'

WARNING TO OWNER; YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: City of Apalachicola Building Department does not have the authority to enforce DBBD RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Cecilia Reed G 8/25/02 Earl Duaga 8/25/23
 Signature of Owner or Agent Date Signature of Contractor Date

Notary as to Owner or Agent Notary as to Contractor
 Date: _____ Date: _____
 My Commission expires: _____ My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: towens@cityofapalachicola.com or drop off in City drop box)
 (make checks payable to City of Apalachicola)

**PLAT OF BOUNDARY SURVEY CERTIFIED TO:
WILLIAM A. AVERY**

LEGAL DESCRIPTION:

Southeasterly 20' of Lot 7 and the Northwesterly 30' of Lot 8, Block "95" of THE CITY OF APALACHICOLA, a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northeastly right-of-way boundary of 15th Street having an assumed bearing of South 48 degrees 50 minutes 00 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. The parcel depicted hereon being those same lands as described in Official Records Book 1044, Page 672 of the Public Records of Franklin County, Florida.

I hereby certify that this was performed under my responsible direction and supervision and the plat and certification or annexes are true and correct in accordance with the laws and regulations of the State of Florida and the rules and regulations of the Florida Board of Professional Surveyors and Mappers (F.A.C. 61-77.001(2)(2)).

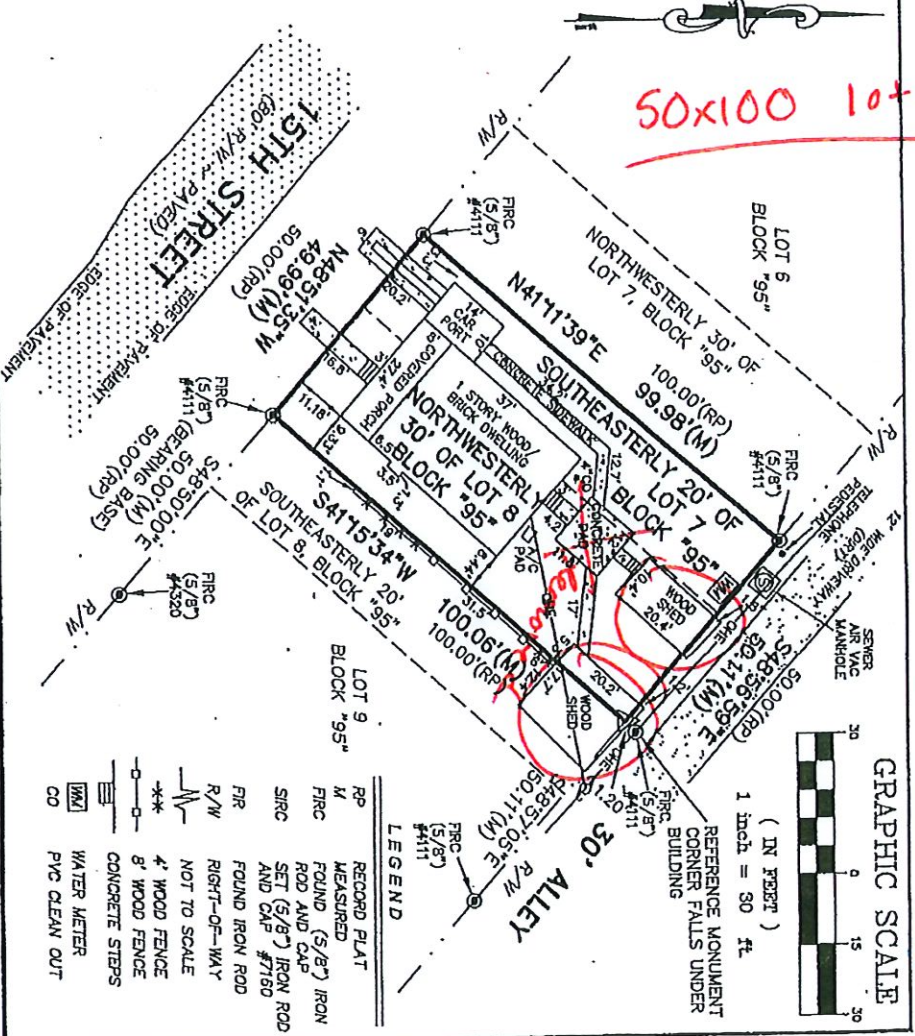
The undersigned surveyor has not been prohibited or censured, and the original plat and certification or annexes are true and correct in accordance with the laws and regulations of the State of Florida and the rules and regulations of the Florida Board of Professional Surveyors and Mappers (F.A.C. 61-77.001(2)(2)).

James T. Roddenberry

JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No. 4251

FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel Number: 120089 0526F, Index Date: February 05, 2014, Franklin County, Florida.



TR & A
THURMAN RODDENBERRY & ASSOCIATES, INC.

PROFESSIONAL SURVEYORS AND MAPPERS
P.O. BOX 100 • 725 SHELDON STREET • SOPCHOPPY, FLORIDA 32356
PHONE NUMBER 850-963-5288 FAX NUMBER 850-963-7120
LB # 37160

DATE 05/15/19	DRAWN BY: BB	N.B. 616 P.S.35	COUNTY: FRANKLIN
FILE: 19309.DWG	DATE OF LAST FIELD WORK: 05/14/19	JOB NUMBER: 19-309	

15 14 51

LOT PLAN
SCALE
1/8" = 1'



Allowed: 5,000 ft² lot

40% = 2,000 existing

- 1,010 home
- 140 carport
- 218 porch
- 200 shed
- 81,340 shed

1,908 ft² 1,649 ft²

+ proposed 220

= 2,128

= 1,869

OK ✓

BR 11/7/22

~~*proposed addition is over 40% by 128 ft²~~

overlapping separated w/ neighbor. See attached letter.

Wood Shed
20.2' x 17.17'

340 sq ft

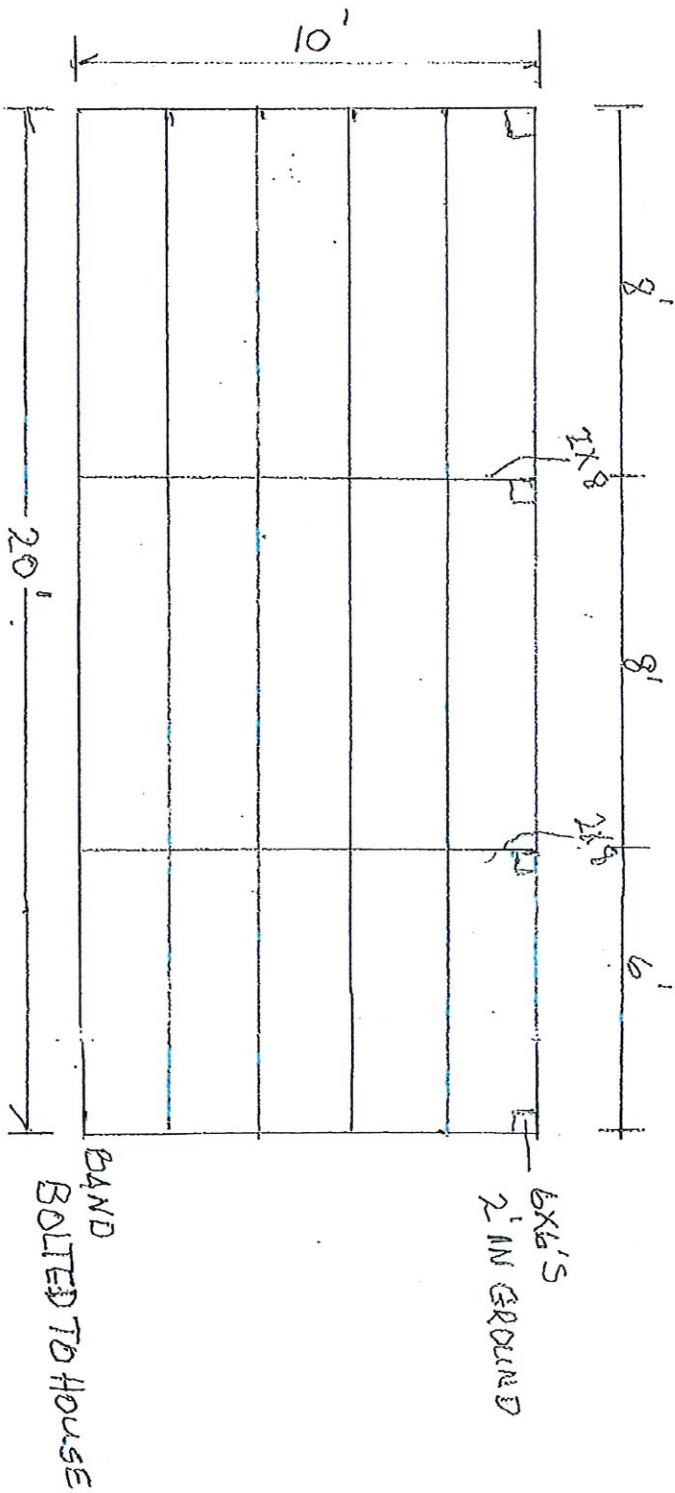
81 sq ft on this property.

overlapping

Wood Shed
20.4' x 10.4'

200 sq ft

Allen



JOIST
 2" DC w/JOIST
 HANGERS
 2X6 DECKING

6" 2x2 ?

1

E. Leo Bebeau
67 15th Street
Apalachicola, Florida 32320
eleobebeau@gmail.com
850.370.0902

October 9, 2022
Bree Robinson
City of Apalachicola
192 Coach Wagoner Blvd.
Apalachicola, FL 32320

Bree,

This letter is being written per your request.

The Franklin County Property Appraiser record for the property at 67 15th Street in Block 95 includes an 18' x 20' outbuilding. This building is over 100 years old. It is shown on the 1922 Plat of the City of Apalachicola. At that time, the only other structure in the NW half of Block 95 was the structure (house) at 184 Avenue E.

When the block was subdivided in the 1930s, this 18' x 20' structure was recorded as an improvement to 67 15th Street (Maple Street). You can view this today at the property appraise website.

BL 95 SE 1/2 LOT 8 & NW
20 FT LOT 9
OR/120/50-51 147/380
OR/579/468 587/109
966/140

Each of the other three structures built or relocated to 15th Street had a new outbuilding constructed.

If you review the property appraiser records, you will find that the 18' x 20' outbuilding is recorded as an improvement on 67 15th Street. No part of this structure is recorded as an improvement on any other property.

When the property was purchased in 2008, there was a demising wall in the structure providing for the use of the portion encroaching on 71 15th Street to be for the exclusive use of that property. Approximately 4.5' x 18' or 81 square feet of the structure is an impervious improvement on that property. Please document that encroachment and impervious improvement on 71 15th Street so that any future request for improvement on 67 15th Street is not encumbered by the entire 360 square foot structure, only 279 square feet. Please provide copy of this documentation to me.

Thank you


Leo Bebeau

We recently applied, through our contractor Earl Dugger, for a deck on the back of our house. The survey we submitted with the application reflects that the shed in the back yard and 111 ft on our property. However the writing in red by the city does not appear to have the correct calculation, is circled in red and calculated to be 340 ft all of which is applied to our property despite the survey clearly showing a property line dividing the building.

The shed is a shared building between us and our neighbor Leo. Our survey reflects 5'5 ft X 20'2 ft=111 ft. The shed has a wall separating the building between the two properties. We have our neighbors survey which supports the shared structure. The survey we submitted clearly reflects Leo's side of the shed is 12'4 ft x 20'2 ft=250.48 ft.

We also have the property appraiser tax documents for both properties. The shed actually does not appear on our taxes as a building at all and reflects our neighbor is being taxed for an 18 ft X 20 ft storage shed.

The calculations submitted by the city to P&Z reflected that our proposed addition of a deck 10 ft X 20 ft would exceed the 40% by 128 ft. This calculation is inaccurate since we only own 111 ft on our property and not the 340 ft that was provided to the committee. Therefore we are under our 40%.

We would appreciate an opportunity to provide you with the supporting documentation and rectifying the issue. Our neighbor Leo has also offered to send an email to validate the shed ownership on his property. He also indicated that the city 1922 plat reflects this shed prior to these lots being divided.

Left you a message with the front administrative staff since your voicemail is full.

Thank you for your consideration in this matter.

Anne and Bill Avery
850-322-8937 and 850-545-9983



205 17th Street
Denton Cove Sign

CITY OF APALACHICOLA
 CERTIFICATE OF APPROPRIATENESS APPLICATION

Official Use Only

HISTORIC DISTRICT ONLY

Application # _____
 City Representative _____
 Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Denton Cove, Ltd.
 Address 1105 Kensington Park Dr
 City Altamonte Springs State FL Zip 32714
 Phone (407) 333-2233

Contractors Name: RBK3, LLC dba Roger B. Kennedy Construction
 State License # CGC1523379 City License # 15-052
 Email Address nbarni@rbkennedy.com
 Phone (407) 478-4500

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: Sign

PROPERTY INFORMATION:

Street Address: 205 17th Street City & State: Apalachicola, FL Zip: 32320
 Historic District Non-Historic District Zoning District: R2
 Parcel #: 01-095-08W-8330-0126-0010 Block(s) _____ Lot(s) _____
 FEMA Flood Zone/Panel #: 12037C0507E
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25 Side: 15 Lot Coverage: 50
 Water Available: _____ Sewer Available: _____ Taps Paid: _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits.

Bree Robinson
 Grant Coordinator & City Planner
 City of Apalachicola
 o: 850-323-0985
 brobinson@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Monument sign for an apartment complex with Clubhouse/Leasing office. Structure will be a concrete masonry wall with precast caps, stucco and paint to match buildings on property. Sign lettering to be based on Denton Cove, Ltd's logo.

any illumination?
current is connected to power.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation		Cast-in-place concrete	
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

10/19/2022
DATE


SIGNATURE OF APPLICANT

Jonathan L. Wolf, Manager of Denton Cove GP, LLC
general partner of Denton Cove, Ltd.

CITY OF APALACHICOLA
BUILDING DEPT.
192 Conch Wygoner Blvd. 850-653-1522
APPLICATION FOR BUILDING PERMIT

DATE: 10/10/2022 Permit Issued: _____ Permit Fee _____

OWNER'S NAME: Denton Cove, Ltd. Email: construction@wendovergroup.com

ADDRESS: 1105 Kensington Park Dr, Ste. 200

CITY, STATE & ZIP CODE: Altamonte Springs, FL 32714 PHONE # (407) 333-3233

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: RBK3, LLC dba Construction ^{Roger B. Kennedy} Email: rbarni@rbkennedy.com

ADDRESS: 1105 Kensington Park Dr

CITY, STATE & ZIP CODE: Altamonte Springs, FL 32714 PHONE # (407) 478-4500

STATE LICENSE NUMBER: CGC1523379 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 205 17th Street Apalachicola, FL 32320

PURPOSE OF PERMIT: New Construction - Sign

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 01-095-08W-8330-0126-0010

LEGAL DESCRIPTION OF PROPERTY: See attached.

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: Foreman Consulting, Inc.

ADDRESS: 266 Lakou Place CITY, STATE & ZIP: Longwood, FL 32779

MORTGAGE LENDER'S NAME: Bank of America, N.A.

ADDRESS: PO Box 15284 CITY, STATE & ZIP: Wilmington, DE 19850

WATER SYSTEM PROVIDER: Apalachicola City SEWER SYSTEM PROVIDER: Apalachicola City

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, faults, and air conditioners, etc. (applications may be emailed to towens@cityofapalachicola.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Roof Sign Pole Barn
 Temp Pole Demolition Other _____
 Addition, Alteration or Renovation to building. _____

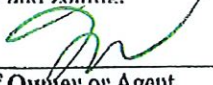
Distance from property lines: Front 9' 6" Rear 363' 0" L. Side 165' 0"
 R. Side 247' 0"
 Cost of Construction \$ N/A (Incl. in GC Contract for Denton) Square Footage N/A
 EPI _____ Flood Zone _____ Lowest Floor Elevation N/A
 Area Heated/Cooled 0 SF # Of Stories 0 # Of Units 0
 Type of Roof N/A Type of Walls Masonry Type of Floor N/A
 Extreme Dimensions of: Length 12' 0" Height 6' 0" Width 2' 0"

24 ft²
 Footprint
 72 ft²
 of signage.

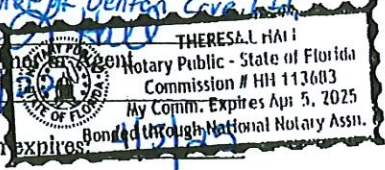
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.


NOTICE: City of Apalachicola Building Department does not have the authority to enforce DBED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

 12/19/22
 Signature of Owner or Agent Date

 10/20/2022
 Signature of Contractor Date

Theresa L. HAI
 Notary as to Owner
 Date: 10/20/22
 My Commission expires: 4-5-2025


Sheri L. Ebersbach
 Notary as to Contractor
 Date: 10-20-2022
 My Commission expires: 4-18-2023


APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: towens@cityofapalachicola.com or drop off in City drop box)
 (make checks payable to City of Apalachicola)

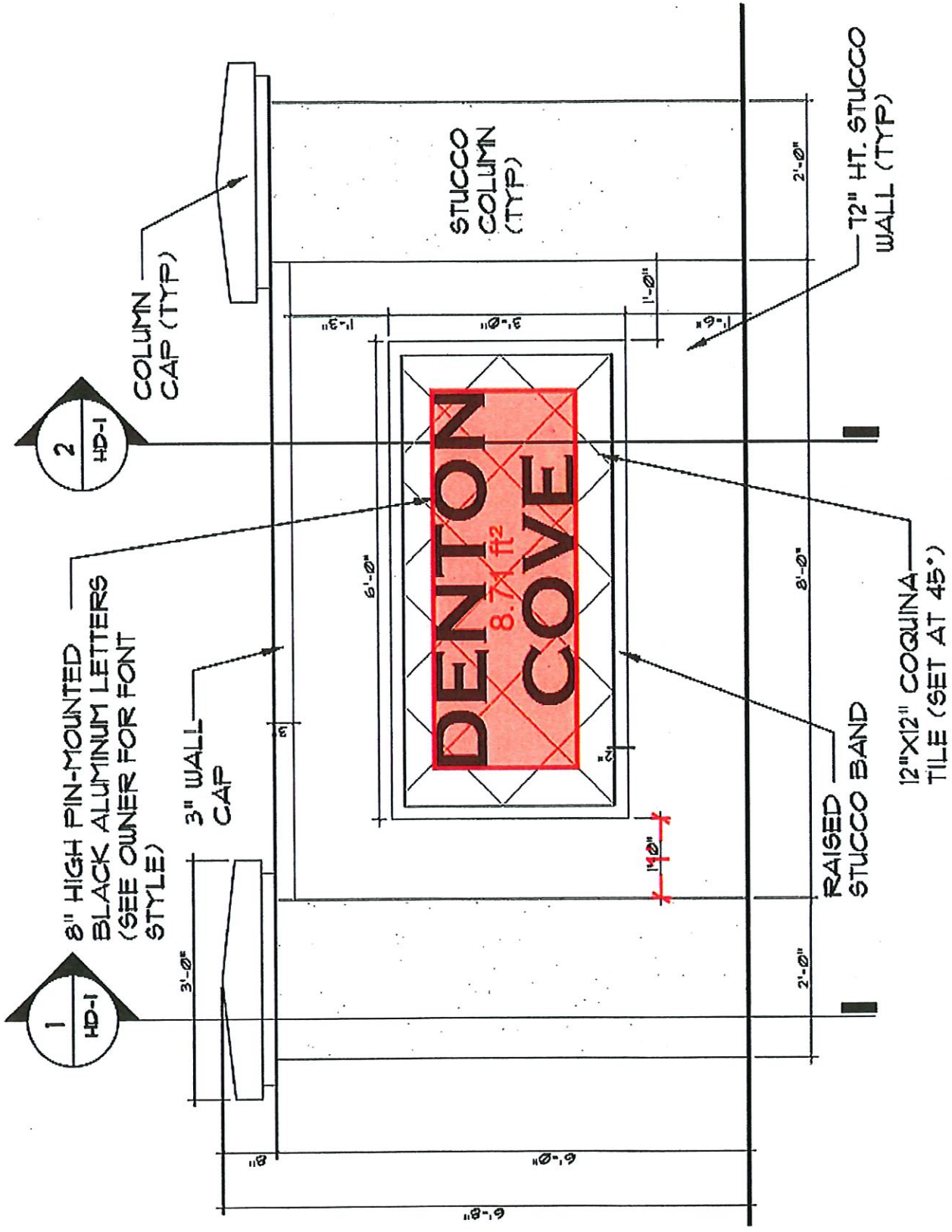
Denton Cove

Development Number 2015-088C/2016-001C/2017-302C /2019-423C/2018-337V

LEGAL DESCRIPTION: (AS SURVEYED AND WRITTEN)

BEGIN AT A 1/2" IRON ROD AND CAP NO. LB7137 MARKING THE INTERSECTION OF THE SOUTHEASTERLY RIGHT OF WAY LINE OF AVENUE "L" WITH THE NORTHEASTERLY RIGHT OF WAY LINE OF 17TH STREET; THENCE PROCEED NORTH 41 DEGREES 21 MINUTES 05 SECONDS EAST, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE OF AVENUE "L", FOR A DISTANCE OF 375.00 FEET TO A FOUND 5/8" IRON ROD AND CAP NO. LB7160; THENCE LEAVING SAID SOUTHEASTERLY RIGHT OF WAY LINE, PROCEED SOUTH 48 DEGREES 41 MINUTES 14 SECONDS EAST, FOR A DISTANCE OF 425.00 FEET TO A FOUND 5/8" IRON ROD AND CAP NO. LB7160; THENCE SOUTH 41 DEGREES 21 MINUTES 05 SECONDS WEST, FOR A DISTANCE OF 375.00 FEET TO A FOUND 5/8" IRON ROD AND CAP NO. LB7160 ON THE NORTHEASTERLY RIGHT OF WAY LINE OF AFORESAID 17TH STREET; THENCE NORTH 48 DEGREES 41 MINUTES 14 SECONDS WEST, ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE, FOR A DISTANCE OF 425.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 3.659 ACRES, MORE OR LESS.



SIGN WALL & COLUMNS

SCALE: 1/2" = 1'-0"

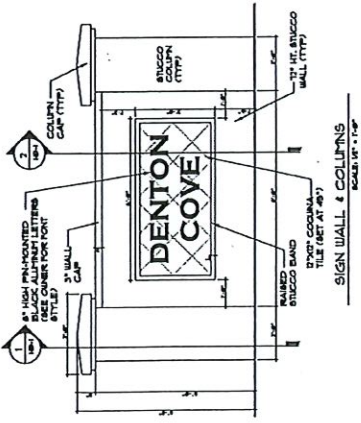
* Constructed without a permit. 72ft² total face, 18ft² signage.



NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

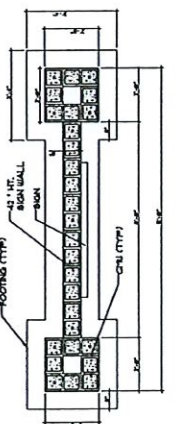
DENTON COVE
 PREPARED FOR: RECOVER HOLDINGS
 CITY OF APALACHOLA, FLORIDA
 HARDSCAPE DETAILS

SHEET NO. **HD-1**

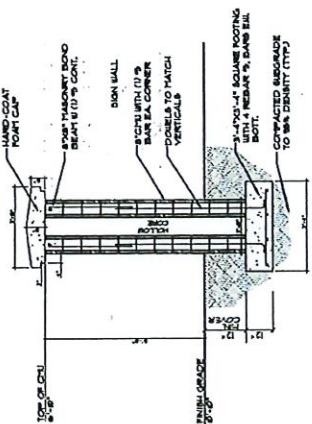


NOTE:
 ALLOWABLE SIGN COPY AREA IS 288 SQUARE FEET.
 ALLOWABLE SIGN COPY AREA IS 1152 SQUARE FEET.
 PROVIDED SIGN COPY AREA IS 1152 SQUARE FEET.

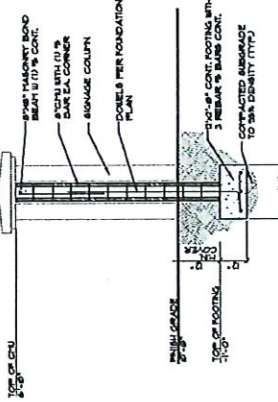
IF A DOG EYE VIEW IS WANTED, APPLY 1/2" REBAR @ 18" ON CENTER WITH EMBEDMENT DRILL 1/2" DIAMETER HOLES FOR 3" DOBELS.



SIGN WALL & COLUMNS FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



1. 12'-0" HT. SIGN COLUMN SECTION
 SCALE: 1/4" = 1'-0"



2. 12'-0" HT. SIGN WALL SECTION
 SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES:
 THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE WIND LOADS AND PRESSURES AS SPECIFIED IN THE FLORIDA BUILDING CODE SECTION 1609 AND INCLUDING ALL THE FOLLOWING:
 1. WIND SPEED-135 MPH ULTIMATE WIND SPEED (VUL) AND 150 (VWSG).
 2. CONSTRUCTION TYPE-COMMERCIAL.
 3. WIND EXPOSURE-CATEGORY C.

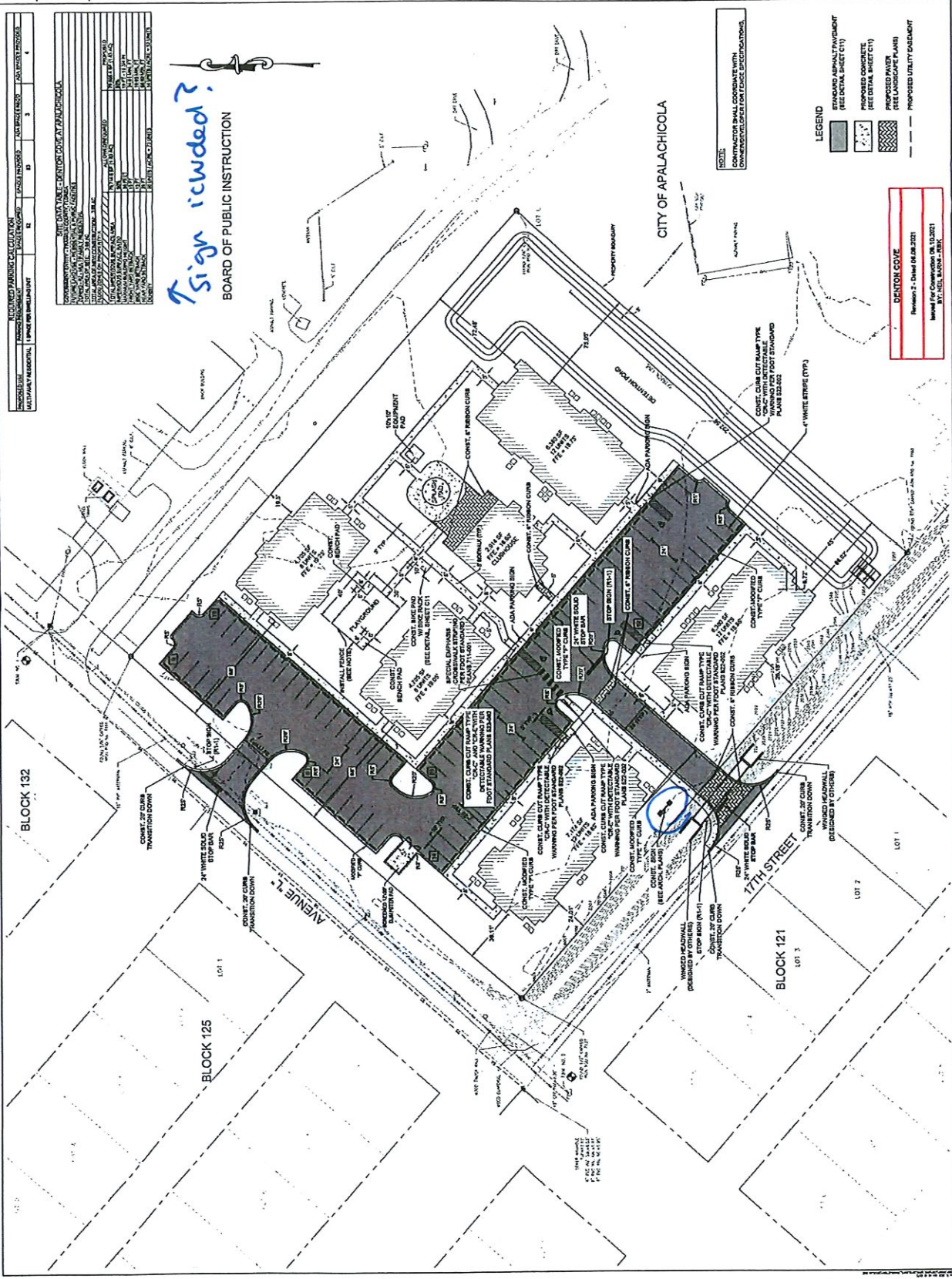
NOTES:
 1. CONCRETE TO BE 3000 PSI.
 2. ALL STEEL TO BE GRADE 48 WITH 3" COVER AND 30" OVERLAP.
 3. FOOTINGS HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2500 PSF.
 4. ALL DOBELS TO BE TIED WITH WIRE TIE (SIMPSON WET) 1/4" x 1/4" DIAMETER. DRILL 1/2" DIAMETER HOLES FOR 3" DOBELS.
 EMBEDMENT DRILL 1/2" DIAMETER HOLES FOR 3" DOBELS.

STRUCTURAL ENGINEERING PREPARED BY:
 T. A. CANNON, P.E.
 LICENSED PROFESSIONAL ENGINEER
 931 SOUTH BR 454, JALAPORTE SPRINGS, FL 32114
 407-351-9291

Footings have been designed for a General Foundation Notes: soil bearing pressure of 2000 PSF.

- All concrete slabs shall have a compressive strength of not less than 2500 PSI @ 28 days. Slabs shall be reinforced with fiber mesh on 6 mil. vapor barrier over clean compacted termite treated fill.
- Concrete footings shall have a compressive strength of not less than 2500 PSI @ 28 days. Reinforce footings with # 5 bars as indicated. All bars shall be deformed, and shall conform to ASTM designation A615. All bars shall be clean and free of rust. Splices shall overlap at least 25". All rebar to be cast in place. For concrete block walls provide concrete filled cells with # 3 bar vertically continuous from footing to tie beam at all corners and where otherwise noted as per foundation plan.

DENTON COVE
 BID SET - 1411.2017
 BY: NEIL BANN - IREK



Dewberry
 Dewberry Engineers Inc.
 3111 W. STATE ST., SUITE 300
 TAMPA, FL 33618

CITY OF APALACHICOLA
 AT APALACHICOLA
 DENTON COVE

FRANKLIN COUNTY, FLORIDA

AVOCSA ADJSC-ADD0001
 03-23
 02.1.2021

SCALE: 1" = 32'

NO. DESCRIPTION DATE

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____

SITE PLAN

PROJECT NO. 6210306

C7

SHEET NO.

* they are maxed out on lot coverage @ 50%
 - new sign adds 12' x 2' = 24'² of lot coverage?

* sign included?
 BOARD OF PUBLIC INSTRUCTION

* was sign included on original site plan lot coverage calculations? Need verification.

Sec. 113-83. - Signs permitted in residential zones.

For the purposes of this section, the following shall be considered residential districts: R1, R2, R3, R4 and OR. Signs are permitted in these districts as follows:

- (1) For home occupations: one non-illuminated wall sign, not to exceed three square feet in size is permitted.
- (2) For permitted nonresidential uses other than home occupations, including churches and synagogues: one freestanding monument sign not to exceed 12 square feet in area or eight feet in height.

(LDC, art. V, § M)

* there is a leasing office with an

employee, so could fall under (2).

regardless, they'd be limited to 12 ft².

This application is for a 72 ft²

structure, with a footprint of 24 ft²

and a "sign" of 18 ft².

* maxed out on lot coverage, cannot add 24 ft²..?

* cannot recommend approval. - Bruce R.



270 Acola/135 Bay Colony

Pavers & Pond Removal

CITY OF APALACHICOLA
 CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT ONLY-

Official Use Only

Application # _____
 City Representative _____
 Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner DOUG/JONI LAWRENCE
 Address 270 ACOLA / 135 BAY COLONY
 City APALACHICOLA State FL Zip 32320
 Phone (850) 658-6001

Contractors Name: SAME
 State License # _____ City License # _____
 Email Address _____
 Phone (____) _____

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

New Construction

Addition

Alteration/Renovation ?

Relocation

Demolition

Fence

Repair (Extensive)

Variance

Other: PAVERS, BRIDGE + Pond Removal

PROPERTY INFORMATION:

Street Address: 270 Acola SAME AS ABOVE City & State _____ Zip 32320

Historic District Non-Historic District Zoning District R-2

Parcel #: 12-095-08W-1,000-0000-0200 Block(s) 5 Lot(s) 7+8

FEMA Flood Zone/Panel #: AE +BC lot 20
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25 Side: 15'/7.5' split Lot Coverage: 40%

Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contacted to handle the City of Apalachicola Building Permits, EPCL.

Tammy Owens
 Permitting and Development Coordinator
 (850) 658-1522
towens@cityofapalachicola.com

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

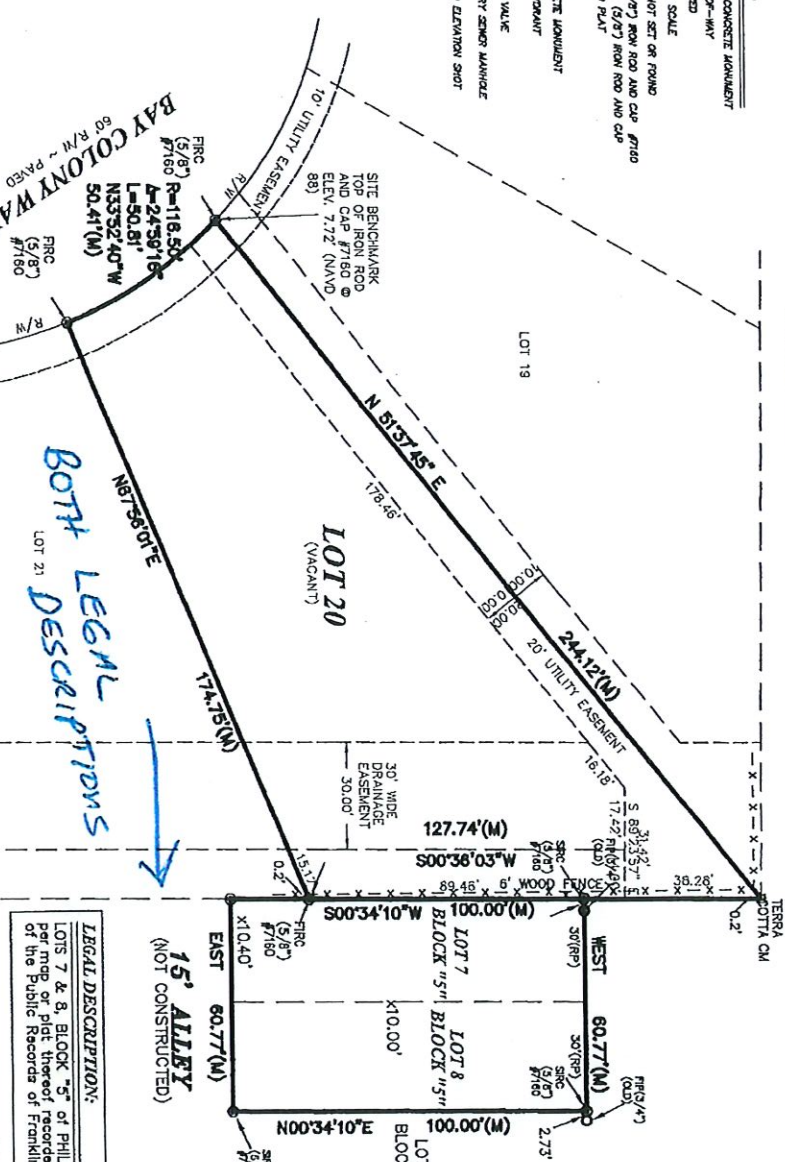
10/10/22
DATE

Doug Lawrence
SIGNATURE OF APPLICANT

**PLAT OF SPECIFIC PURPOSE TO SHOW PROPERTY FOR:
DOUGLAFRENCE**

LEGEND

PC	FOUND CONCRETE MONUMENT
R/W	RIGHT-OF-WAY
M	MESSEGED
	NOT TO SCALE
Δ	POINT NOT SET OR FOUND
SIC	SET (S/87) FROM ROD AND CAP #7160
PIC	FOUND (S/87) FROM ROD AND CAP
PC	FOUND RECORD PLAT
R/O	FOUND
PC	FOUND CONCRETE MONUMENT
CM	CONCRETE MONUMENT
HW	PIPE HIGHWAY
W	WATER VALVE
SW	SWIFTWAY SIGNAL MANHOLE
X	8.58' GRAVIMETER ELEVATION SHOT



LEGAL DESCRIPTION:
Lot 2D of BAY COLONY, a subdivision as per map or plat thereof recorded in Plat Book 1, Page 5 of the Public Records of Franklin County, Florida

LEGAL DESCRIPTION:
LOTS 7 & 8, BLOCK "S" of PHILLOO SHORES, a subdivision as per map or plat thereof recorded in Plat Book 1, Page 18, of the Public Records of Franklin County, Florida

- NOTES:**
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
 2. BEARING REFERENCES: Northernly boundary of subject parcel being.
 3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
 4. THIS IS NOT A BOUNDARY SURVEY.
 5. Not valid without the signature and the original related seal of a Florida licensed surveyor and mapper.

FLOOD ZONE INFORMATION:
Subject property is located in Zone "AE" (E1 1) as per Flood Insurance Rate Map Community Panel No. 120990 0506F. Index date: February 5, 2014, Franklin County, Florida.

T. Murray R. Adair & Associates, Inc.
REGISTERED PROFESSIONAL SURVEYORS AND MAPPERS
1450 BAYVIEW BLVD., SUITE 200
FRENCH CREEK, FLORIDA 32740
PH: 407-945-8888
FAX: 407-945-8888
WWW.TMRA.COM

DRAWN BY: MLD	CHECKED BY: MLD
DATE: 05/23/20	DATE: 05/23/20
SCALE: AS SHOWN	SCALE: AS SHOWN

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and correct to the best of my knowledge and belief and were prepared by me or under my immediate supervision and I am a duly licensed professional surveyor and mapper (P.L.C. 50-17031, /625).
The undersigned surveyor has not been provided a current title opinion or report of a registered title insurance company, title insurer or other title insurance provider. It is possible there are deeds of record, unrecorded deeds, easements or other instruments which could affect the title to the subject property.

T. Murray R. Adair
REGISTERED PROFESSIONAL SURVEYOR AND MAPPER
Florida Certificate No. 4291



BY ORDER OF
 FRANKLIN COUNTY
 BOARD OF COUNTY COMMISSIONERS
 DATE: 07/14/22
 PROJECT: 22-00034

LOT 20 of the CITY OF PHILACO, FLORIDA
 PHILACO SHORES & PHILACO BEACH
 FRANKLIN COUNTY, FLORIDA

DRAWING INDEX

1-1	FRANKLIN COUNTY CERTIFICATION
1-2	FRANKLIN COUNTY CONTRIBUTION
1-3	PERMITS AND CALCULATIONS

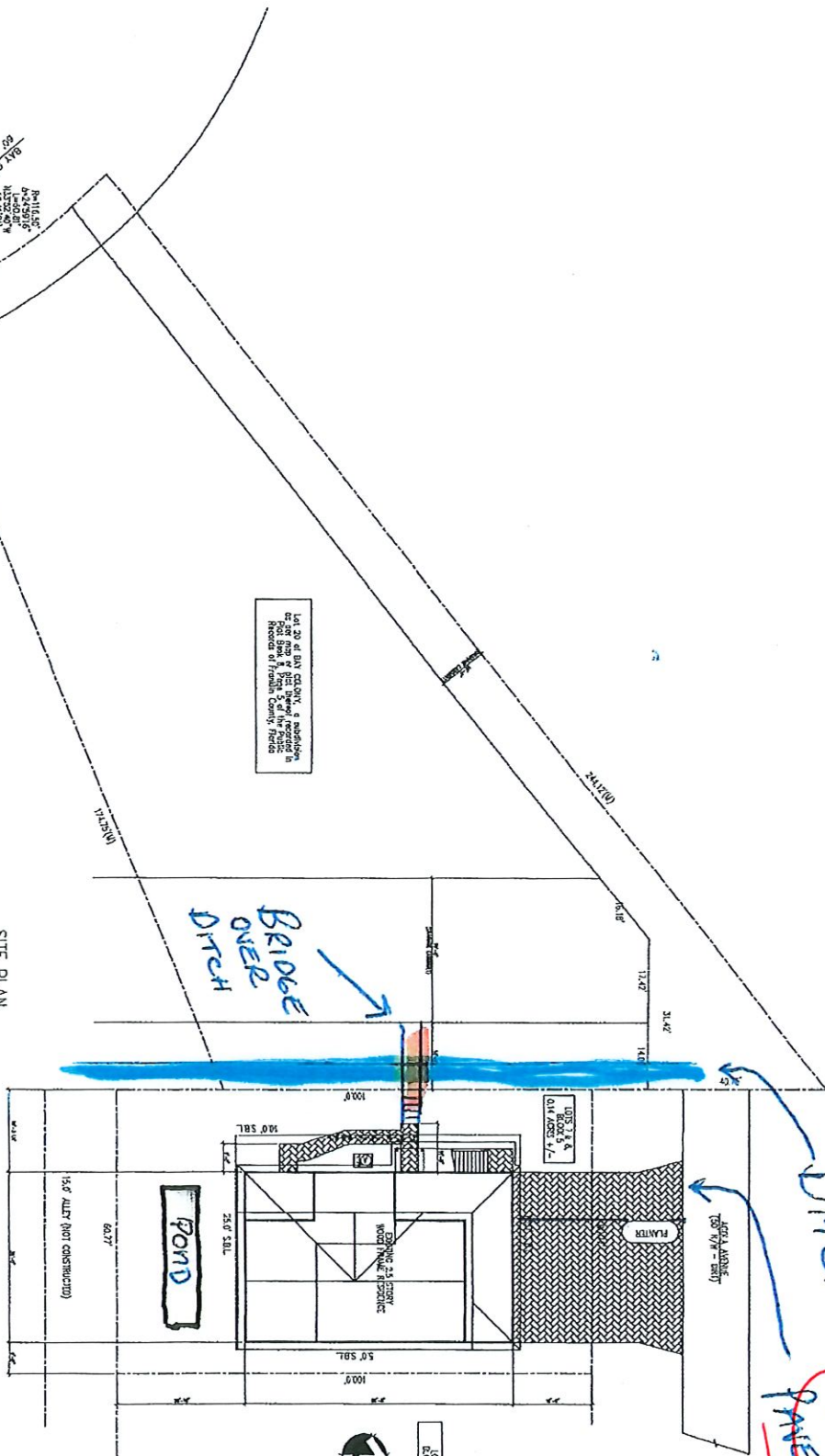
PERMITS AND CALCULATIONS

1-1	FRANKLIN COUNTY CERTIFICATION	DATE: 07/14/22
1-2	FRANKLIN COUNTY CONTRIBUTION	DATE: 07/14/22
1-3	PERMITS AND CALCULATIONS	DATE: 07/14/22

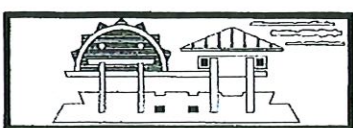
FRANKLIN COUNTY CONTRIBUTION

1-1	FRANKLIN COUNTY CERTIFICATION
1-2	FRANKLIN COUNTY CONTRIBUTION
1-3	PERMITS AND CALCULATIONS

SITE PLAN
 SCALE: 3/32" = 1'-0"
 LOTS 7 & 8, BLOCK 3 OF PHILACO SHORES AND LOT 20 OF PHILACO BEACH, FRANKLIN COUNTY, FLORIDA



DITCH
NEW FENCES




PROJECT	DATE	SHEET #
1-1	07.14.22	A-1
1-2		1

LAWRENCE RESIDENCE
 LOTS 07 & 08 PHILACO SHORES
 AND LOT 20 BAY COLONY
 FRANKLIN COUNTY, FL

Tyler R. Doin - Architect
 FL# AR62117
 325 West Shore Drive
 Inlet City Beach, Florida
 32461
 (850) 231-9066



Browser tabs: samesgazebos.com/collections/b-edges/bridge, Yahoo! Japan, Panama City, FL Acc..., Electronics Cars Fa..., Auto Auction - Cop., Concrete Block F.H., Other bookmarks



SamsGazebos 8 foot Japanese Wood Garden Bridge
\$ 1,499.99

Split your purchase into monthly installments with [shop Pay](#) [Learn more](#)

Quantity:

Our gracefully arched wood garden bridges blend into any landscape theme, highlight your water features and rock gardens, adding a spirit-nurturing...

Chat with us 1

System tray: 7:11 Sunny, 12:12 PM 10/11/2022

driveway - 275 ft²
paver path - 160 ft²
pavers → 160 ft²

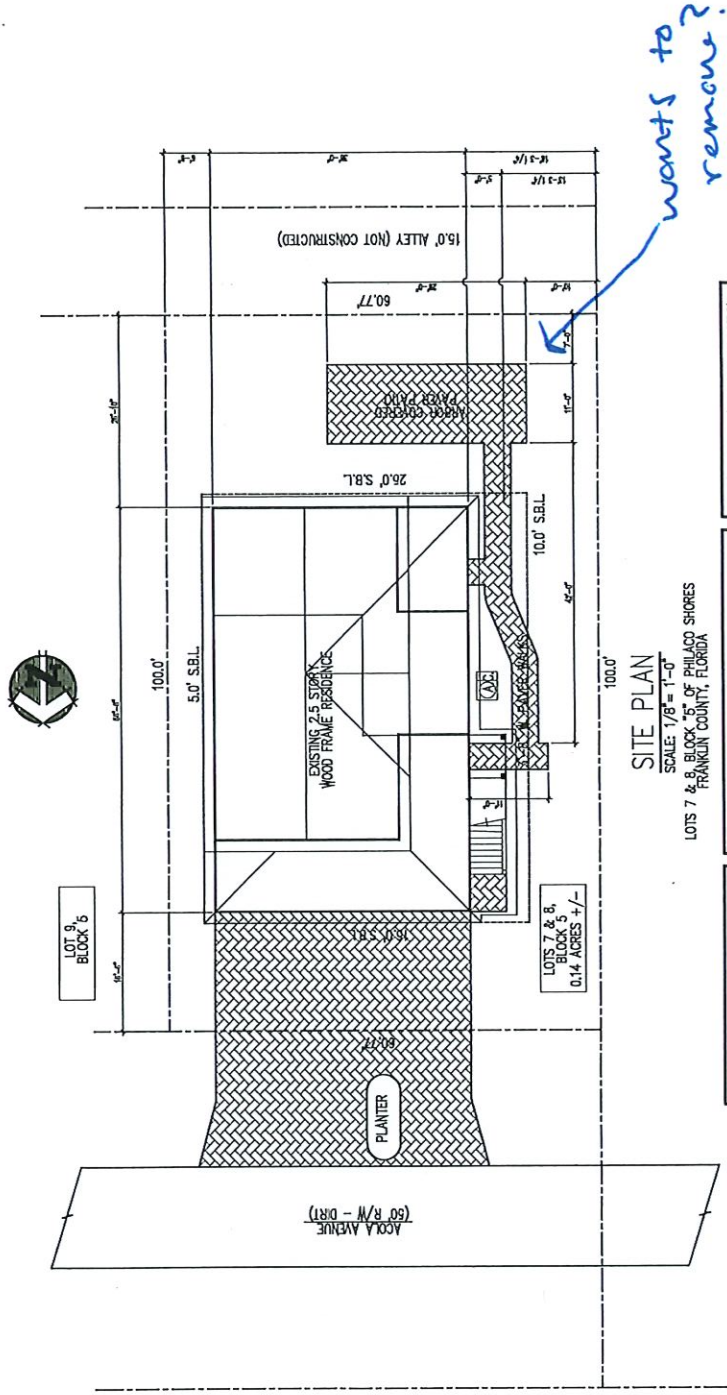
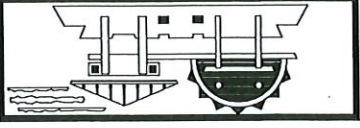
↑
provided
by
applicant



Tyler R. Doin—Architect
 Fl. # AR92117
 320 West Shore Drive
 Inlet City Beach, Florida
 32501 (950) 231-9068

LAWRENCE POOL
 PHILACO SHORES
 FRANKLIN COUNTY, FL

DATE:	05.03.22
REVISION:	01
SCALE:	A-1



SITE PLAN
 SCALE: 1/8" = 1'-0"
 LOTS 7 & 8, BLOCK 5 OF PHILACO SHORES
 FRANKLIN COUNTY, FLORIDA

FRANKLIN COUNTY CERTIFICATION
 I HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THIS SITE PLAN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM A LICENSED ARCHITECT IN THE STATE OF FLORIDA. I HAVE REVIEWED THE SITE PLAN AND THE INFORMATION CONTAINED THEREIN AND I AM SURE THAT THE SAME COMPLY WITH ALL APPLICABLE ORDINANCES AND REGULATIONS OF THE COUNTY OF FRANKLIN, FLORIDA. I HAVE ALSO REVIEWED THE INFORMATION CONTAINED IN THE MISCELLANEOUS CALCULATIONS AND I AM SURE THAT THE SAME ARE CORRECT AND ACCURATE. I HAVE ALSO REVIEWED THE INFORMATION CONTAINED IN THE DRAWING INDEX AND I AM SURE THAT THE SAME ARE CORRECT AND ACCURATE. I HAVE ALSO REVIEWED THE INFORMATION CONTAINED IN THE DRAWING INDEX AND I AM SURE THAT THE SAME ARE CORRECT AND ACCURATE. I HAVE ALSO REVIEWED THE INFORMATION CONTAINED IN THE DRAWING INDEX AND I AM SURE THAT THE SAME ARE CORRECT AND ACCURATE.

MISCELLANEOUS CALCULATIONS

OWNER:	ADDRESS:	CITY:	STATE:	ZIP:
PROJECT:	DATE:	SCALE:	SHEET NO. OF TOTAL SHEETS:	
SITE CALCULATIONS:				
LOT AREA:	LOT AREA:	LOT AREA:	LOT AREA:	LOT AREA:
PERMITTED:	PERMITTED:	PERMITTED:	PERMITTED:	PERMITTED:
REMARKS:	REMARKS:			

DRAWING INDEX
 A-1 DRAWING INDEX
 SITE PLAN
 FRANKLIN COUNTY CERTIFICATION

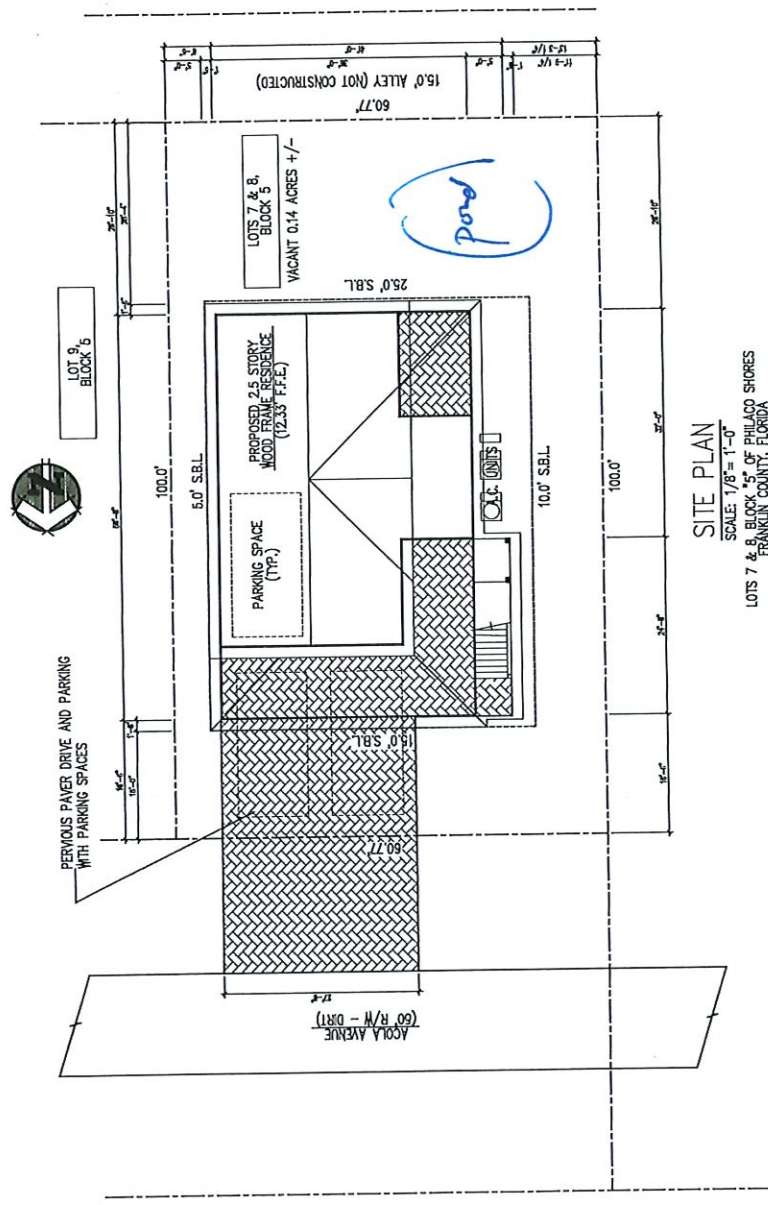
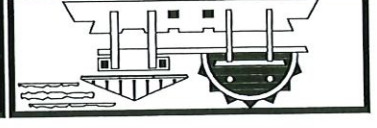
Handwritten notes:
 17' S.B.L. (circled)
 Coverage by
 47.2 ft
 25 ft



Tyler R. Dohn-Architect
 325 West Shore Drive
 Ft. Myers, Florida 33901
 (888) 786-5697
 (850) 251-9068

LAWRENCE RESIDENCE
 LOTS 07 & 08
 PHILADO SHORES
 FRANKLIN COUNTY, FL.

DATE:	12.05.2018	3
REVISED:	12.05.2018	0
PROJECT:	1712	A-1
SHEET:		



SITE PLAN
 SCALE: 1/8" = 1'-0"
 LOTS 7 & 8, BLOCK 5 OF PHILADO SHORES
 FRANKLIN COUNTY, FLORIDA

FRANKLIN COUNTY CERTIFICATION
 I HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT REPRESENTATION OF THE PROJECT AS SHOWN ON THESE PLANS AND THAT THE PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PHILADO ORDINANCES AND THE FRANKLIN COUNTY ZONING ORDINANCES. I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF FLORIDA AND AM A MEMBER OF THE ARCHITECTS' BOARD OF FLORIDA. I AM NOT PROVIDING ANY PROFESSIONAL ENGINEERING SERVICES ON THESE PLANS. ALL NECESSARY PROFESSIONAL ENGINEERING SERVICES SHALL BE OBTAINED FROM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA.

MISCELLANEOUS CALCULATIONS:

AREA	PERCENTAGE	MAXIMUM ALLOWABLE	ACTUAL
FLOOR AREA	100%	100%	100%
COVERED AREA	100%	100%	100%
OPEN AREA	0%	0%	0%
TOTAL AREA	100%	100%	100%

PERVIOUS PAVEMENT CALCULATIONS:

PERVIOUS PAVEMENT	PERCENTAGE	MAXIMUM ALLOWABLE	ACTUAL
PERVIOUS PAVEMENT	100%	100%	100%
IMPERVIOUS PAVEMENT	0%	0%	0%
TOTAL PAVEMENT	100%	100%	100%

DRAWING INDEX

A-1	DRAWING INDEX
E-1	STRUCTURAL CALCULATIONS
E-2	STRUCTURAL CERTIFICATION
F-1	FLOOR PLANS WITH ELECTRICAL PLANS
F-2	EXTERIOR ELEVATIONS
F-3	ROOF PLAN
F-4	SECTIONS
F-5	FOUNDATION PLAN
F-6	FRAMING PLANS
F-7	SECTIONS
F-8	STRUCTURAL DETAILS & NOTES
F-9	STRUCTURAL DETAILS & NOTES

under 40% if pond removed?

Lot 07 & 08, Block 5, Philaco Shores, Franklin County

Misc. calculations:

Lot square footage

6,077.0 s.f.

Allowed impervious (40%)

2,430.8 s.f. ✓

As permitted:

	Impervious %	Impervious s.f.	Pervious s.f.	Area(s)
	35.16%	2,137.00 s.f.	0.00 s.f.	Footprint under roof (574 h/c + 844 garage + 97.5 steps/stoop + 621.5 pavers = 2,137)
	00.00%		453.75 s.f.	Pervious pavers
Total	35.16%	2,137.00 s.f.		Combined pervious

Current:

	Impervious %	Impervious s.f.	Area(s)
	35.16%	2,137.00 s.f.	Footprint under roof (574 h/c + 844 garage + 97.5 steps/stoop + 621.5 pavers = 2,137)
	07.47%	453.75 s.f.	Impervious pavers
Total	42.63%***	2,590.75 s.f.***	Combined pervious

*** 159.95 s.f. over the allowed impervious s.f.

* cannot be over 40%, must eliminate

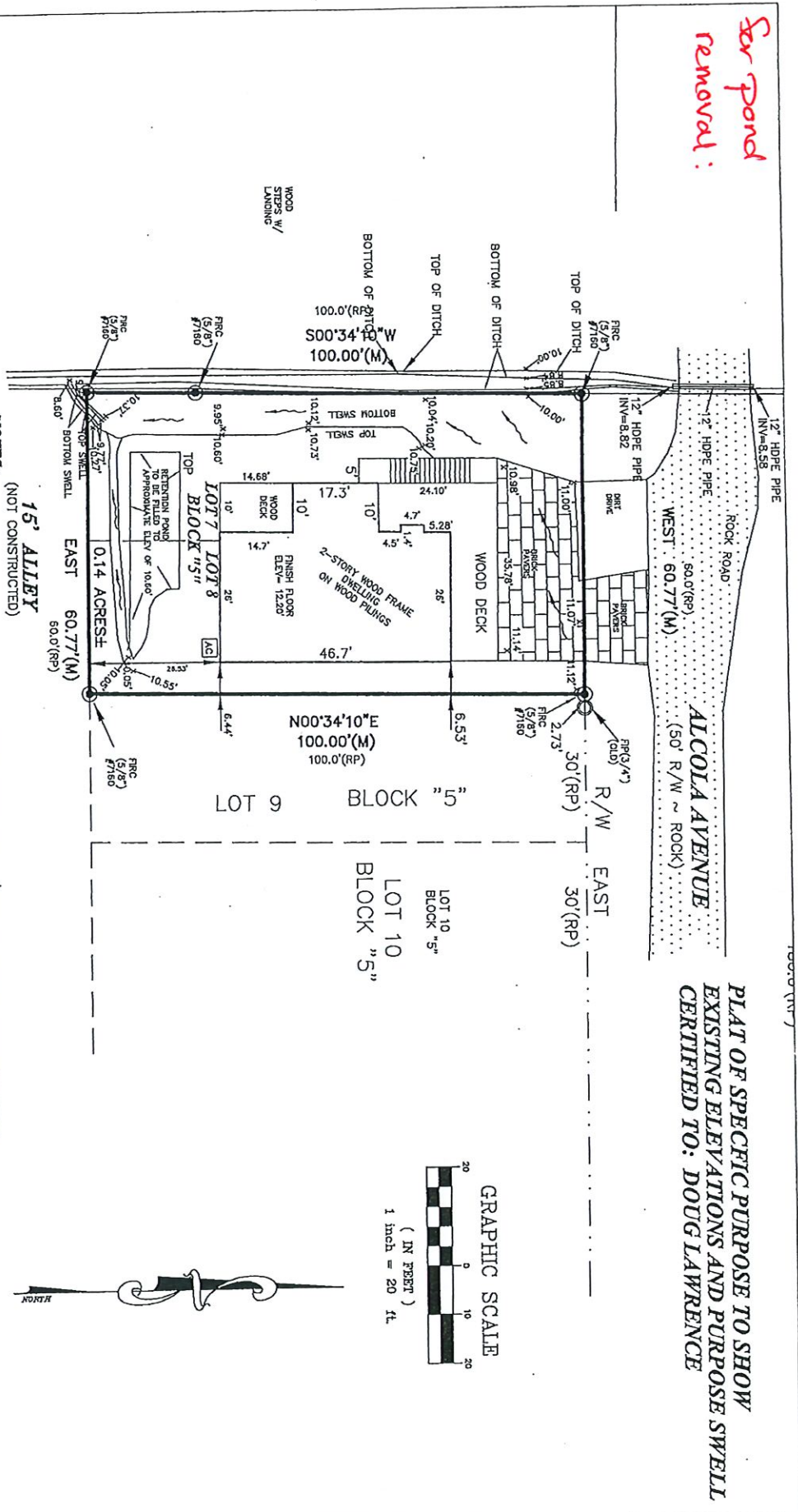
160 ft².

* P&Z cannot make decision on the bridge as it would go over City property.

City Manager needs contacted.

* Wants to remove pond - building inspector/floodplain manager asked for engineered plans.

For pond removal:



PLAT OF SPECIFIC PURPOSE TO SHOW EXISTING ELEVATIONS AND PURPOSE SWELL CERTIFIED TO: DOUG LAWRENCE



NOTES:

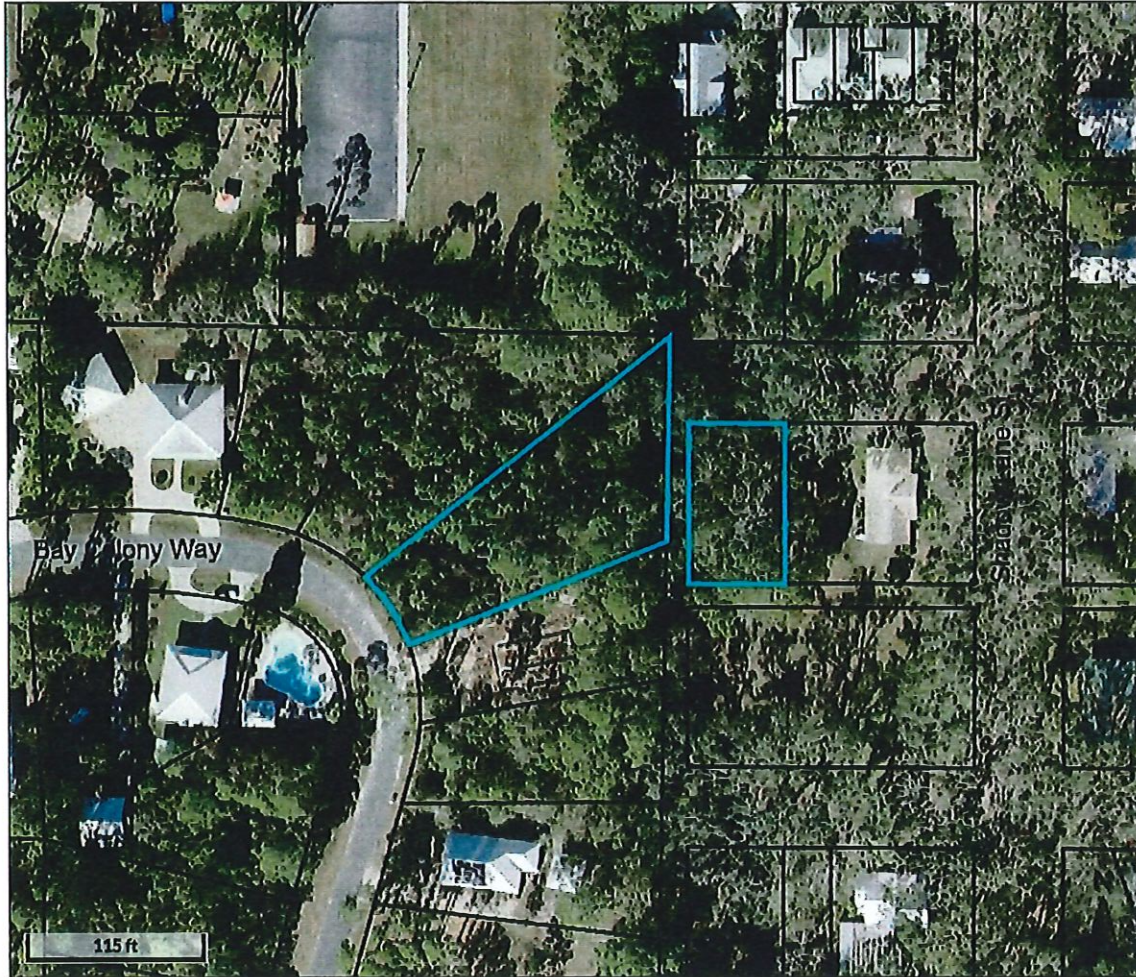
1. SURVEY SOURCE: RECORD PLAT and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southerly right-of-way boundary of ALCOLA STREET
3. THIS IS NOT A BOUNDARY SURVEY
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

I hereby certify that this was performed under my responsible direction and supervision and the plot and description are true and correct to the best of my knowledge and belief. The surveying was accomplished by the Florida Board of Professional Surveyors and Mappers (F.S.P.S.M. 17.001/002). The undersigned has provided a current title and a current assessment of modern leveling title or boundary to the subject property. It is possible there are deeds of record, unrecorded deeds, assessments of other instruments which could affect the boundaries.

JAMES I. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No. 4281

TR & A
 THEURMAN RODDENBERRY & ASSOCIATES, INC.
 PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 100 • 125 SHELTON STREET • SEVERSPOTT, FLORIDA 32355
 PHONE NUMBER 354-942-2311 FAX NUMBER 354-942-1191

DATE: 10/24/23	DRAWN BY: TR	POINT FILE TYPE	COUNTY: FRANKLIN
FILE: 18903.DWG	DATE OF LAST FIELD WORK: 10/21/22	CHECKED BY:	JOB NUMBER: 18-503



- Legend
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	12-09S-08W-1000-0000-0200	Alternate ID	08W09S12100000000200	Owner Address	LAWRENCE DOUG
Sec/Twp/Rng	n/a	Class	SINGLE FAMILY		LAWRENCE JONI
Property Address	270 ACOLA AVE	Acreage	n/a		270 ACOLA AVE
	APALACHICOLA				APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BAY COLONY SUB LOT 20 PB 8/5 <i>(Note: Not to be used on legal documents)</i>				

Date created: 11/2/2022
 Last Data Uploaded: 11/2/2022 8:03:23 AM

Developed by 



189 25th Avenue

Demolition & New Construction Single Family Residence

CITY OF APALACHICOLA
 CERTIFICATE OF APPROPRIATENESS APPLICATION

Official Use Only

Application # _____
 City Representative _____
 Date Received _____

OWNER INFORMATION

Owner Donna Crum
 Address 189 25th Avenue
 City Apalachicola State FL Zip 32320
 Phone (850) 443-0172

CONTRACTOR INFORMATION

Contractors Name: Paul Judson
 State License # CFC 1332206 City License # _____
 Email Address Nikki.ward@dswhomes.com
 Phone (850) 730-1400

Approval Type: [] Staff Approval Date: _____ [] Board Approval [] Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: single family residence, rebuild Florida

PROPERTY INFORMATION:
 Street Address: 189 25th Avenue City & State Apalachicola, FL Zip 32320
 [] Historic District [Non-Historic District Zoning District R-3
 Parcel #: 01-09S-08W-8330-0239-0250 Block(s) 239 Lot(s) 25 thru 30
 FEMA Flood Zone/Panel #: n/a
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:
 Front: 15' Rear: 25' Side: 15' Lot Coverage: 40%
combined, 7.5' each side
 Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.
 Certificate of Appropriateness Approval:

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official to handle the City of Apalachicola Building Permits.

Bree Robinson
 City Planner & Grant Coordinator
 850.323.0985 / brobinson@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Rebuild Florida will demo the home damaged from Hurricane Michael and rebuild on the existing property

Demolition of existing home
in order to rebuild SFL

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	Hardi	Artisan lap	10477.1
Doors	Hardi Simpson	6064 panels exterior swinging door	13265.1 39328
Windows	MI	fixed sizes 3540 EAW	18644.1
Roofing	Rex	synthetic felt	12512.1
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Rebuild Florida will demo the home damaged from Hurricane Michael and rebuild on the existing property.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	Halsdi	Arviken lap	10477.1
	Halsdi	30ft panels	13265.1
Doors	Simpson	exterior swinging door	39328
Windows	M1	fixed sashes 3540 F/W	18644.1
Roofing	Revo	synthetic felt	12512.1
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			



CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

10/5/22

SIGNATURE OF APPLICANT



NOTICE OF COMMENCEMENT

Space Reserved For Recording: _____

PERMIT # _____ PARCEL ID # _____

STATE OF FLORIDA, COUNTY OF FRANKLIN

The UNDERSIGNED hereby gives notice that improvements will be made to certain real property, an in accordance with Chapter 713, Florida Statutes, the following information is provided in the Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY: (Include Street Address)

191 25th St, Apalachicola, FL 32320, Parcel ID 01-095-086
8330-0239-0250

General Description of Improvements: demo and rebuild of single family residence

Owner Information or Lessee Information Contracted For The Improvements:

Name: Donna Cream Phone Number: _____

Address: 191 25th St, Apalachicola, FL 32320

Owner's Interest In Site Of The Improvement: _____

Name & Address Of Fee Simple Titleholder: _____

(If Different From Owner Listed Above): _____

Contractor's Name: DSW Homes Phone Number: 850-730-1400

Address: 3109 Minnesota ave #180, Panama city, FL 32405

Surety: (If Applicable, A Copy Of The Payment Bond Is Attached): _____

Name & Address: _____ Amount: \$ _____

Lender Name: _____ Phone Number: _____

Address: _____

PERSONS WITH IN THE STATE OF FLORIDA DESIGNATED BY THE OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED FOR BY FLORIDA STATUTE 713.13(1) (A) 7.

NAME: _____

ADDRESS: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES THE FOLLOWING PERSON(S) TO RECEIVE A COPY OF THE LEINOR'S NOTICE AS PROVIDED IN SECTION 713.13 (1)(B) FLORIDA STATUTES:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT (THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DAT OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.) _____

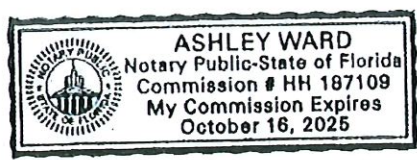
WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOBSITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

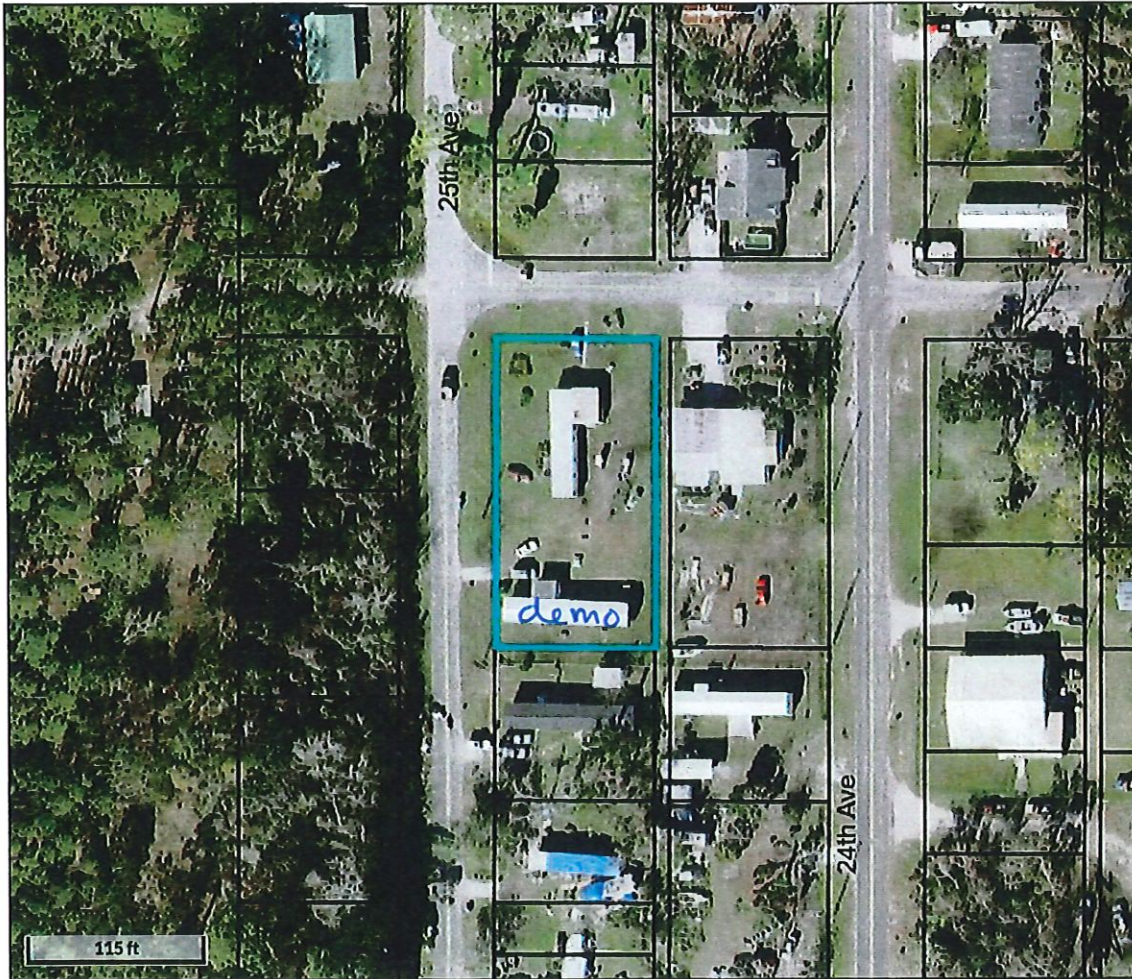
NOTARY SEAL:

Owner Signature: Donna Cream
Printed Name: Donna Cream

Sworn to me this 29th day of July In the year of 20 22

Notary Signature: Ashley Ward
Printed Name: Ashley Ward





Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0239-0250	Alternate ID	08W09S01833002390250	Owner Address	LINDSEY DONNAL
Sec/Twp/Rng	n/a	Class	MOBILE HOME		191 25TH STREET
Property Address	191 25TH AVE	Acreage	n/a		APALACHICOLA, FL 32320
	APALACHICOLA				
District	3				
Brief Tax Description	BLOCK 239 LOTS 25 THRU 30				
	(Note: Not to be used on legal documents)				

Date created: 11/2/2022
 Last Data Uploaded: 11/2/2022 8:03:23 AM

Developed by 

Sarah Gramlick

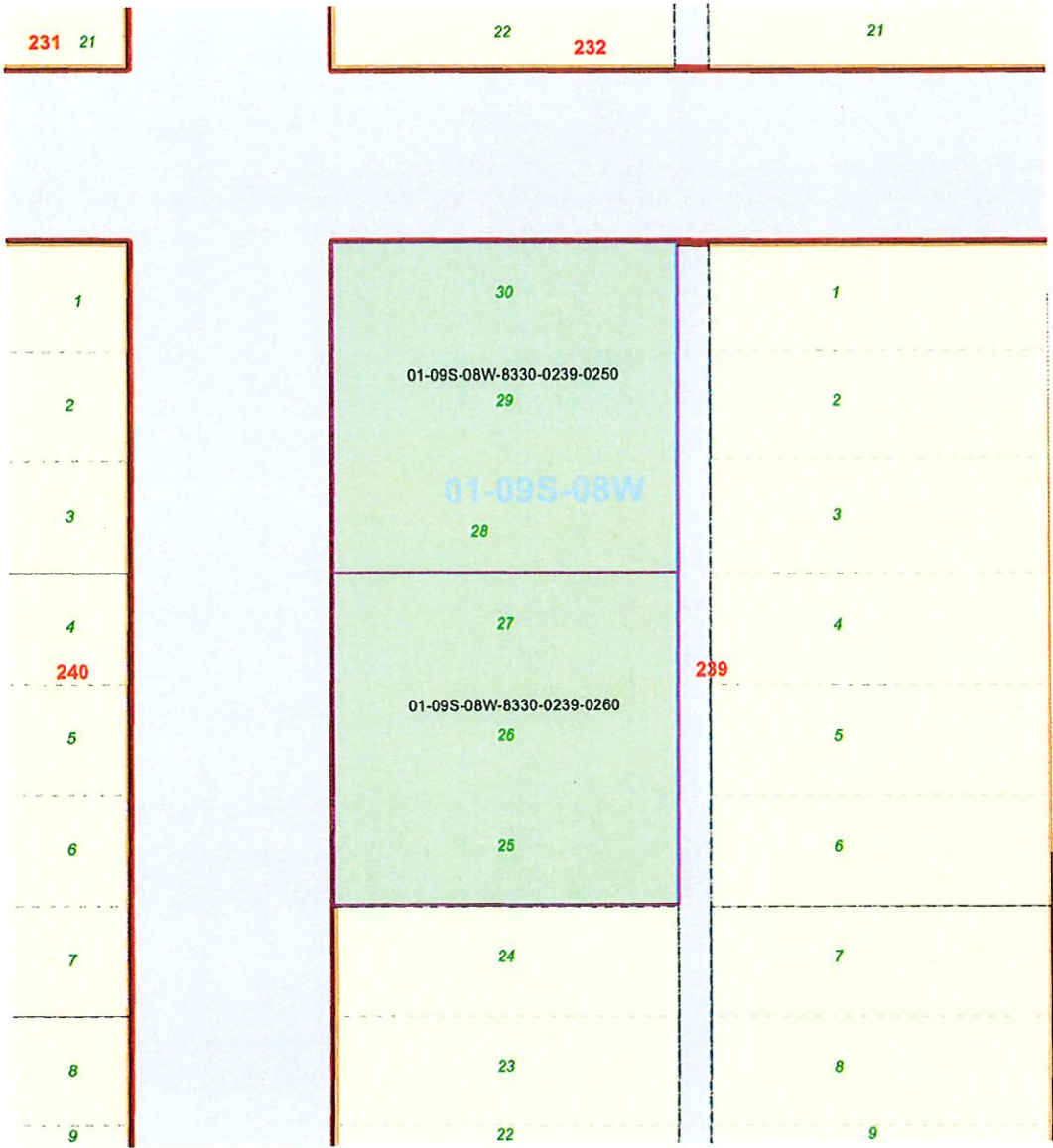
From: Joseph Ferrell <josephfcpa@yahoo.com>
Sent: Thursday, July 28, 2022 2:45 PM
To: Sarah Gramlick
Subject: address
Attachments: PRC for Parcel 01-09S-08W-8330-0239-0250.pdf

To whom this may concern:

This Parcel has two different structures on it. The northern structure is 191 25th Ave. The southern structure is 189 25th Ave. Our office is only able to list one address per parcel number. If you have any questions give me a call back. Have a great day!

Joseph Ferrell
GIS Specialist
Franklin County Property Appraiser's Office
Tel-(850) 653-9236

* need to
be separated
on Franklin
County property
appraiser.



lots have been split
 w/ Franklin County Property Appraiser.
 -see note on site plan.

REBUILD FLORIDA HOUSING REPLACEMENT

189 25TH AVENUE, APALACHICOLA
FRANKLIN COUNTY, FLORIDA
FL-HM18-252617

AUGUST 29, 2022

3 BEDROOM / 2 BATH NARROW PILES

PROJECT MANAGER

Dewberry Engineers Inc.
203 Aberdeen Parkway
Panama City, FL 32405
850.522.0644

ARCHITECTURAL

Larry W. Hasson, AIA
Dewberry Engineers Inc.

STRUCTURAL

L. Jack Husband III, PE
Southeastern Consulting
Engineers Inc.

PLUMBING

Chris Beverly, PE
Master Engineers & Designers

MECHANICAL

Chris Beverly, PE
Master Engineers & Designers

ELECTRICAL

Grant Beasley, PE
Master Engineers & Designers



Dewberry[®]





3 BEDROOM / 2 BATH NARROW PILES
 REBUILD FLORIDA HOUSING REPLACEMENT

SCALE

SCALE

As Indicated

No.	Description	Date

DESIGNED BY	
DRAWN BY	
APPROVED BY	
CHECKED BY	
DATE	AUGUST 26, 2022

TITLE
FINISH, DOOR, & WINDOW SCHEDULES

PROJECT NO. 5013118

A6.01

SHEET NO.

NO.	QTY	UNIT	DESCRIPTION	NO.	QTY	UNIT	DESCRIPTION	REMARKS
1	1	EA	WINDOW SCHEDULE	1	1	EA	WINDOW SCHEDULE	
2	1	EA	DOOR SCHEDULE	2	1	EA	DOOR SCHEDULE	
3	1	EA		3	1	EA		
4	1	EA		4	1	EA		
5	1	EA		5	1	EA		

NO.	DESCRIPTION	FINISH	REMARKS
1			
2			
3			
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WINDOW SCHEDULE REMARKS/LEADS

NOTE: REVISIONS TO THIS SCHEDULE SHALL BE MADE BY THE ARCHITECT. REVISIONS TO THIS SCHEDULE SHALL BE MADE BY THE ARCHITECT.

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ROOM NUMBER	DESCRIPTION	FLOOR FINISH	WALL FINISH	CEILING FINISH	REMARKS
01					
02					
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FINISH SCHEDULE REMARKS/LEADS

NOTE: REVISIONS TO THIS SCHEDULE SHALL BE MADE BY THE ARCHITECT. REVISIONS TO THIS SCHEDULE SHALL BE MADE BY THE ARCHITECT.

REVISIONS TO THIS SCHEDULE SHALL BE MADE BY THE ARCHITECT.

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Table with 2 columns: ITEM, QUANTITY

Table with 2 columns: REVISIONS, DATE

STRUCTURAL GENERAL NOTES

S3

SHEET NO.

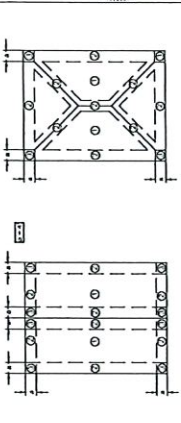
STRUCTURAL LOADS

Table with 2 columns: AREA, LOADS (DEAD, LIVE, WIND, SEISMIC)

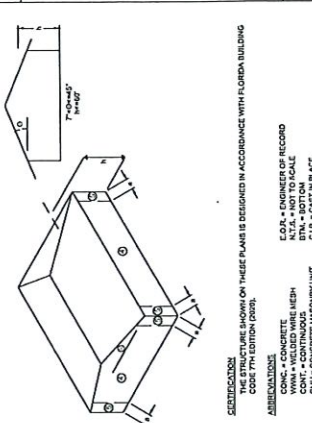
Table with 2 columns: COMPONENTS AND CLADDING ROOF PRESSURES (PSF)

Table with 2 columns: COMPONENTS AND CLADDING WALL PRESSURES (PSF)

NOTE: ALL PRESSURES SHOWN ARE BASED UPON AND DESIGN WITH A LOAD FACTOR OF 1.6



THE STRUCTURE SHOWN ON THESE PLANS IS DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 774 EDITION (2001)



ABBREVIATIONS: CON - CONCRETE, W - WOOD, S - STEEL, etc.

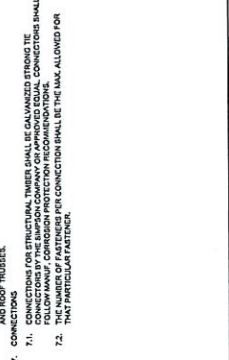
Table with 2 columns: WALL, ROOF, and corresponding material specifications.

WOOD

- 1. ALL HEADERS, BEAMS, POSTS, ETC. HAVE BEEN DESIGNED TO SUPPORT ROOF FRAMING AS SHOWN ON ROOF FRAMING PLAN. THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DESIGN OF ALL WOOD MEMBERS SHALL BE THE CONTRACTOR'S.

REINFORCEMENT

- 1. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE.



GENERAL

- 1. THE OWNER/CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL FINAL DIMENSIONS PRIOR TO START.

FOUNDATION

- 1. FOUNDATION DESIGN IS BASED ON ASSUMED ALLOWABLE BEARING CAPACITY OF 2000 PSF.

CONCRETE MASONRY

- 1. ALL CONCRETE SHALL BE DESIGNED IN ACCORDANCE WITH ACI 318 AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 308.

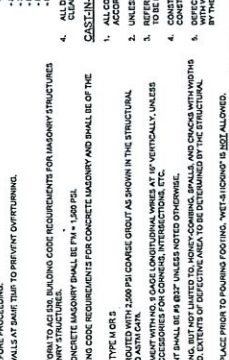


WOOD

- 1. ALL HEADERS, BEAMS, POSTS, ETC. HAVE BEEN DESIGNED TO SUPPORT ROOF FRAMING AS SHOWN ON ROOF FRAMING PLAN.

REINFORCEMENT

- 1. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE.



GENERAL

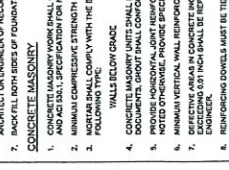
- 1. THE OWNER/CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL FINAL DIMENSIONS PRIOR TO START.

FOUNDATION

- 1. FOUNDATION DESIGN IS BASED ON ASSUMED ALLOWABLE BEARING CAPACITY OF 2000 PSF.

CONCRETE MASONRY

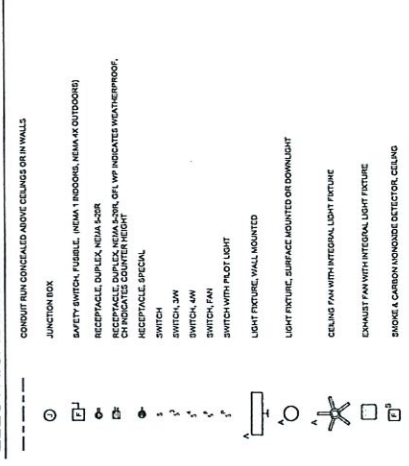
- 1. ALL CONCRETE SHALL BE DESIGNED IN ACCORDANCE WITH ACI 318 AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 308.



LIGHT FIXTURE SCHEDULE

TYPE	LAMP	NOTES
A	3000K CCT	3000K CCT
B	INTEGRATED LED	INTEGRATED LED
C	INTEGRATED LED	INTEGRATED LED
D	INTEGRATED LED	INTEGRATED LED
E	INTEGRATED LED	INTEGRATED LED
F	INTEGRATED LED	INTEGRATED LED
G	INTEGRATED LED	INTEGRATED LED
H	INTEGRATED LED	INTEGRATED LED
I	INTEGRATED LED	INTEGRATED LED
J	INTEGRATED LED	INTEGRATED LED
K	INTEGRATED LED	INTEGRATED LED
L	INTEGRATED LED	INTEGRATED LED
M	INTEGRATED LED	INTEGRATED LED
N	INTEGRATED LED	INTEGRATED LED
O	INTEGRATED LED	INTEGRATED LED
P	INTEGRATED LED	INTEGRATED LED
Q	INTEGRATED LED	INTEGRATED LED
R	INTEGRATED LED	INTEGRATED LED
S	INTEGRATED LED	INTEGRATED LED
T	INTEGRATED LED	INTEGRATED LED
U	INTEGRATED LED	INTEGRATED LED
V	INTEGRATED LED	INTEGRATED LED
W	INTEGRATED LED	INTEGRATED LED
X	INTEGRATED LED	INTEGRATED LED
Y	INTEGRATED LED	INTEGRATED LED
Z	INTEGRATED LED	INTEGRATED LED

ELECTRICAL LEGEND



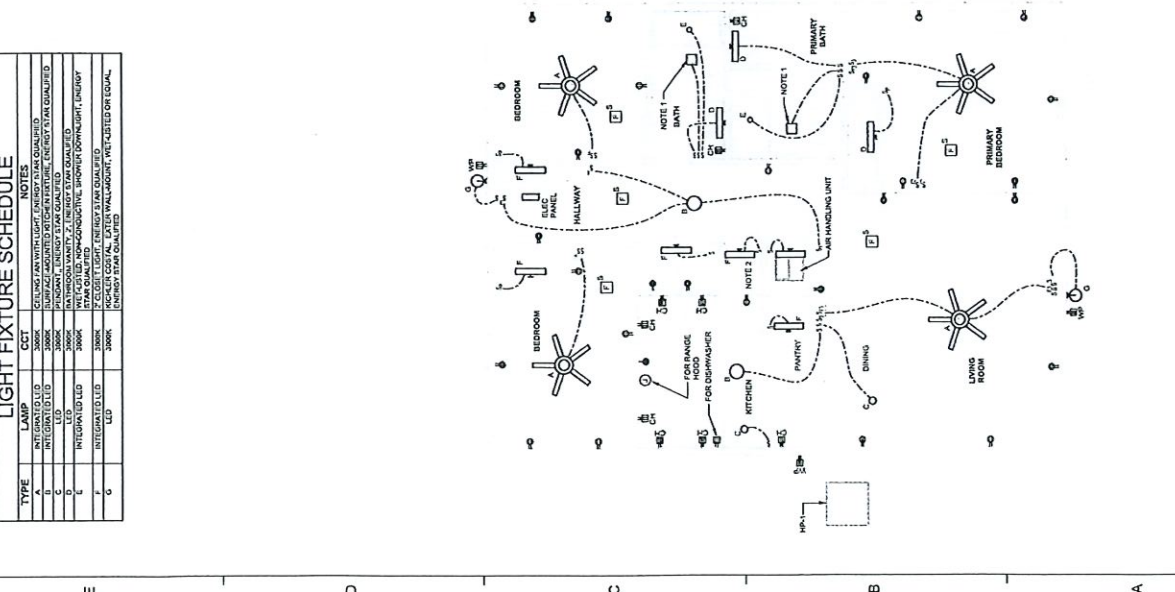
NOTES (SHEET NO. E1.0)

- SEE MECHANICAL DRAWINGS FOR COMBINATION LIGHT / DRAUGHT FAN.
- INSTALL HANDLE LOCKING DEVICE ON BREAKER SERVING WATER HEATER SUCH THAT CIRCUIT MAY BE LOCKED OUT DURING WATER HEATER SERVICING.

ELECTRICAL GENERAL NOTES

- RECORD ALL ELECTRICAL WORK, USE SERVICE, CONDUIT, PIPES, BRACKETS, AND SUPPORTS IN ACCORDANCE WITH LOCAL BUILDING CODE. AN ELECTRICAL LOAD CALCULATION WILL BE REQUIRED FOR SERVICE SIZING.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES TO MEET ALL REQUIREMENTS IN ACCORDANCE WITH LOCAL BUILDING CODE.
- ALL WIRING SHALL BE COPPER. NO ALUMINUM WIRING SHALL BE USED.
- WALL AND CEILING FINISHES SHALL BE COMPLETED PRIOR TO ELECTRICAL WORK.
- ALL LIGHT FIXTURES AND CEILING FANS SHALL BE ENERGY STAR QUALIFIED.
- PROVIDE ARC FALT CIRCUIT INTERRUPTER (AFCI) PROTECTION WHERE REQUIRED BY CODE. PREPARED COMPLIANCE PATH IS PROTECTED AT THE BRANCH CIRCUIT BREAKER LEVEL.
- COORDINATE THE MOUNTING HEIGHT AND LOCATION OF THE ELECTRICAL DEVICES WITH ARCHITECTURAL AND GENERAL TRADES CONTRACTOR PRIOR TO REVISIONS. RECEPTACLES LOCATED AT WALLS SHALL BE ACCESSIBLE TO THE WORK AREA. ELECTRICAL WORK SHALL BE DONE AT THE CIRCUIT BREAKER.
- COORDINATE LOCATION OF CONDUITS, OUTLETS AND JUNCTION BOXES WITH MECHANICAL EQUIPMENT AND PROVIDE ACCESSIBLE TO THE WORK AREA. ACCESSIBLE TO THE WORK AREA SHALL BE CONNECTED DIRECTLY TO THE DEVICES.
- PERSONS ALL WORK IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
- FOR RECORD DRAWING REQUIREMENTS, REFER TO THE ORIGINAL DRAWING FOR THE PROJECT. ALL WORK SHALL BE IN ACCORDANCE WITH THE ORIGINAL DRAWING AND AS APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION (LAJH).
- THE LOCAL AUTHORITY SHALL BE NOTIFIED OF THE WORK AND AS APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION (LAJH).
- COORDINATE WITH MECHANICAL CONTRACTOR FOR THE LOCATION OF THE WORK. DISCONNECT TO BE MAINTAINED.
- ALL WORK SHALL MEET APPLICABLE REQUIREMENTS OF THE FLORIDA RESIDENTIAL CODE 2017 EDITION AND ALL APPLICABLE LOCAL CODES. THE CONTRACTOR SHALL BE IN COMPLIANCE WITH ALL LOCAL CITY, COUNTY, STATE OF FLORIDA AND FEDERAL CODES. THE CONTRACTOR SHALL OBTAIN ALL NOTICES AND COORDINATE WITH ALL LAWS, ORDINANCES, REGULATIONS, AND LAWS, ORDOS OF ANY PUBLIC AUTHORITY ISSUED FOR DAMAGE OF THE WORK.
- COMBINATION SMOKE CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN AND OUTSIDE ALL SLEEPING AREAS. SEE PLANS FOR SUGGESTED LOCATIONS.
- CONDUIT SHALL BE INSTALLED THROUGH WALLS AND CEILING. ALL CONDUIT SHALL BE UNBROKEN AT A MINIMUM OF 12" BELOW FOOTING.
- ALL PENETRATIONS THROUGH FIRE RATED WALLS ARE TO BE SEALED WITH CODE APPROVED FIRESTOPPING MATERIALS.
- CONTRACTOR SHALL PROVIDE ALL ELECTRICAL, PIPING, HARDWARE, AND ACCESSORIES IN A CONSISTENT MANNER.
- INFORMATION REQUESTED BY PERMIT AGENCY NOT SHOWN IN DRAWING.

3 BR NARROW



SCALE: 1/8" = 1'-0"

PROJECT NO. 18111111

ELECTRICAL PLAN
3 BR NARROW

DATE: AUGUST 29, 2022

DRAWN BY: JHK

APPROVED BY: MGS

CHECKED BY: MGS

DATE: AUGUST 29, 2022

REVISIONS

No.	Description	Date

39250102

No.	Description	Date

Prepared By: Donna Melissa Crum
P.O. Box 642
Apalachicola, FL 32320
WARRANTY DEED

Inst: 202219006113 Date: 10/31/2022 Time: 9:19AM
Page 1 of 1 B: 13-49 P: 41, Michele Maxwell, Clerk of Court Franklin
County, By: JG
Deputy Clerk

Property Appraiser's Parcel Identification No. _____

This Warranty Deed, Executed this 31 day of October, 2022

By Donna M Crum, whose address is 189 25th street

Apalachicola, FL 32320 hereinafter called the GRANTOR:

To Donna Melissa Crum & Donna Lindsey 189 25th street of

Apalachicola, FL 32320 hereinafter called the GRANTEE: 191 25th street

(wherever used herein the terms "Grantor" and "Grantee" shall include all the parties of this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, That the said Grantor, for and in consideration of the sum of \$ 0.00, and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in the County of Franklin, State of Florida, to

with: Block 23A lots 25, 26, 27, 28, 29, 30 Greater Apalachicola
Franklin County Florida. To be considered as two separate dwellings
with two different addresses, 189 25th street Apalachicola, FL 32320
& 191 25th street Apalachicola, FL 32320

Together, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To have and to hold, the same in fee simple forever.

Grantor reserves life estate on this property.
And the Grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021.

In Witness Whereof, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed, and delivered in the presence of:

Donna M Crum
Witness Signature as to Grantor

Nedra M Eskill
Printed Name

Jessica R. Gay
Witness Signature as to Grantor

Jessica R. Gay
Printed Name

Witness Signature as to Co-Grantor (If any)

Printed Name

Witness Signature as to Co-Grantor (If any)

Printed Name

Donna M Crum
Signature of Grantor

Donna M Crum
Printed Name

P.O. Box 642
Post Office Address

Apalachicola, FL 32320

Signature of Co-First Party (If any)

Printed Name

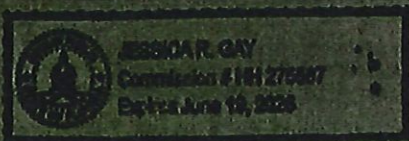
Post Office Address

STATE OF FLORIDA-COUNTY OF FRANKLIN

The foregoing instrument was acknowledged before me this 31st day of October, 2022

by Donna M. Crum, who is personally known to me or has produced FL driver license as

identification and who did/did not take an oath.



Jessica R. Gay
Signature of Notary/Deputy Clerk

Jessica R. Gay
Printed Name

ADDRESS: 189 25TH AVENUE

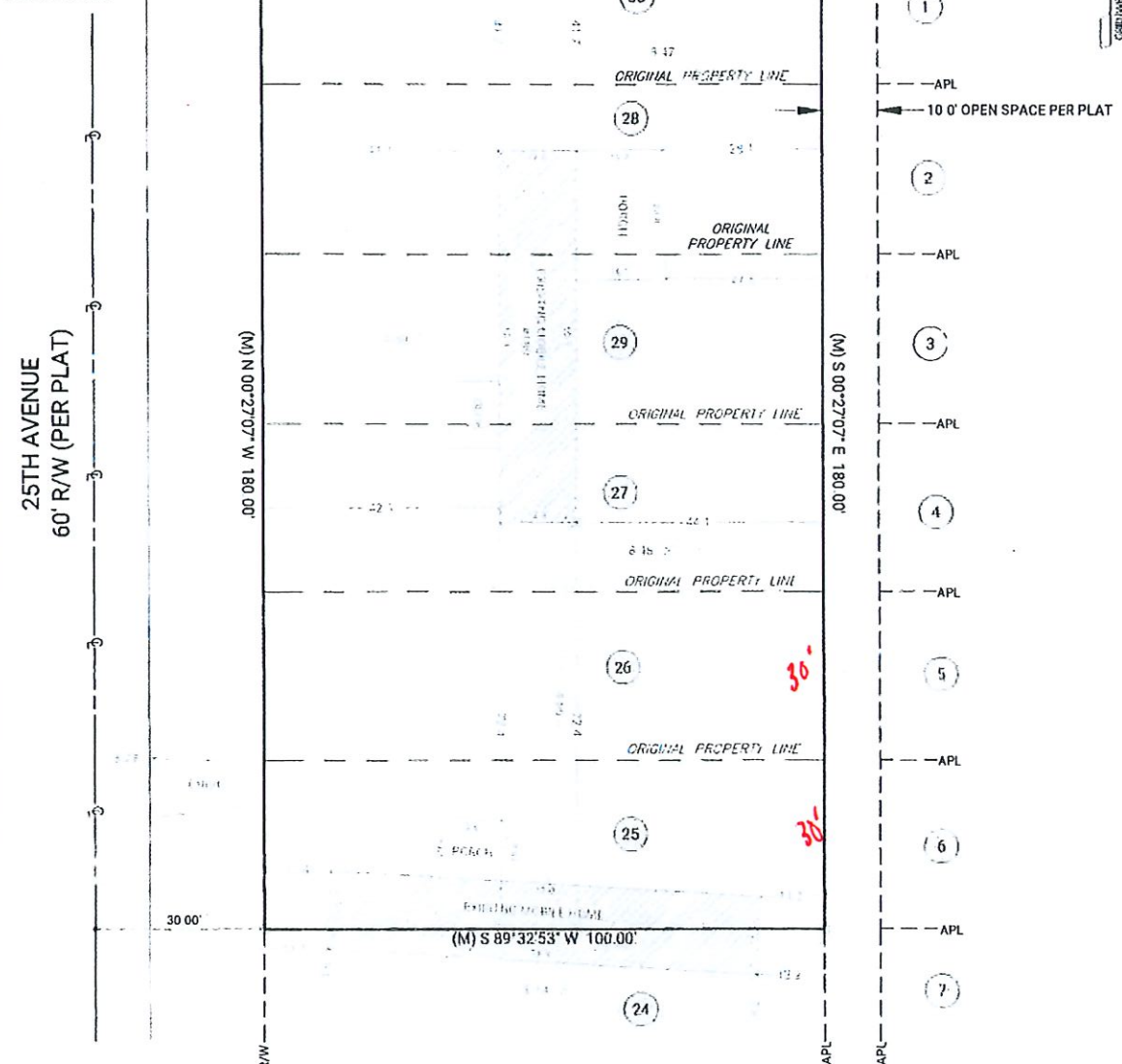
BEING LOTS 25-30, BLOCK 239, ACCORDING TO THE REFERENCE PLAT OF GREATER APALACHICOLA, FLORIDA, RECORDED IN PLAT BOOK M, PAGE 437 IN THE PUBLIC RECORD OF FRANKLIN COUNTY, FLORIDA
AREA: 18,000 S.F. - 0.413 ACRES

BOBBY CATO STREET
A.K.A FRANKLIN ST.
50' R/W (PER PLAT)

20' 10' 0' 20'
GRAPHIC SCALE: 1" = 20'

TREE LEGEND

	OAK
	PINE
	PALM
	CYPRESS
	OTHER



GENERAL NOTES

- 1 Bearings shown hereon are based Florida State Plane North Zone (0903) derived from static GPS observations recorded on 01/18/2022
- 2 Elevations shown hereon are based on NAVD 88 GEOID-12A derived from static GPS observations recorded on 01/18/2022
- 3 This property lies within flood zone 'AH-14' according to FEMA FIRM # 12037C0507F, effective on 02/05/2014. (NAVD 88)
- 4 This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet.

PT Point of Tangency	TBM Temporary Benchmark	LAN Lens	TOF Top of Form	○ Rebar to be set
PI Point of Intersection	PP Power Pole	S Sloop	BL Building Line	● Set 1/2" Rebar (LB#5075)
PC Point of Curvature	CR Community Riser	CP Covered Patio	R/W Right of Way	○ Found 1" Open Top Pipe
M Measured	ID Identification	UE Utility Easement	SF Square Feet	△ Set Mag Nail
P Platted	-X- Fence	UE Utility Easement	APL Appropriate Property Line	△ Found Mag Nail
A/C Air Conditioning	TPED Telephone Pedestal	PROP Proposed	EOD Edge of Dirt	△ Not To Scale
CONC Concrete	SS Stop Sign	FFE Finished Floor Elevation	CL Center Line	→ Drainage Flow

SUB: MAP OF GREATER APALACHICOLA, FLORIDA
LOTS: 25-30 BLOCK: 239
REBUILD FLORIDA CASE ID: FL-HM18-252617
Section 1, Township 9 South, Range 8 West, Franklin County, Florida

BOUNDARY AND TOPOGRAPHIC SURVEY FOR:
DEWBERRY ENGINEERS

FIELD WORK DATE: 01/18/2022
PLAT DATE: 01/30/2022
20220104137 DE FC: MD

CARTER + CLARK
SURVEYORS • PLANNERS • ENGINEERS

237 Avella Road
Monticello, FL 32344
www.carterandclark.com
LICENSED BUSINESS # 8075

Carter & Clark Land Surveyors is unable to warrant the accuracy of boundary information, structures, easements, and buffers that are illustrated on the subdivision plat. This property may be subject to additional easements or restrictions of record. Adjacent owners are per plat of record. The existence of utilities within utility easements have not been field verified by surveyor. Contact utility contractor for location prior to construction (if applicable). Dimensions from house to property lines should not be used to establish fences. This plat is for exclusive use by client. Use by third parties is at their own risk. The field data upon which this plat is based has a closure precision of one foot in 10,000+ feet and an angular error of 7 seconds per angle point and was adjusted using the compass rule.
Equipment used: Leica Total Station- 12. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without the written consent of the signing party or parties

PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE

CHRISTOPHER WAYNE CLARK, FLORIDA
CERTIFICATE NO LS7135

Christopher Wayne Clark
W. Clark

STATE OF FLORIDA
PROFESSIONAL SURVEYOR AND MAPPER

LS7135

This firm has been professionally bonded and sealed by the State of Florida, PSM 01102022 using a digital signature. The digital signature of this document is located in the top right hand corner and sealed in the bottom right hand corner.

I HEREBY CERTIFY THAT THE BOUNDARY SURVEY DEPICTED HEREON WAS CONDUCTED BY PERSONS UNDER MY DIRECT SUPERVISION AND MEETS OR EXCEEDS THE STANDARDS OF PRACTICE ESTABLISHED BY THE STATE OF FLORIDA AS OUTLINED IN SJ 17 FAC.



111 Avenue E
Porch/Deck Addition

CITY OF APALACHICOLA
 CERTIFICATE OF APPROPRIATENESS APPLICATION

HISTORIC DISTRICT ONLY

Official Use Only

Application # _____
 City Representative _____
 Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner: **CHARLES T. BROCATO** (w/ **REBECCA**)
 Apalachicola Wellness LLC / Tom Brocato
 Address: **111 Avenue E**
 City: **Apalachicola** State: **FL** Zip: **32320**
 Phone: **(850) 596-2723**

Contractors Name: **Matthew Godwin**
 State License #: **CRC133071** City License #: _____
 Email Address: **mkgodwin@icloud.com**
 Phone: **(850) 227-8580**

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date: _____

*Reason for Denial: _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: **Covered Screen Porch w/ Deck**

PROPERTY INFORMATION:

Street Address: **111 Avenue E** City & State: **Apalachicola FL** Zip: **32320**
 Historic District Non-Historic District Zoning District: **C-2**
 Parcel #: **01-095-08W-8330-0032-0090** Block(s): **B232** Lot(s): **LOT 9**
 FEMA Flood Zone/Panel #: **AE**
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: **15'** Rear: **10'** Side: **5'** Lot Coverage: **60%** *commercial*
 Water Available: _____ Sewer Available: _____ Taps Paid: _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

 Chairperson, Apalachicola Planning & Zoning Board

(Rebecca - 615-238-4447 (3,000 sqft front parking is gone))
 NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits.

Bree Robinson
 Grant Coordinator & City Planner
 City of Apalachicola
 o: 850-323-0985
 brobinson@cityofapalachicola.com

318
SF2

318 SF2

Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

20'6" x 12' Deck (wood) w/ Covered Aluminum Structure
And Roof to cover 20' x 12' of Deck. Structure will be screened

lot coverage: square footage of both properties + structures are needed.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

CITY OF APALACHICOLA
BUILDING DEPT.
192 Conch Wagoner Blvd. 850-653-1522
APPLICATION FOR BUILDING PERMIT

DATE: _____ Permit Issued: _____ Permit Fee: _____
OWNER'S NAME: ^{NEW CHARLES T. BROCATO AND REBECCA L. STAFFORD} Apalachicola Wellness LLC Email: broc@fairpoint.net
Tom Brocato

ADDRESS: 111 Avenue E

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # 850-596-2723

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: Matthew Godwin Email: mkgodwin@icloud.com

ADDRESS: 201 St Joseph Dr

CITY, STATE & ZIP CODE: Port St Joe, FL 32456 PHONE # 850-227-8580

STATE LICENSE NUMBER: CEC133071 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 111 Avenue E Apalachicola

PURPOSE OF PERMIT: Deck / Porch

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 01 95 08W 8330 0032 0090

LEGAL DESCRIPTION OF PROPERTY: BL 32 LOT 9 LESS 20 FT ADJ TO LOT 8 + ALL OF LOT 10 OR 122/137-39231
OR 137/141-143 594/441724/609

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SBPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to towens@cityofapalachicola.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Roof Sign Pole Barn
 Temp Pole Demolition Other Deck / Porch
 Addition, Alteration or Renovation to building.

Distance from property lines: Front 86'46" Rear 105' L. Side 78'64.5"
 R. Side 23.5'
 Cost of Construction \$ 6500⁰⁰ Square Footage 279 sq ft.
 EPI _____ Flood Zone AF Lowest Floor Elevation 6.00
 Area Heated/Cooled 2400 # Of Stories 1 # Of Units 1
 Type of Roof Built up Type of Walls Conc. Block Type of Floor slab
 Extreme Dimensions of: Length 40' Height 12' Width 60'

*318 sq ft
per description*

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: City of Apalachicola Building Department does not have the authority to enforce DBED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent _____ Date _____

Signature of Contractor _____ Date _____

Notary as to Owner or Agent _____
Date: _____

Notary as to Contractor _____
Date: _____

My Commission expires: _____

My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: towens@cityofapalachicola.com or drop off in City drop box)
(make checks payable to City of Apalachicola)

Parcel Summary

Parcel ID 01-09S-08W-8330-0032-0090
 Location Address 111 AVENUE E
 OLD JR STORE
 Brief Tax Description BL 32 LOT 9 LESS 20 FT ADJ TO LOT 8 & ALL OF LOT 10 OR/22/137-39 23/115 OR/37/141-143 594/441 724/609
 (Note: Not to be used on legal documents.)
 Property Use Code STORES, 1 STORY (001100)
 Sec/Twp/Rng 1-9S-8W
 Tax District CITY OF APALACHICOLA (3)
 Millage Rate 19.5542
 Acreage 0
 Homestead N

[View Map](#)

Owner Information

Primary Owner *WAS*
 APALACHICOLA WELLNESS, LLC
 111 AVENUE E
 APALACHICOLA, FL 32320

*NOV CHARLES T. BROCAPO AND
 REBECCA L. STAFFORD*

Land Information

Land Use
 001000 - COMMERCIAL
 000000 - VAC RES

Building Information

Type	OFFICE MED	Heat	AIR DUCTED
Total Area	2,880	Air Conditioning	ENG CENTRL
Heated Area	2,400	Bathrooms	0
Exterior Walls	CONC BLOCK	Bedrooms	0
Roof Cover	BUILT-UP	Stories	1
Interior Walls	DRYWALL	Actual Year Built	1965
Frame Type	MASONRY		
Floor Cover	VINYL ASB; CARPET		

Extra Features

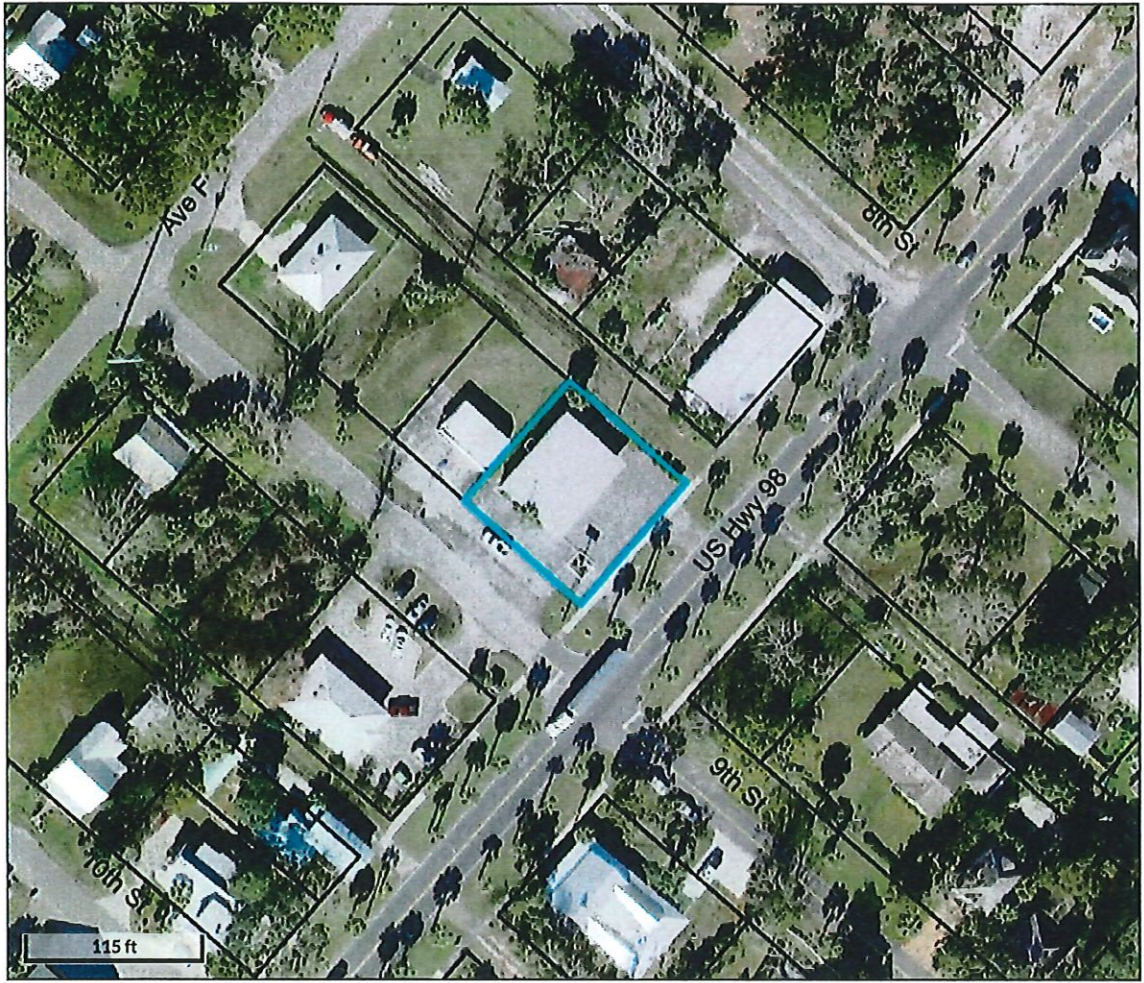
Code
 0640

Sales

Multi Parcel	Sale Date
N	1/29/2003
N	4/22/1998

Valuation

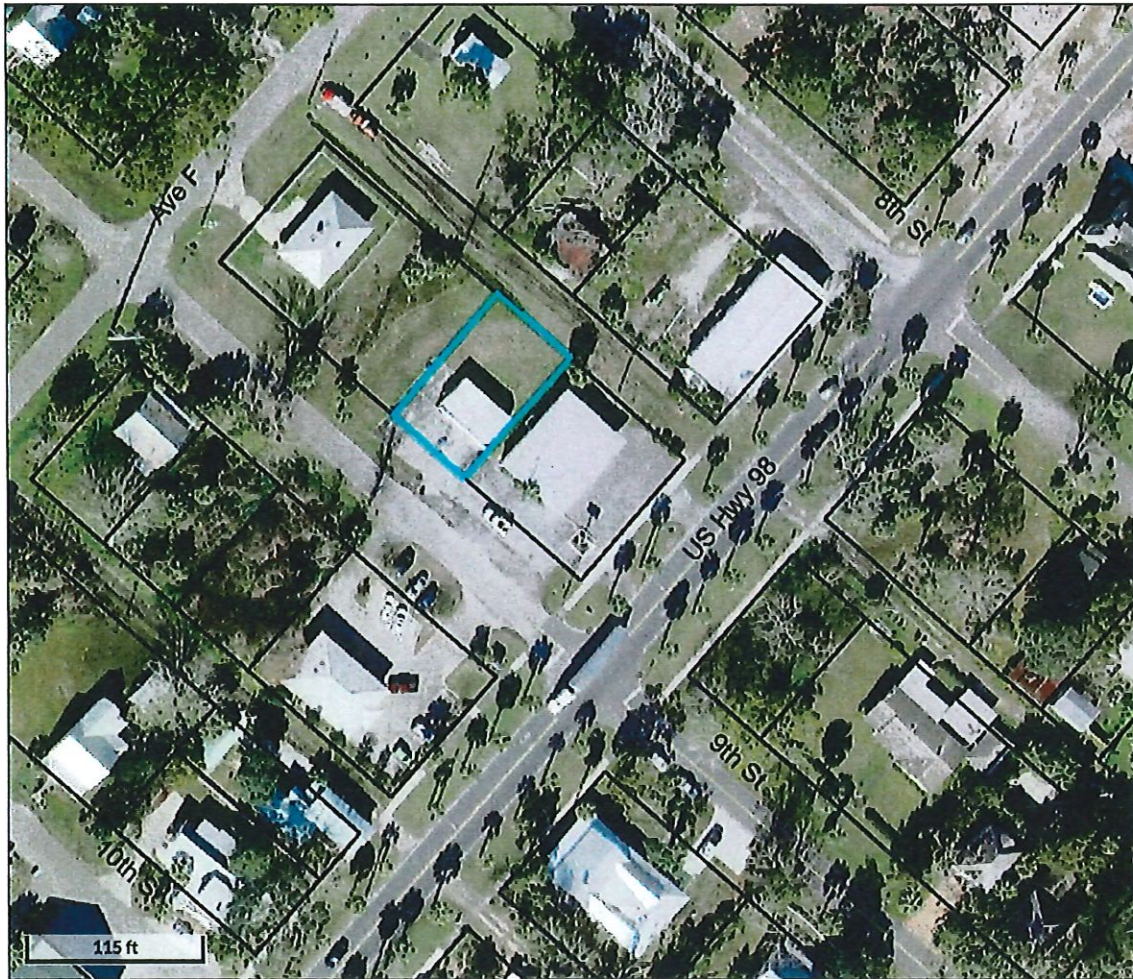
	2022 Preliminary Values	2021 Certified Values
Building Value	\$56,904	\$56,909
Extra Features Value	\$10,836	\$10,836
Land Value	\$130,000	\$98,000
Land Agricultural Value	\$0	\$0
Agricultural (Market) Value	\$0	\$0
Just (Market) Value	\$197,740	\$165,745
Assessed Value	\$182,319	\$165,745
Exempt Value	\$0	\$0
Taxable Value	\$182,319	\$165,745
Maximum Save Our Homes Portability	(\$15,421)	\$0



- Legend
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	01-095-08W-8330-0032-0090	Alternate ID	08W09501833000320090	Owner Address	BROCATO CHARLES T
Sec/Twp/Rng	1-9S-8W	Class	STORES, 1 STORY		STAFFORD REBECCAL
Property Address	111 AVENUE E OLD JR STORE	Acreage	n/a		P.O. BOX 207 APALACHICOLA, FL 32329
District	3				
Brief Tax Description	BL 32 40' OF LOT 8 AND (Note: Not to be used on legal documents)				

Date created: 11/2/2022
 Last Data Uploaded: 11/2/2022 8:03:23 AM



Legend
 □ Parcels
 Roads
 City Labels

Parcel ID	01-095-08W-8330-0032-0080	Alternate ID	n/a	Owner Address	n/a
Sec/Twp/Rng	n/a	Class	n/a		
Property Address		Acreage	n/a		
District	n/a				
Brief Tax Description	n/a				

(Note: Not to be used on legal documents)

Date created: 11/2/2022
 Last Data Uploaded: 11/2/2022 8:03:23 AM

Developed by Schneider GEOSPATIAL

applicant stated they bought the above property. Need verification of ownership & detailed

site plan or survey of properties to confirm lot coverage setbacks.

- cannot approve as-is. large areas of paved lots.

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2022

TRIM Notice 2021

TRIM Notice 2020

TRIM Notice 2019

one parcel:

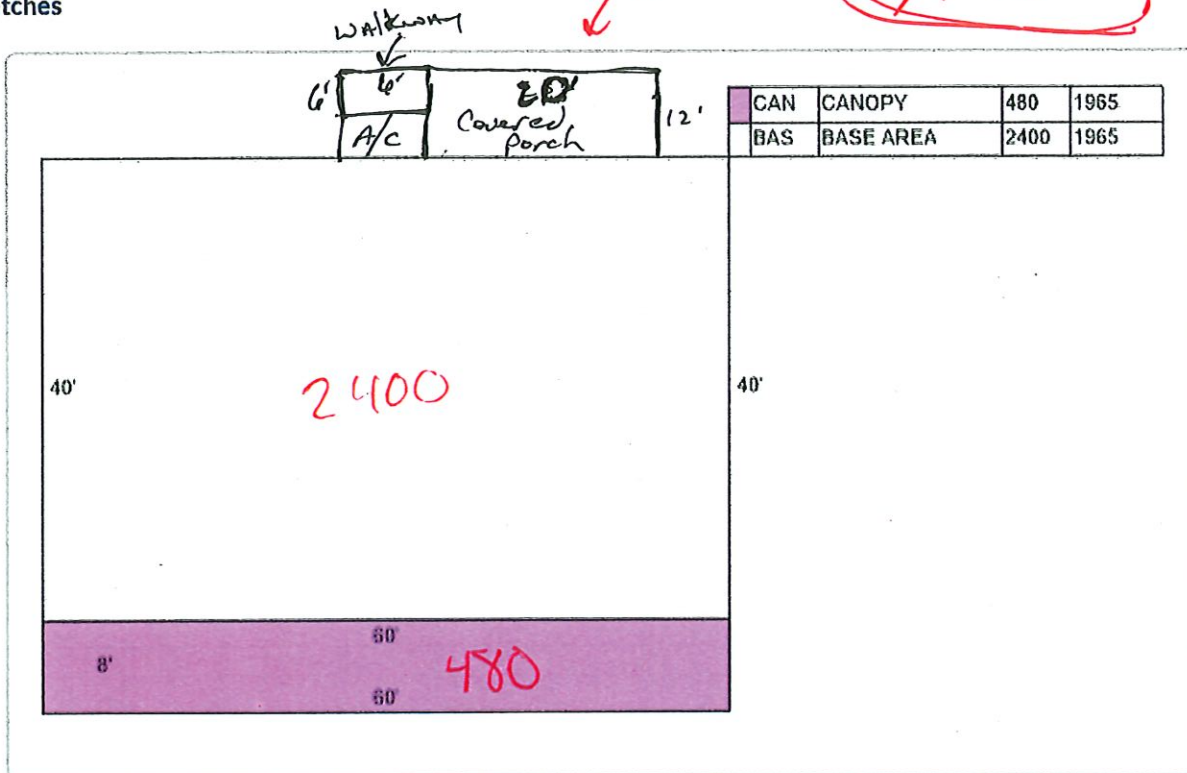
lot: $100 \times 100 = 10,000 \text{ ft}^2$
allowed LC: 60% or 6,000 ft²

current: $2400 + 480$
2,880

proposed: + 318 ft²

318 ft² → 3,198

Sketches



[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Last Data Upload: 9/28/2022, 7:38:13 AM



* does not include
 large paved lot on the
 side. need confirmation.



COLA WELLNESS, LLC

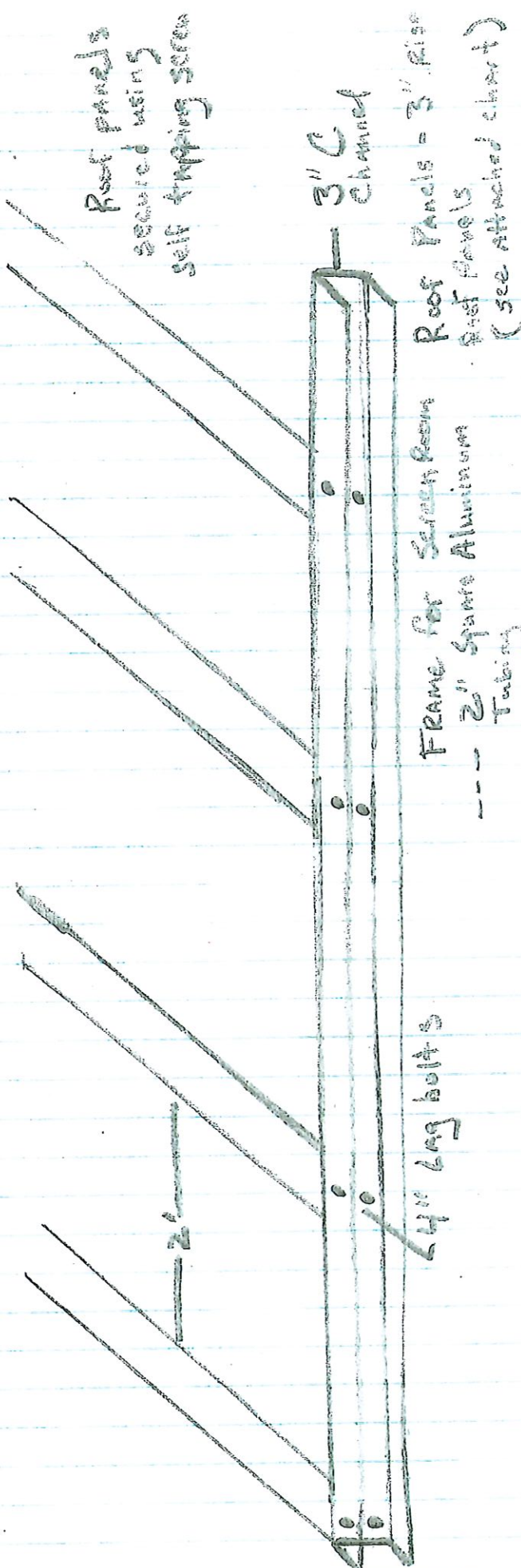
J E E

,740

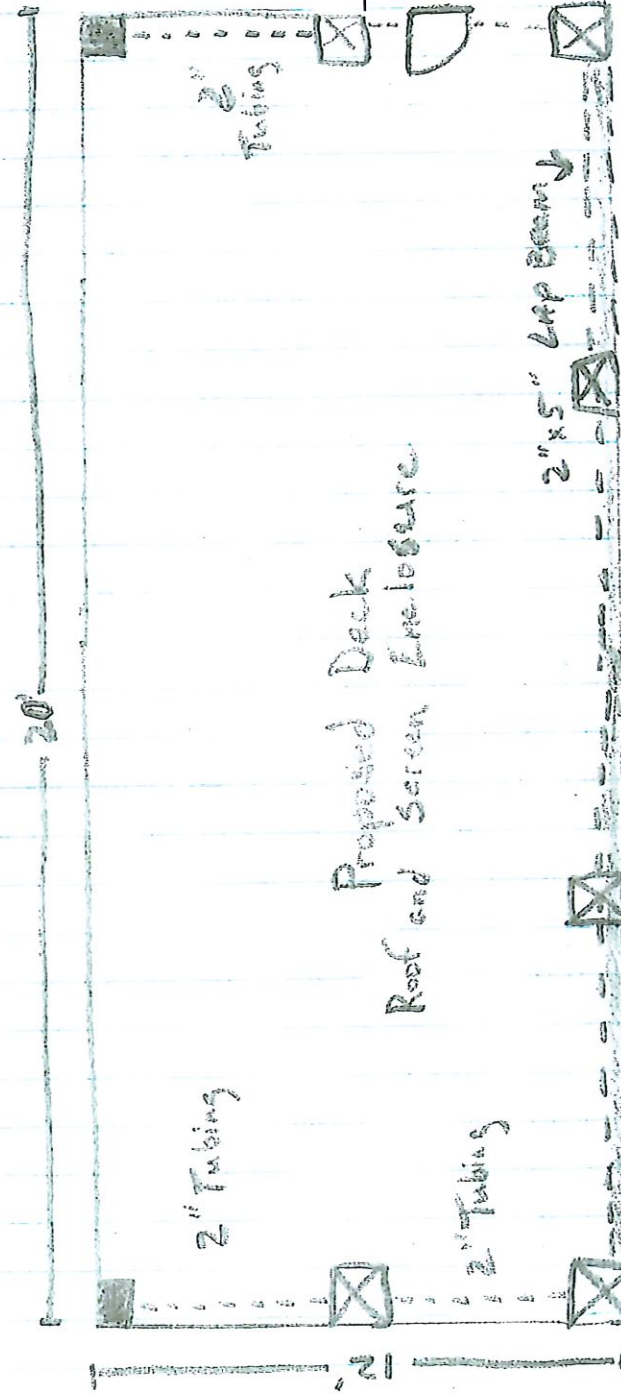
rt | [Google Maps](#)

CHARLES T. BROCATO AND REBECCA L. STAFFORD

Building Existing Rafter Tails and Fasia



- = 4x4 Aluminum structural post anchored w/ 4" post bracket
- ⊗ = 6x6 post (see back p) for support of 2"x5" Aluminum Lap Beams for Roof - Attached using S1 3/8 bolts



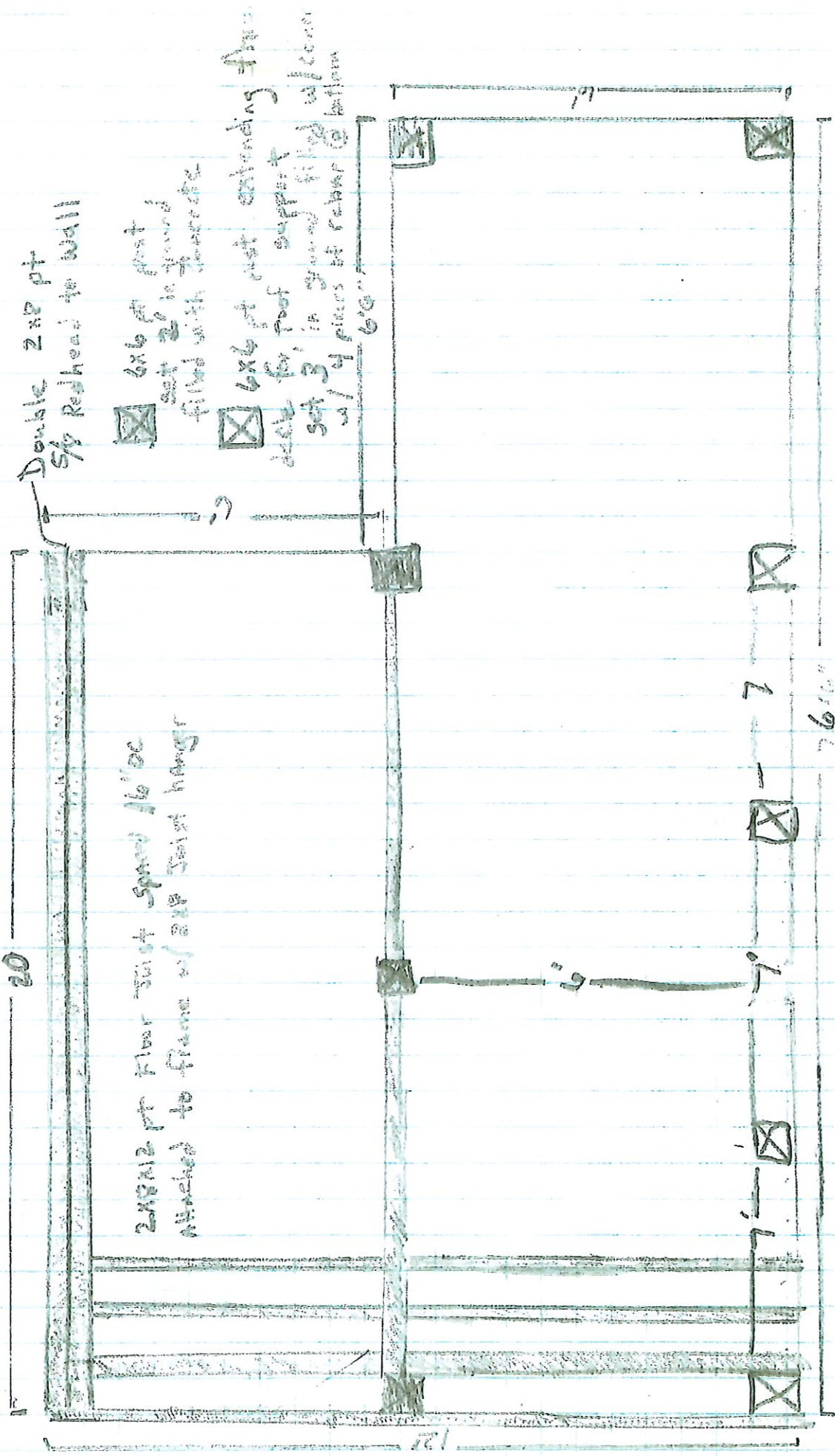
279 sq ft

Deck will be maximum 12" off

Decking will be 5/4 x 6

All frame and joist will be 2x8 pt

Frame Bolted to 6x6 post w/ 1/2" br



COMPLIANCE SUMMARY

- **BLDG CODE:** 2010 FLORIDA BUILDING CODE
- **HVHZ:** NON-HVHZ ONLY
- **MATERIALS:** ALUM SHEET: 3105-H14 or 3105-H28
MATERIALS CONFORM TO ASTM B209
- **PERFORMANCE:** SITE WIND PRESSURES & STRUCTURAL PERFORMANCE OF THESE PRODUCTS SHALL BE DETERMINED BY A LICENSED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE ALUMINUM DESIGN MANUAL (2005 ED) OR OTHER CODE-APPROVED REFERENCE STANDARD (E.G. AIA-10).
- **LIMITS OF USE:** FOR USE WITH CARPORTS, PATIO COVERS, SUNROOMS, SCREEN ENCLOSURES, CANOPIES, & SIMILAR MINOR STRUCTURES.

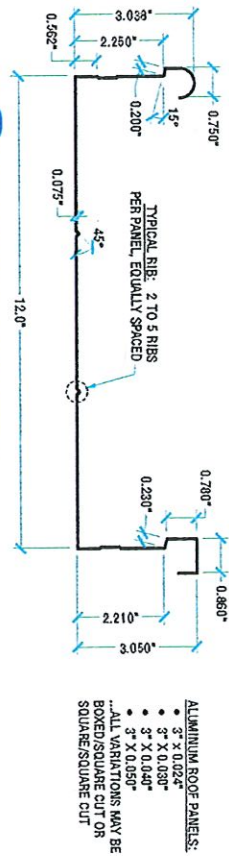
GENERAL NOTES

1. THIS PRODUCT EVALUATION DOCUMENT IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SPECIFIC SITE. FOR SITE CONDITIONS DIFFERENT FROM THE CONDITIONS DETAILED HEREIN, A LICENSED PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT SHALL PREPARE SITE-SPECIFIC DOCUMENTS FOR USE IN CONJUNCTION WITH THIS APPROVAL.

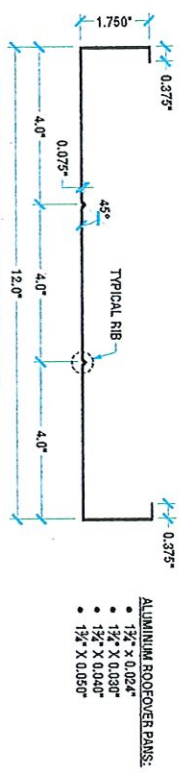
SPAN SCHEDULE

WIND SPEED	EXPOSURE CATEGORY	SCREEN ROOMS			ENCLOSED STRUCTURES			OPEN STRUCTURES		
		DESIGN PRESSURE X 0.024*	3" RISER X 0.024*	3" RISER X 0.050*	DESIGN PRESSURE X 0.024*	3" RISER X 0.024*	3" RISER X 0.050*	DESIGN PRESSURE X 0.024*	3" RISER X 0.024*	3" RISER X 0.050*
130 mph	Exp "B"	12.0 PSF	117" (3)	158" (3)	30.6 PSF	117" (3)	158" (3)	36.8 PSF	117" (3)	158" (3)
140 mph	Exp "B"	16.2 PSF	101" (3)	132" (3)	37.0 PSF	101" (3)	132" (3)	44.2 PSF	101" (3)	132" (3)
150 mph	Exp "B"	19.2 PSF	92" (3)	122" (3)	42.0 PSF	92" (3)	122" (3)	49.0 PSF	92" (3)	122" (3)
160 mph	Exp "B"	21.6 PSF	87" (3)	116" (3)	43.2 PSF	87" (3)	116" (3)	52.3 PSF	87" (3)	116" (3)
	Exp "C"				56.1 PSF	82" (3)	110" (3)	62.3 PSF	82" (3)	110" (3)

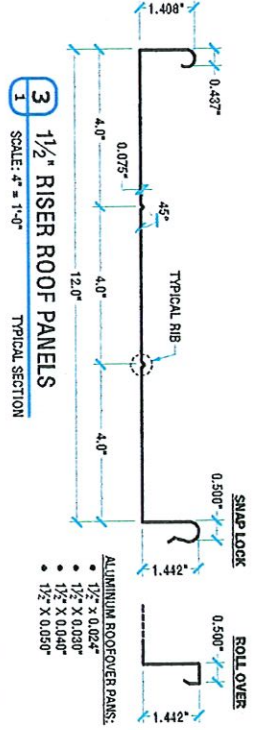
1. SPAN SCHEDULE GIVES MAXIMUM ROOF PANEL SPAN BETWEEN SUPPORTS.
2. NUMBERS IN PARENTHESES "()" INDICATE MINIMUM NUMBER OF #12 SMS AT EACH END.
3. MINIMUM NUMBER OF #12 SMS AT EACH END MINIMUM NUMBER OF #12 SMS AT EACH END.
4. DESIGN CRITERIA WIND SPEEDS EXPOSURE CATEGORIES, ETC., AND ROOF PANELS OTHER THAN THOSE SHOWN IN SPAN SCHEDULE SHALL BE DETERMINED PER SEPARATE ENGINEERING CERTIFICATION.
5. ROOF HEIGHT SHALL NOT EXCEED 15 FT ABOVE GRADE.
6. SCHEDULE APPLICABLE FOR ROOF SLOPES FROM 0° TO 27°.
7. BASED ON DEFLECTION LIMIT L/80.
8. DESIGN CRITERIA WIND SPEEDS EXPOSURE CATEGORIES, ETC., AND ROOF PANELS OTHER THAN THOSE SHOWN IN SPAN SCHEDULE SHALL BE DETERMINED PER SEPARATE ENGINEERING CERTIFICATION.



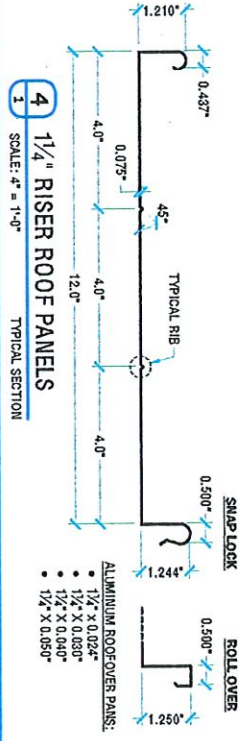
1 3" RISER ROOF PANELS
SCALE: 4" = 1'-0"
TYPICAL SECTION



2 1 1/4" RISER ROOF PANELS
SCALE: 4" = 1'-0"
TYPICAL SECTION



3 1 1/2" RISER ROOF PANELS
SCALE: 4" = 1'-0"
TYPICAL SECTION



4 1 1/4" RISER ROOF PANELS
SCALE: 4" = 1'-0"
TYPICAL SECTION

DATE	DESCRIPTION	BY
4/18/12	INITIAL SUBMITTAL	CL

May 23 2012
CHRISTIAN LANGLEY, PE
FL FE #67322; CAV26511

NU-WIND ENGINEERING
PERMIT APPROVAL ENGINEERING
CORP., INC.
1320 N. FEDERAL HWY, #200
BOCA RATON, FL 33432
Tel: (561) 353-5965
Fax: (561) 719-3700

TOWN & COUNTRY INDUSTRIES
400 WEST MCNAB ROAD
FT. LAUDERDALE, FL 33309

ALUMINUM ROOF PANELS FOR USE WITH CARPORTS & PATIO COVERS
FLORIDA PRODUCT APPROVAL

1 OF 1 SHEET
DRAWING NUMBER: TCI.12001
SCALE: 4" = 1'-0"

APMAACHICOLA WELLNESS, LLC TO
111 AVE E

CHARLES T. BROCATO
AND
REBECCA L. STAFFORD

Prepared By: TOM BACCATO
PO BOX 207
Apalachicola, FL 32329

Inst: 202219005796 Date: 10/10/2022 Time: 11:37AM
Page 1 of 2 B: 1347 P: 747, Michele Maxwell, Clerk of Court Fran
County, By: BM
Deputy ClerkDoc Stamp-Deed: 0.70

QUIT CLAIM DEED

Property Appraiser's Parcel Identification No. 01-095-08W-8330-0032-0090

This Quit Claim Deed. Executed this 10th day of October, 2022

By (first party): 01-095-08W-8330-0032-0090, APMAACHICOLA WELLNESS, LLC
111 Avenue E, Apalachicola, FL 32320

To (second party): BROCATO, CHARLES T. AND STAFFORD, REBECCA L

Whose post office address is PO BOX 207, APMAACHICOLA, FL 32329
(wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the said first party, for and in consideration of the sum of \$ 10, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel land, situate, lying and being in the County of Franklin, State of Florida To Wit:

Exhibit A

To have and to hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever for the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

In Witness Whereof, the said first party has signed and sealed these presents the day and year first above written.

Signed, sealed, and delivered in the presence of:

Charles Richard Watson
Witness Signature as to First Party

Charles Richard Watson
Printed Name

Teresa Martin
Witness Signature as to First Party

Teresa Martin
Printed Name

Witness Signature as to Co-First Party (if any)

Printed Name

Witness Signature as to Co-First Party (if any)

Printed Name

STATE OF FLORIDA-COUNTY OF Franklin
The foregoing instrument was acknowledged before me this 10th day of October, 2022, by Charles T. Brocato, who is personally known to me or has produced as identification and who did/did not take an oath.

Apalachicola Wellness LLC
Charles T. Brocato Manager Partner
Signature of First Party

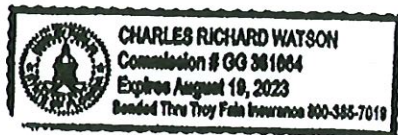
Printed Name

Post Office Address

Signature of Co-First Party (if any)

Printed Name

Post Office Address



Michele Maxwell, Franklin County Clerk of the Circuit Court & Comptroller

Charles Richard Watson
Signature of Notary/Deputy Clerk
Charles Richard Watson
Printed Name

EXHIBIT "A"

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 20, TOWNSHIP 8 SOUTH RANGE 6 WEST, FRANKLIN COUNTY, FLORIDA AND RUN THENCE NORTH 02 DEGREES 20 MINUTES EAST ALONG THE EAST LINE OF SAID SECTION 20 A DISTANCE OF 222.89 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF WILDERNESS ROAD (60 FOOT RIGHT-OF-WAY); THENCE RUN SOUTH 63 DEGREES 44 MINUTES WEST ALONG SAID SOUTHERLY RIGHT-OF-WAY 2438.08 FEET TO A POINT OF CURVE TO THE RIGHT; THENCE RUN ALONG SAID CURVE WITH A RADIUS OF 5070.80 FEET THROUGH A CENTRAL ANGLE OF 05 DEGREES 33 MINUTES 03 SECONDS FOR AN ARC LENGTH OF 725.08 FEET (THE CHORD OF SAID ARC BEING SOUTH 64 DEGREES 51 MINUTES 13 SECONDS WEST 725.08) TO THE POINT OF BEGINNING. FROM SAID POINT OF BEGINNING, LEAVING SAID SOUTHERLY RIGHT-OF-WAY, RUN SOUTH 20 DEGREES 17 MINUTES 21 SECONDS EAST 420.33 FEET; THENCE SOUTH 69 DEGREES 56 MINUTES 00 SECONDS WEST 102.90 FEET; THENCE NORTH 20 DEGREES 17 MINUTES 21 SECONDS WEST 420.33 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF SAID WILDERNESS ROAD; THENCE RUN NORTH 69 DEGREES 56 MINUTES 00 SECONDS EAST ALONG SAID SOUTHERLY RIGHT-OF-WAY 102.90 FEET TO THE POINT OF BEGINNING. CONTAINING ONE ACRE MORE OR LESS.

James "Thurman" Roddenberry

Professional Land Surveyor

Post Office Box 418 • 114 Municipal Avenue • Sopchoppy, Florida 32358-0418 • (904) 962-2538

PLAT OF BOUNDARY SURVEY FOR:
IDEN B. MORAN, APALACHICOLA STATE BANK,
MIDD TITLE CO., INC., STEWART TITLE
GUARANTY CO.

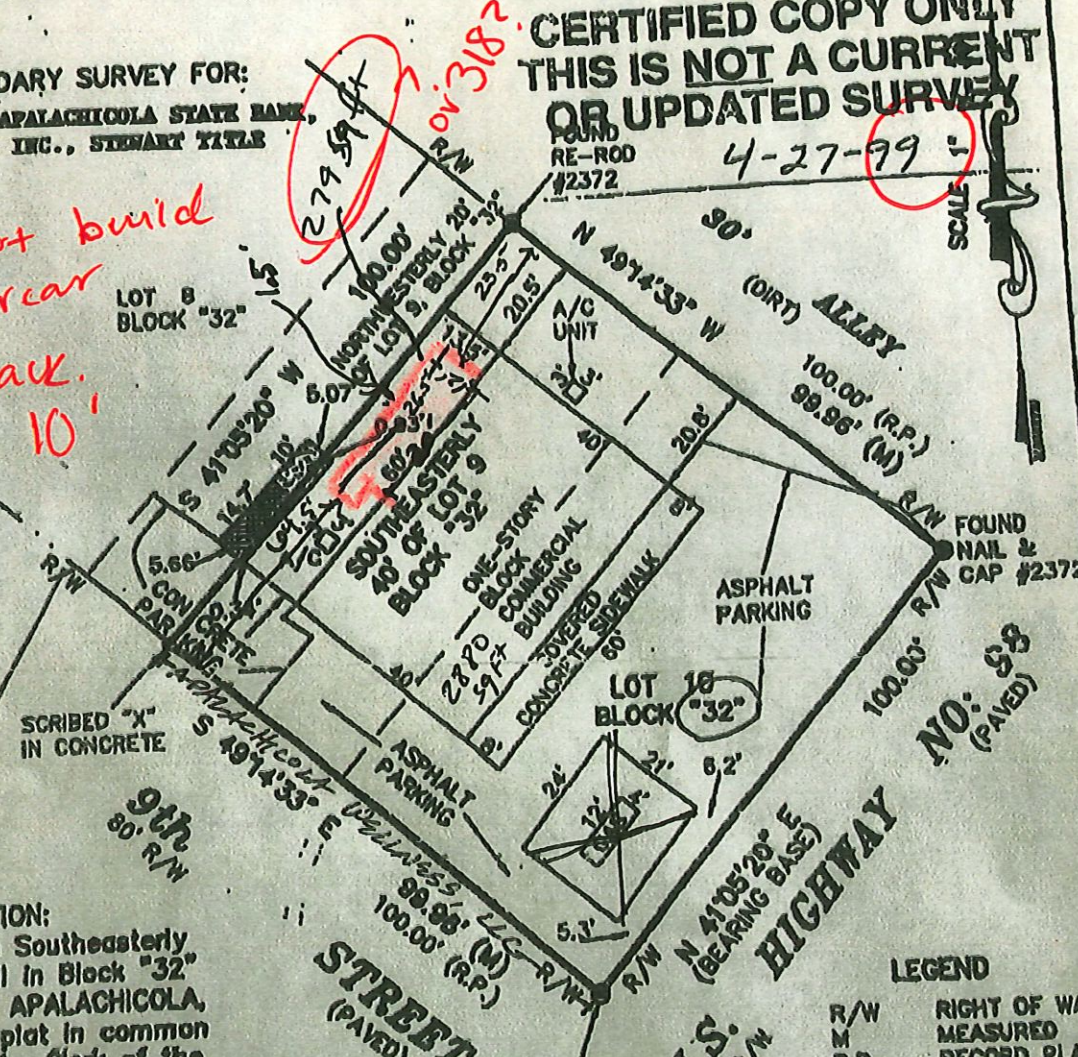
**CERTIFIED COPY ONLY
THIS IS NOT A CURRENT
OR UPDATED SURVEY**

FOUND
RE-ROD
#2372
4-27-99



** cannot build
into rear
setback.
10'*

*Survey of property line
shown in lot 8 & line*



LEGAL DESCRIPTION:
Lot 10, and the Southeastery
40' of Lot 9, all in Block "32"
of THE CITY OF APALACHICOLA,
as per map or plat in common
use on file at the Clerk of the
Circuit Office in Franklin County, Florida.

REVISED CERTIFICATION: 4/27/99.

NOTES:

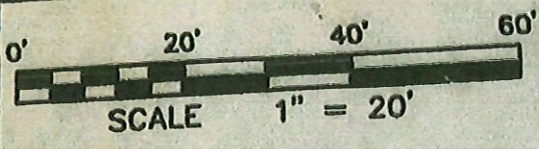
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northwestery right of way boundary of U.S. Highway No: 98 being North 41 degrees 05 minutes 20 seconds East as per State Road right of way map.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependant upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

LEGEND

R/W	RIGHT OF WAY
M	MEASURED
R.P.	RECORD PLAT
■	BLOCK BUILDING
■	CONCRETE PAD

FILE: 97056.DWG

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could effect the boundaries.



need confirmation of all current lot coverage.

LOT 7
BLOCK 32

FND 1/2" IRC #4889

DIRT ALLEY

N 41°05'20" E(M) 100.11'(M)
100.00'(P)
5' SETBACK(CITY)

S 46°48'21" E(M) 60.00'(M)(P)
60'(P)
10' SETBACK(CITY)

LOT 8 (PLAT)
BLOCK 32

CORNER NOT FND OR SET IN CONC. PIPE

FND 5/8" IRC LB6590

15' SETBACK(CITY)

CATCH BASIN

24.0'
20.0'

COVERED

CONCRETE

33.4'

24.0' BLOCK STORAGE BLDG

LOT 9 (PLAT)
BLOCK 32

NINTH STREET
(80' RIGHT OF WAY)

60'(P)

N 46°48'21" W(M) 80.00'(M)(P)

CONCRETE

CONCRETE

CONCRETE

24.0'

0.7'

WATER METER

20'(P)

419.7'

0.3'

CHISELED IN CONCRETE

49°15'43" W(M) 100.00'(P)

99.97'(M)

THIS PROPERTY LINE WE WANT TO VACATE IF WE NEED TO BUILD DECK

FND NAIL & DISC LB2372

SECTION 1, TOWNSHIP 9 SOUTH, RANGE 8 WEST, FRANKLIN COUNTY, FLORIDA

Block Storage Bldg. is @ DET. OVER AN, LLC PROP LINE

*two me 11416
+ 40' area
lot 10*

ALL MEASUREMENTS ARE NOT EXACT
JUST FOR VISUAL AID FOR SCOPE OF PROJECT

