

REGULAR MEETING
APALACHICOLA CITY COMMISSION
TUESDAY, AUGUST 2, 2022 – 4:00PM
BATTERY PARK COMMUNITY CENTER
1 BAY AVE., APALACHICOLA, FLORIDA 32320

Agenda

You are welcome to comment on any matter under consideration by the Apalachicola City Commission when recognized to do so by the Mayor. Once recognized please rise to the podium, state your name for the record and adhere to the three minute time limit for public comment. Comments may also be sent by email to the City Manager or to Commissioners.

- I. **Call to Order**
 - **Invocation**
 - **Pledge of Allegiance**

- II. **Agenda Adoption**

- III. **Public Comment**

- IV. **Presentation – The Southern Group – Lobbyist – Area of Critical State Concern**

- V. **Unfinished Business**
 1. **Holiday Schedule – Anita Grove**

- VI. **New Business**
 1. **Palmer Point Townhomes Preliminary Plat Approval – Bree Robinson**
 2. **Bench Donation – Riverfront Park – Donna Ingle**
 3. **Chesnut Cemetery Maintenance – Caty Greene**

- VII. **Mayor and Commissioner Comments**

- VIII. **City Manager Communications – Report Attached**

- IX. **Grants Coordinator Communications – Report Attached**

- X. **Finance Director Communications – Report Attached**

XI. Attorney Communications – Report Attached

XII. Consent Agenda

A. Meeting Minutes Adoption – May 31, 2022, Special Meeting, July 12, 2022, Special Meeting and July 12, 2022, Regular Meeting Minutes.

B. P&Z Minutes – July 11, 2022

XIII. Department Reports

XIV. Adjournment

Any person who desires to appeal any decision at this meeting will need a record of the proceeding and for this purpose, may need to ensure that a verbatim record of the proceeding is made which includes testimony and evidence upon which the appeal is based. Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office 48 hours in advance of the meeting

**APALACHICOLA CITY COMMISSION
REQUEST FOR BOARD ACTION
Meeting Date: August 2, 2022**

SUBJECT: Staff holiday schedule

AGENDA INFORMATION:

Agenda Location: Old Business
Item Number: 1
Presenter: Commissioner Grove

BRIEF SUMMARY: The commission voted to approve Juneteenth as an official holiday for the city at our June 2022 commission meeting. This brings the number of paid holidays to 14. Do we want to add the new holiday or replace one of the existing paid days off.

RECOMMENDED MOTION AND REQUESTED ACTIONS:

FUNDING SOURCE: n/a

ATTACHMENTS: COA Holiday Schedule

STAFF'S COMMENTS AND RECOMMENDATIONS:

COA Holidays

| | |
|--------------------|-----------------------------|
| January 1 | New Year's Day |
| January | Monday - Martin Luther King |
| April | Easter Good Friday |
| Last Monday in May | Memorial Day |
| June | Juneteenth (new) |
| July 4 | Independence Day |
| September | Labor Day |
| November | Veteran's Day |
| November (½ day) | Thanksgiving Eve |
| November | Thanksgiving Day |
| November | Friday After Thanksgiving |
| December 24 | Christmas Eve |
| December 25 | Christmas Day |
| December 26 | Day after Christmas |
| 13 ½ | Holidays per year |

**APALACHICOLA CITY COMMISSION
REQUEST FOR BOARD ACTION
Meeting Date: August 2, 2022**

SUBJECT: Preliminary Plat Approval – Palmer Point Townhomes

AGENDA INFORMATION:

Agenda Location: New Business
Item Number: 1
Department: Building/Planning Dept.
Contact: Bree Robinson
Presenter: Bree Robinson
Urban Catalyst Consultants - Sean Marston P.E.
CDG Engineer - TBD

BRIEF SUMMARY: P&Z had an application for a preliminary plat of Palmer Point Townhomes in July 2022 – P&Z approved. The next step in the re-plat process, per City Code, is for the Commission to approve or deny this application. The plan is for 26 townhomes to be constructed at 270 Prado in Zone R-2. At the July P&Z meeting, many citizens attended to voice their concerns regarding the stormwater issues on Prado and the surrounding area. City responded by having one of our engineering consultants, CDG, specifically review the stormwater plans turns in. CDG’s report came back with some issues, report attached. Urban Catalyst, on behalf of the Palmer Point project, have submitted their revisions to remedy the stormwater issue, but they were not submitted in time to have the revisions looked over by hired engineering consultant, CDG.

RECOMMENDED MOTION AND REQUESTED ACTIONS: Approve or deny the preliminary plat application for Palmer Point Townhomes with comments, if necessary. Staff suggestion to APPROVE contingent on their revised stormwater system being approved by staff and CDG consultants.

FUNDING SOURCE: N/A

ATTACHMENTS:

- A. City of Apalachicola Platting General Info Sheet (Sec. 111-37~191), Original P&Z Application & Original Preliminary Plat Documents
- B. CDG Consultant Engineering Site Review – Issues Noted
- C. Urban Catalyst Response – Letter, Original Development Order, Stormwater Revision, and their own Stormwater Analysis Report.

Draft copies of proposed covenants, deed restrictions, and homeowners documents are lengthy, but are available for viewing at City Hall upon request.

STAFF'S COMMENTS AND RECOMMENDATIONS:

P&Z approved the preliminary plat 7/11/22. It is staff's recommendation to approve, pending engineering report on stormwater management is cleared by staff and CDG consultants prior to beginning the final plat process.

**A. City of Apalachicola Platting General Info Sheet
(Sec. 111-37~191), Original P&Z Application & Original
Preliminary Plat Documents**

City of Apalachicola – Platting General Info

Link to Land Use Code:

- https://library.municode.com/fl/apalachicola/codes/code_of_ordinances?nodeId=SPBLADECO_CH1111LAUS
- Sec. 111-37 ~ 191 contains applicable code for subdivision platting.

Basic Steps:

1. P&Z preliminary plat approval application and documents provided to City staff 30 days prior to next P&Z meeting.
2. P&Z will approve or deny the preliminary plat with comments.
3. P&Z approved preliminary plat will be placed on the next regular commission meeting for commission approval or denial with comments.
4. If approved by commission, final plat documents must be submitted to City staff 30 days prior to next P&Z meeting.
5. P&Z will approve or deny the final plat.
6. P&Z approved final plat will be placed on the next regular commission meeting for commission approval or denial.
7. If commission approves, final signatures and documents will be obtained to be recorded with the City Clerk. At this point development can begin pending permits.

Part 1: Preliminary Plat Documents

Per our land use code, you will need to provide the following for the first P&Z meeting:

- ✓ • A P&Z Application packet - filled out with as much information as possible. (We know the form isn't perfect, but it is a good starting point for contact info, etc.)
- ✓ • Updated elevation certificate
- ✓ • Two copies of the preliminary plat and accompanying material shall be submitted to the building official 30 days prior to the next regularly scheduled planning and zoning board meeting. The preliminary plat shall include:
 - ✓ (1) Name of subdivision, boundary survey and legal description, scale, north arrow, number of acres to be subdivided, current zoning, and total number of lots.
 - ✓ (2) Names and addresses of owner, developer, land surveyor, and engineer.
 - ✓ (3) Topographic map with contour intervals at one foot.
 - ✓ (4) Dimensions and locations of all parcels of land proposed to be dedicated or reserved for public or common use, such as rights-of-way, easements, drainageways, parks, and other public or common use spaces.
 - ✓ (5) Location of any existing streets, easements, utilities, stormwater management facilities, or other improvements.
 - ✓ (6) Proposed lot, block, and street layout and parking areas. Lots and blocks should be numbered and street names should be shown.

- ✓ (7) Schematic drawings of proposed potable water, sanitary sewer, and stormwater management systems, including the location of the outfall for stormwater discharge. Indicate size and approximate location of internal distribution and collection lines, direction of flow, and location of any lift stations, retention/detention facilities, and other major features of these systems.
- ✓ (8) Draft copies of proposed covenants, deed restrictions, and homeowners or condominium documents, if any.
- ✓ (9) Location of streams, lakes, swamps, wetlands and flood prone areas on the property to be subdivided. Indicate the flood zone of the proposed subdivision and the base flood elevation.
- ✓ (10) Proposed bulkheads, seawalls, and similar structures. *N/A*
- ✓ (11) When applicable, indicate how the project will be phased, the order in which the phases will be developed, and the approximate date when development for each phase will begin. Each phase should be designed to stand independently of phases not yet developed. *N/A 1 phase ✓*

The planning and zoning board shall recommend to the city commission that the preliminary plat be approved as presented, be approved with conditions, or be disapproved.

The building official shall place the proposed preliminary plat on the next regularly scheduled city commission agenda. The report of the building official and the recommendation of the planning and zoning board shall be forwarded for the city commission's consideration. The city commission, after reviewing the material presented, shall approve, approve with conditions, or disapprove the preliminary plat. Approval shall constitute authorization to submit a final plat to the planning and zoning board for approval. Application for final plat approval shall be submitted within one year following approval of the preliminary plat by the city commission.

No development shall be permitted prior to final plat approval. After preliminary approval from P&Z and the City Commission, you will be set to send in your documents for your final plat approval to P&Z and the City Commission. You will need to send in documentation 30 days before next P&Z meeting again.

Part 2: Final Plat Documents

Per our land use code, you will need to provide the following for the second P&Z meeting:

- A P&Z application packet.
- Two copies of the final plat and accompanying material and two copies of the construction plans shall be submitted to the building official at least 30 days prior to the next regularly scheduled planning and zoning board meeting. The plat and accompanying materials shall conform substantially to the approved preliminary plat. The final plat shall reflect the conditions of earlier approvals and shall include:
 - (1) The plat map prepared in accordance with F.S. § 177.091, each sheet thereof being 36 inches long and 24 inches wide. The final plat shall be drawn on Mylar or vellum and shall be at a scale of 60 feet to one inch or larger. Where necessary, the plat may be on several sheets accompanied by an index sheet showing the entire subdivision.

- (2) The construction plans showing all subdivision improvements in accordance with division 3 of this article.
- (3) Developers proposing to post a guarantee for the construction of subdivision improvements shall submit the guarantee pursuant to division 4 of this article.
- (4) Copies of permits required from any federal or state governmental regulatory agency, or proof that application for such permits has been made and is pending approval.
- (5) Title certification pursuant to F.S. § 177.041.
- (6) Restrictive covenants, deed restrictions, deeds for lands on improvements to be conveyed to the city, access on utility easements, drainage, potable water or sanitary sewer easements, and condominium or homeowners association documents, if any.
- (7) Dedications. SEE FULL CODE FOR SPECIFICS.

Tentative Timeline:

- Preliminary Plat Documents submitted 30 days prior to next P&Z meeting.
- If approved by P&Z, preliminary plat documents provided to City Commission for decision at next regular meeting.
- If approved by City Commission, then final plat documents submitted 30 days prior to next P&Z.
- If approved by P&Z, final plat documents provided to City Commission for decision at next regular meeting.
- If approved by City Commission, then final plat documents are signed and recorded with City Clerk by City Staff.

PLEASE READ THE LAND USE CODE FOR FULL INFORMATION AND WHAT THE CITY WILL BE LOOKING FOR. IT IS UP TO THE APPLICANT TO ENSURE ALL NECESSARY DOCUMENTS ARE PROVIDED AND IN ACCORDANCE WITH THE LAND USE CODE.



270 Prado

Preliminary Plat – Oyster City Townhomes

Palmer Point Townhomes

| CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION | | Official Use Only |
|--|--|---|
| <i>non-</i> HISTORIC DISTRICT ONLY | | Application # _____ City Representative _____ Date Received _____ |
| OWNER INFORMATION | | CONTRACTOR INFORMATION |
| Owner <u>800 Mexico Beach, LLC</u> | | Contractors Name <u>Sean K. Marston, P.E.</u> |
| Address <u>2316 Killearn Center Blvd.</u> | | State License # <u>55987</u> City License # _____ |
| City <u>Tallahassee</u> State <u>FL</u> Zip <u>32308</u> | | Email Address <u>smarston@ucceng.com</u> |
| Phone (____) _____ | | Phone (<u>850</u>) <u>566-0083</u> |
| Approval Type: <input type="checkbox"/> Staff Approval Date: _____ <input type="checkbox"/> Board Approval <input type="checkbox"/> Board Denial Date: _____ | | |
| *Reason for Denial: _____ | | |
| PROJECT TYPE | | |
| <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition | | <input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input type="checkbox"/> Other _____ |
| PROPERTY INFORMATION | | |
| Street Address <u>270 Prado</u> City & State <u>Apalachicola, Florida</u> Zip <u>32320</u> | | |
| <input type="checkbox"/> Historic District <input checked="" type="checkbox"/> Non-Historic District Zoning District <u>R-2</u> | | |
| Parcel # <u>01-095-08W-8330-0265-0010</u> Block(s) <u>265</u> Lot(s) _____ | | |
| FEMA Flood Zone/Panel # <u>X + AE</u> (For AE, AO, AH or VE Please complete attached Flood Application) | | |
| OFFICIAL USE ONLY | | |
| Setback requirement of Property: Front <u>15</u> Rear <u>25</u> Side <u>15</u> Lot Coverage: <u>45%</u> Water Available <input checked="" type="checkbox"/> Sewer Available <input checked="" type="checkbox"/> Taps Paid <u>townhomes</u> | | This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued. Certificate of Appropriateness Approval: _____ Chairperson, Apalachicola Planning & Zoning Board |

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits.

Bree Robinson
Grant Coordinator & City Planner
City of Apalachicola
o: 850-323-0985
brobinson@cityofapalachicola.com

APPLICATION FOR SUBDIVISION PRELIMINARY PLAT APPROVAL

DATE: 6/9/2022

PROPOSED SUBDIVISION NAME: Oyster City Townhomes
AGENT'S NAME: Urban Catalyst Consultants, Inc., Sean K. Marston, P.E.
ADDRESS: 2851 Remington Green Circle, Ste. D
Tallahassee, FL 32308
TELEPHONE NUMBER: 850-999-4241

OWNER'S NAME: 800 Mexico Beach, LLC
ADDRESS: 2316 Killearn Center Blvd.
Tallahassee, FL 32308
TELEPHONE NUMBER:

SKETCH PLAT WAS APPROVED: 1/6/2022

NUMBER OF LOTS IN SUBDIVISION: 26

FEE: \$

PLEASE NOTE: PLANNING AND ZONING COMMISSION MAKES RECOMMENDATIONS TO THE FRANKLIN COUNTY BOARD OF COMMISSIONERS REGARDING YOUR APPLICATION. ALL APPLICANT'S ARE NOTIFIED THAT IF YOUR APPLICATION IS DENIED, IT SHALL NOT BE RESUBMITTED FOR ONE YEAR. ALSO, ANY PERSON WISHING TO APPEAL THE RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION OR THE DECISION OF THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSION ARE RESPONSIBLE TO ENSURE THAT A VERBATIM TRANSCRIPT OF THE PROCEEDINGS IS MADE.

I hereby certify, as a representative for that the information given is true and accurate to the best of our knowledge.

Agent's Signature (Handwritten signature of Sean K. Marston)

Owner's Signature (Handwritten signature)

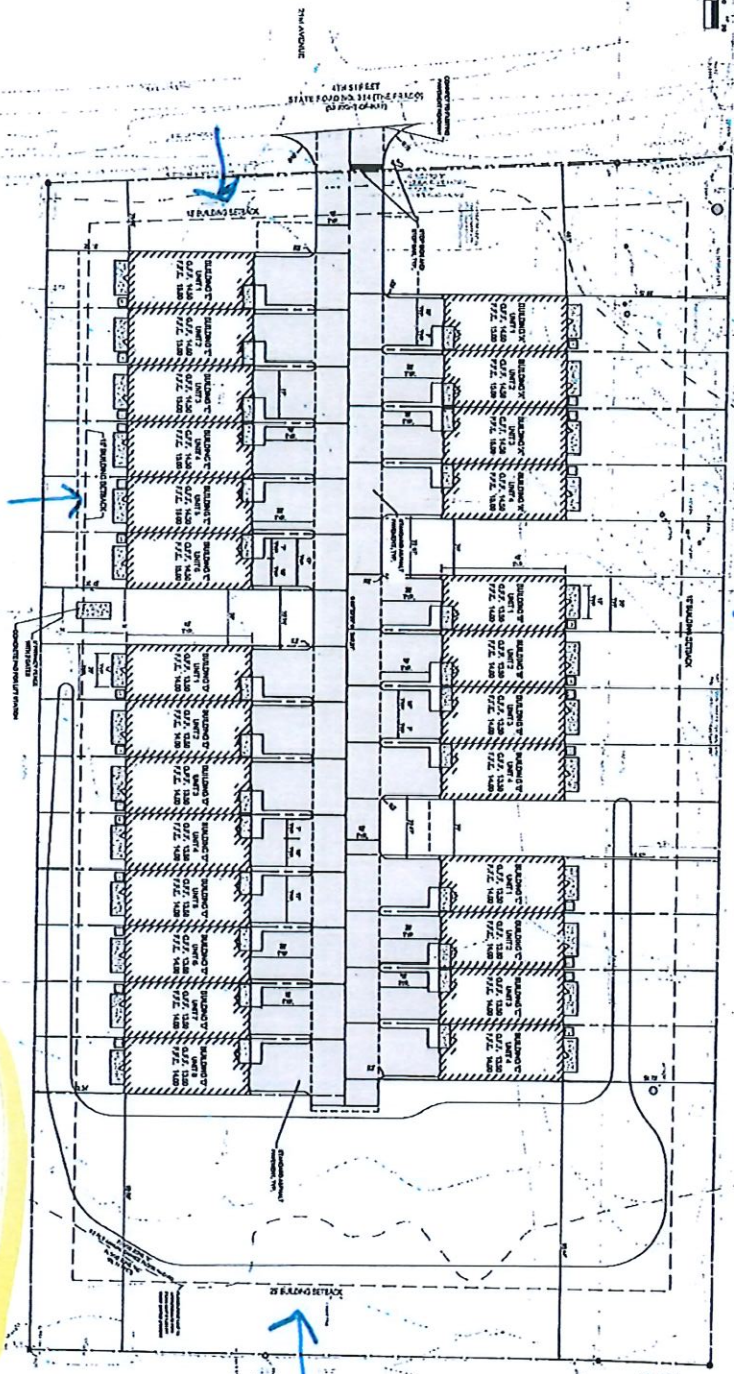
TO BE FILLED IN BY PLANNING OFFICIAL

Planning & Zoning Commission Recommendation: Date:
Board of County Commissioners Action: Date:

Comments:



Setbacks OK



SECTION - STANDARD DUTY PAVING

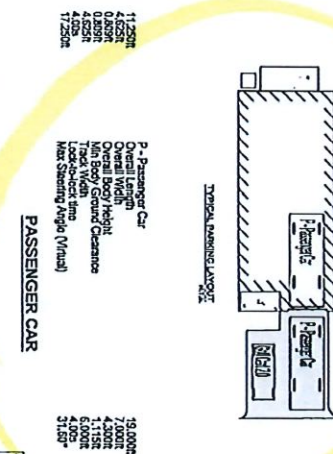
| | |
|------------|----------------------|
| SECTION | STANDARD DUTY PAVING |
| DATE | 08/26/2010 |
| BY | UCC |
| CHECKED BY | UCC |
| SCALE | AS SHOWN |

UNIT DATA TABLE

| UNIT NO. | UNIT TYPE | UNIT AREA (SQ FT) | UNIT PERCENTAGE |
|--------------|-------------------------|-------------------|-----------------|
| 1-12 | RESIDENTIAL UNIT | 1,785 | 100% |
| TOTAL | RESIDENTIAL UNIT | 21,420 | 100% |

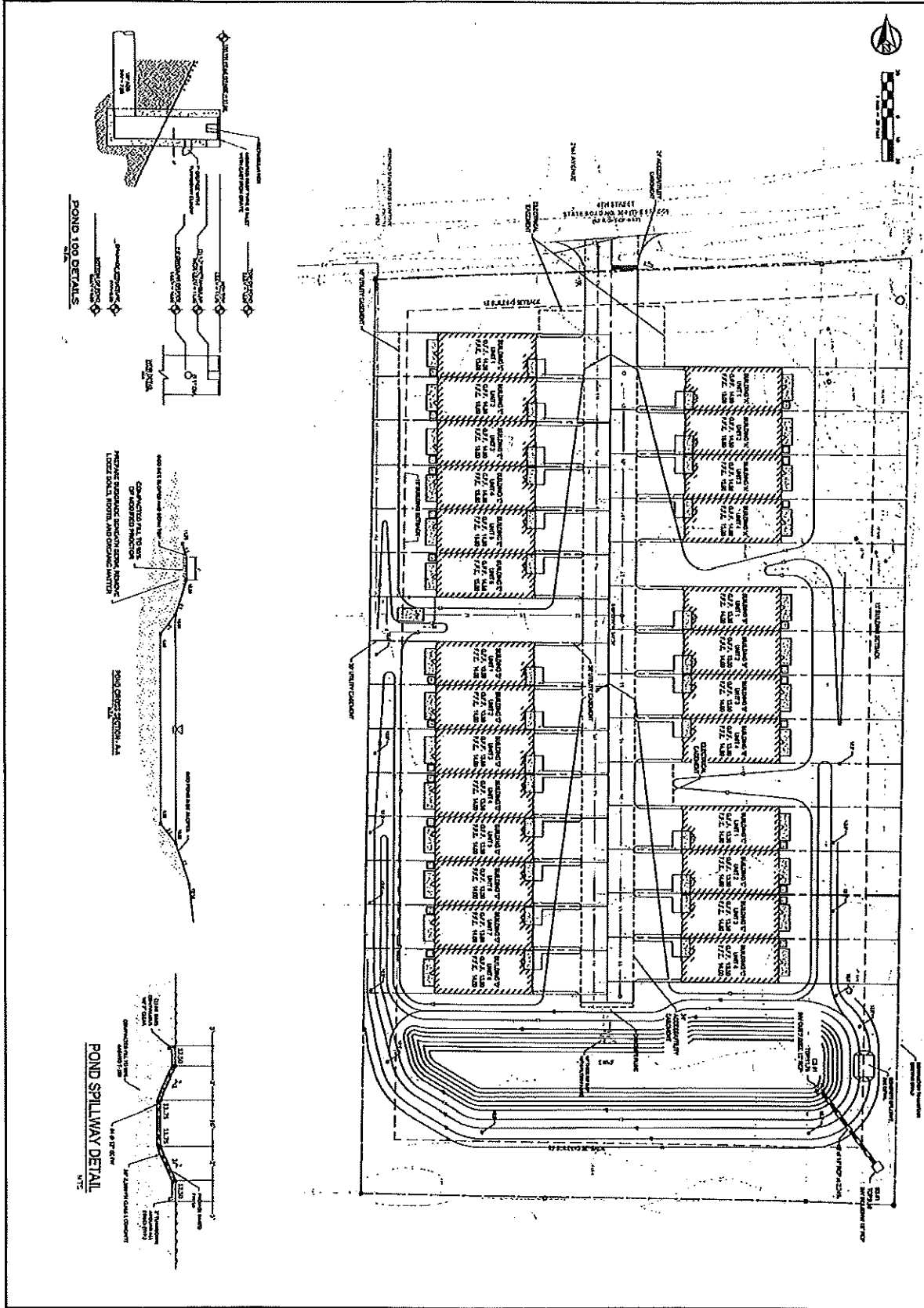
LEGEND

- PROPERTY BOUNDARY
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED DRIVE
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED FENCE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED TREE
- PROPOSED PLANT
- PROPOSED LANDSCAPE
- PROPOSED UTILITY
- PROPOSED ERECTION
- PROPOSED REMOVAL
- PROPOSED REPAIR
- PROPOSED MAINTENANCE
- PROPOSED REPLACEMENT
- PROPOSED IMPROVEMENT
- PROPOSED RESTORATION
- PROPOSED PRESERVATION
- PROPOSED PROTECTION
- PROPOSED SECURITY
- PROPOSED SAFETY
- PROPOSED HEALTH
- PROPOSED ENVIRONMENT
- PROPOSED COMMUNITY
- PROPOSED CULTURE
- PROPOSED ARTS
- PROPOSED RECREATION
- PROPOSED EDUCATION
- PROPOSED RELIGION
- PROPOSED SOCIAL
- PROPOSED ECONOMIC
- PROPOSED POLITICAL
- PROPOSED LEGAL
- PROPOSED ETHICAL
- PROPOSED MORAL
- PROPOSED SPIRITUAL
- PROPOSED SCIENTIFIC
- PROPOSED TECHNICAL
- PROPOSED ARTISTIC
- PROPOSED LITERARY
- PROPOSED MUSICAL
- PROPOSED THEATRICAL
- PROPOSED FILM
- PROPOSED TELEVISION
- PROPOSED RADIO
- PROPOSED JOURNALISM
- PROPOSED PUBLISHING
- PROPOSED ARCHITECTURE
- PROPOSED DESIGN
- PROPOSED PLANNING
- PROPOSED MANAGEMENT
- PROPOSED OPERATIONS
- PROPOSED MAINTENANCE
- PROPOSED REPAIR
- PROPOSED REPLACEMENT
- PROPOSED IMPROVEMENT
- PROPOSED RESTORATION
- PROPOSED PRESERVATION
- PROPOSED PROTECTION
- PROPOSED SECURITY
- PROPOSED SAFETY
- PROPOSED HEALTH
- PROPOSED ENVIRONMENT
- PROPOSED COMMUNITY
- PROPOSED CULTURE
- PROPOSED ARTS
- PROPOSED RECREATION
- PROPOSED EDUCATION
- PROPOSED RELIGION
- PROPOSED SOCIAL
- PROPOSED ECONOMIC
- PROPOSED POLITICAL
- PROPOSED LEGAL
- PROPOSED ETHICAL
- PROPOSED MORAL
- PROPOSED SPIRITUAL
- PROPOSED SCIENTIFIC
- PROPOSED TECHNICAL
- PROPOSED ARTISTIC
- PROPOSED LITERARY
- PROPOSED MUSICAL
- PROPOSED THEATRICAL
- PROPOSED FILM
- PROPOSED TELEVISION
- PROPOSED RADIO
- PROPOSED JOURNALISM
- PROPOSED PUBLISHING



41.46% lot coverage
1,785 sq ft dwelling
45% allowed = OK

Parking OK



| | |
|-------------|------------|
| DATE | 08/27/2013 |
| TIME | 10:00 AM |
| PROJECT NO. | 2013010 |
| SHEET | C-104 |

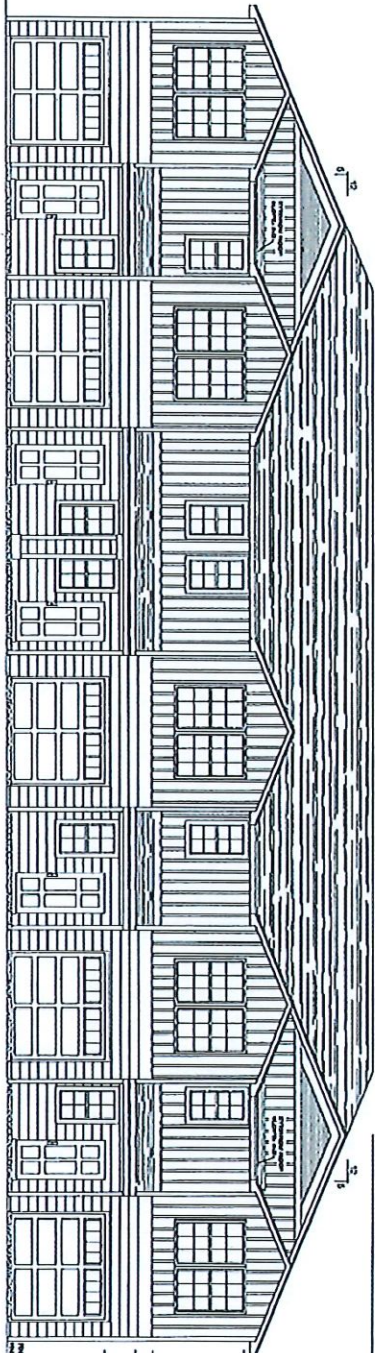
OYSTER CITY TOWNHOMES

GRADING PLAN

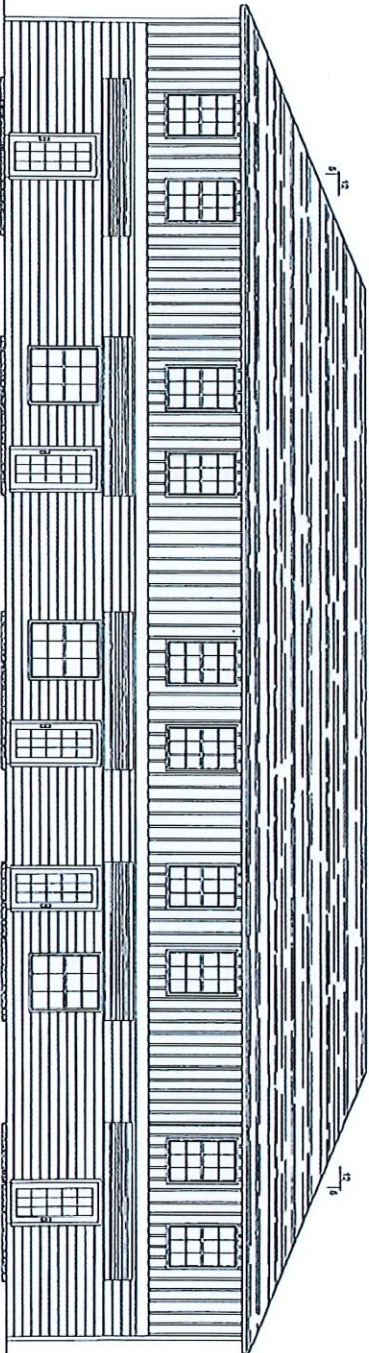
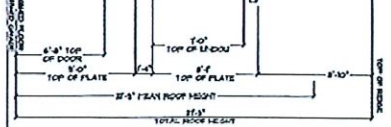
FRANKLIN COUNTY FLORIDA

| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
| | | | |
| | | | |

URBAN CATALYTIC CONSULTANTS, INC.
 2551 REMINGTON GREEN CIRCLE
 TALLAHASSEE, FLORIDA, 32310
 PHONE: (850) 818-4341
 WWW.UCCCONS.COM
 FLCA 00010372

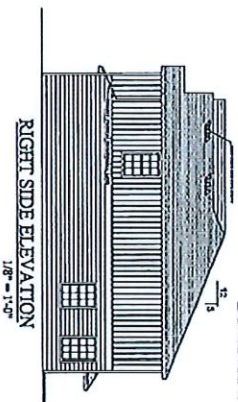


FRONT ELEVATION
1/8" = 1'-0"

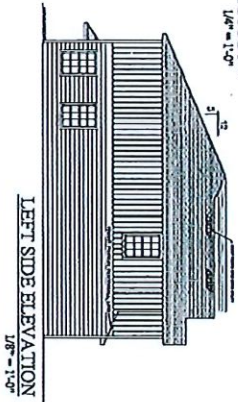


REAR ELEVATION
1/8" = 1'-0"

SEE SEPARATE REPORT UNDER DRAWING NO. 100 FOR UNIT PLAN
 SQUARE FOOT HEIGHT REPORT, 200 sq ft in 1
 TOTAL UNIT AREA ESTIMATED, 200 sq ft in 1, 1-20 sq ft in 2
 400 sq ft in 2, 1-20 sq ft in 3, 1-20 sq ft in 4
 400 sq ft in 5, 1-20 sq ft in 6, 1-20 sq ft in 7
 400 sq ft in 8, 1-20 sq ft in 9, 1-20 sq ft in 10
 400 sq ft in 11, 1-20 sq ft in 12, 1-20 sq ft in 13
 400 sq ft in 14, 1-20 sq ft in 15, 1-20 sq ft in 16
 400 sq ft in 17, 1-20 sq ft in 18, 1-20 sq ft in 19
 400 sq ft in 20, 1-20 sq ft in 21, 1-20 sq ft in 22
 400 sq ft in 23, 1-20 sq ft in 24, 1-20 sq ft in 25
 400 sq ft in 26, 1-20 sq ft in 27, 1-20 sq ft in 28
 400 sq ft in 29, 1-20 sq ft in 30, 1-20 sq ft in 31
 400 sq ft in 32, 1-20 sq ft in 33, 1-20 sq ft in 34
 400 sq ft in 35, 1-20 sq ft in 36, 1-20 sq ft in 37
 400 sq ft in 38, 1-20 sq ft in 39, 1-20 sq ft in 40
 400 sq ft in 41, 1-20 sq ft in 42, 1-20 sq ft in 43
 400 sq ft in 44, 1-20 sq ft in 45, 1-20 sq ft in 46
 400 sq ft in 47, 1-20 sq ft in 48, 1-20 sq ft in 49
 400 sq ft in 50, 1-20 sq ft in 51, 1-20 sq ft in 52
 400 sq ft in 53, 1-20 sq ft in 54, 1-20 sq ft in 55
 400 sq ft in 56, 1-20 sq ft in 57, 1-20 sq ft in 58
 400 sq ft in 59, 1-20 sq ft in 60, 1-20 sq ft in 61
 400 sq ft in 62, 1-20 sq ft in 63, 1-20 sq ft in 64
 400 sq ft in 65, 1-20 sq ft in 66, 1-20 sq ft in 67
 400 sq ft in 68, 1-20 sq ft in 69, 1-20 sq ft in 70
 400 sq ft in 71, 1-20 sq ft in 72, 1-20 sq ft in 73
 400 sq ft in 74, 1-20 sq ft in 75, 1-20 sq ft in 76
 400 sq ft in 77, 1-20 sq ft in 78, 1-20 sq ft in 79
 400 sq ft in 80, 1-20 sq ft in 81, 1-20 sq ft in 82
 400 sq ft in 83, 1-20 sq ft in 84, 1-20 sq ft in 85
 400 sq ft in 86, 1-20 sq ft in 87, 1-20 sq ft in 88
 400 sq ft in 89, 1-20 sq ft in 90, 1-20 sq ft in 91
 400 sq ft in 92, 1-20 sq ft in 93, 1-20 sq ft in 94
 400 sq ft in 95, 1-20 sq ft in 96, 1-20 sq ft in 97
 400 sq ft in 98, 1-20 sq ft in 99, 1-20 sq ft in 100



RIGHT SIDE ELEVATION
1/8" = 1'-0"

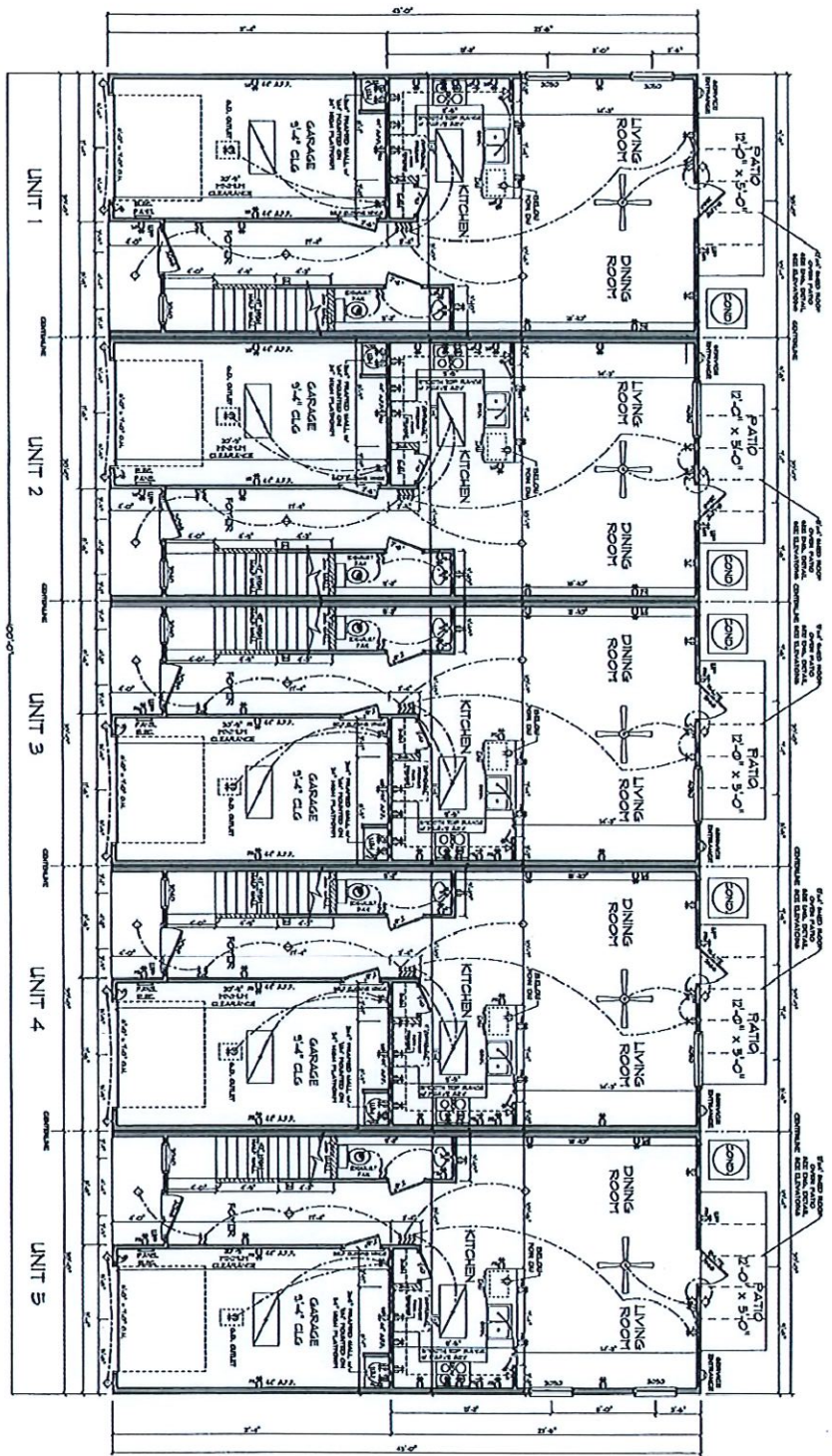


LEFT SIDE ELEVATION
1/8" = 1'-0"

5 Plex
 Units 1 thru 5


 Architect
 Parkview Townhomes
 City of Lynn Haven, FL
 PROJECT NO. 2007
 SHEET NO. A1.0
 ATTENDANCE:

example



| SCHEDULE ITEM DESCRIPTION | | QTY | UNIT PRICE | TOTAL |
|---------------------------|-----------------------|-----|------------|-------|
| 1 | 1st FLOOR LIVING AREA | 5 | 64 | 320 |
| 2 | 2nd FLOOR LIVING AREA | 5 | 64 | 320 |
| 3 | RENTAL OFFICE | 1 | 21 | 21 |
| 4 | CLIMATE CONTROL | 1 | 28 | 28 |
| 5 | STAIRS | 1 | 18 | 18 |
| 6 | STAIRS | 1 | 18 | 18 |
| 7 | STAIRS | 1 | 18 | 18 |
| 8 | STAIRS | 1 | 18 | 18 |
| 9 | STAIRS | 1 | 18 | 18 |
| 10 | STAIRS | 1 | 18 | 18 |
| 11 | STAIRS | 1 | 18 | 18 |
| 12 | STAIRS | 1 | 18 | 18 |
| 13 | STAIRS | 1 | 18 | 18 |
| 14 | STAIRS | 1 | 18 | 18 |
| 15 | STAIRS | 1 | 18 | 18 |
| 16 | STAIRS | 1 | 18 | 18 |
| 17 | STAIRS | 1 | 18 | 18 |
| 18 | STAIRS | 1 | 18 | 18 |
| 19 | STAIRS | 1 | 18 | 18 |
| 20 | STAIRS | 1 | 18 | 18 |
| 21 | STAIRS | 1 | 18 | 18 |
| 22 | STAIRS | 1 | 18 | 18 |
| 23 | STAIRS | 1 | 18 | 18 |
| 24 | STAIRS | 1 | 18 | 18 |
| 25 | STAIRS | 1 | 18 | 18 |
| 26 | STAIRS | 1 | 18 | 18 |
| 27 | STAIRS | 1 | 18 | 18 |
| 28 | STAIRS | 1 | 18 | 18 |
| 29 | STAIRS | 1 | 18 | 18 |
| 30 | STAIRS | 1 | 18 | 18 |
| 31 | STAIRS | 1 | 18 | 18 |
| 32 | STAIRS | 1 | 18 | 18 |
| 33 | STAIRS | 1 | 18 | 18 |
| 34 | STAIRS | 1 | 18 | 18 |
| 35 | STAIRS | 1 | 18 | 18 |
| 36 | STAIRS | 1 | 18 | 18 |
| 37 | STAIRS | 1 | 18 | 18 |
| 38 | STAIRS | 1 | 18 | 18 |
| 39 | STAIRS | 1 | 18 | 18 |
| 40 | STAIRS | 1 | 18 | 18 |
| 41 | STAIRS | 1 | 18 | 18 |
| 42 | STAIRS | 1 | 18 | 18 |
| 43 | STAIRS | 1 | 18 | 18 |
| 44 | STAIRS | 1 | 18 | 18 |
| 45 | STAIRS | 1 | 18 | 18 |
| 46 | STAIRS | 1 | 18 | 18 |
| 47 | STAIRS | 1 | 18 | 18 |
| 48 | STAIRS | 1 | 18 | 18 |
| 49 | STAIRS | 1 | 18 | 18 |
| 50 | STAIRS | 1 | 18 | 18 |
| 51 | STAIRS | 1 | 18 | 18 |
| 52 | STAIRS | 1 | 18 | 18 |
| 53 | STAIRS | 1 | 18 | 18 |
| 54 | STAIRS | 1 | 18 | 18 |
| 55 | STAIRS | 1 | 18 | 18 |
| 56 | STAIRS | 1 | 18 | 18 |
| 57 | STAIRS | 1 | 18 | 18 |
| 58 | STAIRS | 1 | 18 | 18 |
| 59 | STAIRS | 1 | 18 | 18 |
| 60 | STAIRS | 1 | 18 | 18 |
| 61 | STAIRS | 1 | 18 | 18 |
| 62 | STAIRS | 1 | 18 | 18 |
| 63 | STAIRS | 1 | 18 | 18 |
| 64 | STAIRS | 1 | 18 | 18 |
| 65 | STAIRS | 1 | 18 | 18 |
| 66 | STAIRS | 1 | 18 | 18 |
| 67 | STAIRS | 1 | 18 | 18 |
| 68 | STAIRS | 1 | 18 | 18 |
| 69 | STAIRS | 1 | 18 | 18 |
| 70 | STAIRS | 1 | 18 | 18 |
| 71 | STAIRS | 1 | 18 | 18 |
| 72 | STAIRS | 1 | 18 | 18 |
| 73 | STAIRS | 1 | 18 | 18 |
| 74 | STAIRS | 1 | 18 | 18 |
| 75 | STAIRS | 1 | 18 | 18 |
| 76 | STAIRS | 1 | 18 | 18 |
| 77 | STAIRS | 1 | 18 | 18 |
| 78 | STAIRS | 1 | 18 | 18 |
| 79 | STAIRS | 1 | 18 | 18 |
| 80 | STAIRS | 1 | 18 | 18 |
| 81 | STAIRS | 1 | 18 | 18 |
| 82 | STAIRS | 1 | 18 | 18 |
| 83 | STAIRS | 1 | 18 | 18 |
| 84 | STAIRS | 1 | 18 | 18 |
| 85 | STAIRS | 1 | 18 | 18 |
| 86 | STAIRS | 1 | 18 | 18 |
| 87 | STAIRS | 1 | 18 | 18 |
| 88 | STAIRS | 1 | 18 | 18 |
| 89 | STAIRS | 1 | 18 | 18 |
| 90 | STAIRS | 1 | 18 | 18 |
| 91 | STAIRS | 1 | 18 | 18 |
| 92 | STAIRS | 1 | 18 | 18 |
| 93 | STAIRS | 1 | 18 | 18 |
| 94 | STAIRS | 1 | 18 | 18 |
| 95 | STAIRS | 1 | 18 | 18 |
| 96 | STAIRS | 1 | 18 | 18 |
| 97 | STAIRS | 1 | 18 | 18 |
| 98 | STAIRS | 1 | 18 | 18 |
| 99 | STAIRS | 1 | 18 | 18 |
| 100 | STAIRS | 1 | 18 | 18 |

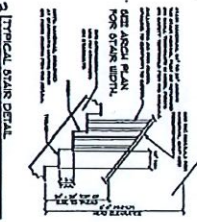
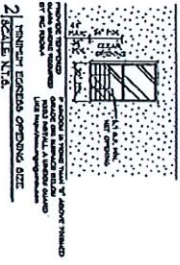
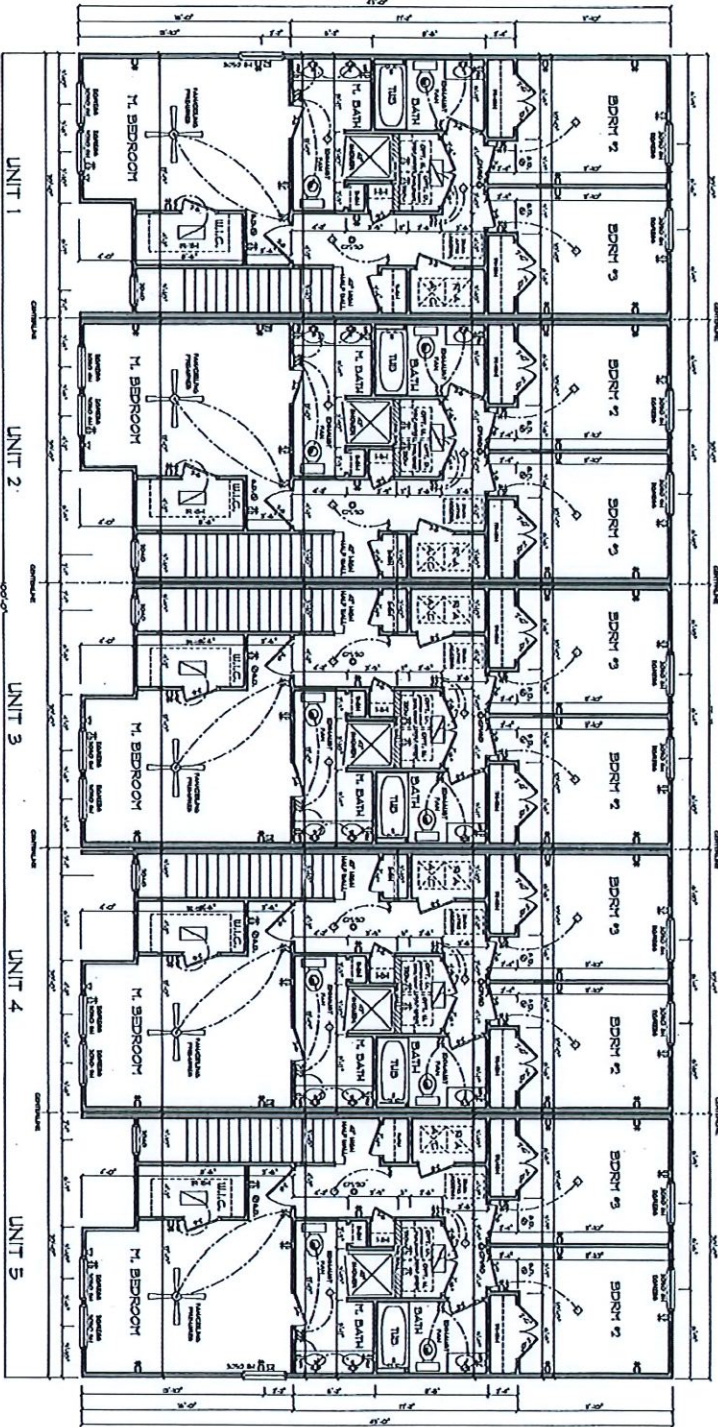
| SCHEDULE ITEM DESCRIPTION | | QTY | UNIT PRICE | TOTAL |
|---------------------------|-----------------------|-----|------------|-------|
| 1 | 1st FLOOR LIVING AREA | 5 | 64 | 320 |
| 2 | 2nd FLOOR LIVING AREA | 5 | 64 | 320 |
| 3 | RENTAL OFFICE | 1 | 21 | 21 |
| 4 | CLIMATE CONTROL | 1 | 28 | 28 |
| 5 | STAIRS | 1 | 18 | 18 |
| 6 | STAIRS | 1 | 18 | 18 |
| 7 | STAIRS | 1 | 18 | 18 |
| 8 | STAIRS | 1 | 18 | 18 |
| 9 | STAIRS | 1 | 18 | 18 |
| 10 | STAIRS | 1 | 18 | 18 |
| 11 | STAIRS | 1 | 18 | 18 |
| 12 | STAIRS | 1 | 18 | 18 |
| 13 | STAIRS | 1 | 18 | 18 |
| 14 | STAIRS | 1 | 18 | 18 |
| 15 | STAIRS | 1 | 18 | 18 |
| 16 | STAIRS | 1 | 18 | 18 |
| 17 | STAIRS | 1 | 18 | 18 |
| 18 | STAIRS | 1 | 18 | 18 |
| 19 | STAIRS | 1 | 18 | 18 |
| 20 | STAIRS | 1 | 18 | 18 |
| 21 | STAIRS | 1 | 18 | 18 |
| 22 | STAIRS | 1 | 18 | 18 |
| 23 | STAIRS | 1 | 18 | 18 |
| 24 | STAIRS | 1 | 18 | 18 |
| 25 | STAIRS | 1 | 18 | 18 |
| 26 | STAIRS | 1 | 18 | 18 |
| 27 | STAIRS | 1 | 18 | 18 |
| 28 | STAIRS | 1 | 18 | 18 |
| 29 | STAIRS | 1 | 18 | 18 |
| 30 | STAIRS | 1 | 18 | 18 |
| 31 | STAIRS | 1 | 18 | 18 |
| 32 | STAIRS | 1 | 18 | 18 |
| 33 | STAIRS | 1 | 18 | 18 |
| 34 | STAIRS | 1 | 18 | 18 |
| 35 | STAIRS | 1 | 18 | 18 |
| 36 | STAIRS | 1 | 18 | 18 |
| 37 | STAIRS | 1 | 18 | 18 |
| 38 | STAIRS | 1 | 18 | 18 |
| 39 | STAIRS | 1 | 18 | 18 |
| 40 | STAIRS | 1 | 18 | 18 |
| 41 | STAIRS | 1 | 18 | 18 |
| 42 | STAIRS | 1 | 18 | 18 |
| 43 | STAIRS | 1 | 18 | 18 |
| 44 | STAIRS | 1 | 18 | 18 |
| 45 | STAIRS | 1 | 18 | 18 |
| 46 | STAIRS | 1 | 18 | 18 |
| 47 | STAIRS | 1 | 18 | 18 |
| 48 | STAIRS | 1 | 18 | 18 |
| 49 | STAIRS | 1 | 18 | 18 |
| 50 | STAIRS | 1 | 18 | 18 |
| 51 | STAIRS | 1 | 18 | 18 |
| 52 | STAIRS | 1 | 18 | 18 |
| 53 | STAIRS | 1 | 18 | 18 |
| 54 | STAIRS | 1 | 18 | 18 |
| 55 | STAIRS | 1 | 18 | 18 |
| 56 | STAIRS | 1 | 18 | 18 |
| 57 | STAIRS | 1 | 18 | 18 |
| 58 | STAIRS | 1 | 18 | 18 |
| 59 | STAIRS | 1 | 18 | 18 |
| 60 | STAIRS | 1 | 18 | 18 |
| 61 | STAIRS | 1 | 18 | 18 |
| 62 | STAIRS | 1 | 18 | 18 |
| 63 | STAIRS | 1 | 18 | 18 |
| 64 | STAIRS | 1 | 18 | 18 |
| 65 | STAIRS | 1 | 18 | 18 |
| 66 | STAIRS | 1 | 18 | 18 |
| 67 | STAIRS | 1 | 18 | 18 |
| 68 | STAIRS | 1 | 18 | 18 |
| 69 | STAIRS | 1 | 18 | 18 |
| 70 | STAIRS | 1 | 18 | 18 |
| 71 | STAIRS | 1 | 18 | 18 |
| 72 | STAIRS | 1 | 18 | 18 |
| 73 | STAIRS | 1 | 18 | 18 |
| 74 | STAIRS | 1 | 18 | 18 |
| 75 | STAIRS | 1 | 18 | 18 |
| 76 | STAIRS | 1 | 18 | 18 |
| 77 | STAIRS | 1 | 18 | 18 |
| 78 | STAIRS | 1 | 18 | 18 |
| 79 | STAIRS | 1 | 18 | 18 |
| 80 | STAIRS | 1 | 18 | 18 |
| 81 | STAIRS | 1 | 18 | 18 |
| 82 | STAIRS | 1 | 18 | 18 |
| 83 | STAIRS | 1 | 18 | 18 |
| 84 | STAIRS | 1 | 18 | 18 |
| 85 | STAIRS | 1 | 18 | 18 |
| 86 | STAIRS | 1 | 18 | 18 |
| 87 | STAIRS | 1 | 18 | 18 |
| 88 | STAIRS | 1 | 18 | 18 |
| 89 | STAIRS | 1 | 18 | 18 |
| 90 | STAIRS | 1 | 18 | 18 |
| 91 | STAIRS | 1 | 18 | 18 |
| 92 | STAIRS | 1 | 18 | 18 |
| 93 | STAIRS | 1 | 18 | 18 |
| 94 | STAIRS | 1 | 18 | 18 |
| 95 | STAIRS | 1 | 18 | 18 |
| 96 | STAIRS | 1 | 18 | 18 |
| 97 | STAIRS | 1 | 18 | 18 |
| 98 | STAIRS | 1 | 18 | 18 |
| 99 | STAIRS | 1 | 18 | 18 |
| 100 | STAIRS | 1 | 18 | 18 |

5 Plex
Units 1 thru 5

1st FLOOR PLAN
DWG # 100

D-R HOHSON
America's Builder
Parkview Townhomes
City of Lynn Haven, FL

| |
|---------------------|
| DATE: 06-28-2017 |
| DRAWN BY: [Name] |
| CHECKED BY: [Name] |
| APPROVED BY: [Name] |



5 Plex
Units 1 thru 5

2nd FLOOR PLAN
1/8" = 1'-0"



D-RHOHTON
America's Builder
Parkview Townhomes
City of Lynn Haven, FL

| |
|-----------------|
| DATE: 06/20/17 |
| SCALE: AS SHOWN |
| REVISIONS: |
| |
| |
| |

A1.2

GENERAL NOTES

1. GENERAL NOTES: SEE DRAWING FOR ALL DIMENSIONS AND NOTES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. FINISHES: SEE SPECIFICATIONS FOR FINISHES TO BE USED.
4. MATERIALS: ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
5. PROTECT EXISTING CONDITIONS: TAKE CARE TO PROTECT ALL EXISTING CONDITIONS AND UTILITIES TO REMAIN.
6. EROSION CONTROL: EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
7. SAFETY: MAINTAIN SAFE WORKING CONDITIONS AT ALL TIMES. POST WARNING SIGNS AND BARRIERS AS NECESSARY.
8. UTILITIES: VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION.
9. FOUNDATION: FOUNDATION SHALL BE AS SHOWN AND SHALL BE CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
10. CONCRETE: CONCRETE SHALL BE PLACED AND FINISHED AS SHOWN. ALL CONCRETE SHALL BE CURED PROPERLY.
11. FORMWORK: FORMWORK SHALL BE DESIGNED TO SUPPORT ALL LOADS AND SHALL BE REMOVED AT THE APPROPRIATE TIME.
12. REINFORCEMENT: REINFORCEMENT SHALL BE INSTALLED AS SHOWN AND SHALL BE TIED TOGETHER PROPERLY.
13. JOINTS: JOINTS SHALL BE LOCATED AS SHOWN AND SHALL BE FINISHED TO MATCH ADJACENT AREAS.
14. CURING: CONCRETE SHALL BE CURED WITH WET BURLAP OR CURING COMPOUND AS SHOWN.
15. PROTECT WORK: PROTECT ALL COMPLETED WORK FROM DAMAGE DURING CONSTRUCTION.
16. CLEANUP: MAINTAIN A CLEAN WORK AREA AND REMOVE ALL DEBRIS AT THE END OF EACH DAY.
17. INSPECTION: ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
18. SCHEDULING: THE SCHEDULE SHALL BE SUBJECT TO CHANGE BASED ON SITE CONDITIONS.
19. COMMUNICATION: MAINTAIN OPEN COMMUNICATION WITH THE ARCHITECT AND ALL TRADES.
20. PERMITS: OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK.
21. ADVERSE WEATHER: SUSPEND WORK IN THE EVENT OF ADVERSE WEATHER CONDITIONS.
22. RECORD DRAWINGS: MAINTAIN UP-TO-DATE RECORD DRAWINGS THROUGHOUT CONSTRUCTION.
23. AS-BUILT: SUBMIT AS-BUILT DRAWINGS TO THE ARCHITECT UPON COMPLETION.
24. WARRANTY: ALL WORK SHALL BE WARRANTED FOR THE PERIOD SPECIFIED IN THE CONTRACT.
25. TRAINING: PROVIDE TRAINING FOR ALL WORKERS ON SAFETY AND QUALITY CONTROL.
26. DOCUMENTATION: MAINTAIN DETAILED DOCUMENTATION OF ALL CONSTRUCTION ACTIVITIES.
27. COMMUNITY RELATIONS: MAINTAIN POSITIVE RELATIONS WITH THE LOCAL COMMUNITY.
28. ENVIRONMENTAL: FOLLOW ALL ENVIRONMENTAL REGULATIONS AND PROTECT SENSITIVE AREAS.
29. HISTORIC PRESERVATION: TAKE CARE TO PRESERVE ANY HISTORIC OR ARCHITECTURAL FEATURES.
30. ACCESS: MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
31. TRAFFIC: CONTROL TRAFFIC FLOW AND MINIMIZE DISRUPTION TO THE PUBLIC.
32. NOISE: TAKE MEASURES TO MINIMIZE NOISE LEVELS DURING CONSTRUCTION.
33. AIR QUALITY: MONITOR AIR QUALITY AND TAKE ACTION TO REDUCE PARTICULATE EMISSIONS.
34. WATER: CONSERVE WATER AND PROTECT WATER RESOURCES.
35. SOIL: PROTECT SOIL FROM EROSION AND CONTAMINATION.
36. VEGETATION: PROTECT EXISTING VEGETATION AND RE-PLANT AS NECESSARY.
37. UTILITIES: REPAIR AND RESTORE ALL UTILITIES TO ORIGINAL OR BETTER CONDITION.
38. SITE RESTORATION: RESTORE THE CONSTRUCTION SITE TO ORIGINAL OR BETTER CONDITION.
39. FINAL INSPECTION: CONDUCT A FINAL INSPECTION UPON COMPLETION OF ALL WORK.
40. CLOSEOUT: SUBMIT A DETAILED CLOSEOUT LIST AND COMPLETE ALL PENDING ITEMS.
41. ARCHIVE: ARCHIVE ALL PROJECT DOCUMENTS AND DRAWINGS FOR FUTURE REFERENCE.
42. COMMUNITY MEETING: HOLD A COMMUNITY MEETING TO DISCUSS PROJECT IMPACTS AND SOLUTIONS.
43. PUBLIC INFORMATION: PROVIDE REGULAR UPDATES TO THE PUBLIC ON PROJECT PROGRESS.
44. TRANSPORTATION: IMPROVE LOCAL TRANSPORTATION INFRASTRUCTURE AS NECESSARY.
45. ECONOMIC DEVELOPMENT: PROMOTE ECONOMIC DEVELOPMENT AND JOB CREATION IN THE AREA.
46. CULTURAL HERITAGE: PROTECT AND PRESERVE ANY CULTURAL HERITAGE SITES.
47. SCIENTIFIC RESEARCH: SUPPORT SCIENTIFIC RESEARCH AND MONITORING ACTIVITIES.
48. EDUCATION: PROVIDE EDUCATIONAL PROGRAMS FOR LOCAL RESIDENTS AND STUDENTS.
49. RECREATION: IMPROVE LOCAL RECREATION FACILITIES AND PROVIDE ACCESS TO NATURE.
50. ARTS AND CULTURE: SUPPORT LOCAL ARTS AND CULTURE PROGRAMS AND INITIATIVES.

FINISHES

1. FINISHES: SEE SPECIFICATIONS FOR FINISHES TO BE USED.
2. ALL FINISHES SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. PROTECT EXISTING FINISHES: TAKE CARE TO PROTECT ALL EXISTING FINISHES AND MATERIALS TO REMAIN.
4. EROSION CONTROL: EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
5. SAFETY: MAINTAIN SAFE WORKING CONDITIONS AT ALL TIMES. POST WARNING SIGNS AND BARRIERS AS NECESSARY.
6. UTILITIES: VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION.
7. FOUNDATION: FOUNDATION SHALL BE AS SHOWN AND SHALL BE CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
8. CONCRETE: CONCRETE SHALL BE PLACED AND FINISHED AS SHOWN. ALL CONCRETE SHALL BE CURED PROPERLY.
9. FORMWORK: FORMWORK SHALL BE DESIGNED TO SUPPORT ALL LOADS AND SHALL BE REMOVED AT THE APPROPRIATE TIME.
10. REINFORCEMENT: REINFORCEMENT SHALL BE INSTALLED AS SHOWN AND SHALL BE TIED TOGETHER PROPERLY.
11. JOINTS: JOINTS SHALL BE LOCATED AS SHOWN AND SHALL BE FINISHED TO MATCH ADJACENT AREAS.
12. CURING: CONCRETE SHALL BE CURED WITH WET BURLAP OR CURING COMPOUND AS SHOWN.
13. PROTECT WORK: PROTECT ALL COMPLETED WORK FROM DAMAGE DURING CONSTRUCTION.
14. CLEANUP: MAINTAIN A CLEAN WORK AREA AND REMOVE ALL DEBRIS AT THE END OF EACH DAY.
15. INSPECTION: ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
16. SCHEDULING: THE SCHEDULE SHALL BE SUBJECT TO CHANGE BASED ON SITE CONDITIONS.
17. COMMUNICATION: MAINTAIN OPEN COMMUNICATION WITH THE ARCHITECT AND ALL TRADES.
18. PERMITS: OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK.
19. ADVERSE WEATHER: SUSPEND WORK IN THE EVENT OF ADVERSE WEATHER CONDITIONS.
20. RECORD DRAWINGS: MAINTAIN UP-TO-DATE RECORD DRAWINGS THROUGHOUT CONSTRUCTION.
21. AS-BUILT: SUBMIT AS-BUILT DRAWINGS TO THE ARCHITECT UPON COMPLETION.
22. WARRANTY: ALL WORK SHALL BE WARRANTED FOR THE PERIOD SPECIFIED IN THE CONTRACT.
23. TRAINING: PROVIDE TRAINING FOR ALL WORKERS ON SAFETY AND QUALITY CONTROL.
24. DOCUMENTATION: MAINTAIN DETAILED DOCUMENTATION OF ALL CONSTRUCTION ACTIVITIES.
25. COMMUNITY RELATIONS: MAINTAIN POSITIVE RELATIONS WITH THE LOCAL COMMUNITY.
26. ENVIRONMENTAL: FOLLOW ALL ENVIRONMENTAL REGULATIONS AND PROTECT SENSITIVE AREAS.
27. HISTORIC PRESERVATION: TAKE CARE TO PRESERVE ANY HISTORIC OR ARCHITECTURAL FEATURES.
28. ACCESS: MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
29. TRAFFIC: CONTROL TRAFFIC FLOW AND MINIMIZE DISRUPTION TO THE PUBLIC.
30. NOISE: TAKE MEASURES TO MINIMIZE NOISE LEVELS DURING CONSTRUCTION.
31. AIR QUALITY: MONITOR AIR QUALITY AND TAKE ACTION TO REDUCE PARTICULATE EMISSIONS.
32. WATER: CONSERVE WATER AND PROTECT WATER RESOURCES.
33. SOIL: PROTECT SOIL FROM EROSION AND CONTAMINATION.
34. VEGETATION: PROTECT EXISTING VEGETATION AND RE-PLANT AS NECESSARY.
35. UTILITIES: REPAIR AND RESTORE ALL UTILITIES TO ORIGINAL OR BETTER CONDITION.
36. SITE RESTORATION: RESTORE THE CONSTRUCTION SITE TO ORIGINAL OR BETTER CONDITION.
37. FINAL INSPECTION: CONDUCT A FINAL INSPECTION UPON COMPLETION OF ALL WORK.
38. CLOSEOUT: SUBMIT A DETAILED CLOSEOUT LIST AND COMPLETE ALL PENDING ITEMS.
39. ARCHIVE: ARCHIVE ALL PROJECT DOCUMENTS AND DRAWINGS FOR FUTURE REFERENCE.
40. COMMUNITY MEETING: HOLD A COMMUNITY MEETING TO DISCUSS PROJECT IMPACTS AND SOLUTIONS.
41. PUBLIC INFORMATION: PROVIDE REGULAR UPDATES TO THE PUBLIC ON PROJECT PROGRESS.
42. TRANSPORTATION: IMPROVE LOCAL TRANSPORTATION INFRASTRUCTURE AS NECESSARY.
43. ECONOMIC DEVELOPMENT: PROMOTE ECONOMIC DEVELOPMENT AND JOB CREATION IN THE AREA.
44. CULTURAL HERITAGE: PROTECT AND PRESERVE ANY CULTURAL HERITAGE SITES.
45. SCIENTIFIC RESEARCH: SUPPORT SCIENTIFIC RESEARCH AND MONITORING ACTIVITIES.
46. EDUCATION: PROVIDE EDUCATIONAL PROGRAMS FOR LOCAL RESIDENTS AND STUDENTS.
47. RECREATION: IMPROVE LOCAL RECREATION FACILITIES AND PROVIDE ACCESS TO NATURE.
48. ARTS AND CULTURE: SUPPORT LOCAL ARTS AND CULTURE PROGRAMS AND INITIATIVES.

CONCRETE AND REINFORCEMENT

1. CONCRETE AND REINFORCEMENT: SEE SPECIFICATIONS FOR CONCRETE AND REINFORCEMENT TO BE USED.
2. ALL CONCRETE AND REINFORCEMENT SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. PROTECT EXISTING CONCRETE AND REINFORCEMENT: TAKE CARE TO PROTECT ALL EXISTING CONCRETE AND REINFORCEMENT TO REMAIN.
4. EROSION CONTROL: EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
5. SAFETY: MAINTAIN SAFE WORKING CONDITIONS AT ALL TIMES. POST WARNING SIGNS AND BARRIERS AS NECESSARY.
6. UTILITIES: VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION.
7. FOUNDATION: FOUNDATION SHALL BE AS SHOWN AND SHALL BE CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
8. CONCRETE: CONCRETE SHALL BE PLACED AND FINISHED AS SHOWN. ALL CONCRETE SHALL BE CURED PROPERLY.
9. FORMWORK: FORMWORK SHALL BE DESIGNED TO SUPPORT ALL LOADS AND SHALL BE REMOVED AT THE APPROPRIATE TIME.
10. REINFORCEMENT: REINFORCEMENT SHALL BE INSTALLED AS SHOWN AND SHALL BE TIED TOGETHER PROPERLY.
11. JOINTS: JOINTS SHALL BE LOCATED AS SHOWN AND SHALL BE FINISHED TO MATCH ADJACENT AREAS.
12. CURING: CONCRETE SHALL BE CURED WITH WET BURLAP OR CURING COMPOUND AS SHOWN.
13. PROTECT WORK: PROTECT ALL COMPLETED WORK FROM DAMAGE DURING CONSTRUCTION.
14. CLEANUP: MAINTAIN A CLEAN WORK AREA AND REMOVE ALL DEBRIS AT THE END OF EACH DAY.
15. INSPECTION: ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
16. SCHEDULING: THE SCHEDULE SHALL BE SUBJECT TO CHANGE BASED ON SITE CONDITIONS.
17. COMMUNICATION: MAINTAIN OPEN COMMUNICATION WITH THE ARCHITECT AND ALL TRADES.
18. PERMITS: OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK.
19. ADVERSE WEATHER: SUSPEND WORK IN THE EVENT OF ADVERSE WEATHER CONDITIONS.
20. RECORD DRAWINGS: MAINTAIN UP-TO-DATE RECORD DRAWINGS THROUGHOUT CONSTRUCTION.
21. AS-BUILT: SUBMIT AS-BUILT DRAWINGS TO THE ARCHITECT UPON COMPLETION.
22. WARRANTY: ALL WORK SHALL BE WARRANTED FOR THE PERIOD SPECIFIED IN THE CONTRACT.
23. TRAINING: PROVIDE TRAINING FOR ALL WORKERS ON SAFETY AND QUALITY CONTROL.
24. DOCUMENTATION: MAINTAIN DETAILED DOCUMENTATION OF ALL CONSTRUCTION ACTIVITIES.
25. COMMUNITY RELATIONS: MAINTAIN POSITIVE RELATIONS WITH THE LOCAL COMMUNITY.
26. ENVIRONMENTAL: FOLLOW ALL ENVIRONMENTAL REGULATIONS AND PROTECT SENSITIVE AREAS.
27. HISTORIC PRESERVATION: TAKE CARE TO PRESERVE ANY HISTORIC OR ARCHITECTURAL FEATURES.
28. ACCESS: MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
29. TRAFFIC: CONTROL TRAFFIC FLOW AND MINIMIZE DISRUPTION TO THE PUBLIC.
30. NOISE: TAKE MEASURES TO MINIMIZE NOISE LEVELS DURING CONSTRUCTION.
31. AIR QUALITY: MONITOR AIR QUALITY AND TAKE ACTION TO REDUCE PARTICULATE EMISSIONS.
32. WATER: CONSERVE WATER AND PROTECT WATER RESOURCES.
33. SOIL: PROTECT SOIL FROM EROSION AND CONTAMINATION.
34. VEGETATION: PROTECT EXISTING VEGETATION AND RE-PLANT AS NECESSARY.
35. UTILITIES: REPAIR AND RESTORE ALL UTILITIES TO ORIGINAL OR BETTER CONDITION.
36. SITE RESTORATION: RESTORE THE CONSTRUCTION SITE TO ORIGINAL OR BETTER CONDITION.
37. FINAL INSPECTION: CONDUCT A FINAL INSPECTION UPON COMPLETION OF ALL WORK.
38. CLOSEOUT: SUBMIT A DETAILED CLOSEOUT LIST AND COMPLETE ALL PENDING ITEMS.
39. ARCHIVE: ARCHIVE ALL PROJECT DOCUMENTS AND DRAWINGS FOR FUTURE REFERENCE.
40. COMMUNITY MEETING: HOLD A COMMUNITY MEETING TO DISCUSS PROJECT IMPACTS AND SOLUTIONS.
41. PUBLIC INFORMATION: PROVIDE REGULAR UPDATES TO THE PUBLIC ON PROJECT PROGRESS.
42. TRANSPORTATION: IMPROVE LOCAL TRANSPORTATION INFRASTRUCTURE AS NECESSARY.
43. ECONOMIC DEVELOPMENT: PROMOTE ECONOMIC DEVELOPMENT AND JOB CREATION IN THE AREA.
44. CULTURAL HERITAGE: PROTECT AND PRESERVE ANY CULTURAL HERITAGE SITES.
45. SCIENTIFIC RESEARCH: SUPPORT SCIENTIFIC RESEARCH AND MONITORING ACTIVITIES.
46. EDUCATION: PROVIDE EDUCATIONAL PROGRAMS FOR LOCAL RESIDENTS AND STUDENTS.
47. RECREATION: IMPROVE LOCAL RECREATION FACILITIES AND PROVIDE ACCESS TO NATURE.
48. ARTS AND CULTURE: SUPPORT LOCAL ARTS AND CULTURE PROGRAMS AND INITIATIVES.

CONCRETE (Cont'd)

1. CONCRETE: SEE SPECIFICATIONS FOR CONCRETE TO BE USED.
2. ALL CONCRETE SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. PROTECT EXISTING CONCRETE: TAKE CARE TO PROTECT ALL EXISTING CONCRETE TO REMAIN.
4. EROSION CONTROL: EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
5. SAFETY: MAINTAIN SAFE WORKING CONDITIONS AT ALL TIMES. POST WARNING SIGNS AND BARRIERS AS NECESSARY.
6. UTILITIES: VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION.
7. FOUNDATION: FOUNDATION SHALL BE AS SHOWN AND SHALL BE CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
8. CONCRETE: CONCRETE SHALL BE PLACED AND FINISHED AS SHOWN. ALL CONCRETE SHALL BE CURED PROPERLY.
9. FORMWORK: FORMWORK SHALL BE DESIGNED TO SUPPORT ALL LOADS AND SHALL BE REMOVED AT THE APPROPRIATE TIME.
10. REINFORCEMENT: REINFORCEMENT SHALL BE INSTALLED AS SHOWN AND SHALL BE TIED TOGETHER PROPERLY.
11. JOINTS: JOINTS SHALL BE LOCATED AS SHOWN AND SHALL BE FINISHED TO MATCH ADJACENT AREAS.
12. CURING: CONCRETE SHALL BE CURED WITH WET BURLAP OR CURING COMPOUND AS SHOWN.
13. PROTECT WORK: PROTECT ALL COMPLETED WORK FROM DAMAGE DURING CONSTRUCTION.
14. CLEANUP: MAINTAIN A CLEAN WORK AREA AND REMOVE ALL DEBRIS AT THE END OF EACH DAY.
15. INSPECTION: ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
16. SCHEDULING: THE SCHEDULE SHALL BE SUBJECT TO CHANGE BASED ON SITE CONDITIONS.
17. COMMUNICATION: MAINTAIN OPEN COMMUNICATION WITH THE ARCHITECT AND ALL TRADES.
18. PERMITS: OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK.
19. ADVERSE WEATHER: SUSPEND WORK IN THE EVENT OF ADVERSE WEATHER CONDITIONS.
20. RECORD DRAWINGS: MAINTAIN UP-TO-DATE RECORD DRAWINGS THROUGHOUT CONSTRUCTION.
21. AS-BUILT: SUBMIT AS-BUILT DRAWINGS TO THE ARCHITECT UPON COMPLETION.
22. WARRANTY: ALL WORK SHALL BE WARRANTED FOR THE PERIOD SPECIFIED IN THE CONTRACT.
23. TRAINING: PROVIDE TRAINING FOR ALL WORKERS ON SAFETY AND QUALITY CONTROL.
24. DOCUMENTATION: MAINTAIN DETAILED DOCUMENTATION OF ALL CONSTRUCTION ACTIVITIES.
25. COMMUNITY RELATIONS: MAINTAIN POSITIVE RELATIONS WITH THE LOCAL COMMUNITY.
26. ENVIRONMENTAL: FOLLOW ALL ENVIRONMENTAL REGULATIONS AND PROTECT SENSITIVE AREAS.
27. HISTORIC PRESERVATION: TAKE CARE TO PRESERVE ANY HISTORIC OR ARCHITECTURAL FEATURES.
28. ACCESS: MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
29. TRAFFIC: CONTROL TRAFFIC FLOW AND MINIMIZE DISRUPTION TO THE PUBLIC.
30. NOISE: TAKE MEASURES TO MINIMIZE NOISE LEVELS DURING CONSTRUCTION.
31. AIR QUALITY: MONITOR AIR QUALITY AND TAKE ACTION TO REDUCE PARTICULATE EMISSIONS.
32. WATER: CONSERVE WATER AND PROTECT WATER RESOURCES.
33. SOIL: PROTECT SOIL FROM EROSION AND CONTAMINATION.
34. VEGETATION: PROTECT EXISTING VEGETATION AND RE-PLANT AS NECESSARY.
35. UTILITIES: REPAIR AND RESTORE ALL UTILITIES TO ORIGINAL OR BETTER CONDITION.
36. SITE RESTORATION: RESTORE THE CONSTRUCTION SITE TO ORIGINAL OR BETTER CONDITION.
37. FINAL INSPECTION: CONDUCT A FINAL INSPECTION UPON COMPLETION OF ALL WORK.
38. CLOSEOUT: SUBMIT A DETAILED CLOSEOUT LIST AND COMPLETE ALL PENDING ITEMS.
39. ARCHIVE: ARCHIVE ALL PROJECT DOCUMENTS AND DRAWINGS FOR FUTURE REFERENCE.
40. COMMUNITY MEETING: HOLD A COMMUNITY MEETING TO DISCUSS PROJECT IMPACTS AND SOLUTIONS.
41. PUBLIC INFORMATION: PROVIDE REGULAR UPDATES TO THE PUBLIC ON PROJECT PROGRESS.
42. TRANSPORTATION: IMPROVE LOCAL TRANSPORTATION INFRASTRUCTURE AS NECESSARY.
43. ECONOMIC DEVELOPMENT: PROMOTE ECONOMIC DEVELOPMENT AND JOB CREATION IN THE AREA.
44. CULTURAL HERITAGE: PROTECT AND PRESERVE ANY CULTURAL HERITAGE SITES.
45. SCIENTIFIC RESEARCH: SUPPORT SCIENTIFIC RESEARCH AND MONITORING ACTIVITIES.
46. EDUCATION: PROVIDE EDUCATIONAL PROGRAMS FOR LOCAL RESIDENTS AND STUDENTS.
47. RECREATION: IMPROVE LOCAL RECREATION FACILITIES AND PROVIDE ACCESS TO NATURE.
48. ARTS AND CULTURE: SUPPORT LOCAL ARTS AND CULTURE PROGRAMS AND INITIATIVES.

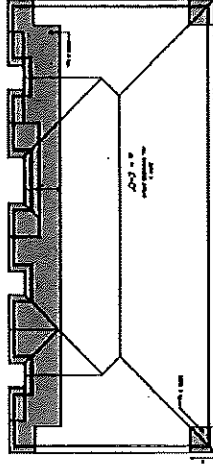
| CLASS | THICKNESS | FINISH |
|-------|-----------|--------|
| 1-4" | 1/2" | 1/2" |
| 5-8" | 3/4" | 3/4" |
| 9-12" | 1" | 1" |

SEE DRAWING FOR ALL DIMENSIONS AND NOTES.

LOADING

| LOADING | TYPE | VALUE |
|---------|---------|-------|
| 1 | DEAD | 10 |
| 2 | LIVE | 20 |
| 3 | WIND | 15 |
| 4 | SEISMIC | 5 |

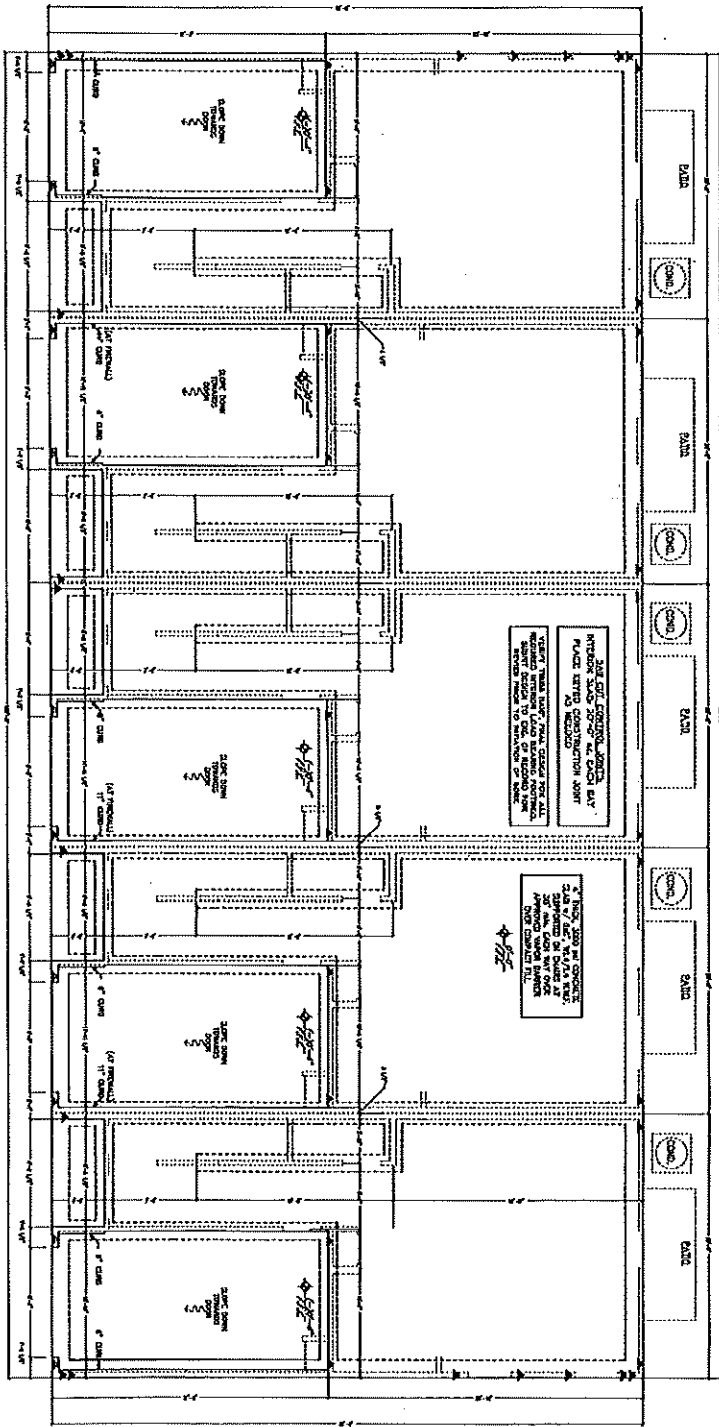
| LOADING | TYPE | VALUE |
|---------|---------|-------|
| 1 | DEAD | 10 |
| 2 | LIVE | 20 |
| 3 | WIND | 15 |
| 4 | SEISMIC | 5 |



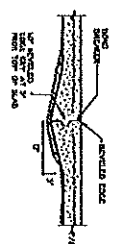
Lane and Harber Engineers LLC
 5125 Oak Glen Dr
 Park, FL 32971
 888-999-0987

D-R HORTON
 America's Builder

GN

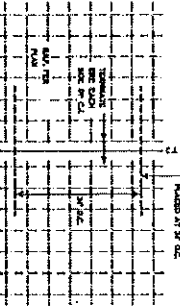
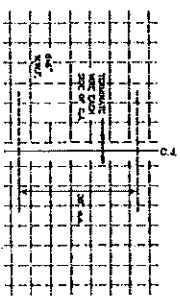


FOUNDATION PLAN
1/4" = 1'-0"

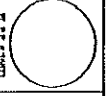


WALL ANCHORS, (SEE DETAILS)

- 1/2" x 12" x 12" ANCHORS TO BE USED TO SECURE WALLS TO CONCRETE FLOOR AND TERMINATED BY 3" x 3" x 1/2" DASHES AND NET.
- ALL WALL ANCHORS AND SPECIAL WALLS TO BE 1/2" x 12" x 12" ANCHORS AT 12" ON CENTER AND AT 30" O.C.

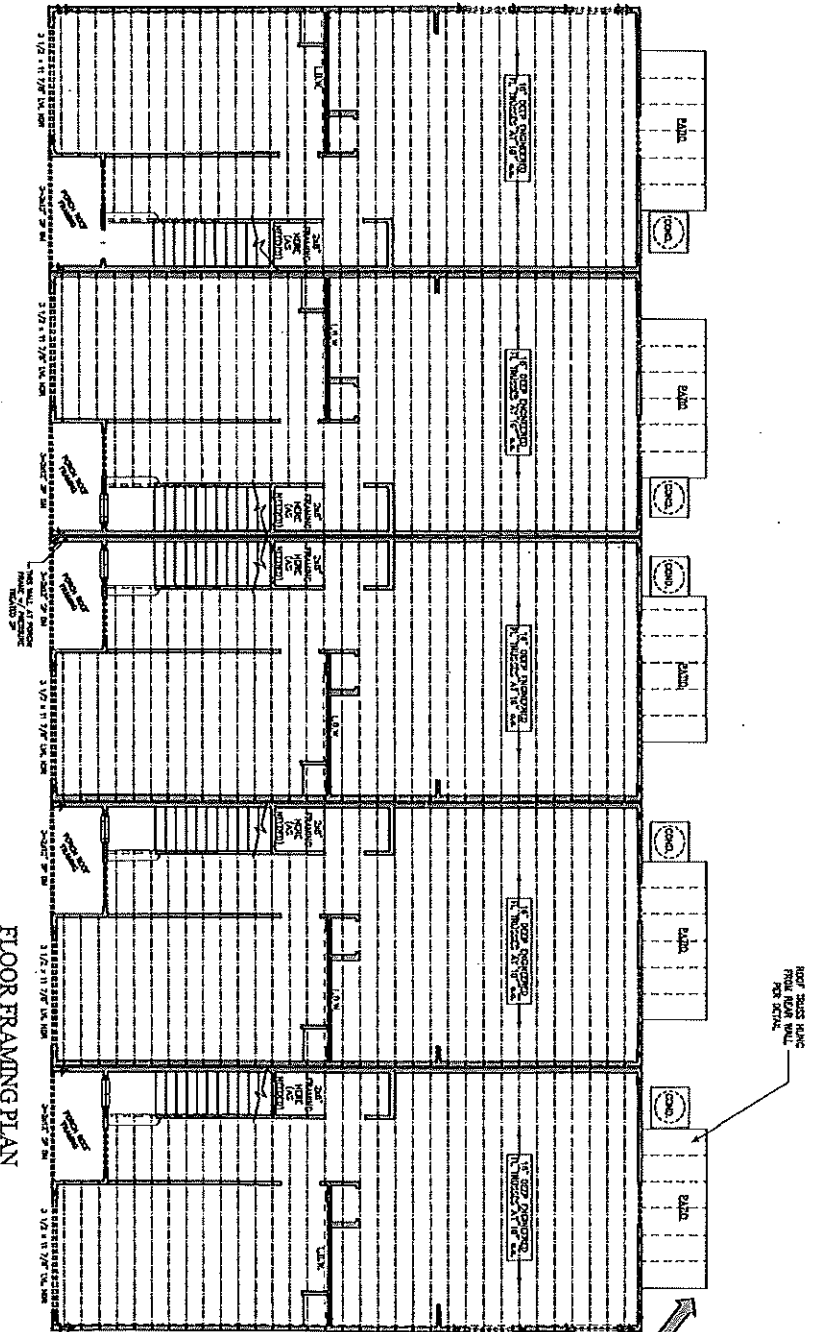


Lane and Hatcher Engineers, LLC
SITE OF CHAIR
850-993-4937



D-R-HORTON
America's Builder

\$1.0



FLOOR FRAMING PLAN
14-0119

STRUCTURAL SHEATHING

ALL EXTERIOR WALL AND INTERIOR SHEAR WALLS TO BE 1/2" CDX SHEATHING @ 12" O.C. EDGE JOISTS.

ROOF SHEATHING: 1/2" CDX SHEATHING @ 12" O.C. EDGE JOISTS.

FLOOR SHEATHING: 3/4" CDX SHEATHING @ 12" O.C. EDGE JOISTS.

CONCRETE SOLE FOUNDATION SHALL BE 12" MIN. THICKNESS. ALL FOUNDATION SHALL BE REINFORCED WITH #4 REBAR @ 18" O.C. IN BOTH DIRECTIONS. ALL FOUNDATION SHALL BE FINISHED TO FINISH FLOOR GRADE.

WALL ANCHORS (SEE DETAILS)

1. ALL 1/2" DIA. ANCHORS SHALL BE 18" LONG MINIMUM. ALL ANCHORS SHALL BE WELDED TO REBAR AND TERMINATED WITH 3" X 3" X 1/2" PLATE AND NUT.

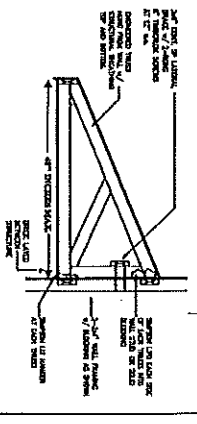
2. ALL FOUNDATION SHALL BE REINFORCED WITH #4 REBAR @ 18" O.C. IN BOTH DIRECTIONS.

3. ALL FOUNDATION SHALL BE FINISHED TO FINISH FLOOR GRADE.

Lane and Harter Engineers, LLC
 5125 Oak Glen Dr
 Fitch, WI 53571
 800-933-0931

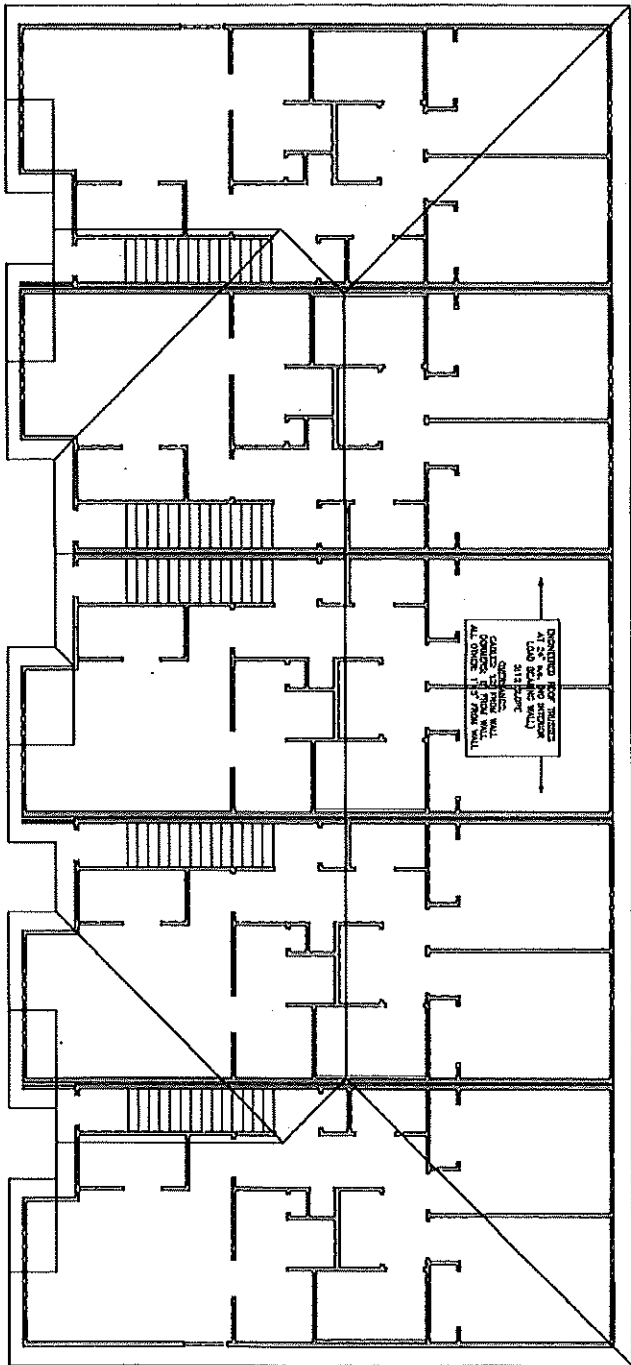
D-R HORTON
 American's Builder

DATE: 11/14/19
 DRAWN BY: JLD
 CHECKED BY: JLD
 PROJECT NO: S2.0



ROOF DETAIL

DOOR SWINGS HAND FROM ROOM WALL FOR OPENING

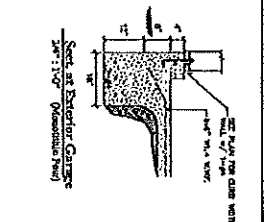
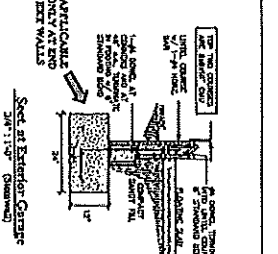
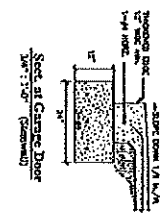
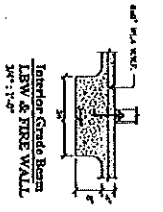
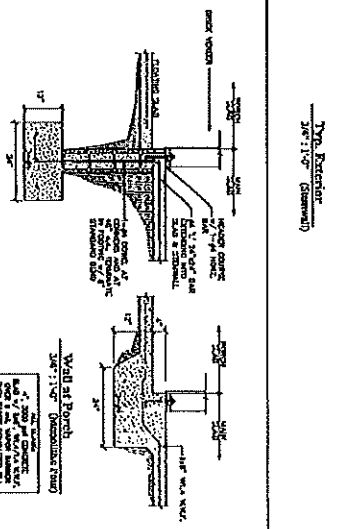
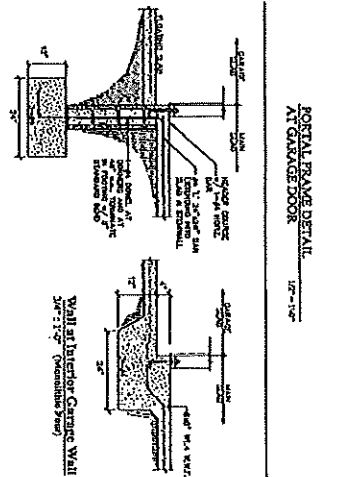
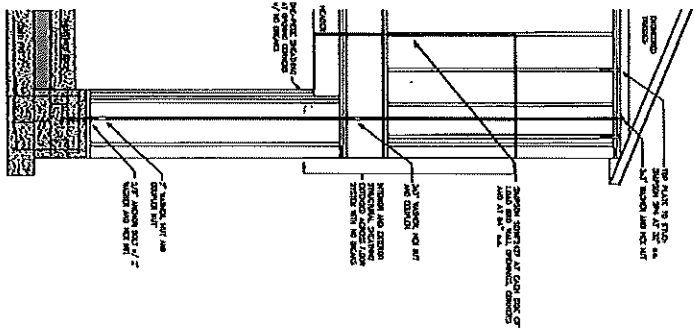
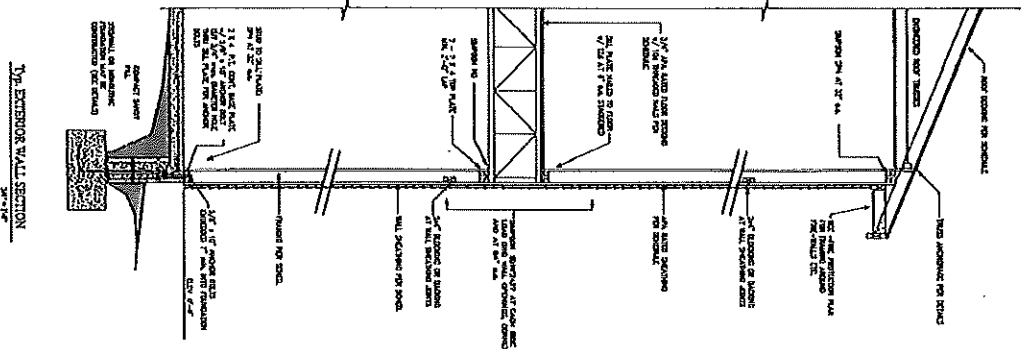
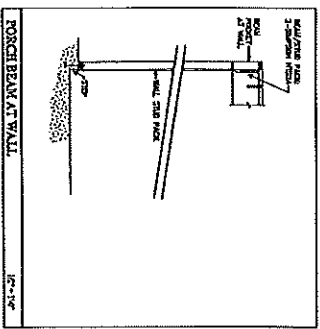


FLOOR IS ABOVE WALL AND/OR ABOVE GROUND ONE WALL
 IS BELOW ONE OF ABOVE CONDITIONS.
 1"=8'-0" DIMENSIONS
 DIMENSIONS ALONG SPERSED LOCATIONS
 1"=8'-0" DIMENSIONS COULD SHOW VARIATIONS AT 1/4" IN.

ROOFANCHORAGE PLAN

| | | | | |
|--|--|--|---|---|
| <p>Lane and Harber Engineers, LLC CHIEF OF ARCHT. & ENGR. 5125 Oak Glen Dr. Pease, FL 32071 850-395-0917</p> | | | <p>D.R. HORTON <i>America's Builder</i></p> | <p>DATE: 11/11/09 DRAWN BY: [blank] CHECKED BY: [blank] APPROVED BY: [blank]</p> |
| <p>S2.1</p> | | | | |

1. Foundation shall be designed to resist all loads and moments imposed thereon.
2. Foundation shall be designed to resist all loads and moments imposed thereon.
3. Foundation shall be designed to resist all loads and moments imposed thereon.
4. Foundation shall be designed to resist all loads and moments imposed thereon.

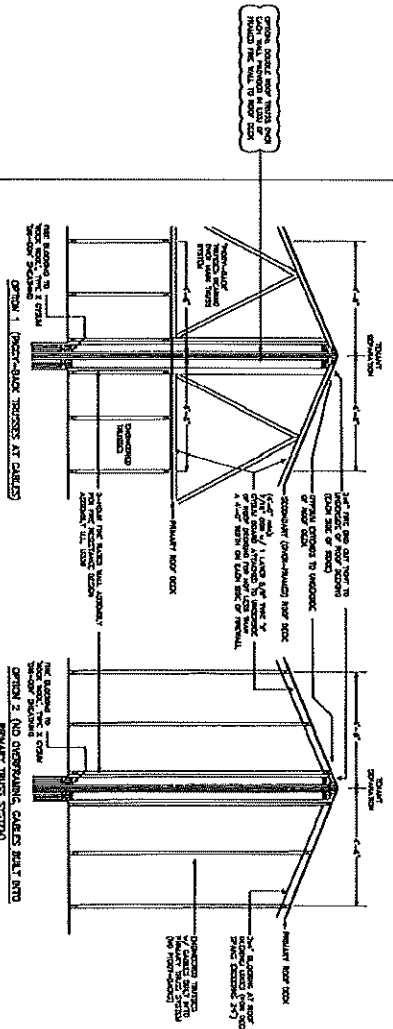


Leite and Frazier Engineers, LLC
 5125 Oak Glen Dr
 Palm, FL 32571
 850-993-0037

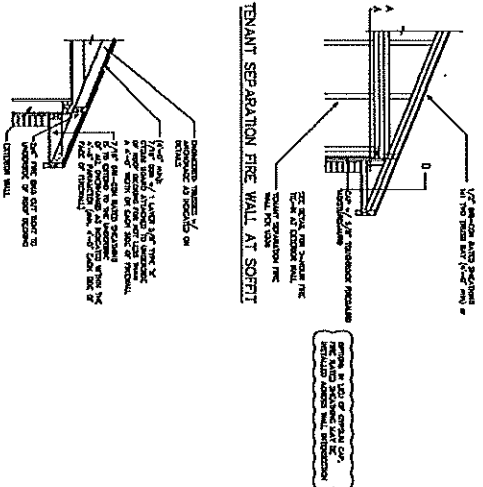
D.R. HORTON
 America's Builder

FOUNDATION DETAILS

S3.0



3 CHASE WALLS, WOOD FRAMED, U336 (APPLICABLE AT ROOF OVER-FRAMING)



FIRE RATED SOFTI AT WALL

| | | | | | |
|--|--|---|--|--|-------------|
| <p>Lane and Hardier Engineers, LLC CHIEF OF ARCHT. M&E 5125 Oak Glen Dr. Fort, FL 32871 850-393-4817</p> | | <p>D. RHORTON <i>America's Builder</i> PARKVIEW TOWNHOMES LYNN HAVEN, FL</p> | | <p>DATE: 05/15/13 DRAWN BY: J. ADAMS CHECKED BY: J. ADAMS APPROVED BY: J. ADAMS</p> | <p>F1.1</p> |
|--|--|---|--|--|-------------|

January 6, 2022

Ms. Tammy Owens
Permitting and Development Coordinator
City of Apalachicola
192 Coach Wagoner Blvd.,
Apalachicola, FL 32320

Re: Apalachicola Townhomes
270 Prado St.
Ownership Affidavit

Dear Ms. Owens,

I give permission to Urban Catalyst Consultants, Inc., to sign for all permits necessary to perform the work requested on my property located at 270 Prado St., parcel 01-09S-08W-8330-0265-0010

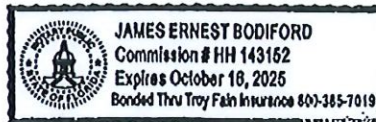
Sincerely,



James Rudnick
800 MEXICO BEACH, LLC

STATE OF FLORIDA -- COUNTY OF LEON

Sworn before me this 6th day of January 2022, by James Rudnick, who is personally known to me.


James E. Bodiford

(NOTARY SEAL)

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

| SECTION A – PROPERTY INFORMATION | | | | | FOR INSURANCE COMPANY USE | |
|---|-----------------|-----------------------------------|--|-----------------------------|--|----------------------|
| A1. Building Owner's Name RUDNICK DEVELOPMENT | | | | | Policy Number: | |
| A2. Building Street Address (Including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 THE PRADO | | | | | Company NAIC Number: | |
| City APALACHICOLA | | State Florida | | ZIP Code 32320 | | |
| A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) BLK 265 FRACT 2.4 AC M/L ADJ TO BLK 265 CITY OF APALACHICOLA / Parcel ID 01-09S-08W-8330-0285-0010 | | | | | | |
| A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) | | | | | RESIDENTIAL | |
| A5. Latitude/Longitude: Lat. 29.716869 Long. -85.000490 | | | | | Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983 | |
| A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance. | | | | | | |
| A7. Building Diagram Number 1B | | | | | | |
| A8. For a building with a crawlspace or enclosure(s): | | | | | | |
| a) Square footage of crawlspace or enclosure(s) | | | | | 0.00 sq ft | |
| b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade | | | | | 0 | |
| c) Total net area of flood openings in A8.b | | | | | 0.00 sq in | |
| d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | | | | | |
| A9. For a building with an attached garage: | | | | | | |
| a) Square footage of attached garage | | | | | 240.00 sq ft | |
| b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade | | | | | 0 | |
| c) Total net area of flood openings in A9.b | | | | | 0.00 sq in | |
| d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | | | | | |
| SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION | | | | | | |
| B1. NFIP Community Name & Community Number CITY OF APALACHICOLA 120089 | | | | B2. County Name FRANKLIN | | B3. State Florida |
| B4. Map/Panel Number 12037C 0509 | B5. Suffix F | B6. FIRM Index Date 02-05-2014 | B7. FIRM Panel Effective/ Revised Date 02-05-2014 | B8. Flood Zone(s) X 0.2% | B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) N/A | |
| B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____ | | | | | | |
| B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____ | | | | | | |
| B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA | | | | | | |

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

| | | | | |
|--|------------------|-------------------|----------------------------------|--|
| IMPORTANT: In these spaces, copy the corresponding information from Section A. | | | FOR INSURANCE COMPANY USE | |
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 THE PRADO | | | Policy Number: | |
| City APALACHICOLA | State Florida | ZIP Code 32320 | Company NAIC Number | |

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: 14.84' Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

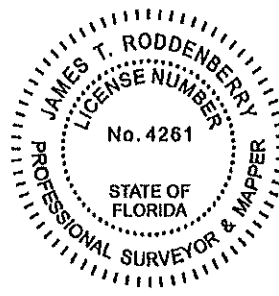
Check the measurement used.

- | | | | |
|---|-------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) _____ | <u>14.0</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor _____ | <u>24.0</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) _____ | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) _____ | <u>13.5</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) _____ | <u>13.5</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) _____ | <u>12.9</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) _____ | <u>13.0</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support _____ | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

| | | | |
|--|------------------------|---|--|
| Certifier's Name JAMES T. RODDENBERRY | License Number 4261 |  | |
| Title PRESIDENT | | | |
| Company Name THURMAN RODDENBERRY & ASSOCIATES, INC. | | | |
| Address P.O. BOX 100 | | | |
| City SOPCHOPPY | State Florida | | |

| | | | |
|--|--------------------|-----------------------------|------|
| Signature <i>James T. Roddenberry</i> | Date 06-28-2022 | Telephone (850) 962-2538 | Ext. |
|--|--------------------|-----------------------------|------|

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
JOB NUMBER 22-557CD
ELEVATIONS PROVIDED BY CONTRATOR (PLANS)

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

| | | | |
|--|------------------|-------------------|----------------------------------|
| IMPORTANT: In these spaces, copy the corresponding information from Section A. | | | FOR INSURANCE COMPANY USE |
| Building Street Address (Including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 THE PRADO | | | Policy Number: |
| City APALACHICOLA | State Florida | ZIP Code 32320 | Company NAIC Number |

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments

Check here if attachments.

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.

| | |
|--|--|
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 THE PRADO | FOR INSURANCE COMPANY USE Policy Number: |
|--|--|

| | | | |
|----------------------|------------------|-------------------|---------------------|
| City APALACHICOLA | State Florida | ZIP Code 32320 | Company NAIC Number |
|----------------------|------------------|-------------------|---------------------|

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

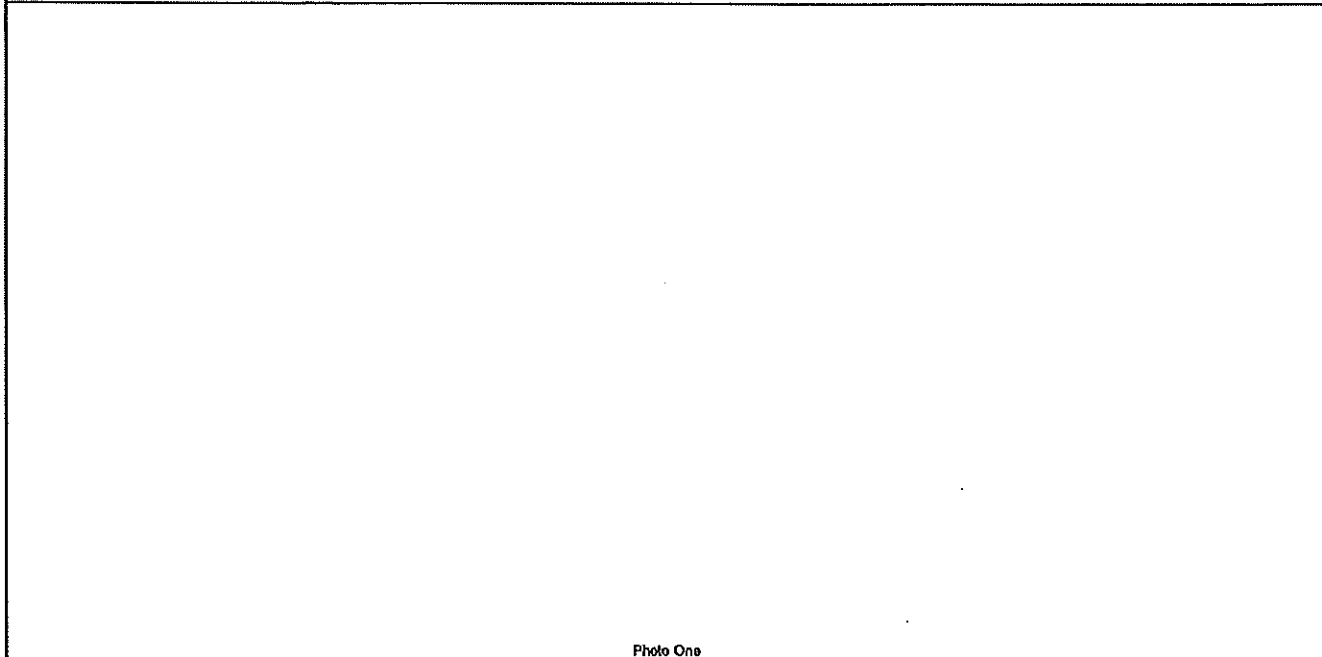


Photo One

Photo One Caption

Clear Photo One

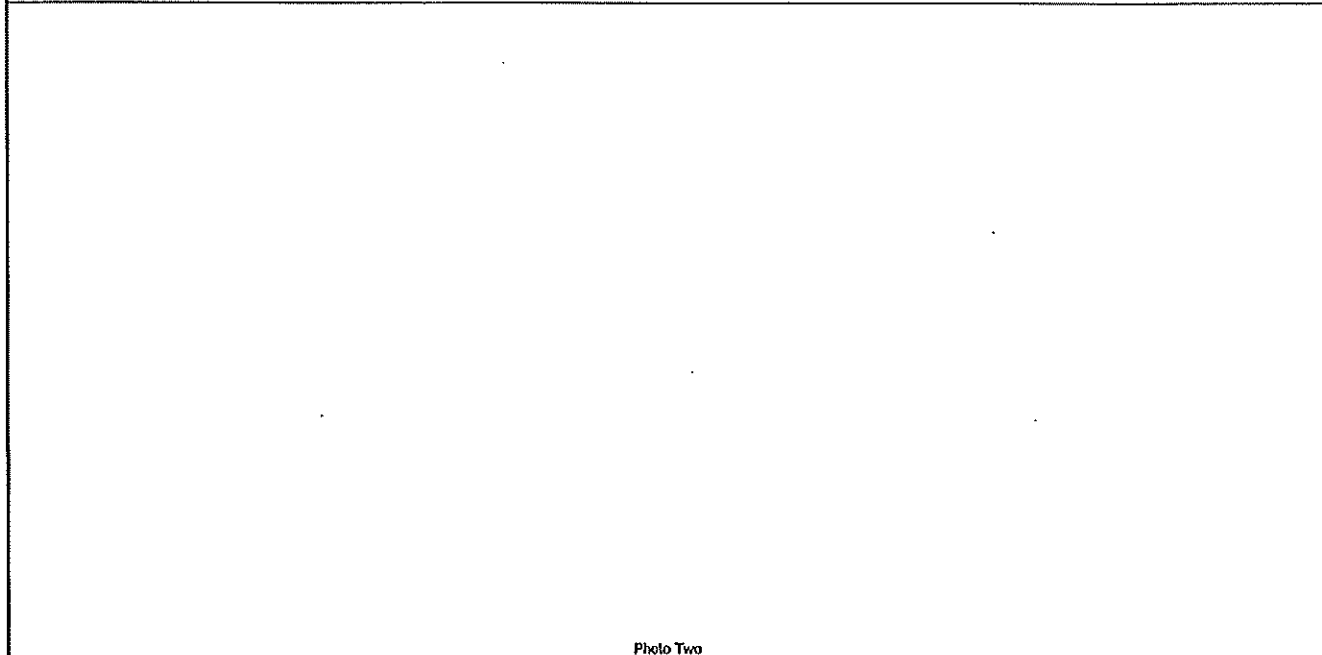


Photo Two

Photo Two Caption

Clear Photo Two

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008
Expiration Date: November 30, 2022

| | | | |
|--|----------------------------------|-------------------|---------------------|
| IMPORTANT: In these spaces, copy the corresponding information from Section A. | FOR INSURANCE COMPANY USE | | |
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 THE PRADO | Policy Number: | | |
| City APALACHICOLA | State Florida | ZIP Code 32320 | Company NAIC Number |

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

Photo Three Caption

Clear Photo Three

Photo Four

Photo Four Caption

Clear Photo Four

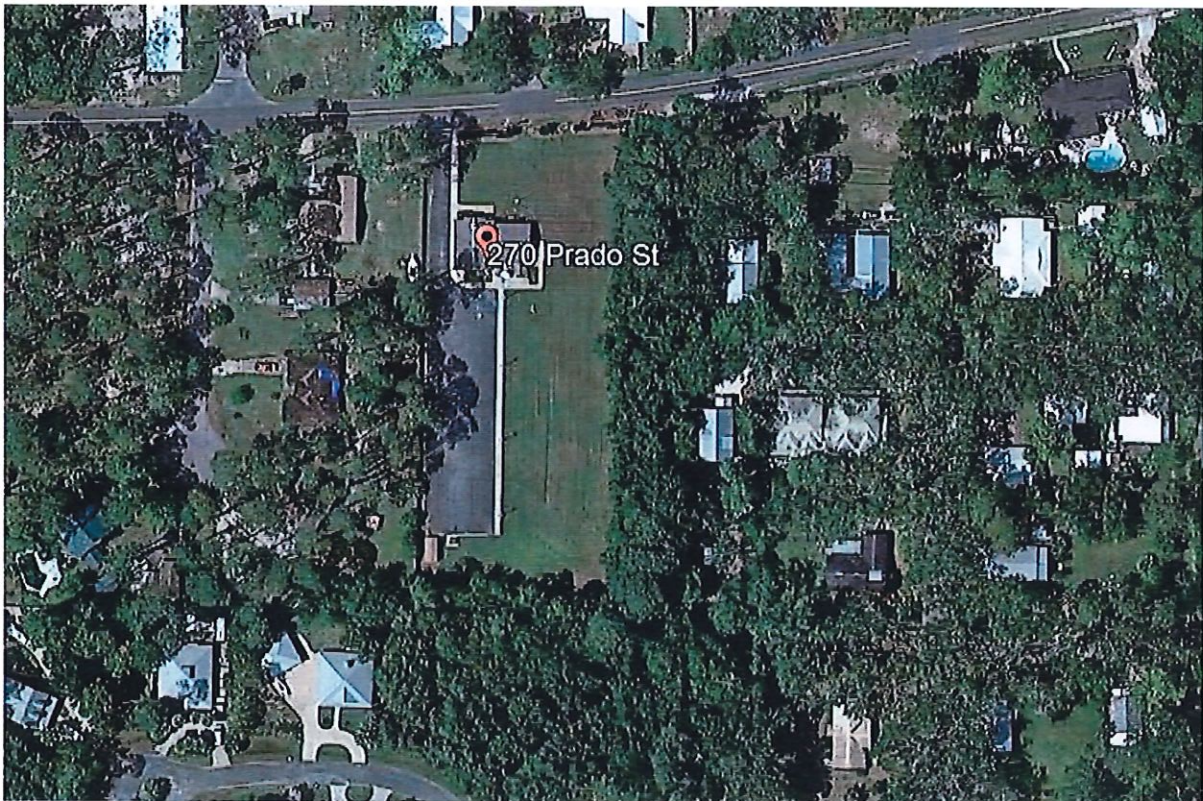
B. CDG Consultant Engineering Site Review – Issues Noted

Site Review

270 Prado Street

R134622490

*Hydraulic Analysis of Proposed Development of Palmer Pointe Townhomes
Apalachicola, Florida*



Prepared By:



PO Box 278
Andalusia, AL 36420

July 2022

TABLE OF CONTENTS

1.0 INTRODUCTION.....2

2.0 METHODOLOGY & RESULTS.....2

 2.1 Existing Conditions 2

 2.2 Proposed Conditions 2

3.0 SUMMARY OF FINDINGS2

Appendices

- A. NOAA Atlas 14 Data
- B. USDA Soil Survey Data
- C. Total Flow from Site
- D. Pond Hydraulics

JOSEPH R. ADAMS PROFESSIONAL ENGINEER, STATE OF FLORIDA, LICENSE NO. 81559

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOSEPH R. ADAMS, PE, ON 07-27-2020.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

1.0 INTRODUCTION

The City of Apalachicola has contracted CDG, Inc. to perform hydraulic analysis on the proposed development of Palmer Pointe Townhomes at 270 Prado Street in Apalachicola, Florida. The primary focus of this analysis is to determine the downstream affects the development has on stormwater.

2.0 METHODOLOGY & RESULTS

2.1 Existing Conditions

Utilizing the provided project plans and Bentley Civil Storm the existing conditions were modeled. The property in question is approximately 1.99 acres. A 24hr-25yr storm was added using NOAA Atlas 14 data (shown in Appendix A) for the site and the SCS type III distribution curve. The soil conditions were acquired from the USDA Soil Survey, displayed in Appendix B, which led to a CN of 49 being used from NRCS TR-55. The time of concentration was calculated to 0.083 for the site. The maximum flow from this storm was found to be 7.41 cfs for this site using these parameters. The flow data for the existing scenario can be seen in Appendix C.

2.2 Proposed Conditions

The proposed conditions include the construction of 26 townhomes on the same 1.99 acre site as well as a road into the development, driveways for each townhome, site grading, and construction of a 0.54 acre pond. The pond is designed to vary in elevation from a bottom elevation of 5' to a top elevation of 12.5'. It also shows a pond outlet structure with a top elevation of 11.75', a 1.2' rectangular weir at 11.40', and a 0.6' orifice at 10' that flows out of a 45' of 15" RCP with an invert of 7' and an outlet of 6'. The pond also appears to maintain a normal pool of 10' and has a spillway on the eastern side at an elevation of 11.75'. This scenario was then modeled and ran under the same conditions with the exception of an updated CN of 77 from TR-55. This scenario yielded a maximum total flow from the site of 14.78 cfs, as displayed in Appendix C. This scenario also yielded data for the pond, shown in Appendix D, which shows that the pond will overtop its outlet structure with an elevation of 11.96'. This will also overtop the spillway.

3.0 SUMMARY OF FINDINGS

From the hydraulic analysis of the existing and proposed conditions of the site at 270 Prado Street in Apalachicola, Florida, it was found that the initial flow from the site was 7.41 CFS while the flow under proposed conditions will yield 14.78 CFS, nearly doubling the flow from the site. The analysis also found that the pond will overtop its outlet structure and spillway under a 25 Year storm. Per the City of Apalachicola, Florida Code of Ordinances, Subpart B – Land Development Code, Chapter 115 Stormwater Management, the site must manage 24-hour 25-year storm events and any flow generated beyond the initial condition must be controlled to not exceed the initial condition. This design does not meet the stormwater management requirement. Further, it is in good practice to overtop the pond spillway only under emergency conditions. Therefore, it is recommended to revise the pond design to carry the design storm. There were also numerous discrepancies noted in the plans. The 15" pipe on the pond outlet structure is labeled as RCP and ADS with inverts of 7' and 8' noted. The spillway elevations in the detail on C-104 also appear to be incorrect; based on the design, it would appear that the bottom of the spillway would have an elevation of 11.5' rather than 11.75'.

APPENDIX A



NOAA Atlas 14, Volume 9, Version 2
Location name: Apalachicola, Florida, USA*
Latitude: 29.7172°, Longitude: -85.0007°
Elevation: 13.74 ft**
* source: ESRI Maps
** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffery Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aeriels](#)

PF tabular

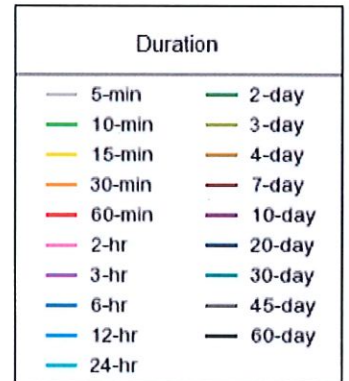
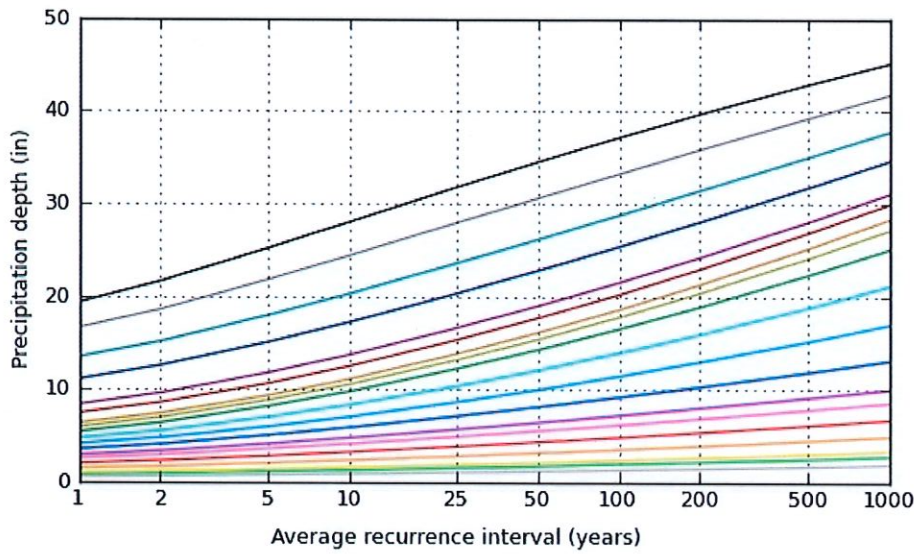
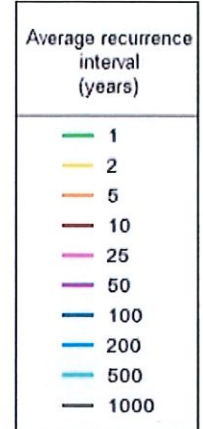
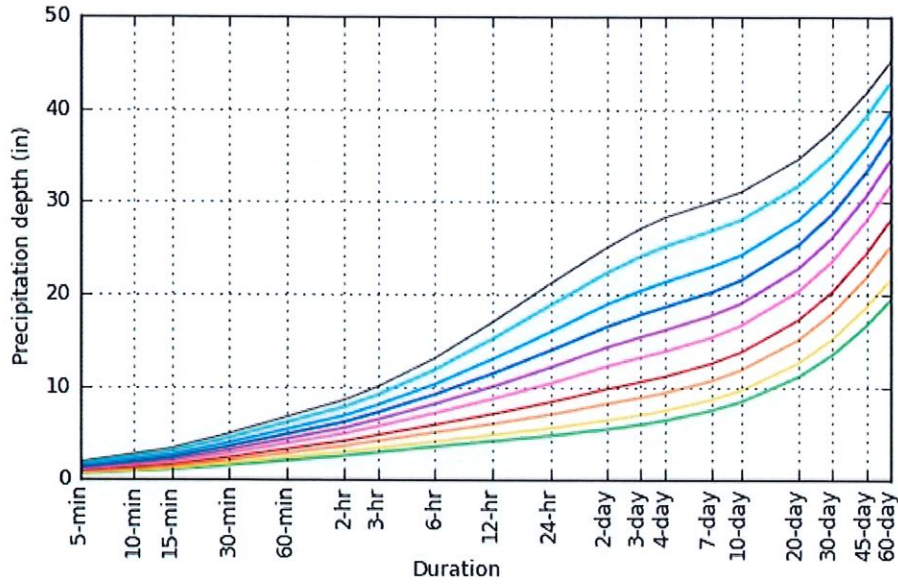
| PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)¹ | | | | | | | | | | |
|--|-------------------------------------|------------------------|------------------------|-----------------------|----------------------|----------------------|---------------------|---------------------|---------------------|---------------------|
| Duration | Average recurrence interval (years) | | | | | | | | | |
| | 1 | 2 | 5 | 10 | 25 | 50 | 100 | 200 | 500 | 1000 |
| 5-min | 0.580 (0.493-0.691) | 0.655 (0.556-0.782) | 0.785 (0.664-0.940) | 0.899 (0.755-1.08) | 1.07 (0.862-1.34) | 1.20 (0.943-1.53) | 1.34 (1.01-1.76) | 1.49 (1.07-2.03) | 1.70 (1.16-2.38) | 1.86 (1.23-2.65) |
| 10-min | 0.849 (0.721-1.01) | 0.959 (0.814-1.15) | 1.15 (0.972-1.38) | 1.32 (1.11-1.58) | 1.56 (1.26-1.96) | 1.76 (1.38-2.24) | 1.96 (1.48-2.58) | 2.18 (1.56-2.96) | 2.49 (1.70-3.49) | 2.73 (1.80-3.89) |
| 15-min | 1.03 (0.880-1.23) | 1.17 (0.993-1.40) | 1.40 (1.19-1.68) | 1.61 (1.35-1.93) | 1.90 (1.54-2.39) | 2.14 (1.68-2.74) | 2.40 (1.80-3.15) | 2.66 (1.90-3.62) | 3.03 (2.07-4.25) | 3.33 (2.19-4.74) |
| 30-min | 1.50 (1.28-1.79) | 1.71 (1.45-2.04) | 2.05 (1.74-2.46) | 2.36 (1.98-2.84) | 2.80 (2.27-3.52) | 3.16 (2.48-4.04) | 3.54 (2.66-4.65) | 3.94 (2.82-5.35) | 4.49 (3.06-6.30) | 4.93 (3.25-7.01) |
| 60-min | 2.03 (1.73-2.42) | 2.33 (1.97-2.77) | 2.82 (2.38-3.38) | 3.25 (2.73-3.91) | 3.87 (3.12-4.85) | 4.36 (3.42-5.56) | 4.87 (3.67-6.40) | 5.41 (3.87-7.34) | 6.16 (4.20-8.62) | 6.74 (4.44-9.59) |
| 2-hr | 2.56 (2.19-3.04) | 2.94 (2.51-3.49) | 3.59 (3.05-4.26) | 4.14 (3.49-4.95) | 4.93 (4.00-6.14) | 5.56 (4.38-7.04) | 6.21 (4.70-8.10) | 6.89 (4.95-9.28) | 7.82 (5.36-10.9) | 8.55 (5.68-12.1) |
| 3-hr | 2.93 (2.51-3.46) | 3.38 (2.89-3.99) | 4.13 (3.52-4.89) | 4.78 (4.05-5.70) | 5.71 (4.65-7.09) | 6.46 (5.11-8.15) | 7.23 (5.48-9.39) | 8.03 (5.79-10.8) | 9.13 (6.29-12.7) | 9.99 (6.66-14.1) |
| 6-hr | 3.55 (3.06-4.17) | 4.11 (3.53-4.82) | 5.07 (4.34-5.96) | 5.91 (5.02-6.99) | 7.14 (5.85-8.83) | 8.13 (6.48-10.2) | 9.18 (7.01-11.9) | 10.3 (7.48-13.8) | 11.8 (8.21-16.3) | 13.1 (8.76-18.3) |
| 12-hr | 4.16 (3.60-4.84) | 4.81 (4.16-5.61) | 5.98 (5.15-7.00) | 7.05 (6.02-8.28) | 8.64 (7.15-10.7) | 9.98 (8.01-12.5) | 11.4 (8.79-14.7) | 13.0 (9.49-17.3) | 15.2 (10.6-20.8) | 16.9 (11.4-23.5) |
| 24-hr | 4.76 (4.14-5.51) | 5.56 (4.83-6.44) | 7.00 (6.05-8.13) | 8.33 (7.15-9.72) | 10.3 (8.63-12.8) | 12.1 (9.74-15.1) | 13.9 (10.8-17.9) | 15.9 (11.7-21.1) | 18.8 (13.2-25.7) | 21.1 (14.4-29.2) |
| 2-day | 5.45 (4.76-6.26) | 6.42 (5.60-7.38) | 8.18 (7.10-9.43) | 9.78 (8.44-11.3) | 12.2 (10.2-15.0) | 14.3 (11.6-17.7) | 16.5 (12.8-21.1) | 18.9 (14.0-24.9) | 22.3 (15.8-30.3) | 25.1 (17.2-34.4) |
| 3-day | 5.96 (5.22-6.82) | 6.98 (6.11-8.00) | 8.84 (7.70-10.2) | 10.6 (9.13-12.2) | 13.2 (11.1-16.1) | 15.4 (12.5-19.0) | 17.8 (13.9-22.6) | 20.4 (15.2-26.8) | 24.1 (17.1-32.6) | 27.1 (18.6-37.1) |
| 4-day | 6.39 (5.61-7.29) | 7.44 (6.52-8.49) | 9.35 (8.16-10.7) | 11.1 (9.64-12.8) | 13.8 (11.6-16.8) | 16.1 (13.2-19.9) | 18.6 (14.6-23.6) | 21.3 (15.9-27.9) | 25.2 (18.0-34.0) | 28.3 (19.5-38.6) |
| 7-day | 7.45 (6.56-8.45) | 8.60 (7.56-9.76) | 10.6 (9.33-12.1) | 12.5 (10.9-14.3) | 15.3 (12.9-18.5) | 17.7 (14.5-21.6) | 20.2 (15.9-25.4) | 22.9 (17.2-29.8) | 26.8 (19.2-36.0) | 30.0 (20.8-40.6) |
| 10-day | 8.38 (7.40-9.48) | 9.62 (8.48-10.9) | 11.8 (10.4-13.4) | 13.7 (12.0-15.7) | 16.6 (14.0-19.9) | 19.0 (15.6-23.1) | 21.5 (17.0-26.9) | 24.2 (18.2-31.3) | 28.0 (20.1-37.4) | 31.1 (21.6-42.0) |
| 20-day | 11.1 (9.85-12.5) | 12.6 (11.1-14.1) | 15.1 (13.3-17.0) | 17.2 (15.1-19.5) | 20.3 (17.2-24.0) | 22.8 (18.8-27.4) | 25.4 (20.1-31.4) | 28.1 (21.2-35.8) | 31.7 (22.9-41.9) | 34.6 (24.3-46.5) |
| 30-day | 13.5 (12.0-15.1) | 15.2 (13.5-17.0) | 18.0 (15.9-20.2) | 20.3 (17.9-22.9) | 23.6 (20.0-27.6) | 26.2 (21.6-31.2) | 28.8 (22.8-35.3) | 31.4 (23.8-39.9) | 35.0 (25.4-45.9) | 37.8 (26.6-50.5) |
| 45-day | 16.6 (14.8-18.5) | 18.6 (16.6-20.7) | 21.8 (19.4-24.4) | 24.4 (21.5-27.4) | 27.9 (23.7-32.4) | 30.6 (25.3-36.2) | 33.2 (26.4-40.5) | 35.9 (27.2-45.1) | 39.3 (28.5-51.1) | 41.8 (29.5-55.6) |
| 60-day | 19.4 (17.3-21.5) | 21.6 (19.3-24.0) | 25.2 (22.4-28.1) | 28.0 (24.8-31.4) | 31.8 (27.0-36.6) | 34.5 (28.6-40.6) | 37.2 (29.6-45.0) | 39.7 (30.2-49.7) | 42.9 (31.2-55.6) | 45.2 (32.0-60.0) |

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.
 Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

PF graphical

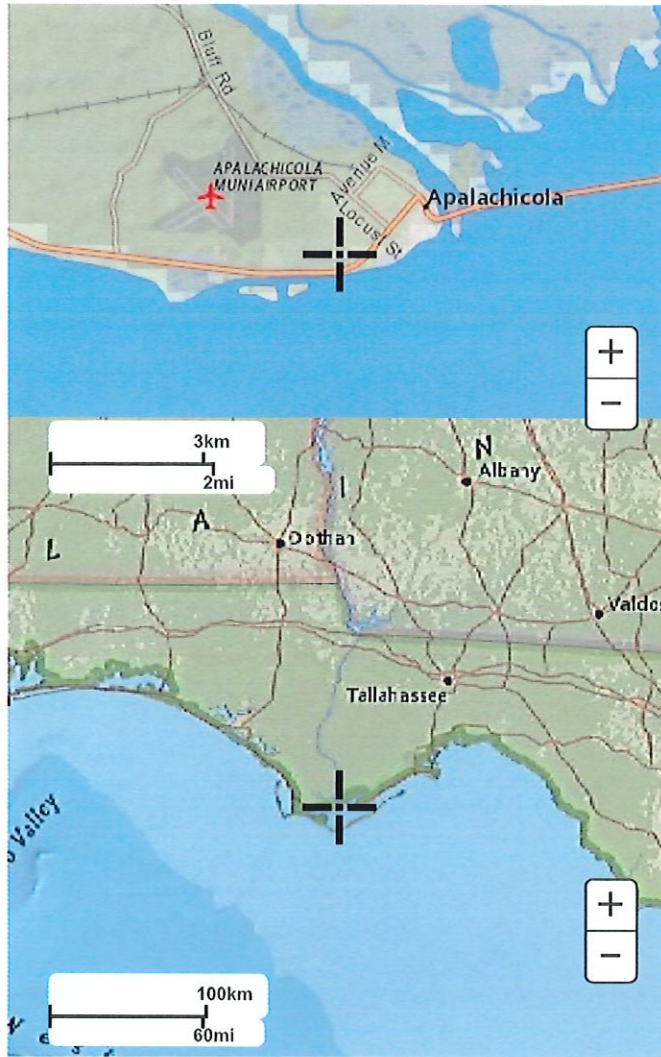
PDS-based depth-duration-frequency (DDF) curves
Latitude: 29.7172°, Longitude: -85.0007°



[Back to Top](#)

Maps & aeriels

Small scale terrain



Large scale map



Large scale aerial



[Back to Top](#)

[US Department of Commerce](#)
[National Oceanic and Atmospheric Administration](#)
[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)

APPENDIX B



Search

Basic Search

Enter keywords

Advanced Search

Properties and Qualities Ratings

Soil Chemical Properties

- Calcium Carbonate (CaCO3)
- Cation-Exchange Capacity (CEC-7)
- Effective Cation-Exchange Capacity (ECEC)
- Electrical Conductivity (EC)
- Gypsum
- pH (1 to 1 Water)
- Sodium Adsorption Ratio (SAR)

Soil Erosion Factors

- K Factor, Rock Free
- K Factor, Whole Soil
- T Factor
- Wind Erodibility Group
- Wind Erodibility Index

Soil Health Properties

- Soil Health - Available Water Capacity
- Soil Health - Bulk Density, One-Third Bar
- Soil Health - Organic Matter
- Soil Health - Sodium Adsorption Ratio (SAR)
- Soil Health - Soil Reaction (pH)
- Soil Health - Surface Texture

Soil Physical Properties

- Available Water Capacity
- Available Water Storage
- Available Water Supply, 0 to 100 cm
- Available Water Supply, 0 to 150 cm
- Available Water Supply, 0 to 25 cm
- Available Water Supply, 0 to 50 cm
- Bulk Density, One-Third Bar
- Linear Extensibility
- Liquid Limit
- Organic Matter
- Percent Clay
- Percent Sand
- Percent Silt



Warning: Soil Ratings Map may not be valid at this scale.
 You have zoomed in beyond the scale at which the soil map for this area is intended to be used. Mapping of soils is done at a particular scale. The soil surveys that comprise your AOI were mapped design of map units and the level of detail shown in the resulting soil map are dependent on that map scale. Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting been shown at a more detailed scale.

| | |
|--|--|
| Plasticity Index | |
| Saturated Hydraulic Conductivity (Ksat) | |
| Saturated Hydraulic Conductivity (Ksat), Standard Classes | |
| Surface Texture | |
| Water Content, 15 Bar | |
| Water Content, One-Third Bar | |
| Soil Qualities and Features | |
| AASHTO Group Classification (Surface) | |
| AASHTO Group Index | |
| Depth to a Selected Soil Restrictive Layer | |
| Depth to Any Soil Restrictive Layer | |
| Depth to Bedrock | |
| Drainage Class | |
| Frost Action | |
| Frost-Free Days | |
| Hydrologic Soil Group | |
| View Options | |
| Map <input checked="" type="checkbox"/> | View Description View Rating |
| Table <input checked="" type="checkbox"/> | |
| Description of Rating <input checked="" type="checkbox"/> | |
| Rating Options <input checked="" type="checkbox"/> | <input type="checkbox"/> Detailed Description |
| Advanced Options | |
| Aggregation Method <input type="checkbox"/> Dominant Condition <input checked="" type="checkbox"/> | |
| Component Percent Cutoff <input type="checkbox"/> | |
| Tie-break Rule <input type="checkbox"/> Lower <input checked="" type="checkbox"/> Higher | |
| View Description View Rating | |
| Map Unit Name | |
| Parent Material Name | |
| Representative Slope | |
| Soil Slippage Potential | |
| Subsidence, Initial | |
| Subsidence, Total | |
| Unified Soil Classification (Surface) | |
| Water Features | |

Summary by Map Unit — Franklin County, Florida (FL037)

| Map unit symbol | Map unit name | Rating | Acres in AOI | Percent of AOI |
|------------------------------------|---|--------|--------------|----------------|
| 22 | Leon sand, 0 to 2 percent slopes | A/D | 2.0 | 58.6% |
| 33 | Scranton fine sand, 0 to 2 percent slopes | A/D | 1.4 | 41.4% |
| Totals for Area of Interest | | | 3.4 | 100.0% |

Description — Hydrologic Soil Group

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options — Hydrologic Soil Group

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

APPENDIX C

Graph - 1

| Time (hours) | PROPOSED - PROPOSED - Flow (Total Out) (cfs) | EXISTING - EXISTING - Flow (Total Out) (cfs) |
|--------------|--|--|
| 0.00 | 0.00 | 0.00 |
| 0.05 | 0.00 | 0.00 |
| 0.10 | 0.00 | 0.00 |
| 0.15 | 0.00 | 0.00 |
| 0.20 | 0.00 | 0.00 |
| 0.25 | 0.00 | 0.00 |
| 0.30 | 0.00 | 0.00 |
| 0.35 | 0.00 | 0.00 |
| 0.40 | 0.00 | 0.00 |
| 0.45 | 0.00 | 0.00 |
| 0.50 | 0.00 | 0.00 |
| 0.55 | 0.00 | 0.00 |
| 0.60 | 0.00 | 0.00 |
| 0.65 | 0.00 | 0.00 |
| 0.70 | 0.00 | 0.00 |
| 0.75 | 0.00 | 0.00 |
| 0.80 | 0.00 | 0.00 |
| 0.85 | 0.00 | 0.00 |
| 0.90 | 0.00 | 0.00 |
| 0.95 | 0.00 | 0.00 |
| 1.00 | 0.00 | 0.00 |
| 1.05 | 0.00 | 0.00 |
| 1.10 | 0.00 | 0.00 |
| 1.15 | 0.00 | 0.00 |
| 1.20 | 0.00 | 0.00 |
| 1.25 | 0.00 | 0.00 |
| 1.30 | 0.00 | 0.00 |
| 1.35 | 0.00 | 0.00 |
| 1.40 | 0.00 | 0.00 |
| 1.45 | 0.00 | 0.00 |
| 1.50 | 0.00 | 0.00 |
| 1.55 | 0.00 | 0.00 |
| 1.60 | 0.00 | 0.00 |
| 1.65 | 0.00 | 0.00 |
| 1.70 | 0.00 | 0.00 |
| 1.75 | 0.00 | 0.00 |
| 1.80 | 0.00 | 0.00 |
| 1.85 | 0.00 | 0.00 |
| 1.90 | 0.00 | 0.00 |
| 1.95 | 0.00 | 0.00 |
| 2.00 | 0.00 | 0.00 |
| 2.05 | 0.00 | 0.00 |
| 2.10 | 0.00 | 0.00 |
| 2.15 | 0.00 | 0.00 |
| 2.20 | 0.00 | 0.00 |
| 2.25 | 0.00 | 0.00 |
| 2.30 | 0.00 | 0.00 |

Graph - 1

| Time (hours) | PROPOSED - PROPOSED - Flow (Total Out) (cfs) | EXISTING - EXISTING - Flow (Total Out) (cfs) |
|--------------|--|--|
| 2.35 | 0.00 | 0.00 |
| 2.40 | 0.00 | 0.00 |
| 2.45 | 0.00 | 0.00 |
| 2.50 | 0.00 | 0.00 |
| 2.55 | 0.00 | 0.00 |
| 2.60 | 0.00 | 0.00 |
| 2.65 | 0.00 | 0.00 |
| 2.70 | 0.00 | 0.00 |
| 2.75 | 0.00 | 0.00 |
| 2.80 | 0.00 | 0.00 |
| 2.85 | 0.00 | 0.00 |
| 2.90 | 0.00 | 0.00 |
| 2.95 | 0.00 | 0.00 |
| 3.00 | 0.00 | 0.00 |
| 3.05 | 0.00 | 0.00 |
| 3.10 | 0.00 | 0.00 |
| 3.15 | 0.00 | 0.00 |
| 3.20 | 0.00 | 0.00 |
| 3.25 | 0.00 | 0.00 |
| 3.30 | 0.00 | 0.00 |
| 3.35 | 0.00 | 0.00 |
| 3.40 | 0.00 | 0.00 |
| 3.45 | 0.00 | 0.00 |
| 3.50 | 0.00 | 0.00 |
| 3.55 | 0.00 | 0.00 |
| 3.60 | 0.00 | 0.00 |
| 3.65 | 0.00 | 0.00 |
| 3.70 | 0.00 | 0.00 |
| 3.75 | 0.00 | 0.00 |
| 3.80 | 0.00 | 0.00 |
| 3.85 | 0.00 | 0.00 |
| 3.90 | 0.00 | 0.00 |
| 3.95 | 0.00 | 0.00 |
| 4.00 | 0.00 | 0.00 |
| 4.05 | 0.00 | 0.00 |
| 4.10 | 0.00 | 0.00 |
| 4.15 | 0.00 | 0.00 |
| 4.20 | 0.00 | 0.00 |
| 4.25 | 0.00 | 0.00 |
| 4.30 | 0.00 | 0.00 |
| 4.35 | 0.00 | 0.00 |
| 4.40 | 0.00 | 0.00 |
| 4.45 | 0.00 | 0.00 |
| 4.50 | 0.00 | 0.00 |
| 4.55 | 0.00 | 0.00 |
| 4.60 | 0.00 | 0.00 |
| 4.65 | 0.00 | 0.00 |

Graph - 1

| Time (hours) | PROPOSED - PROPOSED - Flow (Total Out) (cfs) | EXISTING - EXISTING - Flow (Total Out) (cfs) |
|--------------|--|--|
| 4.70 | 0.00 | 0.00 |
| 4.75 | 0.00 | 0.00 |
| 4.80 | 0.00 | 0.00 |
| 4.85 | 0.00 | 0.00 |
| 4.90 | 0.00 | 0.00 |
| 4.95 | 0.00 | 0.00 |
| 5.00 | 0.00 | 0.00 |
| 5.05 | 0.00 | 0.00 |
| 5.10 | 0.00 | 0.00 |
| 5.15 | 0.00 | 0.00 |
| 5.20 | 0.00 | 0.00 |
| 5.25 | 0.00 | 0.00 |
| 5.30 | 0.00 | 0.00 |
| 5.35 | 0.01 | 0.00 |
| 5.40 | 0.01 | 0.00 |
| 5.45 | 0.01 | 0.00 |
| 5.50 | 0.01 | 0.00 |
| 5.55 | 0.01 | 0.00 |
| 5.60 | 0.01 | 0.00 |
| 5.65 | 0.02 | 0.00 |
| 5.70 | 0.02 | 0.00 |
| 5.75 | 0.02 | 0.00 |
| 5.80 | 0.02 | 0.00 |
| 5.85 | 0.02 | 0.00 |
| 5.90 | 0.02 | 0.00 |
| 5.95 | 0.03 | 0.00 |
| 6.00 | 0.03 | 0.00 |
| 6.05 | 0.03 | 0.00 |
| 6.10 | 0.03 | 0.00 |
| 6.15 | 0.03 | 0.00 |
| 6.20 | 0.04 | 0.00 |
| 6.25 | 0.04 | 0.00 |
| 6.30 | 0.04 | 0.00 |
| 6.35 | 0.04 | 0.00 |
| 6.40 | 0.04 | 0.00 |
| 6.45 | 0.05 | 0.00 |
| 6.50 | 0.05 | 0.00 |
| 6.55 | 0.05 | 0.00 |
| 6.60 | 0.06 | 0.00 |
| 6.65 | 0.06 | 0.00 |
| 6.70 | 0.06 | 0.00 |
| 6.75 | 0.06 | 0.00 |
| 6.80 | 0.07 | 0.00 |
| 6.85 | 0.07 | 0.00 |
| 6.90 | 0.07 | 0.00 |
| 6.95 | 0.08 | 0.00 |
| 7.00 | 0.08 | 0.00 |

Graph - 1

| Time (hours) | PROPOSED - PROPOSED - Flow (Total Out) (cfs) | EXISTING - EXISTING - Flow (Total Out) (cfs) |
|--------------|--|--|
| 7.05 | 0.08 | 0.00 |
| 7.10 | 0.09 | 0.00 |
| 7.15 | 0.09 | 0.00 |
| 7.20 | 0.09 | 0.00 |
| 7.25 | 0.10 | 0.00 |
| 7.30 | 0.10 | 0.00 |
| 7.35 | 0.10 | 0.00 |
| 7.40 | 0.11 | 0.00 |
| 7.45 | 0.11 | 0.00 |
| 7.50 | 0.11 | 0.00 |
| 7.55 | 0.12 | 0.00 |
| 7.60 | 0.12 | 0.00 |
| 7.65 | 0.13 | 0.00 |
| 7.70 | 0.13 | 0.00 |
| 7.75 | 0.13 | 0.00 |
| 7.80 | 0.14 | 0.00 |
| 7.85 | 0.14 | 0.00 |
| 7.90 | 0.15 | 0.00 |
| 7.95 | 0.15 | 0.00 |
| 8.00 | 0.15 | 0.00 |
| 8.05 | 0.16 | 0.00 |
| 8.10 | 0.16 | 0.00 |
| 8.15 | 0.17 | 0.00 |
| 8.20 | 0.18 | 0.00 |
| 8.25 | 0.18 | 0.00 |
| 8.30 | 0.19 | 0.00 |
| 8.35 | 0.20 | 0.00 |
| 8.40 | 0.21 | 0.00 |
| 8.45 | 0.21 | 0.00 |
| 8.50 | 0.22 | 0.00 |
| 8.55 | 0.23 | 0.00 |
| 8.60 | 0.24 | 0.00 |
| 8.65 | 0.24 | 0.00 |
| 8.70 | 0.25 | 0.00 |
| 8.75 | 0.26 | 0.00 |
| 8.80 | 0.27 | 0.00 |
| 8.85 | 0.28 | 0.00 |
| 8.90 | 0.29 | 0.00 |
| 8.95 | 0.30 | 0.00 |
| 9.00 | 0.31 | 0.00 |
| 9.05 | 0.32 | 0.00 |
| 9.10 | 0.32 | 0.00 |
| 9.15 | 0.33 | 0.00 |
| 9.20 | 0.34 | 0.00 |
| 9.25 | 0.35 | 0.00 |
| 9.30 | 0.36 | 0.00 |
| 9.35 | 0.37 | 0.00 |

Graph - 1

| Time (hours) | PROPOSED - PROPOSED - Flow (Total Out) (cfs) | EXISTING - EXISTING - Flow (Total Out) (cfs) |
|--------------|--|--|
| 9.40 | 0.38 | 0.00 |
| 9.45 | 0.39 | 0.00 |
| 9.50 | 0.41 | 0.00 |
| 9.55 | 0.42 | 0.00 |
| 9.60 | 0.43 | 0.00 |
| 9.65 | 0.44 | 0.00 |
| 9.70 | 0.45 | 0.00 |
| 9.75 | 0.46 | 0.00 |
| 9.80 | 0.47 | 0.00 |
| 9.85 | 0.48 | 0.00 |
| 9.90 | 0.49 | 0.00 |
| 9.95 | 0.51 | 0.00 |
| 10.00 | 0.52 | 0.00 |
| 10.05 | 0.53 | 0.00 |
| 10.10 | 0.55 | 0.00 |
| 10.15 | 0.56 | 0.00 |
| 10.20 | 0.58 | 0.00 |
| 10.25 | 0.60 | 0.00 |
| 10.30 | 0.62 | 0.00 |
| 10.35 | 0.64 | 0.00 |
| 10.40 | 0.66 | 0.01 |
| 10.45 | 0.68 | 0.02 |
| 10.50 | 0.71 | 0.03 |
| 10.55 | 0.73 | 0.03 |
| 10.60 | 0.75 | 0.04 |
| 10.65 | 0.77 | 0.05 |
| 10.70 | 0.79 | 0.06 |
| 10.75 | 0.82 | 0.07 |
| 10.80 | 0.84 | 0.08 |
| 10.85 | 0.86 | 0.09 |
| 10.90 | 0.88 | 0.10 |
| 10.95 | 0.91 | 0.11 |
| 11.00 | 0.93 | 0.12 |
| 11.05 | 0.97 | 0.13 |
| 11.10 | 1.02 | 0.15 |
| 11.15 | 1.08 | 0.17 |
| 11.20 | 1.15 | 0.19 |
| 11.25 | 1.23 | 0.21 |
| 11.30 | 1.30 | 0.24 |
| 11.35 | 1.38 | 0.27 |
| 11.40 | 1.46 | 0.30 |
| 11.45 | 1.53 | 0.33 |
| 11.50 | 1.62 | 0.36 |
| 11.55 | 1.91 | 0.45 |
| 11.60 | 2.27 | 0.56 |
| 11.65 | 2.88 | 0.76 |
| 11.70 | 3.57 | 1.00 |

Graph - 1

| Time (hours) | PROPOSED - PROPOSED - Flow (Total Out) (cfs) | EXISTING - EXISTING - Flow (Total Out) (cfs) |
|--------------|--|--|
| 11.75 | 4.30 | 1.29 |
| 11.80 | 5.06 | 1.62 |
| 11.85 | 5.85 | 2.01 |
| 11.90 | 6.67 | 2.46 |
| 11.95 | 9.57 | 3.82 |
| 12.00 | 13.14 | 5.70 |
| 12.05 | 14.29 | 6.69 |
| 12.10 | 14.78 | 7.41 |
| 12.15 | 12.26 | 6.45 |
| 12.20 | 8.86 | 4.84 |
| 12.25 | 7.45 | 4.19 |
| 12.30 | 6.52 | 3.75 |
| 12.35 | 5.71 | 3.33 |
| 12.40 | 4.91 | 2.91 |
| 12.45 | 4.11 | 2.46 |
| 12.50 | 3.29 | 1.99 |
| 12.55 | 2.76 | 1.68 |
| 12.60 | 2.29 | 1.40 |
| 12.65 | 2.11 | 1.30 |
| 12.70 | 2.00 | 1.24 |
| 12.75 | 1.92 | 1.19 |
| 12.80 | 1.83 | 1.14 |
| 12.85 | 1.75 | 1.09 |
| 12.90 | 1.66 | 1.04 |
| 12.95 | 1.58 | 0.99 |
| 13.00 | 1.49 | 0.94 |
| 13.05 | 1.43 | 0.91 |
| 13.10 | 1.37 | 0.87 |
| 13.15 | 1.34 | 0.86 |
| 13.20 | 1.32 | 0.84 |
| 13.25 | 1.30 | 0.83 |
| 13.30 | 1.28 | 0.82 |
| 13.35 | 1.25 | 0.81 |
| 13.40 | 1.23 | 0.79 |
| 13.45 | 1.21 | 0.78 |
| 13.50 | 1.19 | 0.77 |
| 13.55 | 1.16 | 0.76 |
| 13.60 | 1.14 | 0.74 |
| 13.65 | 1.12 | 0.73 |
| 13.70 | 1.10 | 0.72 |
| 13.75 | 1.08 | 0.70 |
| 13.80 | 1.05 | 0.69 |
| 13.85 | 1.03 | 0.68 |
| 13.90 | 1.01 | 0.66 |
| 13.95 | 0.99 | 0.65 |
| 14.00 | 0.96 | 0.64 |
| 14.05 | 0.95 | 0.63 |

Graph - 1

| Time (hours) | PROPOSED - PROPOSED - Flow (Total Out) (cfs) | EXISTING - EXISTING - Flow (Total Out) (cfs) |
|--------------|--|--|
| 14.10 | 0.93 | 0.62 |
| 14.15 | 0.92 | 0.61 |
| 14.20 | 0.91 | 0.60 |
| 14.25 | 0.90 | 0.60 |
| 14.30 | 0.88 | 0.59 |
| 14.35 | 0.87 | 0.58 |
| 14.40 | 0.86 | 0.58 |
| 14.45 | 0.85 | 0.57 |
| 14.50 | 0.84 | 0.56 |
| 14.55 | 0.83 | 0.56 |
| 14.60 | 0.82 | 0.55 |
| 14.65 | 0.81 | 0.54 |
| 14.70 | 0.80 | 0.54 |
| 14.75 | 0.79 | 0.53 |
| 14.80 | 0.78 | 0.52 |
| 14.85 | 0.77 | 0.52 |
| 14.90 | 0.76 | 0.51 |
| 14.95 | 0.74 | 0.50 |
| 15.00 | 0.73 | 0.50 |
| 15.05 | 0.72 | 0.49 |
| 15.10 | 0.71 | 0.48 |
| 15.15 | 0.70 | 0.48 |
| 15.20 | 0.69 | 0.47 |
| 15.25 | 0.68 | 0.46 |
| 15.30 | 0.67 | 0.46 |
| 15.35 | 0.66 | 0.45 |
| 15.40 | 0.65 | 0.44 |
| 15.45 | 0.64 | 0.44 |
| 15.50 | 0.62 | 0.43 |
| 15.55 | 0.61 | 0.42 |
| 15.60 | 0.60 | 0.41 |
| 15.65 | 0.59 | 0.41 |
| 15.70 | 0.58 | 0.40 |
| 15.75 | 0.57 | 0.39 |
| 15.80 | 0.56 | 0.39 |
| 15.85 | 0.55 | 0.38 |
| 15.90 | 0.54 | 0.37 |
| 15.95 | 0.53 | 0.36 |
| 16.00 | 0.52 | 0.36 |
| 16.05 | 0.51 | 0.35 |
| 16.10 | 0.50 | 0.35 |
| 16.15 | 0.49 | 0.34 |
| 16.20 | 0.49 | 0.34 |
| 16.25 | 0.48 | 0.33 |
| 16.30 | 0.48 | 0.33 |
| 16.35 | 0.47 | 0.33 |
| 16.40 | 0.47 | 0.33 |

Graph - 1

| Time (hours) | PROPOSED - PROPOSED - Flow (Total Out) (cfs) | EXISTING - EXISTING - Flow (Total Out) (cfs) |
|--------------|--|--|
| 16.45 | 0.46 | 0.32 |
| 16.50 | 0.46 | 0.32 |
| 16.55 | 0.46 | 0.32 |
| 16.60 | 0.45 | 0.31 |
| 16.65 | 0.45 | 0.31 |
| 16.70 | 0.44 | 0.31 |
| 16.75 | 0.44 | 0.30 |
| 16.80 | 0.43 | 0.30 |
| 16.85 | 0.43 | 0.30 |
| 16.90 | 0.42 | 0.29 |
| 16.95 | 0.42 | 0.29 |
| 17.00 | 0.41 | 0.29 |
| 17.05 | 0.41 | 0.28 |
| 17.10 | 0.40 | 0.28 |
| 17.15 | 0.40 | 0.28 |
| 17.20 | 0.39 | 0.27 |
| 17.25 | 0.39 | 0.27 |
| 17.30 | 0.38 | 0.27 |
| 17.35 | 0.38 | 0.27 |
| 17.40 | 0.37 | 0.26 |
| 17.45 | 0.37 | 0.26 |
| 17.50 | 0.37 | 0.26 |
| 17.55 | 0.36 | 0.25 |
| 17.60 | 0.35 | 0.25 |
| 17.65 | 0.35 | 0.25 |
| 17.70 | 0.35 | 0.24 |
| 17.75 | 0.34 | 0.24 |
| 17.80 | 0.33 | 0.24 |
| 17.85 | 0.33 | 0.23 |
| 17.90 | 0.33 | 0.23 |
| 17.95 | 0.32 | 0.23 |
| 18.00 | 0.32 | 0.22 |
| 18.05 | 0.31 | 0.22 |
| 18.10 | 0.31 | 0.22 |
| 18.15 | 0.31 | 0.22 |
| 18.20 | 0.31 | 0.22 |
| 18.25 | 0.30 | 0.22 |
| 18.30 | 0.30 | 0.21 |
| 18.35 | 0.30 | 0.21 |
| 18.40 | 0.30 | 0.21 |
| 18.45 | 0.30 | 0.21 |
| 18.50 | 0.30 | 0.21 |
| 18.55 | 0.30 | 0.21 |
| 18.60 | 0.30 | 0.21 |
| 18.65 | 0.29 | 0.21 |
| 18.70 | 0.29 | 0.21 |
| 18.75 | 0.29 | 0.21 |

Graph - 1

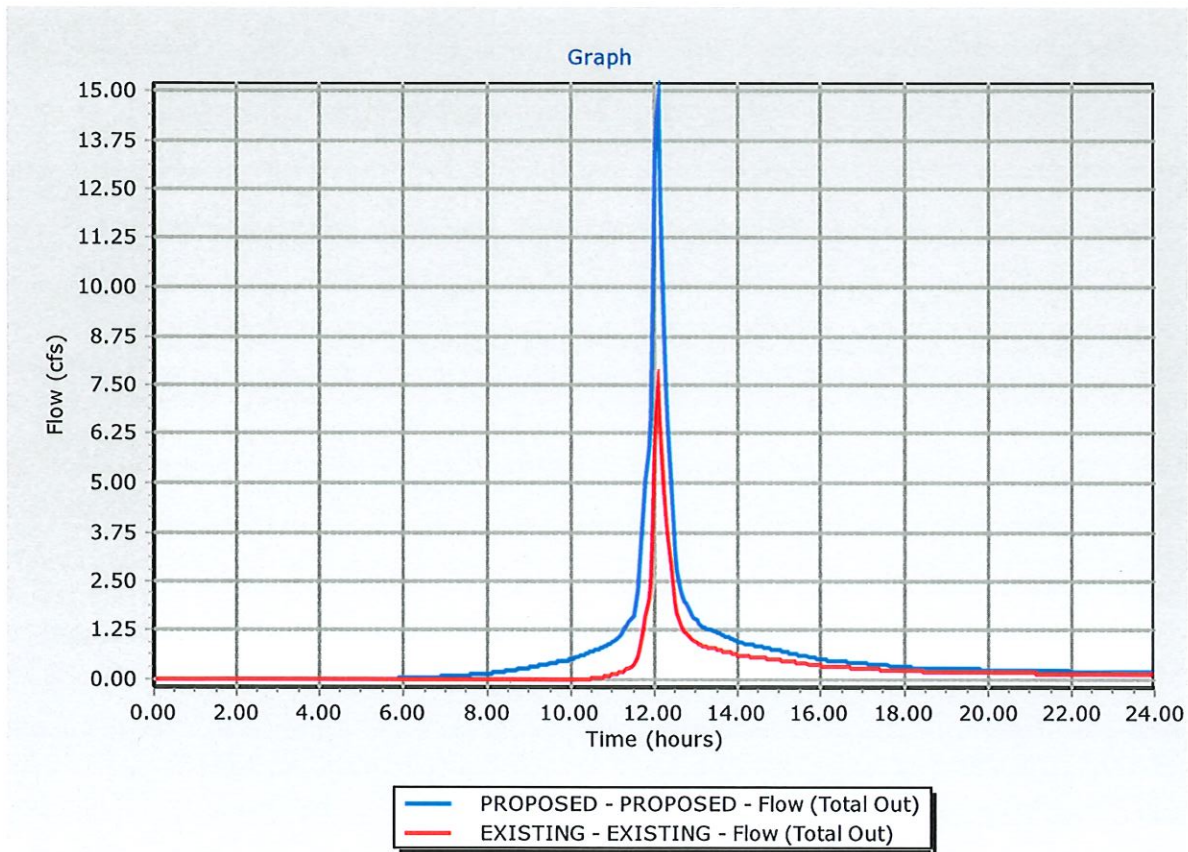
| Time (hours) | PROPOSED - PROPOSED - Flow (Total Out) (cfs) | EXISTING - EXISTING - Flow (Total Out) (cfs) |
|--------------|--|--|
| 18.80 | 0.29 | 0.21 |
| 18.85 | 0.29 | 0.20 |
| 18.90 | 0.29 | 0.20 |
| 18.95 | 0.28 | 0.20 |
| 19.00 | 0.28 | 0.20 |
| 19.05 | 0.28 | 0.20 |
| 19.10 | 0.28 | 0.20 |
| 19.15 | 0.28 | 0.20 |
| 19.20 | 0.28 | 0.20 |
| 19.25 | 0.28 | 0.20 |
| 19.30 | 0.27 | 0.20 |
| 19.35 | 0.27 | 0.19 |
| 19.40 | 0.27 | 0.19 |
| 19.45 | 0.27 | 0.19 |
| 19.50 | 0.27 | 0.19 |
| 19.55 | 0.27 | 0.19 |
| 19.60 | 0.27 | 0.19 |
| 19.65 | 0.26 | 0.19 |
| 19.70 | 0.26 | 0.19 |
| 19.75 | 0.26 | 0.19 |
| 19.80 | 0.26 | 0.19 |
| 19.85 | 0.26 | 0.18 |
| 19.90 | 0.26 | 0.18 |
| 19.95 | 0.26 | 0.18 |
| 20.00 | 0.25 | 0.18 |
| 20.05 | 0.25 | 0.18 |
| 20.10 | 0.25 | 0.18 |
| 20.15 | 0.25 | 0.18 |
| 20.20 | 0.25 | 0.18 |
| 20.25 | 0.25 | 0.18 |
| 20.30 | 0.25 | 0.18 |
| 20.35 | 0.25 | 0.18 |
| 20.40 | 0.25 | 0.18 |
| 20.45 | 0.24 | 0.18 |
| 20.50 | 0.24 | 0.17 |
| 20.55 | 0.24 | 0.17 |
| 20.60 | 0.24 | 0.17 |
| 20.65 | 0.24 | 0.17 |
| 20.70 | 0.24 | 0.17 |
| 20.75 | 0.24 | 0.17 |
| 20.80 | 0.24 | 0.17 |
| 20.85 | 0.24 | 0.17 |
| 20.90 | 0.23 | 0.17 |
| 20.95 | 0.23 | 0.17 |
| 21.00 | 0.23 | 0.17 |
| 21.05 | 0.23 | 0.17 |
| 21.10 | 0.23 | 0.17 |

Graph - 1

| Time (hours) | PROPOSED - PROPOSED - Flow (Total Out) (cfs) | EXISTING - EXISTING - Flow (Total Out) (cfs) |
|--------------|--|--|
| 21.15 | 0.23 | 0.16 |
| 21.20 | 0.23 | 0.16 |
| 21.25 | 0.23 | 0.16 |
| 21.30 | 0.23 | 0.16 |
| 21.35 | 0.23 | 0.16 |
| 21.40 | 0.22 | 0.16 |
| 21.45 | 0.22 | 0.16 |
| 21.50 | 0.22 | 0.16 |
| 21.55 | 0.22 | 0.16 |
| 21.60 | 0.22 | 0.16 |
| 21.65 | 0.22 | 0.16 |
| 21.70 | 0.22 | 0.16 |
| 21.75 | 0.22 | 0.16 |
| 21.80 | 0.22 | 0.16 |
| 21.85 | 0.21 | 0.15 |
| 21.90 | 0.21 | 0.15 |
| 21.95 | 0.21 | 0.15 |
| 22.00 | 0.21 | 0.15 |
| 22.05 | 0.21 | 0.15 |
| 22.10 | 0.21 | 0.15 |
| 22.15 | 0.21 | 0.15 |
| 22.20 | 0.21 | 0.15 |
| 22.25 | 0.21 | 0.15 |
| 22.30 | 0.20 | 0.15 |
| 22.35 | 0.20 | 0.15 |
| 22.40 | 0.20 | 0.15 |
| 22.45 | 0.20 | 0.15 |
| 22.50 | 0.20 | 0.14 |
| 22.55 | 0.20 | 0.14 |
| 22.60 | 0.20 | 0.14 |
| 22.65 | 0.20 | 0.14 |
| 22.70 | 0.20 | 0.14 |
| 22.75 | 0.19 | 0.14 |
| 22.80 | 0.19 | 0.14 |
| 22.85 | 0.19 | 0.14 |
| 22.90 | 0.19 | 0.14 |
| 22.95 | 0.19 | 0.14 |
| 23.00 | 0.19 | 0.14 |
| 23.05 | 0.19 | 0.14 |
| 23.10 | 0.19 | 0.13 |
| 23.15 | 0.19 | 0.13 |
| 23.20 | 0.19 | 0.13 |
| 23.25 | 0.18 | 0.13 |
| 23.30 | 0.18 | 0.13 |
| 23.35 | 0.18 | 0.13 |
| 23.40 | 0.18 | 0.13 |
| 23.45 | 0.18 | 0.13 |

Graph - 1

| Time (hours) | PROPOSED - PROPOSED - Flow (Total Out) (cfs) | EXISTING - EXISTING - Flow (Total Out) (cfs) |
|--------------|--|--|
| 23.50 | 0.18 | 0.13 |
| 23.55 | 0.18 | 0.13 |
| 23.60 | 0.18 | 0.13 |
| 23.65 | 0.17 | 0.13 |
| 23.70 | 0.17 | 0.13 |
| 23.75 | 0.17 | 0.13 |
| 23.80 | 0.17 | 0.13 |
| 23.85 | 0.17 | 0.12 |
| 23.90 | 0.17 | 0.12 |
| 23.95 | 0.17 | 0.12 |
| 24.00 | 0.17 | 0.12 |



APPENDIX D

New Graph

| Time (hours) | PO-1 - PROPOSED - Hydraulic Grade (ft) |
|--------------|--|
| 0.00 | 10.00 |
| 0.05 | 10.00 |
| 0.10 | 10.00 |
| 0.15 | 10.00 |
| 0.20 | 10.00 |
| 0.25 | 10.00 |
| 0.30 | 10.00 |
| 0.35 | 10.00 |
| 0.40 | 10.00 |
| 0.45 | 10.00 |
| 0.50 | 10.00 |
| 0.55 | 10.00 |
| 0.60 | 10.00 |
| 0.65 | 10.00 |
| 0.70 | 10.00 |
| 0.75 | 10.00 |
| 0.80 | 10.00 |
| 0.85 | 10.00 |
| 0.90 | 10.00 |
| 0.95 | 10.00 |
| 1.00 | 10.00 |
| 1.05 | 10.00 |
| 1.10 | 10.00 |
| 1.15 | 10.00 |
| 1.20 | 10.00 |
| 1.25 | 10.00 |
| 1.30 | 10.00 |
| 1.35 | 10.00 |
| 1.40 | 10.00 |
| 1.45 | 10.00 |
| 1.50 | 10.00 |
| 1.55 | 10.00 |
| 1.60 | 10.00 |
| 1.65 | 10.00 |
| 1.70 | 10.00 |
| 1.75 | 10.00 |
| 1.80 | 10.00 |
| 1.85 | 10.00 |
| 1.90 | 10.00 |
| 1.95 | 10.00 |
| 2.00 | 10.00 |
| 2.05 | 10.00 |
| 2.10 | 10.00 |
| 2.15 | 10.00 |
| 2.20 | 10.00 |
| 2.25 | 10.00 |
| 2.30 | 10.00 |

New Graph

| Time (hours) | PO-1 - PROPOSED - Hydraulic Grade (ft) |
|--------------|--|
| 2.35 | 10.00 |
| 2.40 | 10.00 |
| 2.45 | 10.00 |
| 2.50 | 10.00 |
| 2.55 | 10.00 |
| 2.60 | 10.00 |
| 2.65 | 10.00 |
| 2.70 | 10.00 |
| 2.75 | 10.00 |
| 2.80 | 10.00 |
| 2.85 | 10.00 |
| 2.90 | 10.00 |
| 2.95 | 10.00 |
| 3.00 | 10.00 |
| 3.05 | 10.00 |
| 3.10 | 10.00 |
| 3.15 | 10.00 |
| 3.20 | 10.00 |
| 3.25 | 10.00 |
| 3.30 | 10.00 |
| 3.35 | 10.00 |
| 3.40 | 10.00 |
| 3.45 | 10.00 |
| 3.50 | 10.00 |
| 3.55 | 10.00 |
| 3.60 | 10.00 |
| 3.65 | 10.00 |
| 3.70 | 10.00 |
| 3.75 | 10.00 |
| 3.80 | 10.00 |
| 3.85 | 10.00 |
| 3.90 | 10.00 |
| 3.95 | 10.00 |
| 4.00 | 10.00 |
| 4.05 | 10.00 |
| 4.10 | 10.00 |
| 4.15 | 10.00 |
| 4.20 | 10.00 |
| 4.25 | 10.00 |
| 4.30 | 10.00 |
| 4.35 | 10.00 |
| 4.40 | 10.00 |
| 4.45 | 10.00 |
| 4.50 | 10.00 |
| 4.55 | 10.00 |
| 4.60 | 10.00 |
| 4.65 | 10.00 |

New Graph

| Time (hours) | PO-1 - PROPOSED - Hydraulic Grade (ft) |
|--------------|--|
| 4.70 | 10.00 |
| 4.75 | 10.00 |
| 4.80 | 10.00 |
| 4.85 | 10.00 |
| 4.90 | 10.00 |
| 4.95 | 10.00 |
| 5.00 | 10.00 |
| 5.05 | 10.00 |
| 5.10 | 10.00 |
| 5.15 | 10.00 |
| 5.20 | 10.00 |
| 5.25 | 10.00 |
| 5.30 | 10.00 |
| 5.35 | 10.00 |
| 5.40 | 10.00 |
| 5.45 | 10.00 |
| 5.50 | 10.00 |
| 5.55 | 10.00 |
| 5.60 | 10.00 |
| 5.65 | 10.00 |
| 5.70 | 10.00 |
| 5.75 | 10.00 |
| 5.80 | 10.00 |
| 5.85 | 10.00 |
| 5.90 | 10.00 |
| 5.95 | 10.00 |
| 6.00 | 10.01 |
| 6.05 | 10.01 |
| 6.10 | 10.01 |
| 6.15 | 10.01 |
| 6.20 | 10.01 |
| 6.25 | 10.01 |
| 6.30 | 10.01 |
| 6.35 | 10.01 |
| 6.40 | 10.01 |
| 6.45 | 10.01 |
| 6.50 | 10.01 |
| 6.55 | 10.01 |
| 6.60 | 10.01 |
| 6.65 | 10.02 |
| 6.70 | 10.02 |
| 6.75 | 10.02 |
| 6.80 | 10.02 |
| 6.85 | 10.02 |
| 6.90 | 10.02 |
| 6.95 | 10.02 |
| 7.00 | 10.02 |

New Graph

| Time (hours) | PO-1 - PROPOSED - Hydraulic Grade (ft) |
|--------------|--|
| 7.05 | 10.02 |
| 7.10 | 10.03 |
| 7.15 | 10.03 |
| 7.20 | 10.03 |
| 7.25 | 10.03 |
| 7.30 | 10.03 |
| 7.35 | 10.03 |
| 7.40 | 10.03 |
| 7.45 | 10.04 |
| 7.50 | 10.04 |
| 7.55 | 10.04 |
| 7.60 | 10.04 |
| 7.65 | 10.04 |
| 7.70 | 10.05 |
| 7.75 | 10.05 |
| 7.80 | 10.05 |
| 7.85 | 10.05 |
| 7.90 | 10.05 |
| 7.95 | 10.06 |
| 8.00 | 10.06 |
| 8.05 | 10.06 |
| 8.10 | 10.06 |
| 8.15 | 10.06 |
| 8.20 | 10.07 |
| 8.25 | 10.07 |
| 8.30 | 10.07 |
| 8.35 | 10.07 |
| 8.40 | 10.08 |
| 8.45 | 10.08 |
| 8.50 | 10.08 |
| 8.55 | 10.09 |
| 8.60 | 10.09 |
| 8.65 | 10.09 |
| 8.70 | 10.10 |
| 8.75 | 10.10 |
| 8.80 | 10.10 |
| 8.85 | 10.11 |
| 8.90 | 10.11 |
| 8.95 | 10.11 |
| 9.00 | 10.12 |
| 9.05 | 10.12 |
| 9.10 | 10.13 |
| 9.15 | 10.13 |
| 9.20 | 10.14 |
| 9.25 | 10.14 |
| 9.30 | 10.15 |
| 9.35 | 10.15 |

New Graph

| Time (hours) | PO-1 - PROPOSED - Hydraulic Grade (ft) |
|--------------|--|
| 9.40 | 10.16 |
| 9.45 | 10.16 |
| 9.50 | 10.17 |
| 9.55 | 10.17 |
| 9.60 | 10.18 |
| 9.65 | 10.18 |
| 9.70 | 10.19 |
| 9.75 | 10.19 |
| 9.80 | 10.20 |
| 9.85 | 10.20 |
| 9.90 | 10.21 |
| 9.95 | 10.22 |
| 10.00 | 10.22 |
| 10.05 | 10.23 |
| 10.10 | 10.23 |
| 10.15 | 10.24 |
| 10.20 | 10.25 |
| 10.25 | 10.25 |
| 10.30 | 10.26 |
| 10.35 | 10.27 |
| 10.40 | 10.28 |
| 10.45 | 10.28 |
| 10.50 | 10.29 |
| 10.55 | 10.30 |
| 10.60 | 10.31 |
| 10.65 | 10.32 |
| 10.70 | 10.33 |
| 10.75 | 10.34 |
| 10.80 | 10.35 |
| 10.85 | 10.36 |
| 10.90 | 10.37 |
| 10.95 | 10.38 |
| 11.00 | 10.39 |
| 11.05 | 10.40 |
| 11.10 | 10.41 |
| 11.15 | 10.42 |
| 11.20 | 10.44 |
| 11.25 | 10.45 |
| 11.30 | 10.47 |
| 11.35 | 10.49 |
| 11.40 | 10.51 |
| 11.45 | 10.53 |
| 11.50 | 10.55 |
| 11.55 | 10.58 |
| 11.60 | 10.61 |
| 11.65 | 10.66 |
| 11.70 | 10.72 |

New Graph

| Time (hours) | PO-1 - PROPOSED - Hydraulic Grade (ft) |
|-----------------|---|
| 11.75 | 10.79 |
| 11.80 | 10.87 |
| 11.85 | 10.97 |
| 11.90 | 11.09 |
| 11.95 | 11.25 |
| 12.00 | 11.46 |
| 12.05 | 11.68 |
| 12.10 | 11.88 |
| 12.15 | 11.95 |
| 12.20 | 11.96 |
| 12.25 | 11.94 |
| 12.30 | 11.91 |
| 12.35 | 11.88 |
| 12.40 | 11.86 |
| 12.45 | 11.84 |
| 12.50 | 11.82 |
| 12.55 | 11.80 |
| 12.60 | 11.79 |
| 12.65 | 11.78 |
| 12.70 | 11.76 |
| 12.75 | 11.75 |
| 12.80 | 11.74 |
| 12.85 | 11.73 |
| 12.90 | 11.72 |
| 12.95 | 11.71 |
| 13.00 | 11.70 |
| 13.05 | 11.68 |
| 13.10 | 11.67 |
| 13.15 | 11.66 |
| 13.20 | 11.64 |
| 13.25 | 11.63 |
| 13.30 | 11.62 |
| 13.35 | 11.60 |
| 13.40 | 11.59 |
| 13.45 | 11.58 |
| 13.50 | 11.56 |
| 13.55 | 11.55 |
| 13.60 | 11.54 |
| 13.65 | 11.53 |
| 13.70 | 11.52 |
| 13.75 | 11.51 |
| 13.80 | 11.49 |
| 13.85 | 11.48 |
| 13.90 | 11.47 |
| 13.95 | 11.46 |
| 14.00 | 11.45 |
| 14.05 | 11.44 |

New Graph

| Time (hours) | PO-1 - PROPOSED - Hydraulic Grade (ft) |
|--------------|--|
| 14.10 | 11.43 |
| 14.15 | 11.42 |
| 14.20 | 11.41 |
| 14.25 | 11.40 |
| 14.30 | 11.39 |
| 14.35 | 11.38 |
| 14.40 | 11.37 |
| 14.45 | 11.36 |
| 14.50 | 11.35 |
| 14.55 | 11.34 |
| 14.60 | 11.33 |
| 14.65 | 11.32 |
| 14.70 | 11.31 |
| 14.75 | 11.30 |
| 14.80 | 11.29 |
| 14.85 | 11.27 |
| 14.90 | 11.26 |
| 14.95 | 11.25 |
| 15.00 | 11.24 |
| 15.05 | 11.23 |
| 15.10 | 11.22 |
| 15.15 | 11.21 |
| 15.20 | 11.20 |
| 15.25 | 11.19 |
| 15.30 | 11.17 |
| 15.35 | 11.16 |
| 15.40 | 11.15 |
| 15.45 | 11.14 |
| 15.50 | 11.13 |
| 15.55 | 11.12 |
| 15.60 | 11.11 |
| 15.65 | 11.09 |
| 15.70 | 11.08 |
| 15.75 | 11.07 |
| 15.80 | 11.06 |
| 15.85 | 11.05 |
| 15.90 | 11.03 |
| 15.95 | 11.02 |
| 16.00 | 11.01 |
| 16.05 | 11.00 |
| 16.10 | 10.99 |
| 16.15 | 10.97 |
| 16.20 | 10.96 |
| 16.25 | 10.95 |
| 16.30 | 10.94 |
| 16.35 | 10.93 |
| 16.40 | 10.92 |

New Graph

| Time (hours) | PO-1 - PROPOSED - Hydraulic Grade (ft) |
|--------------|--|
| 16.45 | 10.91 |
| 16.50 | 10.89 |
| 16.55 | 10.88 |
| 16.60 | 10.87 |
| 16.65 | 10.86 |
| 16.70 | 10.85 |
| 16.75 | 10.84 |
| 16.80 | 10.83 |
| 16.85 | 10.82 |
| 16.90 | 10.81 |
| 16.95 | 10.80 |
| 17.00 | 10.79 |
| 17.05 | 10.77 |
| 17.10 | 10.76 |
| 17.15 | 10.75 |
| 17.20 | 10.74 |
| 17.25 | 10.73 |
| 17.30 | 10.72 |
| 17.35 | 10.71 |
| 17.40 | 10.70 |
| 17.45 | 10.69 |
| 17.50 | 10.68 |
| 17.55 | 10.67 |
| 17.60 | 10.66 |
| 17.65 | 10.65 |
| 17.70 | 10.65 |
| 17.75 | 10.64 |
| 17.80 | 10.63 |
| 17.85 | 10.62 |
| 17.90 | 10.61 |
| 17.95 | 10.60 |
| 18.00 | 10.59 |
| 18.05 | 10.58 |
| 18.10 | 10.57 |
| 18.15 | 10.56 |
| 18.20 | 10.55 |
| 18.25 | 10.55 |
| 18.30 | 10.54 |
| 18.35 | 10.53 |
| 18.40 | 10.52 |
| 18.45 | 10.51 |
| 18.50 | 10.51 |
| 18.55 | 10.50 |
| 18.60 | 10.49 |
| 18.65 | 10.48 |
| 18.70 | 10.48 |
| 18.75 | 10.47 |

New Graph

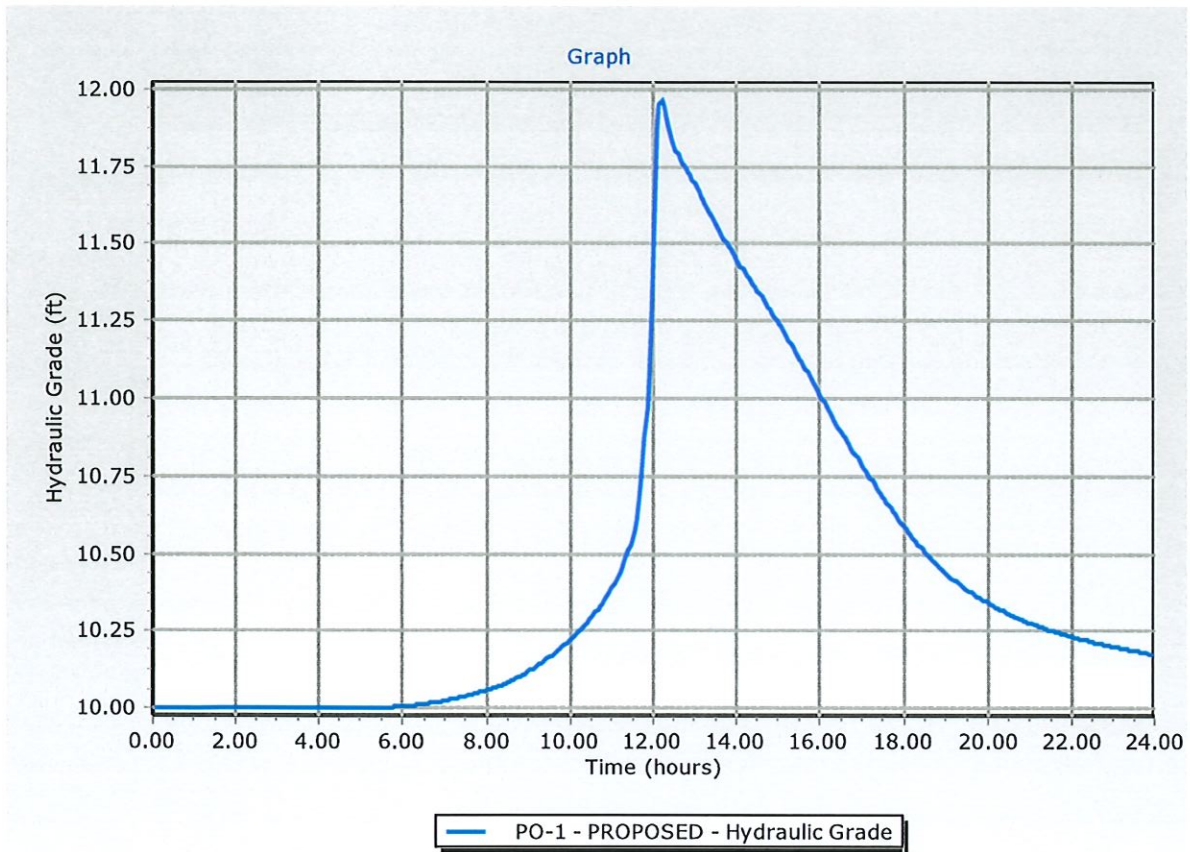
| Time (hours) | PO-1 - PROPOSED - Hydraulic Grade (ft) |
|--------------|--|
| 18.80 | 10.46 |
| 18.85 | 10.46 |
| 18.90 | 10.45 |
| 18.95 | 10.44 |
| 19.00 | 10.44 |
| 19.05 | 10.43 |
| 19.10 | 10.43 |
| 19.15 | 10.42 |
| 19.20 | 10.42 |
| 19.25 | 10.41 |
| 19.30 | 10.40 |
| 19.35 | 10.40 |
| 19.40 | 10.39 |
| 19.45 | 10.39 |
| 19.50 | 10.38 |
| 19.55 | 10.38 |
| 19.60 | 10.38 |
| 19.65 | 10.37 |
| 19.70 | 10.37 |
| 19.75 | 10.36 |
| 19.80 | 10.36 |
| 19.85 | 10.35 |
| 19.90 | 10.35 |
| 19.95 | 10.34 |
| 20.00 | 10.34 |
| 20.05 | 10.34 |
| 20.10 | 10.33 |
| 20.15 | 10.33 |
| 20.20 | 10.33 |
| 20.25 | 10.32 |
| 20.30 | 10.32 |
| 20.35 | 10.31 |
| 20.40 | 10.31 |
| 20.45 | 10.31 |
| 20.50 | 10.30 |
| 20.55 | 10.30 |
| 20.60 | 10.30 |
| 20.65 | 10.30 |
| 20.70 | 10.29 |
| 20.75 | 10.29 |
| 20.80 | 10.29 |
| 20.85 | 10.28 |
| 20.90 | 10.28 |
| 20.95 | 10.28 |
| 21.00 | 10.28 |
| 21.05 | 10.27 |
| 21.10 | 10.27 |

New Graph

| Time (hours) | PO-1 - PROPOSED - Hydraulic Grade (ft) |
|--------------|--|
| 21.15 | 10.27 |
| 21.20 | 10.27 |
| 21.25 | 10.26 |
| 21.30 | 10.26 |
| 21.35 | 10.26 |
| 21.40 | 10.26 |
| 21.45 | 10.25 |
| 21.50 | 10.25 |
| 21.55 | 10.25 |
| 21.60 | 10.25 |
| 21.65 | 10.25 |
| 21.70 | 10.24 |
| 21.75 | 10.24 |
| 21.80 | 10.24 |
| 21.85 | 10.24 |
| 21.90 | 10.24 |
| 21.95 | 10.23 |
| 22.00 | 10.23 |
| 22.05 | 10.23 |
| 22.10 | 10.23 |
| 22.15 | 10.23 |
| 22.20 | 10.22 |
| 22.25 | 10.22 |
| 22.30 | 10.22 |
| 22.35 | 10.22 |
| 22.40 | 10.22 |
| 22.45 | 10.22 |
| 22.50 | 10.21 |
| 22.55 | 10.21 |
| 22.60 | 10.21 |
| 22.65 | 10.21 |
| 22.70 | 10.21 |
| 22.75 | 10.21 |
| 22.80 | 10.20 |
| 22.85 | 10.20 |
| 22.90 | 10.20 |
| 22.95 | 10.20 |
| 23.00 | 10.20 |
| 23.05 | 10.20 |
| 23.10 | 10.20 |
| 23.15 | 10.19 |
| 23.20 | 10.19 |
| 23.25 | 10.19 |
| 23.30 | 10.19 |
| 23.35 | 10.19 |
| 23.40 | 10.19 |
| 23.45 | 10.19 |

New Graph

| Time (hours) | PO-1 - PROPOSED - Hydraulic Grade (ft) |
|--------------|--|
| 23.50 | 10.19 |
| 23.55 | 10.18 |
| 23.60 | 10.18 |
| 23.65 | 10.18 |
| 23.70 | 10.18 |
| 23.75 | 10.18 |
| 23.80 | 10.18 |
| 23.85 | 10.18 |
| 23.90 | 10.18 |
| 23.95 | 10.17 |
| 24.00 | 10.17 |



**C. Urban Catalyst Response – Letter, Original
Development Order, Stormwater Revision, and their
own Stormwater Analysis Report.**

RE: Preliminary Plat - Palmer Pointe Townhomes

Date: July 27, 2022

Rudnick Development

Dear Commissioners,

Rudnick Development is currently working on a 26-unit townhome subdivision located at 270 Prado ST. I'm writing to you regarding a preliminary plat that will be on the agenda for the August 2nd meeting this upcoming Tuesday.

The purpose of the preliminary plat that we are submitting is to subdivide the property so that each individual townhouse can be its own lot rather than having one single lot that includes all 26 units. I want to emphasize that this plat does not change any of the underlying development or construction plans that have been already approved by the City of Apalachicola in the attached development order issued on January 6th, 2022. The sole purpose is to change the legal designation from one single lot to 26 individual lots.

It is important for us that we receive the City Commission's approval of this preliminary plat. We have already received a unanimous recommendation for approval from the Apalachicola Planning and Zoning Board, and we've worked closely with City staff to ensure that our preliminary plat has met the rigorous standards required by the Apalachicola Land Development Code and the State of Florida. I am available to meet with each of you either in person or via a phone call if you have any questions regarding this preliminary plat.

Sincerely,

Frazer Collins

Acquisitions & Development



Rudnick Development

2316 Killearn Center Blvd. STE. 200

Tallahassee, Florida 32309

850-671-1999 (Office)

239-877-6002 (Cell)

Frazer@RudnickDev.com

**CITY OF APALACHICOLA
PLANNING & ZONING DEVELOPMENT ORDER**

Date: 1/6/2022

Project Address: 270 Prado St., Apalachicola, FL 32320
Type of Development Order: New Multifamily Development

Owner: Rudnick Development/800 Mexico Beach LLC
Owner Address: 2316 Killlearn Ctr Blvd. Tallahassee, FL 32309
Phone: 850-671-1999

Site Contractor: Stege Contracting
Address: 227 Riverpark, Midway FL 32343
Phone: 850-544-2502

Project Description: 26 Townhomes Development on 2.38 acre parcel

Parcel ID: 01-09S-08W-8330-0265-0010
Impervious Surface:
Fill:

Building Contractor: TBD
Address:
Phone:

Lot/Development Area: 103,540 sf
New Building Area: 22,461 sf
Entire Impervious Area: 42,929 sf
Minimum Building Setbacks: Front: 15'; Rear: 25'; Sides: 15'.

Zoning: R-2
Historic District: No
Flood Zone: AE

Was Varlance or Special Exception Issued for Project: No
Land Development Code Section Reference: N/A
If yes, was it Issued?

Additional Conditions: Applicant to preserve as much of the trees and vegetation at property boundaries as possible; Retention Pond construction to begin as early as possible.

NOTICE: This is not a Building Permit. Starting construction of the Townhomes prior to being issued the "Building Permit" from the City of Apalachicola Building Department, is **PROHIBITED**. However, site work can begin prior to issuance of the "Building Permit" for this project.

Owner and Building Contractors are required to meet all written conditions in this Development Order even if the site plan or other construction plans and documents are in conflict therewith. Even if a Contractor signs for the Development Order, it will be their responsibility to notify the property owner of the contents and requirements set forth in this order. The City of Apalachicola does not have the authority to enforce deed restrictions or covenants on properties. You are advised to check for any restrictions that may affect your property.

If any changes are made to the approved floor plans, areas of use or any part of the structures, then revised plans will be required and shall be submitted prior to the changes. A letter stating a request to amend the plans and Development Order shall accompany the plan amendments. Failure to submit these changes may result in the revocation of your Development Order. It is the responsibility of the Owners and Contractors to verify that the property location is not under the jurisdiction of the U.S. Corps of Engineers, Dept. of Environmental Protection, or any other state agency prior to the commencement of the development.

GENERAL CONDITIONS:

It shall be the responsibility of the Developer/Applicant to provide, at own expense, all infrastructure improvement, including but not limited to, water, sewer, sanitation facilities, fire hydrants and road/turn lanes(s), as approved and required by the City. These infrastructure improvements may require the Developer/Applicant to make off-site improvements to the City's existing infrastructure system at Developer's/Applicant's own cost. Signage of any type for anything must be applied for/and approved with a sign permit application prior to installation. All structures shall have the required 911 address posted in minimum 4" high reflective numbers. The address shall be visible up to 100' from the road. The address shall be posted towards the road that the address pertains to regardless of the direction the the house or structure faces or location of mailboxes. If this is a multiple unit complex, then the address will be posted as stated above with additional address unit numbers posted upon each individual unit with regard to the same criteria as stated above. The City may require a final land survey with any structure where a discrepancy may exist pertaining to a setback or buffered area. If there is a discrepancy, then the City will not issue a Certificate of Occupancy or Certificate of Completion until the matter is resolved.

Your signature is an acceptance to all the requirements set forth within this Order and that you further understand that you are required to meet all the Codes and Ordinances within the City including violations found at a later date.

By signing this Order, you agree to have full authorization to act on behalf of the Development/Owner and you give authorization for the City of Apalachicola to enter the site at any time.

Planning & Zoning Review:

P&Z Determination

Meeting Date: December 13, 2021

Approved As Is

Approved with Comments: Applicant to preserve as much of the trees and vegetation at property boundaries as possible.

Retention Pond construction to begin as early as possible.

Sammy Owens

Plan Reviewer's Signature

1/6/22

Date

Sam M Ford

Applicant Signature

SUN METCO BRICK LLC

1/6/22

Date

Palmer Pointe Town homes

Sean Marston <smarston@ucceng.com>

Fri 7/29/2022 11:16 AM

To: Bree Robinson <brobinson@cityofapalachicola.com>

Cc: Frazer (frazer@rudnickdev.com) <frazer@rudnickdev.com>; Billy Colbert <wcolbert@ucceng.com>

📎 4 attachments (4 MB)

Proposed Design ICPR Report.pdf; Apalachicola Townhomes Development Order City - Rudnick Executed.pdf; Stormwater Revision.pdf; drainageconnectionhandbook2020.pdf;

Bree,

Attached is a revised stormwater analysis for the pond at Palmer Pointe. Based on your engineers review we made some revisions to our model and some minor revisions to the control structure.

The revisions to the model:

1. We updated the rainfall amounts per the recent data.
2. We noticed the consultant utilized a rainfall distribution of an SCS Type III which is not a requirement of Apalachicola. We utilized the standard FDOT 24 hour distribution which has the same rainfall amount but distributed more consistently over the 24 hr period. The SCS Type III distribution allows for a higher peak discharge which in turn allows for a higher discharge allowable. The FDOT Drainage Handbook recommends using multiple FDOT storm distributions since they reflect actual rainfall patterns. See section 4.0 of the Drainage Handbook.

The changes to the control structure:

1. Reduced the orifice to a 2-inch orifice.
2. Removed one of the rectangular weirs to just one 1.2-ft weir.

By making these changes to the control structure we are able to meet the City of Apalachicola requirements.

Also I have attached a letter to the commissioners explaining the reason we submitted the preliminary plat. We are just subdividing the property so the lots can be sold individually. Initially we thought about doing a condominium on the buildings but the developer changed his mind on the end product.

Best Regards,

Sean K. Marston, P.E.

President

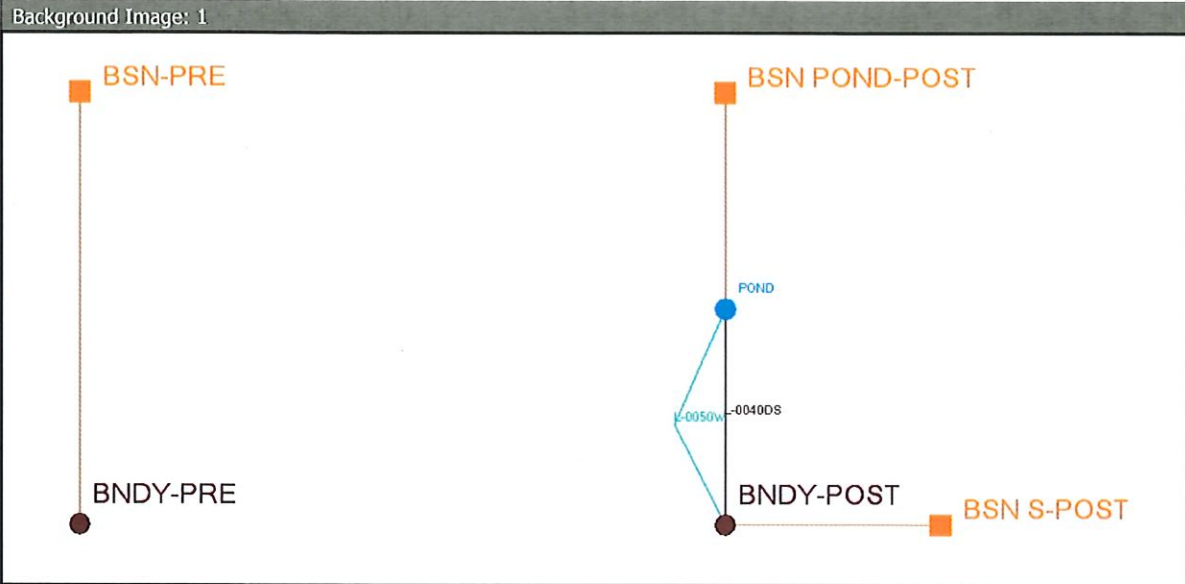
Urban Catalyst Consultants, Inc

2851 Remington Green Circle

Tallahassee, FL. 32308

850-999-4241 (W)

850-566-0083 (C)



Curve Number: 1 [Set]

| Land Cover Zone | Soil Zone | Curve Number [dec] |
|-----------------|-----------|--------------------|
| Grass-Good | A | 39.0 |
| Impervious | A | 98.0 |
| Woods-Good | A | 30.0 |

Manual Basin: BSN POND-POST

Scenario: Scenario1
 Node: POND
 Hydrograph Method: NRCS Unit Hydrograph
 Infiltration Method: Curve Number
 Time of Concentration: 10.0000 min
 Max Allowable Q: 0.00 cfs
 Time Shift: 0.0000 hr
 Unit Hydrograph: UH323
 Peaking Factor: 323.0
 Area: 2.2226 ac

| Area [ac] | Land Cover Zone | Soil Zone | Rainfall Name | Crop Coefficient Zone | Reference ET Station |
|-----------|-----------------|-----------|---------------|-----------------------|----------------------|
| 1.2371 | Grass-Good | A | | | |
| 0.9855 | Impervious | A | | | |

Comment:

Manual Basin Runoff Summary [Scenario1]

| Basin Name | Sim Name | Max Flow [cfs] | Time to Max Flow [hrs] | Total Rainfall [in] | Total Runoff [in] | Area [ac] | Equivalent Curve Number | % Imperv | % DCIA |
|---------------|-------------|----------------|------------------------|---------------------|-------------------|-----------|-------------------------|----------|--------|
| BSN POND-POST | 2 YR 24 HR | 3.52 | 12.2500 | 5.56 | 2.55 | 2.2226 | 70.9 | 0.00 | 0.00 |
| T | | | | | | | | | |
| BSN POND-POST | 25 YR 24 HR | 1.32 | 12.0000 | 10.30 | 5.73 | 2.2226 | 64.2 | 0.00 | 0.00 |
| T | | | | | | | | | |

Manual Basin Mass Balance Summary [Scenario1]

| Basin Name | Sim Name | Total Rainfall | Total Irrigation | Total Runoff | Total ET | Total Initial Abst | Total Recharge | Change Soil Storage |
|-----------------------|-------------|----------------|------------------|--------------|----------|--------------------|----------------|---------------------|
| BSN POND-POST [in] | 2 YR 24 HR | 5.56 | 0.00 | 2.55 | 0.00 | 0.00 | 0.00 | 3.01 |
| BSN POND-POST [ft3] | 2 YR 24 HR | 44858 | 0 | 20554 | 0 | 0 | 0 | 24304 |
| BSN POND-POST [ac-ft] | 2 YR 24 HR | 1.03 | 0.00 | 0.47 | 0.00 | 0.00 | 0.00 | 0.56 |
| BSN POND-POST [in] | 25 YR 24 HR | 10.30 | 0.00 | 5.73 | 0.00 | 0.00 | 0.00 | 4.57 |
| BSN POND-POST [ft3] | 25 YR 24 HR | 83101 | 0 | 46211 | 0 | 0 | 0 | 36890 |
| BSN POND-POST [ac-ft] | 25 YR 24 HR | 1.91 | 0.00 | 1.06 | 0.00 | 0.00 | 0.00 | 0.85 |

Manual Basin: BSN S-POST

Scenario: Scenario1
 Node: BNDY-POST
 Hydrograph Method: NRCS Unit Hydrograph
 Infiltration Method: Curve Number
 Time of Concentration: 10.0000 min
 Max Allowable Q: 0.00 cfs
 Time Shift: 0.0000 hr
 Unit Hydrograph: UH323
 Peaking Factor: 323.0
 Area: 0.1543 ac

| Area [ac] | Land Cover Zone | Soil Zone | Rainfall Name | Crop Coefficient | Reference ET |
|-----------|-----------------|-----------|---------------|------------------|--------------|
|-----------|-----------------|-----------|---------------|------------------|--------------|

| Area [ac] | Land Cover Zone | Soil Zone | Rainfall Name | Crop Coefficient Zone | Reference ET Station |
|-----------|-----------------|-----------|---------------|-----------------------|----------------------|
| 0.1543 | Grass-Good | A | | | |

Comment:

Manual Basin Runoff Summary [Scenario1]

| Basin Name | Sim Name | Max Flow [cfs] | Time to Max Flow [hrs] | Total Rainfall [in] | Total Runoff [in] | Area [ac] | Equivalent Curve Number | % Imperv | % DCIA |
|------------|-------------|----------------|------------------------|---------------------|-------------------|-----------|-------------------------|----------|--------|
| BSN S-POST | 2 YR 24 HR | 0.01 | 12.3333 | 5.56 | 0.33 | 0.1543 | 39.0 | 0.00 | 0.00 |
| BSN S-POST | 25 YR 24 HR | 0.04 | 12.0333 | 10.30 | 2.26 | 0.1543 | 39.0 | 0.00 | 0.00 |

Manual Basin Mass Balance Summary [Scenario1]

| Basin Name | Sim Name | Total Rainfall | Total Irrigation | Total Runoff | Total ET | Total Initial Abst | Total Recharge | Change Soil Storage |
|--------------------|-------------|----------------|------------------|--------------|----------|--------------------|----------------|---------------------|
| BSN S-POST [in] | 2 YR 24 HR | 5.56 | 0.00 | 0.33 | 0.00 | 0.00 | 0.00 | 5.23 |
| BSN S-POST [ft3] | 2 YR 24 HR | 3114 | 0 | 184 | 0 | 0 | 0 | 2931 |
| BSN S-POST [ac-ft] | 2 YR 24 HR | 0.07 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.07 |
| BSN S-POST [in] | 25 YR 24 HR | 10.30 | 0.00 | 2.26 | 0.00 | 0.00 | 0.00 | 8.04 |
| BSN S-POST [ft3] | 25 YR 24 HR | 5769 | 0 | 1266 | 0 | 0 | 0 | 4504 |
| BSN S-POST [ac-ft] | 25 YR 24 HR | 0.13 | 0.00 | 0.03 | 0.00 | 0.00 | 0.00 | 0.10 |

Manual Basin: BSN-PRE

Scenario: Scenario1
 Node: BNDY-PRE
 Hydrograph Method: NRCS Unit Hydrograph
 Infiltration Method: Curve Number
 Time of Concentration: 10.0000 min
 Max Allowable Q: 0.00 cfs

Time Shift: 0.0000 hr
 Unit Hydrograph: UH323
 Peaking Factor: 323.0
 Area: 2.3769 ac

| Area [ac] | Land Cover Zone | Soil Zone | Rainfall Name | Crop Coefficient Zone | Reference ET Station |
|-----------|-----------------|-----------|---------------|-----------------------|----------------------|
| 1.8565 | Grass-Good | A | | | |
| 0.5204 | Impervious | A | | | |

Comment:

Manual Basin Runoff Summary [Scenario1]

| Basin Name | Sim Name | Max Flow [cfs] | Time to Max Flow [hrs] | Total Rainfall [in] | Total Runoff [in] | Area [ac] | Equivalent Curve Number | % Imperv | % DCIA |
|------------|-------------|----------------|------------------------|---------------------|-------------------|-----------|-------------------------|----------|--------|
| BSN-PRE | 2 YR 24 HR | 1.93 | 12.2667 | 5.56 | 1.42 | 2.3769 | 57.1 | 0.00 | 0.00 |
| BSN-PRE | 25 YR 24 HR | 0.99 | 12.0167 | 10.30 | 3.97 | 2.3769 | 51.4 | 0.00 | 0.00 |

Manual Basin Mass Balance Summary [Scenario1]

| Basin Name | Sim Name | Total Rainfall | Total Irrigation | Total Runoff | Total ET | Total Initial Abst | Total Recharge | Change Soil Storage |
|-----------------|-------------|----------------|------------------|--------------|----------|--------------------|----------------|---------------------|
| BSN-PRE [in] | 2 YR 24 HR | 5.56 | 0.00 | 1.42 | 0.00 | 0.00 | 0.00 | 4.14 |
| BSN-PRE [ft3] | 2 YR 24 HR | 47972 | 0 | 12286 | 0 | 0 | 0 | 35686 |
| BSN-PRE [ac-ft] | 2 YR 24 HR | 1.10 | 0.00 | 0.28 | 0.00 | 0.00 | 0.00 | 0.82 |
| BSN-PRE [in] | 25 YR 24 HR | 10.30 | 0.00 | 3.97 | 0.00 | 0.00 | 0.00 | 6.33 |
| BSN-PRE [ft3] | 25 YR 24 HR | 88870 | 0 | 34271 | 0 | 0 | 0 | 54599 |
| BSN-PRE [ac-ft] | 25 YR 24 HR | 2.04 | 0.00 | 0.79 | 0.00 | 0.00 | 0.00 | 1.25 |

Node: BNDY-POST

Scenario: Scenario1
 Type: Time/Stage
 Base Flow: 0.00 cfs
 Initial Stage: 9.50 ft
 Warning Stage: 10.00 ft

Boundary Stage:

| Year | Month | Day | Hour | Stage [ft] |
|------|-------|-----|----------|------------|
| 0 | 0 | 0 | 0.0000 | 9.50 |
| 0 | 0 | 0 | 999.0000 | 9.50 |

Comment:

Node Max Conditions [Scenario1]

| Node Name | Sim Name | Warning Stage [ft] | Max Stage [ft] | Min/Max Delta Stage [ft] | Max Total Inflow [cfs] | Max Total Outflow [cfs] | Max Surface Area [ft2] |
|-----------|-------------|--------------------|----------------|--------------------------|------------------------|-------------------------|------------------------|
| BNDY-POST | 2 YR 24 HR | 10.00 | 9.50 | 0.0000 | 0.26 | 0.00 | 0 |
| BNDY-POST | 25 YR 24 HR | 10.00 | 9.50 | 0.0000 | 0.94 | 0.00 | 0 |

Node: BNDY-PRE

Scenario: Scenario1
 Type: Time/Stage
 Base Flow: 0.00 cfs
 Initial Stage: 9.50 ft
 Warning Stage: 10.00 ft
 Boundary Stage:

| Year | Month | Day | Hour | Stage [ft] |
|------|-------|-----|----------|------------|
| 0 | 0 | 0 | 0.0000 | 9.50 |
| 0 | 0 | 0 | 999.0000 | 9.50 |

Comment:

Node Max Conditions [Scenario1]

| Node Name | Sim Name | Warning Stage [ft] | Max Stage [ft] | Min/Max Delta Stage [ft] | Max Total Inflow [cfs] | Max Total Outflow [cfs] | Max Surface Area [ft2] |
|-----------|-------------|--------------------|----------------|--------------------------|------------------------|-------------------------|------------------------|
| BNDY-PRE | 2 YR 24 HR | 10.00 | 9.50 | 0.0000 | 1.93 | 0.00 | 0 |
| BNDY-PRE | 25 YR 24 HR | 10.00 | 9.50 | 0.0000 | 0.99 | 0.00 | 0 |

Node: POND

Scenario: Scenario1
 Type: Stage/Area
 Base Flow: 0.00 cfs

Initial Stage: 10.00 ft
 Warning Stage: 12.00 ft

| Stage [ft] | Area [ac] | Area [ft2] |
|------------|-----------|------------|
| 12.00 | 0.3045 | 13263 |
| 11.00 | 0.2200 | 9582 |
| 10.00 | 0.1700 | 7404 |

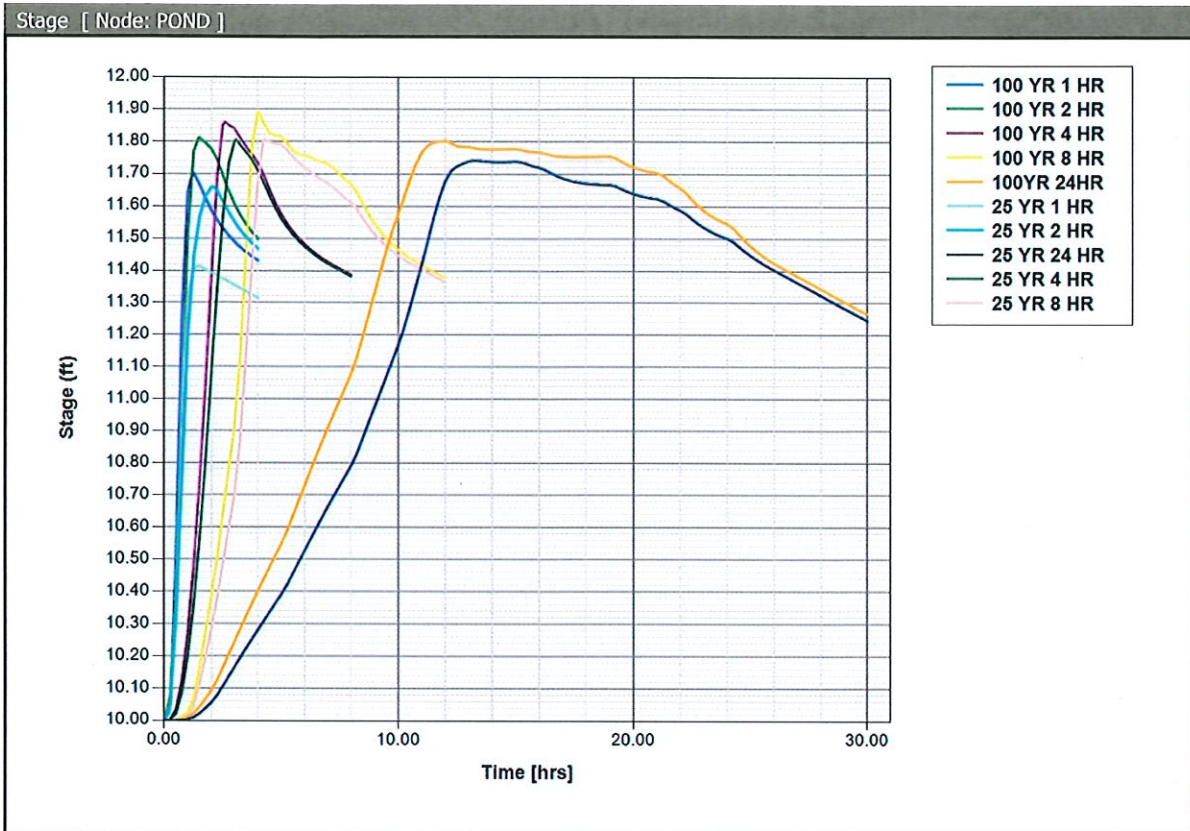
Comment:

Node Max Conditions [Scenario1]

| Node Name | Sim Name | Warning Stage [ft] | Max Stage [ft] | Min/Max Delta Stage [ft] | Max Total Inflow [cfs] | Max Total Outflow [cfs] | Max Surface Area [ft2] |
|-----------|-------------|--------------------|----------------|--------------------------|------------------------|-------------------------|------------------------|
| POND | 2 YR 24 HR | 12.00 | 11.50 | 0.0002 | 3.52 | 0.26 | 11441 |
| POND | 25 YR 24 HR | 12.00 | 11.74 | 0.0000 | 1.32 | 0.91 | 12316 |

Node Max Conditions [Scenario1]

| Node Name | Sim Name | Warning Stage [ft] | Max Stage [ft] | Min/Max Delta Stage [ft] | Max Total Inflow [cfs] | Max Total Outflow [cfs] | Max Surface Area [ft2] |
|-----------|-------------|--------------------|----------------|--------------------------|------------------------|-------------------------|------------------------|
| POND | 100 YR 1 HR | 12.00 | 11.70 | 0.0004 | 8.34 | 0.77 | 12167 |
| POND | 100 YR 2 HR | 12.00 | 11.81 | 0.0003 | 7.03 | 2.28 | 12564 |
| POND | 100 YR 4 HR | 12.00 | 11.86 | 0.0002 | 4.47 | 4.08 | 12741 |
| POND | 100 YR 8 HR | 12.00 | 11.89 | 0.0002 | 5.65 | 5.46 | 12854 |
| POND | 100YR 24HR | 12.00 | 11.80 | 0.0000 | 2.03 | 2.01 | 12532 |
| POND | 25 YR 1 HR | 12.00 | 11.41 | 0.0004 | 6.50 | 0.13 | 11105 |
| POND | 25 YR 2 HR | 12.00 | 11.66 | 0.0003 | 5.32 | 0.64 | 12011 |
| POND | 25 YR 24 HR | 12.00 | 11.74 | 0.0000 | 1.32 | 0.91 | 12316 |
| POND | 25 YR 4 HR | 12.00 | 11.80 | 0.0002 | 3.19 | 2.09 | 12542 |
| POND | 25 YR 8 HR | 12.00 | 11.80 | 0.0002 | 3.87 | 2.09 | 12542 |



Node Max Conditions [Scenario1]

| Node Name | Sim Name | Warning Stage [ft] | Max Stage [ft] | Min/Max Delta Stage [ft] | Max Total Inflow [cfs] | Max Total Outflow [cfs] | Max Surface Area [ft ²] |
|-----------|-------------|--------------------|----------------|--------------------------|------------------------|-------------------------|-------------------------------------|
| BNDY-POST | 2 YR 24 HR | 10.00 | 9.50 | 0.0000 | 0.26 | 0.00 | 0 |
| BNDY-PRE | 2 YR 24 HR | 10.00 | 9.50 | 0.0000 | 1.93 | 0.00 | 0 |
| BNDY-POST | 25 YR 24 HR | 10.00 | 9.50 | 0.0000 | 0.94 | 0.00 | 0 |
| BNDY-PRE | 25 YR 24 HR | 10.00 | 9.50 | 0.0000 | 0.99 | 0.00 | 0 |

| Drop Structure Link: L-0040DS | | Upstream Pipe | Downstream Pipe |
|-------------------------------|-----------|---------------------|---------------------|
| Scenario: | Scenario1 | Invert: 7.00 ft | Invert: 6.00 ft |
| From Node: | POND | Manning's N: 0.0130 | Manning's N: 0.0130 |
| To Node: | BNDY-POST | Geometry: Circular | Geometry: Circular |
| Link Count: | 1 | Max Depth: 1.50 ft | Max Depth: 1.50 ft |
| Flow Direction: | Both | Bottom Clip | |
| Solution: | Combine | Default: 0.00 ft | Default: 0.00 ft |
| Increments: | 0 | Op Table: | Op Table: |

| | | |
|-------------------------|---------------------|---------------------|
| Pipe Count: 1 | Ref Node: | Ref Node: |
| Damping: 0.0000 ft | Manning's N: 0.0000 | Manning's N: 0.0000 |
| Length: 44.60 ft | Top Clip | |
| FHWA Code: 0 | Default: 0.00 ft | Default: 0.00 ft |
| Entr Loss Coef: 0.00 | Op Table: | Op Table: |
| Exit Loss Coef: 1.00 | Ref Node: | Ref Node: |
| Bend Loss Coef: 0.00 | Manning's N: 0.0000 | Manning's N: 0.0000 |
| Bend Location: 0.00 dec | | |
| Energy Switch: Energy | | |

Pipe Comment:

| Weir Component | |
|-----------------------------|------------------------|
| Weir: 1 | Bottom Clip |
| Weir Count: 1 | Default: 0.00 ft |
| Weir Flow Direction: Both | Op Table: |
| Damping: 0.0000 ft | Ref Node: |
| Weir Type: Horizontal | Top Clip |
| Geometry Type: Rectangular | Default: 0.00 ft |
| Invert: 11.75 ft | Op Table: |
| Control Elevation: 11.75 ft | Ref Node: |
| Max Depth: 3.00 ft | Discharge Coefficients |
| Max Width: 2.00 ft | Weir Default: 3.200 |
| Fillet: 0.00 ft | Weir Table: |
| | Orifice Default: 0.600 |
| | Orifice Table: |

Weir Comment:

| Weir Component | |
|-----------------------------------|------------------------|
| Weir: 2 | Bottom Clip |
| Weir Count: 1 | Default: 0.00 ft |
| Weir Flow Direction: Both | Op Table: |
| Damping: 0.0000 ft | Ref Node: |
| Weir Type: Sharp Crested Vertical | Top Clip |
| Geometry Type: Rectangular | Default: 0.00 ft |
| Invert: 11.40 ft | Op Table: |
| Control Elevation: 11.40 ft | Ref Node: |
| Max Depth: 999.00 ft | Discharge Coefficients |
| Max Width: 1.20 ft | Weir Default: 3.200 |
| Fillet: 0.00 ft | Weir Table: |
| | Orifice Default: 0.600 |
| | Orifice Table: |

Weir Comment:

| Weir Component | |
|-----------------------------------|------------------|
| Weir: 3 | Bottom Clip |
| Weir Count: 1 | Default: 0.00 ft |
| Weir Flow Direction: Both | Op Table: |
| Damping: 0.0000 ft | Ref Node: |
| Weir Type: Sharp Crested Vertical | Top Clip |
| Geometry Type: Circular | Default: 0.00 ft |

Invert: 10.00 ft
 Control Elevation: 10.00 ft
 Max Depth: 0.17 ft

Op Table:
 Ref Node:

Discharge Coefficients

Weir Default: 3.200
 Weir Table:
 Orifice Default: 0.600
 Orifice Table:

Weir Comment:

Drop Structure Comment:

Link Min/Max Conditions [Scenario1]

| Link Name | Sim Name | Max Flow [cfs] | Min Flow [cfs] | Min/Max Delta Flow [cfs] | Max Us Velocity [fps] | Max Ds Velocity [fps] | Max Avg Velocity [fps] |
|--------------------|-------------|----------------|----------------|--------------------------|-----------------------|-----------------------|------------------------|
| L-0040DS - Pipe | 2 YR 24 HR | 0.26 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| L-0040DS - Weir: 1 | 2 YR 24 HR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| L-0040DS - Weir: 2 | 2 YR 24 HR | 0.13 | 0.00 | 0.00 | 1.04 | 1.04 | 1.04 |
| L-0040DS - Weir: 3 | 2 YR 24 HR | 0.13 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| L-0040DS - Pipe | 25 YR 24 HR | 0.91 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| L-0040DS - Weir: 1 | 25 YR 24 HR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| L-0040DS - Weir: 2 | 25 YR 24 HR | 0.77 | 0.00 | 0.00 | 1.87 | 1.87 | 1.87 |
| L-0040DS - Weir: 3 | 25 YR 24 HR | 0.14 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |

Weir Link: L-0050W

Scenario: Scenario1
 From Node: POND
 To Node: BNDY-POST
 Link Count: 1
 Flow Direction: Both
 Damping: 0.0000 ft
 Weir Type: Broad Crested Vertical
 Geometry Type: Trapezoidal
 Invert: 11.75 ft
 Control Elevation: 11.75 ft
 Max Depth: 999.00 ft

Bottom Clip

Default: 0.00 ft
 Op Table:
 Ref Node:

Top Clip

Default: 0.00 ft
 Op Table:
 Ref Node:

Discharge Coefficients

Weir Default: 2.800
 Weir Table:

Extrapolation Method: Normal Projection

Bottom Width: 16.00 ft

Left Slope: 2.000 (h:v)

Right Slope: 2.000 (h:v)

Orifice Default: 0.600

Orifice Table:

Comment:

Link Min/Max Conditions [Scenario1]

| Link Name | Sim Name | Max Flow [cfs] | Min Flow [cfs] | Min/Max Delta Flow [cfs] | Max Us Velocity [fps] | Max Ds Velocity [fps] | Max Avg Velocity [fps] |
|-----------|-------------|----------------|----------------|--------------------------|-----------------------|-----------------------|------------------------|
| L-0050W | 2 YR 24 HR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| L-0050W | 25 YR 24 HR | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |

Simulation: 100 YR 1 HR

Scenario: Scenario1

Run Date/Time: 7/28/2022 3:07:44 PM

Program Version: ICPR4 4.07.08

General

Run Mode: Normal

| | Year | Month | Day | Hour [hr] |
|-------------|------|-------|-----|-----------|
| Start Time: | 0 | 0 | 0 | 0.0000 |
| End Time: | 0 | 0 | 0 | 4.0000 |

| | Hydrology [sec] | Surface Hydraulics [sec] | Groundwater [sec] |
|-----------------------|-----------------|--------------------------|-------------------|
| Min Calculation Time: | 60.0000 | 0.5000 | 900.0000 |
| Max Calculation Time: | | 0.5000 | |

Output Time Increments

Hydrology

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Surface Hydraulics

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Groundwater

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| | | | | |

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 360.0000 |

Restart File
 Save Restart: False

Resources & Lookup Tables

Resources
 Rainfall Folder:
 Reference ET Folder:
 Unit Hydrograph Folder:

Lookup Tables
 Boundary Stage Set:
 Extern Hydrograph Set:
 Curve Number Set: 1

 Green-Ampt Set:
 Vertical Layers Set:
 Impervious Set: 1
 Roughness Set:
 Crop Coef Set:
 Fillable Porosity Set:
 Conductivity Set:
 Leakage Set:

Tolerances & Options

Time Marching: SAOR
 Max Iterations: 8
 Over-Relax Weight: 0.5 dec
 Fact:
 dZ Tolerance: 0.0050 ft

 Max dZ: 1.0000 ft
 Link Optimizer Tol: 0.0000 ft

 Edge Length Option: Automatic

 Dflt Damping (2D): 0.0000 ft
 Min Node Srf Area: 100 ft2
 (2D):
 Energy Switch (2D): Energy

IA Recovery Time: 24.0000 hr
 ET for Manual Basins: False

 Smp/Man Basin Rain Opt: Global
 OF Region Rain Opt: No Rainfall
 Rainfall Name: ~FDOT-1
 Rainfall Amount: 4.87 in
 Storm Duration: 1.0000 hr

 Dflt Damping (1D): 0.0000 ft
 Min Node Srf Area: 100 ft2
 (1D):
 Energy Switch (1D): Energy

Comment:

Simulation: 100 YR 2 HR

Scenario: Scenario1
 Run Date/Time: 7/28/2022 3:07:45 PM
 Program Version: ICPR4 4.07.08

General

Run Mode: Normal

| | Year | Month | Day | Hour [hr] |
|-------------|------|-------|-----|-----------|
| Start Time: | 0 | 0 | 0 | 0.0000 |
| End Time: | 0 | 0 | 0 | 4.0000 |

| | Hydrology [sec] | Surface Hydraulics [sec] | Groundwater [sec] |
|-----------------------|-----------------|--------------------------|-------------------|
| Min Calculation Time: | 60.0000 | 0.5000 | 900.0000 |
| Max Calculation Time: | | 0.5000 | |

Output Time Increments

Hydrology

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Surface Hydraulics

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Groundwater

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 360.0000 |

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
Reference ET Folder:
Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set:
Extern Hydrograph Set:
Curve Number Set: 1

Green-Ampt Set:
Vertical Layers Set:
Impervious Set: 1
Roughness Set:
Crop Coef Set:
Fillable Porosity Set:
Conductivity Set:
Leakage Set:

Tolerances & Options

| | |
|-------------------------------|---------------------------------|
| Time Marching: SAOR | IA Recovery Time: 24.0000 hr |
| Max Iterations: 8 | ET for Manual Basins: False |
| Over-Relax Weight 0.5 dec | |
| Fact: | |
| dZ Tolerance: 0.0050 ft | Smp/Man Basin Rain Global |
| | Opt: |
| Max dZ: 1.0000 ft | OF Region Rain Opt: No Rainfall |
| Link Optimizer Tol: 0.0000 ft | Rainfall Name: ~FDOT-2 |
| | Rainfall Amount: 6.21 in |
| Edge Length Option: Automatic | Storm Duration: 2.0000 hr |
| | |
| Dflt Damping (2D): 0.0000 ft | Dflt Damping (1D): 0.0000 ft |
| Min Node Srf Area 100 ft2 | Min Node Srf Area 100 ft2 |
| (2D): | (1D): |
| Energy Switch (2D): Energy | Energy Switch (1D): Energy |

Comment:

Simulation: 100 YR 4 HR

Scenario: Scenario1
 Run Date/Time: 7/28/2022 3:07:46 PM
 Program Version: ICPR4 4.07.08

General

Run Mode: Normal

| | Year | Month | Day | Hour [hr] |
|-------------|------|-------|-----|-----------|
| Start Time: | 0 | 0 | 0 | 0.0000 |
| End Time: | 0 | 0 | 0 | 8.0000 |

| | Hydrology [sec] | Surface Hydraulics [sec] | Groundwater [sec] |
|-----------------------|-----------------|--------------------------|-------------------|
| Min Calculation Time: | 60.0000 | 0.5000 | 900.0000 |
| Max Calculation Time: | | 0.5000 | |

Output Time Increments

Hydrology

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Surface Hydraulics

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Groundwater

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 360.0000 |

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
Reference ET Folder:
Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set:
Extern Hydrograph Set:
Curve Number Set: 1

Green-Ampt Set:
Vertical Layers Set:
Impervious Set: 1
Roughness Set:
Crop Coef Set:
Fillable Porosity Set:
Conductivity Set:
Leakage Set:

Tolerances & Options

Time Marching: SAOR
Max Iterations: 8
Over-Relax Weight: 0.5 dec
Fact:
dZ Tolerance: 0.0050 ft

Max dZ: 1.0000 ft
Link Optimizer Tol: 0.0000 ft

Edge Length Option: Automatic

Dflt Damping (2D): 0.0000 ft
Min Node Srf Area: 100 ft2
(2D):
Energy Switch (2D): Energy

IA Recovery Time: 24.0000 hr
ET for Manual Basins: False

Smp/Man Basin Rain Opt: Global
OF Region Rain Opt: No Rainfall
Rainfall Name: ~FDOT-4
Rainfall Amount: 7.88 in
Storm Duration: 4.0000 hr

Dflt Damping (1D): 0.0000 ft
Min Node Srf Area: 100 ft2
(1D):
Energy Switch (1D): Energy

Comment:

Simulation: 100 YR & HR

Scenario: Scenario1
Run Date/Time: 7/28/2022 3:07:48 PM

Program Version: ICPR4 4.07.08

General

Run Mode: Normal

| | Year | Month | Day | Hour [hr] |
|-------------|------|-------|-----|-----------|
| Start Time: | 0 | 0 | 0 | 0.0000 |
| End Time: | 0 | 0 | 0 | 12.0000 |

| | Hydrology [sec] | Surface Hydraulics [sec] | Groundwater [sec] |
|-----------------------|-----------------|--------------------------|-------------------|
| Min Calculation Time: | 60.0000 | 0.5000 | 900.0000 |
| Max Calculation Time: | | 0.5000 | |

Output Time Increments

Hydrology

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Surface Hydraulics

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Groundwater

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 360.0000 |

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
 Reference ET Folder:
 Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set:
 Extern Hydrograph Set:
 Curve Number Set: 1

 Green-Ampt Set:
 Vertical Layers Set:
 Impervious Set: 1
 Roughness Set:
 Crop Coef Set:
 Fillable Porosity Set:
 Conductivity Set:
 Leakage Set:

Tolerances & Options

| | |
|---------------------------------|---------------------------------|
| Time Marching: SAOR | IA Recovery Time: 24.0000 hr |
| Max Iterations: 8 | ET for Manual Basins: False |
| Over-Relax Weight: 0.5 dec | |
| Fact: | |
| dZ Tolerance: 0.0050 ft | Smp/Man Basin Rain: Global |
| | Opt: |
| Max dZ: 1.0000 ft | OF Region Rain Opt: No Rainfall |
| Link Optimizer Tol: 0.0000 ft | Rainfall Name: ~FDOT-8 |
| | Rainfall Amount: 9.92 in |
| Edge Length Option: Automatic | Storm Duration: 8.0000 hr |
| Dflt Damping (2D): 0.0000 ft | Dflt Damping (1D): 0.0000 ft |
| Min Node Srf Area (2D): 100 ft2 | Min Node Srf Area (1D): 100 ft2 |
| | (1D): |
| Energy Switch (2D): Energy | Energy Switch (1D): Energy |

Comment:

Simulation: 100YR 24HR

Scenario: Scenario1
 Run Date/Time: 7/28/2022 3:07:51 PM
 Program Version: ICPR4 4.07.08

General

Run Mode: Normal

| | Year | Month | Day | Hour [hr] |
|-------------|------|-------|-----|-----------|
| Start Time: | 0 | 0 | 0 | 0.0000 |
| End Time: | 0 | 0 | 0 | 30.0000 |

| | Hydrology [sec] | Surface Hydraulics [sec] | Groundwater [sec] |
|-----------------------|-----------------|--------------------------|-------------------|
| Min Calculation Time: | 60.0000 | 0.5000 | 900.0000 |
| Max Calculation Time: | | 0.5000 | |

Output Time Increments

Hydrology

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Surface Hydraulics

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
|------|-------|-----|-----------|----------------------|

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Groundwater

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 360.0000 |

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
 Reference ET Folder:
 Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set:
 Extern Hydrograph Set:
 Curve Number Set: 1

 Green-Ampt Set:
 Vertical Layers Set:
 Impervious Set: 1
 Roughness Set:
 Crop Coef Set:
 Fillable Porosity Set:
 Conductivity Set:
 Leakage Set:

Tolerances & Options

Time Marching: SAOR
 Max Iterations: 8
 Over-Relax Weight: 0.5 dec
 Fact:
 dZ Tolerance: 0.0050 ft

 Max dZ: 1.0000 ft
 Link Optimizer Tol: 0.0000 ft

 Edge Length Option: Automatic

 Dflt Damping (2D): 0.0000 ft
 Min Node Srf Area: 100 ft2
 (2D):
 Energy Switch (2D): Energy

IA Recovery Time: 24.0000 hr
 ET for Manual Basins: False

 Smp/Man Basin Rain: Global
 Opt:
 OF Region Rain Opt: No Rainfall
 Rainfall Name: ~FDOT-24
 Rainfall Amount: 13.90 in
 Storm Duration: 24.0000 hr

 Dflt Damping (1D): 0.0000 ft
 Min Node Srf Area: 100 ft2
 (1D):
 Energy Switch (1D): Energy

Comment:

Simulation: 2 YR 24 HR

Scenario: Scenario1
 Run Date/Time: 7/28/2022 3:07:59 PM
 Program Version: ICPR4 4.07.08

General

Run Mode: Normal

| | Year | Month | Day | Hour [hr] |
|-------------|------|-------|-----|-----------|
| Start Time: | 0 | 0 | 0 | 0.0000 |
| End Time: | 0 | 0 | 0 | 30.0000 |

| | Hydrology [sec] | Surface Hydraulics [sec] | Groundwater [sec] |
|-----------------------|-----------------|--------------------------|-------------------|
| Min Calculation Time: | 60.0000 | 0.5000 | 900.0000 |
| Max Calculation Time: | | 0.5000 | |

Output Time Increments

Hydrology

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Surface Hydraulics

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Groundwater

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 360.0000 |

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
 Reference ET Folder:
 Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set:
 Extern Hydrograph Set:
 Curve Number Set: 1

 Green-Ampt Set:
 Vertical Layers Set:
 Impervious Set: 1
 Roughness Set:
 Crop Coef Set:
 Fillable Porosity Set:

Conductivity Set:
Leakage Set:

Tolerances & Options

| | |
|---------------------------------|---------------------------------|
| Time Marching: SAOR | IA Recovery Time: 24.0000 hr |
| Max Iterations: 8 | ET for Manual Basins: False |
| Over-Relax Weight: 0.5 dec | |
| Fact: | |
| dZ Tolerance: 0.0050 ft | Smp/Man Basin Rain: Global |
| | Opt: |
| Max dZ: 1.0000 ft | OF Region Rain Opt: No Rainfall |
| Link Optimizer Tol: 0.0000 ft | Rainfall Name: ~SCSIII-24 |
| | Rainfall Amount: 5.56 in |
| Edge Length Option: Automatic | Storm Duration: 24.0000 hr |
| | |
| Dflt Damping (2D): 0.0000 ft | Dflt Damping (1D): 0.0000 ft |
| Min Node Srf Area (2D): 100 ft2 | Min Node Srf Area (1D): 100 ft2 |
| | |
| Energy Switch (2D): Energy | Energy Switch (1D): Energy |

Comment:

Simulation: 25 YR 1 HR

Scenario: Scenario1
Run Date/Time: 7/28/2022 3:08:06 PM
Program Version: ICPR4 4.07.08

General

Run Mode: Normal

| | Year | Month | Day | Hour [hr] |
|-------------|------|-------|-----|-----------|
| Start Time: | 0 | 0 | 0 | 0.0000 |
| End Time: | 0 | 0 | 0 | 4.0000 |

| | Hydrology [sec] | Surface Hydraulics [sec] | Groundwater [sec] |
|-----------------------|-----------------|--------------------------|-------------------|
| Min Calculation Time: | 60.0000 | 0.5000 | 900.0000 |
| Max Calculation Time: | | 0.5000 | |

Output Time Increments

Hydrology

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Surface Hydraulics

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Groundwater

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 360.0000 |

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
 Reference ET Folder:
 Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set:
 Extern Hydrograph Set:
 Curve Number Set: 1

 Green-Ampt Set:
 Vertical Layers Set:
 Impervious Set: 1
 Roughness Set:
 Crop Coef Set:
 Fillable Porosity Set:
 Conductivity Set:
 Leakage Set:

Tolerances & Options

| | |
|-------------------------------|---------------------------------|
| Time Marching: SAOR | IA Recovery Time: 24.0000 hr |
| Max Iterations: 8 | ET for Manual Basins: False |
| Over-Relax Weight: 0.5 dec | |
| Fact: | |
| dZ Tolerance: 0.0050 ft | Smp/Man Basin Rain: Global |
| | Opt: |
| Max dZ: 1.0000 ft | OF Region Rain Opt: No Rainfall |
| Link Optimizer Tol: 0.0000 ft | Rainfall Name: ~FDOT-1 |
| | Rainfall Amount: 3.87 in |
| Edge Length Option: Automatic | Storm Duration: 1.0000 hr |
| | |
| Dflt Damping (2D): 0.0000 ft | Dflt Damping (1D): 0.0000 ft |
| Min Node Srf Area: 100 ft2 | Min Node Srf Area: 100 ft2 |
| (2D): | (1D): |
| Energy Switch (2D): Energy | Energy Switch (1D): Energy |

Comment:

Simulation: 25 YR 2 HR

Scenario: Scenario1
 Run Date/Time: 7/28/2022 3:08:07 PM
 Program Version: ICPR4 4.07.08

General

Run Mode: Normal

| | Year | Month | Day | Hour [hr] |
|-------------|------|-------|-----|-----------|
| Start Time: | 0 | 0 | 0 | 0.0000 |
| End Time: | 0 | 0 | 0 | 4.0000 |

| | Hydrology [sec] | Surface Hydraulics [sec] | Groundwater [sec] |
|-----------------------|-----------------|--------------------------|-------------------|
| Min Calculation Time: | 60.0000 | 0.5000 | 900.0000 |
| Max Calculation Time: | | 0.5000 | |

Output Time Increments

Hydrology

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Surface Hydraulics

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Groundwater

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 360.0000 |

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
 Reference ET Folder:
 Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set:
 Extern Hydrograph Set:
 Curve Number Set: 1

 Green-Ampt Set:
 Vertical Layers Set:
 Impervious Set: 1
 Roughness Set:
 Crop Coef Set:
 Fillable Porosity Set:

Conductivity Set:
Leakage Set:

Tolerances & Options

| | |
|---------------------------------|---------------------------------|
| Time Marching: SAOR | IA Recovery Time: 24.0000 hr |
| Max Iterations: 8 | ET for Manual Basins: False |
| Over-Relax Weight: 0.5 dec | |
| Fact: | |
| dZ Tolerance: 0.0050 ft | Smp/Man Basin Rain Opt: Global |
| | OF Region Rain Opt: No Rainfall |
| Max dZ: 1.0000 ft | Rainfall Name: ~FDOT-2 |
| Link Optimizer Tol: 0.0000 ft | Rainfall Amount: 4.93 in |
| | Storm Duration: 2.0000 hr |
| Edge Length Option: Automatic | |
| Dflt Damping (2D): 0.0000 ft | Dflt Damping (1D): 0.0000 ft |
| Min Node Srf Area (2D): 100 ft2 | Min Node Srf Area (1D): 100 ft2 |
| | Energy Switch (1D): Energy |
| Energy Switch (2D): Energy | |

Comment:

Simulation: 25 YR 24 HR

Scenario: Scenario1
Run Date/Time: 7/28/2022 3:08:09 PM
Program Version: ICPR4 4.07.08

General

Run Mode: Normal

| | Year | Month | Day | Hour [hr] |
|-------------|------|-------|-----|-----------|
| Start Time: | 0 | 0 | 0 | 0.0000 |
| End Time: | 0 | 0 | 0 | 30.0000 |

| | Hydrology [sec] | Surface Hydraulics [sec] | Groundwater [sec] |
|-----------------------|-----------------|--------------------------|-------------------|
| Min Calculation Time: | 60.0000 | 0.5000 | 900.0000 |
| Max Calculation Time: | | 0.5000 | |

Output Time Increments

Hydrology

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Surface Hydraulics

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Groundwater

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 360.0000 |

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
 Reference ET Folder:
 Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set:
 Extern Hydrograph Set:
 Curve Number Set: 1

 Green-Ampt Set:
 Vertical Layers Set:
 Impervious Set: 1
 Roughness Set:
 Crop Coef Set:
 Fillable Porosity Set:
 Conductivity Set:
 Leakage Set:

Tolerances & Options

Time Marching: SAOR
 Max Iterations: 8
 Over-Relax Weight: 0.5 dec
 Fact:
 dZ Tolerance: 0.0050 ft

 Max dZ: 1.0000 ft
 Link Optimizer Tol: 0.0000 ft

 Edge Length Option: Automatic

 Dflt Damping (2D): 0.0000 ft
 Min Node Srf Area: 100 ft2
 (2D):
 Energy Switch (2D): Energy

IA Recovery Time: 24.0000 hr
 ET for Manual Basins: False

 Smp/Man Basin Rain: Global
 Opt:
 OF Region Rain Opt: No Rainfall
 Rainfall Name: ~FDOT-24
 Rainfall Amount: 10.30 in
 Storm Duration: 24.0000 hr

 Dflt Damping (1D): 0.0000 ft
 Min Node Srf Area: 100 ft2
 (1D):
 Energy Switch (1D): Energy

Comment:

Simulation: 25 YR 4 HR

Scenario: Scenario1
 Run Date/Time: 7/28/2022 3:08:16 PM
 Program Version: ICPR4 4.07.08

General

Run Mode: Normal

| | Year | Month | Day | Hour [hr] |
|-------------|------|-------|-----|-----------|
| Start Time: | 0 | 0 | 0 | 0.0000 |
| End Time: | 0 | 0 | 0 | 8.0000 |

| | Hydrology [sec] | Surface Hydraulics [sec] | Groundwater [sec] |
|-----------------------|-----------------|--------------------------|-------------------|
| Min Calculation Time: | 60.0000 | 0.5000 | 900.0000 |
| Max Calculation Time: | | 0.5000 | |

Output Time Increments

Hydrology

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Surface Hydraulics

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Groundwater

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 360.0000 |

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
 Reference ET Folder:
 Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set:
 Extern Hydrograph Set:
 Curve Number Set: 1

 Green-Ampt Set:
 Vertical Layers Set:
 Impervious Set: 1
 Roughness Set:
 Crop Coef Set:
 Fillable Porosity Set:

Conductivity Set:
Leakage Set:

Tolerances & Options

| | |
|---------------------------------|---------------------------------|
| Time Marching: SAOR | IA Recovery Time: 24.0000 hr |
| Max Iterations: 8 | ET for Manual Basins: False |
| Over-Relax Weight: 0.5 dec | |
| Fact: | |
| dZ Tolerance: 0.0050 ft | Smp/Man Basin Rain Opt: Global |
| | OF Region Rain Opt: No Rainfall |
| Max dZ: 1.0000 ft | Rainfall Name: ~FDOT-4 |
| Link Optimizer Tol: 0.0000 ft | Rainfall Amount: 6.19 in |
| | Storm Duration: 4.0000 hr |
| Edge Length Option: Automatic | |
| Dflt Damping (2D): 0.0000 ft | Dflt Damping (1D): 0.0000 ft |
| Min Node Srf Area (2D): 100 ft2 | Min Node Srf Area (1D): 100 ft2 |
| | Energy Switch (1D): Energy |
| Energy Switch (2D): Energy | |

Comment:

Simulation: 25 YR 8 HR

Scenario: Scenario1
Run Date/Time: 7/28/2022 3:08:18 PM
Program Version: ICPR4 4.07.08

General

Run Mode: Normal

| | Year | Month | Day | Hour [hr] |
|-------------|------|-------|-----|-----------|
| Start Time: | 0 | 0 | 0 | 0.0000 |
| End Time: | 0 | 0 | 0 | 12.0000 |

| | Hydrology [sec] | Surface Hydraulics [sec] | Groundwater [sec] |
|-----------------------|-----------------|--------------------------|-------------------|
| Min Calculation Time: | 60.0000 | 0.5000 | 900.0000 |
| Max Calculation Time: | | 0.5000 | |

Output Time Increments

Hydrology

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Surface Hydraulics

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 15.0000 |

Groundwater

| Year | Month | Day | Hour [hr] | Time Increment [min] |
|------|-------|-----|-----------|----------------------|
| 0 | 0 | 0 | 0.0000 | 360.0000 |

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:
 Reference ET Folder:
 Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set:
 Extern Hydrograph Set:
 Curve Number Set: 1
 Green-Ampt Set:
 Vertical Layers Set:
 Impervious Set: 1
 Roughness Set:
 Crop Coef Set:
 Fillable Porosity Set:
 Conductivity Set:
 Leakage Set:

Tolerances & Options

| | |
|-------------------------------|---------------------------------|
| Time Marching: SAOR | IA Recovery Time: 24.0000 hr |
| Max Iterations: 8 | ET for Manual Basins: False |
| Over-Relax Weight 0.5 dec | |
| Fact: | |
| dZ Tolerance: 0.0050 ft | Smp/Man Basin Rain Global |
| | Opt: |
| Max dZ: 1.0000 ft | OF Region Rain Opt: No Rainfall |
| Link Optimizer Tol: 0.0000 ft | Rainfall Name: ~FDOT-8 |
| | Rainfall Amount: 7.64 in |
| Edge Length Option: Automatic | Storm Duration: 8.0000 hr |
| | |
| Dflt Damping (2D): 0.0000 ft | Dflt Damping (1D): 0.0000 ft |
| Min Node Srf Area 100 ft2 | Min Node Srf Area 100 ft2 |
| (2D): | (1D): |
| Energy Switch (2D): Energy | Energy Switch (1D): Energy |

Comment:

Node Max Conditions [Scenario1]

| Node Name | Sim Name | Warning Stage [ft] | Max Stage [ft] | Min/Max Delta Stage [ft] | Max Total Inflow [cfs] | Max Total Outflow [cfs] | Max Surface Area [ft2] |
|-----------|-------------|--------------------|----------------|--------------------------|------------------------|-------------------------|------------------------|
| BNDY-POST | 100 YR 1 HR | 10.00 | 9.50 | 0.0000 | 0.78 | 0.00 | 0 |
| BNDY-PRE | 100 YR 1 HR | 10.00 | 9.50 | 0.0000 | 4.59 | 0.00 | 0 |
| BNDY-POST | 100 YR 2 HR | 10.00 | 9.50 | 0.0000 | 2.34 | 0.00 | 0 |
| BNDY-PRE | 100 YR 2 HR | 10.00 | 9.50 | 0.0000 | 4.11 | 0.00 | 0 |
| BNDY-POST | 100 YR 4 HR | 10.00 | 9.50 | 0.0000 | 4.21 | 0.00 | 0 |
| BNDY-PRE | 100 YR 4 HR | 10.00 | 9.50 | 0.0000 | 3.32 | 0.00 | 0 |
| BNDY-POST | 100 YR 8 HR | 10.00 | 9.50 | 0.0000 | 5.65 | 0.00 | 0 |
| BNDY-PRE | 100 YR 8 HR | 10.00 | 9.50 | 0.0000 | 4.47 | 0.00 | 0 |
| BNDY-POST | 100YR 24HR | 10.00 | 9.50 | 0.0000 | 2.09 | 0.00 | 0 |
| BNDY-PRE | 100YR 24HR | 10.00 | 9.50 | 0.0000 | 1.70 | 0.00 | 0 |
| BNDY-POST | 2 YR 24 HR | 10.00 | 9.50 | 0.0000 | 0.26 | 0.00 | 0 |
| BNDY-PRE | 2 YR 24 HR | 10.00 | 9.50 | 0.0000 | 1.93 | 0.00 | 0 |
| BNDY-POST | 25 YR 1 HR | 10.00 | 9.50 | 0.0000 | 0.13 | 0.00 | 0 |
| BNDY-PRE | 25 YR 1 HR | 10.00 | 9.50 | 0.0000 | 3.43 | 0.00 | 0 |
| BNDY-POST | 25 YR 2 HR | 10.00 | 9.50 | 0.0000 | 0.66 | 0.00 | 0 |
| BNDY-PRE | 25 YR 2 HR | 10.00 | 9.50 | 0.0000 | 2.82 | 0.00 | 0 |
| BNDY-POST | 25 YR 24 HR | 10.00 | 9.50 | 0.0000 | 0.94 | 0.00 | 0 |
| BNDY-PRE | 25 YR 24 HR | 10.00 | 9.50 | 0.0000 | 0.99 | 0.00 | 0 |
| BNDY-POST | 25 YR 4 HR | 10.00 | 9.50 | 0.0000 | 2.16 | 0.00 | 0 |
| BNDY-PRE | 25 YR 4 HR | 10.00 | 9.50 | 0.0000 | 2.08 | 0.00 | 0 |
| BNDY-POST | 25 YR 8 HR | 10.00 | 9.50 | 0.0000 | 2.15 | 0.00 | 0 |
| BNDY-PRE | 25 YR 8 HR | 10.00 | 9.50 | 0.0000 | 2.72 | 0.00 | 0 |

**APALACHICOLA CITY COMMISSION
REQUEST FOR BOARD ACTION
Meeting Date:**

SUBJECT: Bench Donation for River Front Park

AGENDA INFORMATION:

Agenda Location: New Business
Item Number: 2
Department: Parks & Recreation Committee
Contact: Donna Ingle
Presenter: Parks & Recreation Committee Representative

BRIEF SUMMARY:

Lynn Wilder would like to donate another bench for River Front Park. The current Park Memorialization Form has a price of \$2000.00, unfortunately the price has increased and shipping costs are unknown. Final pricing is difficult to determine so we are asking the commission to approve the purchase of the bench by Lynn Wilder along with the wording of the plaque that will be installed.

RECOMMENDED MOTION AND REQUESTED ACTIONS:

Approve purchase of bench and plaque by Lynn Wilder as described in the attached Memorialization Application.

FUNDING SOURCE:

Lynn Wilder

ATTACHMENTS:

City of Apalachicola Memorialization Application
Letter of Recommendation from River's Edge Apalachicola, LLC (Park Adoptee) , Site Plan

STAFF'S COMMENTS AND RECOMMENDATIONS:



City of Apalachicola Memorialization Application

Donor name LYNN WILDER

Business name (if necessary) _____

Donor address 133 Avenue C

Phone number 404-353-1921

Email 3dogpac@gmail.com

Lafayette Park bricks how many _____ @ \$75/brick = \$ _____
Text to be engraved on brick, 3 lines maximum, 20 characters per line
Please print legibly. (To be installed at Lafayette Park only.)

Veterans bricks how many _____ @ \$250/brick = \$ _____
Text to be engraved on brick, 3 lines maximum, 20 characters per line. Please print legibly. (To be installed only at Veterans Memorial Plaza. The difference in cost goes to support the upkeep of the 3 Soldiers Statue.)

Text for bricks

Trees/shrubs \$500 minimum _____ \$ _____

Litter can \$1,800 how many _____ @ \$1,800/can = \$ _____

Benches ~~\$2,000~~ how many 1 @ ~~\$2,000~~/bench = \$ unknown

Table+chairs \$4,000 how many _____ @ \$4,000/ table = \$ _____

Personalization for plaques (See back for personalization and payment.)

Personalization for plaques

100 characters total (include spaces in the character count). Please print legibly.
The city reserves the right to refuse language that may be offensive or inappropriate.
You are responsible for proofreading your plaque.

In Loving Memory of
Kent Arden Kinsinger
1949-2022

Wishing You Fair Winds
& Following Seas ~ Lynn

100
Characters

Payment

Ask the clerk to give you a copy of this form as your receipt for tax purposes.
Keep it for your records.

Cash _____ Accepted by _____

Check _____ Number _____

Credit card

Date _____

Signature _____

Additional details

Please list below, your first, second and third choices for the park in which you would like your donation placed. Although the final choice of the installation location of a donated item is at the discretion of the city or its designated representative, an effort will be made to honor your request...

River Front Park - walkway facing the river
in line with the two existing benches. On
the south end of the park

July 26, 2022

Donna Ingle
River's Edge Apalachicola, LLC
59 Commerce Street
Apalachicola, FL 32320

City Commissioners
City of Apalachicola
192 Coach Wagoner Blvd.
Apalachicola, FL 32320

Dear Commissioners,

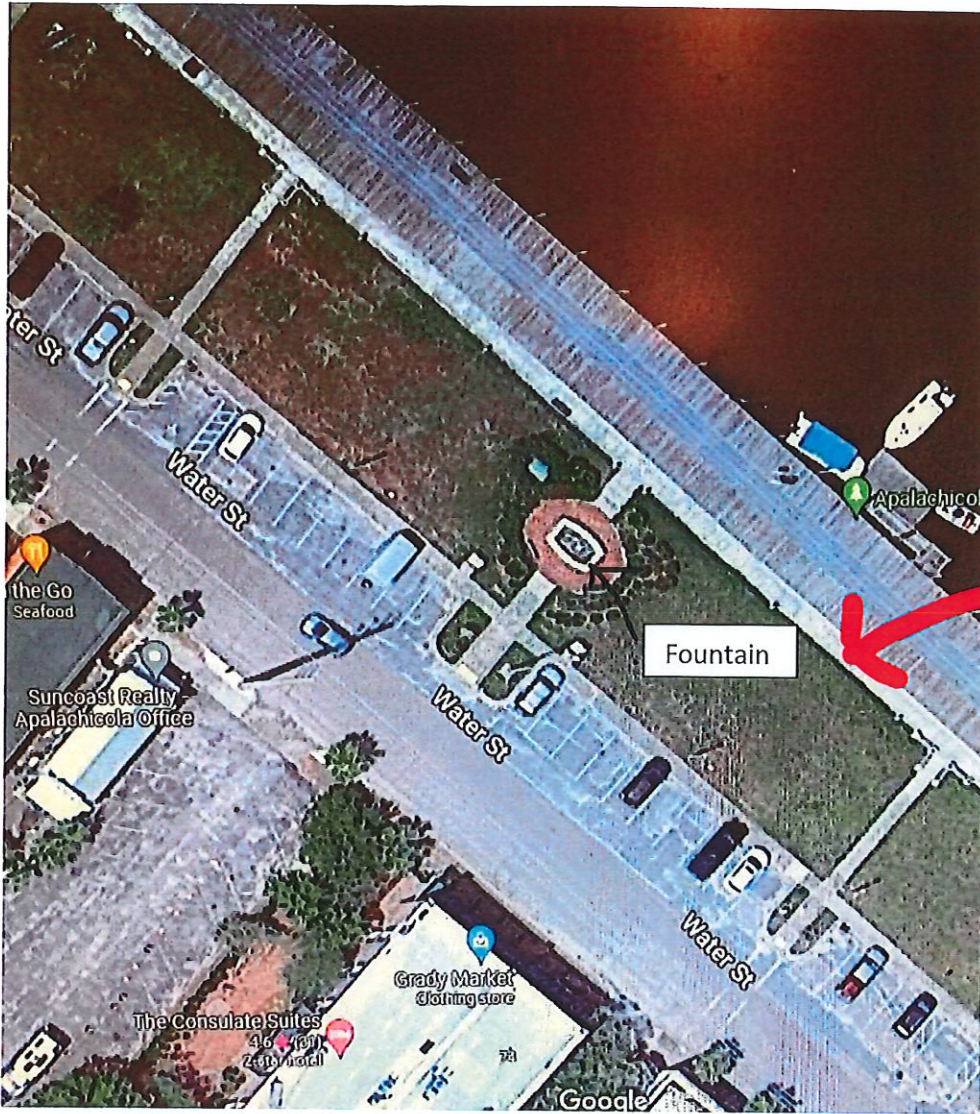
The 'Adopt A Park' Program has been well received and progress continues to be made. As the Adoptee of River Front Park, I would like to announce to the Commission that two benches have been donated and the original benches around the fountain have been repaired and refurbished. Many other contributions of both time and money have been made by volunteers.

Lynn Wilder has offered to donate another bench to River Front Park in memory of Kent Arden Kinsinger. The Parks and Recreation Committee has approved this request. Ms. Wilder has volunteered to take responsibility for the ordering and shipping issues involved. The City would be needed to help with placement when the new bench arrives.

Thank you for your endorsement of the 'Adopt A Park' Program and the continuation of the beautification of our Parks and City.



Donna Ingle
Adoptee River Front Park



Bench will be placed along board walk in line with current benches and to the right of old floating dock if Facing the river.

**APALACHICOLA CITY COMMISSION
REQUEST FOR BOARD ACTION
Meeting Date: 8/2/22**

SUBJECT: Funding for Chestnut Street Cemetery Maintenance

AGENDA INFORMATION:

Agenda Location: New BUbusiness

Item Number: 3

Department:

Contact: Caty Greene 850-323-2305, catygreene32320@gmail.com

Presenter: Caty Greene, President AAHS

BRIEF SUMMARY: Request for funds (\$25,000 requested) for immediate use to address deferred maintenance in the cemetery including monument repair, tree maintenance, fencing maintenance and repair, possible landscaping improvement

RECOMMENDED MOTION AND REQUESTED ACTIONS:

FUNDING SOURCE: American Rescue Plan (ARPA) or budget surplus

ATTACHMENTS: 1) Summary from AAHS Cemetery Committee 2) Scope of Work for Special Category Grant application (submitted 6/1/22) 3) List of Monuments in need of repair 4) List of trees needing attention

STAFF'S COMMENTS AND RECOMMENDATIONS:

Chestnut Street Cemetery Committee's Request for Funds from the America Rescue Plan

The Apalachicola Historical Society (AAHS) is requesting \$25,000 from the America Rescue Plan for long overdue repairs to the Chestnut Street Cemetery . The AAHS's Cemetery Committee is advocating for funds to begin repairs outlined in the Historic Preservation Plan initiated by the City of Apalachicola in 2016 (see complete plan at the AAHS website under resources) . Since this plan was obtained the cemetery has weathered more storms and has sustained more damage due to inaction on the part of the city.

The Chestnut Street Cemetery is a valuable asset to Apalachicola historically and contains many monuments and ornamental fencing against a tropical backdrop that contributes to it's allure. The craftsmanship in the structures is from a bygone era and once gone cannot be replaced. Most importantly it is an outdoor museum providing the history of our local families. Tourists are very impressed with its uniqueness but often comment on the lack of care shown to this beautiful space. We need to step up and decide what kind of legacy we want to leave for generations to come.

The Cemetery committee is dedicated to preservation of this site . Funding for the cemetery always seems to fall to the bottom of the to do list. The committee is asking for \$ 25,000 to kick start our most pressing preservation needs. The funding would be used as follows:

- 1) \$3000 for tree work that needs to be done soon. The city has agreed to remove the most hazardous trees but there still needs to be some basic tree care done to remove dead limbs reducing further damage to the monuments and fences as well as a being a hazard to our visitors
- 2) \$3000 to paint and continue repairs to stabilize fences . \$9000 was spent on repairs to the perimeter fence after the Preservation report. The fence was never painted and is literally rusting away. Rust stabilizer and paint would be the priority to protect our investment .
- 3) \$19000 would be used to contract repair of headstones . This would be a drop in the bucket for these repairs, ,but would be a good starting point to stabilize monuments that could potentially cause significant injury or damage to visitors , the monument , or surrounding structures . Getting monuments up off the ground would prevent further deterioration of the monument and preserve the monument as it was intended to be a marker representing a life.

Thank you in advance for consideration of our proposal

Respectfully Submitted,

Shan Raetzloff, Chairperson Cemetery Committee & Caty Greene, President AAHS

Department of State, Division of Historical Resources Special Category submission 6/1/22

Item 1: Monument Repair

The poor condition of grave markers in the Chestnut Street cemetery were extensively documented in 2016 by James Miller, in Historic Preservation Plan for Chestnut Street Cemetery Apalachicola Florida". A portion of the report is included in the Demonstration of need submission. The full report can be accessed at <https://aahs.wildapricot.org/HResources> Repair of monuments will be performed by a contractor selected based on State contracting rules. The work includes over 150 monuments in some need of repair. A list is included in the Demonstration of need submission

Work on the monuments will adhere to the National Park Service Preservation Brief #48. Only appropriate repair materials and techniques that do not damage historic markers will be used and records will be kept on specific repair materials used on individual grave markers. These records will comprise a database for all future cemetery maintenance and be available online for cemetery committee coordination.

Proposed grant funds: requested funds \$80,000; cash match \$3500, in-kind match \$6250

Project total \$\$89,750

Item 2: Ornamental Plot Fencing

The Chestnut Street Cemetery contains **twenty-six ornamental fences** surrounding family plots all of which are in some need of repair. These repairs range from small repairs to almost complete restoration. A list of the Ornamental Fences is included in the Demonstration of need submission. A specific example is the Spano Lot fence which includes scrollwork spelling out Catherine Spano's name. It is a particularly unique example.

Specialized expertise will be sought to repair or reconfigure these special funerary items. Damage, sustained by falling trees and overall deterioration will be addressed. Hurricane Michael damage from one fallen tree particularly damaging and significant. Full documentation of this part of the Scope of Work is represented in the NPS grant application, included in Optional Materials. A master database for all future cemetery maintenance will be established and maintained and be available online for cemetery committee coordination.

Proposed grant funds: requested funds \$12,000; cash match \$2,000, in-kind match \$4,250;

Project total \$18,250

Item 3: Pruning, dead wood removal & full removal

At the recommendation of Jim Miller in his 2016 report, in March 2017, a certified arborist analyzed all 171 trees in the cemetery identifying them by species and size (diameter) on a map, and assessing their health, likelihood of structural failure, and what would be affected should they fall (people, fences, monuments, and utilities). About one-fourth were recorded as dead or unsound and in need of removal, and another one-fourth were in need of pruning to improve health and structure to reduce risk of damage to monuments and fences. When the tree cutting work is completed, a tree replanting program needs to be undertaken. Tree inventory with recommendations is included in the Demonstration of need submission. Additional damage sustained from Hurricane Michael is documented in an AAHS application for National Park Service Subgrant application (in Optional Materials). The City of Apalachicola has assisted in some removal and pruning of trees which represent imminent danger. Contractor bids are already being sought for this work. All tree work records will comprise a database for all future cemetery maintenance and be available online for cemetery committee coordination.

Two Chapman Oaks (*quercus chapmanii*) have been identified in the cemetery. These are exceptionally old and large for this species. Both are in poor condition, but all efforts will be made to preserve them. It is thought they might have been planted in the cemetery by Dr. Alvan Chapman (Botanist, author of *Flora of Southeastern United States* 1860), who lived next to the cemetery.

Proposed grant funds: requested funds \$25,000; cash match \$2000, in-kind match \$5,250

Project total \$32,250

Item 4: Perimeter Fence and Gates

Previous restoration of the Chestnut Cemetery perimeter fence has been completed, but additional protection of the fence is urgently needed. Rust is eating away at the fence sections and will be addressed using specialized paint to prevent additional rust deterioration. Caps for gate and corner posts will be replaced and painted. All perimeter fence work, past and future will be included in a master database and be available online for cemetery committee coordination.

Proposed grant funds: requested funds \$9,000; cash match \$500, in-kind match \$4,000

Project total \$13,500

Item 5: Landscape upgrade

All historic cemeteries attempt to have landscaping appropriate to their age. Plant selection and plant removal will follow established guidelines.

Proposed grant funds: requested funds \$3,000; cash match \$0, in-kind match \$3,000

Project total \$6,000

Item 6: Grant administration:

Grant administration will be done by the President and the AAHS, the Chairman of the Cemetery Committee and additional persons with expertise in monuments and trees.

requested funds \$4,000; cash match \$0, in-kind match \$2,500

Project total \$6,500

Requested Grant Funds: 133,000

Total Match: 33,563

TOTAL GRANT FUNDS: 166,563

**CHESTNUT STREET CEMETERY
MONUMENTS NEEDING ATTENTION**

| Grave # | Name | Priority | Problem | Comments |
|---------|-------------------------------|----------|--|---|
| 3 | Aunt Bella | Low | Headstone may be unsecured | |
| 103 | Allen, Elizabeth M. | High | Leaning monument | Repaired by Creighton Brown Nov. 2016 |
| 118 | Baker, R. G. | Low | Leaning monument | |
| 228 | Austin, William Henry | Low | Monument not solidly attached to base | |
| 417 | Beale, Rebecca L. Clark | Low | Headstone off its base | |
| 526 | Blackrote, Catherine | Low | Leaning monument | |
| 470 | Brown, John | Low | Leaning monument | |
| 528 | Cantwell, James & Sophia | Low | Ledger displaced on the base | |
| 505 | Christine | Medium | Cross broken off top of monument | |
| 468 | Clarence | Low | Monument shifted on its base | |
| 316 | Cook, Charlotte | | | |
| 393 | Crook, Alexander | Low | Footstone leaning | |
| 78 | Cullen | Low | Leaning monument | |
| 214 | Damron, Florida | Low | Leaning monument | |
| 478 | Estes, C. L. | Medium | Monument leaning against a tree | |
| 218 | Falconi, Augustus | Low | Grave cradle partially buried | |
| 447 | Flavel, James & Elizabeth | Low | Leaning monument | |
| 175 | Fleming, Gracy | Low | Headstone on top of vault | |
| 281 | Gaines, Charley | Low | Leaning monument | |
| 337 | Gibson, Elizabeth | Low | Headstone rotated | |
| 476 | Gibson, John Robert | Medium | Headstone needs reattaching | |
| 221 | Gilpin, Robert | Low | Leaning monument | |
| 479 | Gist, W | Low | Leaning monument | |
| 406 | Gordon, Henry F | Medium | Obelisk off base | |
| 409 | Gordon, Thomas | Low | Leaning monument | |
| 93 | Grady, Alice St Clair Hartman | Low | Headstone rotated & urn unattached | |
| 94 | Grady, John E | Medium | Cradle and footstone displaced by tree | |
| 430 | Hancock, Anson | Medium | Obelisk off base | |
| 429 | Hancock, Florida | Medium | Grave displaced by tree | |
| 428 | Hancock, Nathaniel | Medium | Grave displaced by tree | |
| 432 | Hancock, Virginia | High | Leaning monument | Disassembled by Creighton Brown Nov. 2016 |
| 395 | Harris, C M | Low | Tablet off base | |
| 92 | Hartman, Jennie | High | Leaning monument | |

**CHESTNUT STREET CEMETERY
MONUMENTS NEEDING ATTENTION**

| | | | | |
|-----|------------------------------|--------|--|---|
| 91 | Hartman, St. Clair | Low | Leaning monument | |
| 212 | Hawley, Hezekiah | High | Vault deteriorating - ledger unsupported | |
| 241 | Hickey, Marie | Medium | Cracks in white bronze monument | |
| 201 | Hoffman, Bridget | High | Fallen headstone | Hurricane Michael damage |
| 434 | Hoge, Emma Louisa Jency | Medium | Reset ledger on base | |
| 449 | Hollinger, Sanchie E B | High | Leaning monument | |
| 541 | Hoyle, William | Low | Reset footstone | |
| 276 | Hudson, Elizabeth | High | Fallen headstone | Hurricane Michael damage |
| 216 | Hughes, Ann J | Low | Leaning monument | |
| 225 | Hull, Francis J | Low | Leaning monument | |
| 226 | Hull, R R | Low | Leaning monument | |
| 220 | Hurd, Jesse | Low | Footstone at wrong grave | |
| 60 | Hutchinson, Frances | High | Leaning monument | |
| 507 | Jenkins, Arietta Schuyler | Low | Leaning monument | |
| 506 | Jenkins, John | Low | Leaning monument | |
| 509 | Jenkins, John W | Medium | Tablet off base | Only slate monument in cemetery |
| 2 | Jenkins, June | Low | Tablet off base | |
| 106 | Johnson, Samuel S | Low | Footstone moved to other grave | |
| 343 | Kellupe, James | High | Vault deteriorating - ledger unsupported | |
| 475 | Lawrence, J, Sr. | Low | Marker affected by tree | |
| 492 | Lawrence, Joseph Jr. | Low | Leaning monument | Monument straightened |
| 290 | Long, Louis | High | Leaning monument | Disassembled by Creighton Brown Nov. 2016 |
| 335 | Lovett, Bridget Bradley | Low | Re-center monument | |
| 339 | Lovett, Catherine Ella | High | Cracked and leaning monument | Disassembled by Creighton Brown Nov. 2016 |
| 338 | Lovett, Peter | Low | Leaning monument | |
| 62 | Matthews, Mamie Frye | Medium | Headstone rotated | |
| 47 | McAuley, James O | Medium | Monument cracked | |
| 193 | MacKinney, James M | Medium | Ledger displaced on the base | |
| 512 | McLean, Margaret | Medium | Tablet off base | |
| 493 | McNeil, Emily Louise Stewart | Low | Obelisk rotated on base | |
| 495 | McNeil, John Malcom | Low | Clean off grave | |
| 496 | Messina, Louisa | Low | Repair cross | |
| 391 | Murat, Ella Florence | Low | Repair grave cradle | |
| 457 | Porter, Gilbert Rodman | Medium | Connection between headstone & base | |

**CHESTNUT STREET CEMETERY
MONUMENTS NEEDING ATTENTION**

| | | | | |
|-----|------------------------------|--------|---------------------------------------|---|
| 34 | Richard Reynolds | High | Marker affected by tree | |
| 250 | Unknown | High | Rebuild wooden fence around grave | |
| 323 | Rose | Low | Footstone leaning | |
| 207 | Ruan, James | Low | Tablet off base | |
| 415 | Ruan, John Gibbs | Medium | Headstone is not secure on base | |
| 414 | Ruan, Laura Caroline | Medium | Headstone broken | |
| 76 | Segree, Mindigo | High | Headstone off base | Hurricane Michael damage |
| 298 | Silva, James | Low | Leaning monument | |
| 107 | Sims, William | High | Repair headstone and vault | |
| 35 | Smith, Emmanuel | High | Broken headstone | |
| 419 | Smith, George | High | Broken ledger | |
| 198 | Smith, Mary Austin | High | Fallen and broken headstone | Hurricane Michael damage |
| 36 | Smith, Rita | High | Broken headstone | |
| 215 | Sodaberg, P J | Low | Leaning monument | |
| 222 | Stenseen, Marshall | Low | Tablet off base possibly | |
| 277 | Peterson, Gustave M | High | Leaning monument | Disassembled by Creighton Brown Nov. 2016 |
| 556 | Tiernay, James | High | Headstone broken | Hurricane Michael damage |
| 40 | Tucker, Little William Henry | Low | Footstone broken | |
| 108 | Tweed, William | Medium | Monument moved possibly | |
| 4 | McAlpin, M A | Medium | Leaning monument | |
| 58 | Unknown | Medium | Replace wooden headboard | |
| 59 | Unknown | Medium | Replace wooden headboard | |
| 151 | Unknown | Medium | Replace wooden headboard | |
| 350 | Unknown | Low | Brick monument deteriorating | |
| 351 | Unknown | Low | Brick monument deteriorating | |
| 352 | Unknown | Low | Brick monument deteriorating | |
| 484 | Unknown | Low | Brick monument deteriorating | |
| 532 | Unknown | Low | Broken ledger | |
| 555 | Unknown | High | Broken barrel vault | |
| 566 | Unknown | Low | Leaning footstone | |
| 577 | Unknown | Low | Footstone may be from different grave | |
| 280 | Unknown | Low | Broken tablet | |
| 386 | Wahler, John | Low | Leaning monument | |
| 466 | Wentworth | Low | Leaning monument | |

**CHESTNUT STREET CEMETERY
MONUMENTS NEEDING ATTENTION**

| | | | | |
|-----|--------------------------|--------|----------------------------------|--------------------------|
| 5 | White, George B | Low | Leaning monument | |
| 308 | Younger, John | Low | Leaning monument | |
| 272 | Fry, William Galen | High | Headstone off base | Hurricane Michael damage |
| 275 | Fry, Ollie | High | Leaning monument | Hurricane Michael damage |
| 446 | Abell, Hattie | High | Grout monument | |
| 362 | Allen, Philomena | Low | Leaning monument | |
| 265 | Campbell, William D | Medium | Headstone off base | |
| 266 | Campbell, James M | Medium | Headstone off base | |
| 54 | Catanetti, Dominick | Low | Broken grave cradle | |
| 185 | Cook, John | Medium | Brick support deteriorating | |
| 186 | Catherina Cook | Medium | Brick support deteriorating | |
| 324 | Snelgrove, Paul Richard | High | Base sinking, ledger unsupported | |
| 98 | Daly, Katie F | Medium | Tablet off base | |
| 136 | Egbert, Frederick Joseph | Low | Marker leaning | |
| 138 | Egbert, Mary Erricks | Low | Marker leaning | |
| 32 | Farley, Martha Sarah C | Medium | Tablet off base | |
| 286 | Long, James | High | Tablet broken | |
| 371 | Floyd, Samuel | Low | Repair footstone | |
| 45 | Fuller, William | Medium | Leaning monument | |
| 46 | Fuller, Mary A | Medium | Leaning monument | |
| 293 | Harris, A M | Low | Leaning monument | |
| 71 | Harrison, Reuben L | Low | Leaning monument | |
| 68 | Rogers, John | Low | Leaning monument | |
| 69 | Livingston, W E | Low | Leaning monument | |
| 235 | Hobart, Theodore E | Medium | Monument off base | |
| 441 | Hoffman, Valentine | Low | Leaning monument | |
| 436 | Hoffman, Annis | Low | Broken grave cradle | |
| 172 | Johnson, Clara & Martin | Low | Leaning monument | |
| 119 | Knickmeyer, Robert | Low | Leaning monument | |
| 81 | Lind, Jennie | Medium | Tablet off base | |
| 83 | Lind, Margaret | Low | Fill in under grave borders | |
| 114 | Dena A Marler | Low | Raise grave cradle | |
| 115 | Marler T Marler | Low | Raise grave cradle | |
| 12 | Sangaree, Clarence G | Medium | Cross loose in mortise | |

**CHESTNUT STREET CEMETERY
MONUMENTS NEEDING ATTENTION**

| | | | |
|-----|----------------------|--------|------------------------------|
| 424 | McGreevy, Catherine | Medium | Cross loose in mortise |
| 283 | McKnight, Eliza | Low | Grave cradle broken |
| 141 | Messina, Clarence | Medium | Cross loose |
| 140 | Messina, Josephine H | Low | Grave cradle sunken |
| 139 | Schmacker, Agnes | Low | Grave cradle sunken |
| 285 | Montgomery | Low | Grave cradle broken |
| 365 | Murat, John | Low | Leaning monument |
| 152 | Partridge, Louisiana | High | Grout monument |
| 399 | Ponder, Ellen B | High | Tablet off base |
| 518 | Ruge, George | Medium | Fill under ledger |
| 521 | Ruge, John & Fannie | Medium | Fill under ledger |
| 1 | Simmons, Eliza | High | Monument fallen |
| 167 | Sinclair, George | High | Ledger not supported by base |
| | | | Ledger not supported by base |
| | | | Ledger not supported by base |
| 332 | Vincent, Mary Ann | Medium | Cross broken |
| 153 | Zingarelli, Nena | High | Obelisk is off its base |
| 154 | Zingarelli, Genaro | High | Repair cross |
| 155 | Zingarelli, Joseph F | High | Repair cross |

Chestnut Cemetery Tree Inventory (11/16)

| Tree No. | Species | DBH | Health | Structural | Target (s) | Risk | Recommendations | Winterringer 4/4/22 update |
|----------|----------------------|-------|--------------|------------|------------|---------|---|--|
| 1 | WATER OAK | ##### | 3 | C | A,B,C,D | High | Remove | Laurel oak? |
| 2 | WATER OAK | ##### | 3 | C | A,B,C,D | High | Remove | Laurel oak? |
| 3 | LIVE OAK | ##### | 3 | A | B & C | Low | Prune | |
| 4 | LIVE OAK | ##### | 2 | C | B,C & D | High | Remove | |
| 5 | LIVE OAK | ##### | 5 | A | C | Low | Prune | |
| 6 | LIVE OAK | ##### | 4 | B | B & C | Low | Prune | |
| 7 | LAUREL OAK | ##### | 3 | C | B & O | Medium | Remove | Roddenberry map incorrectly labels as live oak |
| 8 | LAUREL OAK | ##### | 2 | C | C | High | Remove | Roddenberry map incorrectly labels as live oak |
| 8b | LAUREL OAK | ##### | | | | | Remove | Not shown on Roddenberry map, east of tree No. 8 |
| 9 | LIVE OAK | ##### | 4 | B | B | Medium | Prune | |
| 10 | LIVE OAK | ##### | 4 | B | B | Medium | Prune | |
| 11 | LIVE OAK | ##### | 2 | A | B & C | Medium | Prune, Soil Test & Monitor. | |
| 12 | LIVE OAK | ##### | 4 | C | B & C | Medium | Prune | |
| 13 | LIVE OAK | ##### | 4 | C & T | B & C | | Remove | |
| 14 | LIVE OAK | ##### | 1 | B | B & C | Medium | Prune, Soil Test & Monitor. | |
| 15 | LIVE OAK | ##### | 3 | B | B,C & O | Medium | Prune, Soil Test & Monitor. | |
| 16 | LIVE OAK | ##### | 3 | B | B, C & M | Medium | Prune | |
| 17 | LIVE OAK | ##### | Not existing | | | | | |
| 18 | LIVE OAK | ##### | 3 | C | B, C & O | High | Remove | |
| 19 | LIVE OAK | ##### | 3 | A | C | Low | Prune | |
| 20 | LIVE OAK | ##### | 3 | B | C | Low | Prune | |
| 21 | LIVE OAK | ##### | 3 | A | C | Low | Prune | |
| 22 | LIVE OAK | ##### | 3 | B | C | Low | Prune & Soil Test. | |
| 23 | LIVE OAK | ##### | 2 | B | B & C | Low | Prune & Soil Test. | |
| 24 | LAUREL OAK | ##### | Removed | | | | | Previously removed, stump now |
| 25 | LAUREL OAK | ##### | 3 | B | B & C | Medium | Prune & Monitor. | Roddenberry map incorrectly labels as live oak |
| 26 | LIVE OAK | ##### | 3 | B | O | Low | Prune & Soil Test. | |
| 27 | LIVE OAK | ##### | 5 | A | B & O | Low | Prune | |
| 28 | LIVE OAK | ##### | 4 | B | C | Low | Prune | |
| 29 | LIVE OAK | ##### | 3 | C | C | High | Remove | |
| 30 | LIVE OAK (relocated) | ##### | 5 | B | B & C | Low | Prune | Chapman oak, according to Scott Davis |
| 31 | LIVE OAK | ##### | 3 | C | B & C | Medium | Prune | |
| 32 | LIVE OAK | ##### | 4 | B | B & C | Low | Prune | |
| 33 | LIVE OAK | ##### | 2 | C | B & C | High | Remove | |
| 34 | LIVE OAK | ##### | 2 | C | C | High | Remove | |
| 35 | LIVE OAK | ##### | 4 | B | C | Medium | Prune | |
| 36 | LIVE OAK | ##### | 4 | A | O | Low | Prune | |
| 37 | LIVE OAK | ##### | | C | H | High | Tree risk assessment | Previously removed, stump now |
| 38 | LIVE OAK | ##### | 3 | C | A, B & C | High | Remove | |
| 39 | LIVE OAK | ##### | 5 | A | B | Low | Prune | |
| 39E | LIVE OAK | ##### | 3 | B | C | Low | Prune | |
| 40 | LIVE OAK | ##### | 3 | C | B | Medium | Prune, note rubbing conflict with palms number 96 & 97. | |
| 41 | LIVE OAK | ##### | 2 | C | B & C | High | Remove | |
| 42 | LIVE OAK | ##### | 3 | C | A,B & C | Medium | Prune | |
| 43 | LIVE OAK | ##### | 3 | B | A & B | Medium | Prune | |
| 44 | LIVE OAK | ##### | 4 | D | A, B & C | Extreme | Remove | Previously removed, stump now |
| 45 | PALM | ##### | 5 | A | C | Low | Ok | |
| 46 | PALM | ##### | 5 | A | C | Low | Ok | |
| 47 | PALM | ##### | | | | Ok But | Decay in Trunk - Monitor. | |
| 48 | PALM | ##### | | | | Ok | Slight Trunk Injury - Monitor. | |
| 49 | PALM | ##### | | | | OK | | |
| 50 | PALM | ##### | | | | Ok | | |
| 51 | PALM | ##### | | | | Ok | | |
| 52 | PALM | ##### | | | | Ok | | |
| 53 | PINE | ##### | 5 | A | A, B & C | Low | Prune | |
| 54 | PALM | ##### | | | | Ok | | |
| 55 | PALM | ##### | | | | Ok | | |
| 56 | PALM | ##### | | | | Ok | | |
| 57 | PALM | ##### | | | | Ok | | |
| 58 | PALM | ##### | | | | Ok | | |
| 59 | PALM | 8 | | | | Ok But | Decay in Trunk - Monitor. | |

Chestnut Cemetery Tree Inventory (11/16)

| Tree No. | Species | DBH | Health | Structural | Target (s) | Risk | Recommendations | Winterringer 4/4/22 update |
|----------|------------|-------|--------|------------|------------|---------|---|---|
| 60 | OAK | 7 | 5 | C | B & C | Medium | Monitor | |
| 61 | CEDAR | ##### | 5 | A | A & B | Low | Monitor & Prune. | |
| 62 | LIVE OAK | ##### | 3 | B | A, B & C | Low | Monitor & Prune. | |
| 63 | LAUREL OAK | ##### | 1 | C | C | Medium | Monitor & Prune. | |
| 64 | LAUREL OAK | ##### | 5 | D | A & B | High | Remove, growing into fence. | Shown on Roddenberry map as "oak" |
| 65 | PALM | ##### | | | | Ok | | |
| 66 | PALM | 9 | | | | Ok But | Monitor Trunk Injury. | |
| 67 | PALM | ##### | | | | Ok But | Monitor | |
| 68 | LIVE OAK | ##### | 3 | B | A & B | Medium | Prune & Monitor. | |
| 69 | LAUREL OAK | ##### | 5 | A | C | Low | Prune | |
| 70 | LIVE OAK | ##### | | D | C | High | Remove | |
| 71 | PALM | ##### | | | | Ok But | Monitor Base of Trunk. | |
| 72 | LIVE OAK | ##### | 3 | B | O | Low | Prune & Soil Test | |
| 73 | CEDAR | ##### | 1 | C | C | Low | Remove | Previously removed, stump now |
| 74 | LIVE OAK | ##### | 3 | B | B & C | Medium | Prune & Soil Test. | |
| 75 | LIVE OAK | ##### | Dead | | O | Low | Remove | Not dead, no utility affected?, no remove |
| 76 | LIVE OAK | ##### | 3 | B | B & C | Medium | Prune & Soil Test. | |
| 77 | LIVE OAK | ##### | 3 | B | C | | Tree in contact with monument and is pushing it over. | |
| 78 | LIVE OAK | ##### | 3 | B | C | Medium | Prune & Soil Test. | |
| 79 | LIVE OAK | ##### | 3 | B | O | Low | Prune & Soil Test. | |
| 80 | LIVE OAK | ##### | 3 | B | B & C | Medium | Prune & Soil Test. | |
| 81 | LIVE OAK | ##### | 3 | C | C | High | Remove | |
| 82 | LIVE OAK | ##### | 3 | C | C | High | Remove | |
| 83 | LIVE OAK | ##### | 4 | B | C | Medium | Monitor, Prune & Soil Test. | |
| 84 | PALM | ##### | | | | Ok | | |
| 85 | PALM | ##### | | | | Ok | | |
| 86 | PALM | 8 | | | | Ok | | |
| 87 | PALM | ##### | | | | Ok | | |
| 88 | PALM | ##### | | | | Ok | | |
| 88 | PALM | ##### | ad | | | | | Not on map, adjacent to Daly, recently dead |
| 89 | LIVE OAK | ##### | 3 | | B & C | High | Remove | Chapman oak, according to Scott Davis |
| 90 | LIVE OAK | ##### | 4 | B | B & C | Medium | Prune | |
| 91 | PALM | ##### | | | | Ok | | |
| 92 | PALM | ##### | | | | Ok But | Trunk Damage, Monitor. | |
| 93 | LIVE OAK | ##### | 5 | B | B & C | Low | Prune | |
| 94 | CEDAR | 6 | 5 | B | O | Low | Tree is good as is. | |
| 95 | LIVE OAK | ##### | 3 | B | C | Medium | Monitor | |
| 96 | PALM | ##### | | | | Ok But | In crotch of live oak limb. | |
| 97 | PALM | ##### | | | | Ok But | In crotch of live oak limb. | |
| 98 | PALM | ##### | | | | Ok But | Monitor Trunk. | |
| 99 | PALM | ##### | | | | Ok But | Monitor Trunk. | |
| ##### | LAUREL OAK | ##### | 3 | A | B | Low | Soil Test. | |
| ##### | LAUREL OAK | ##### | 5 | A | B | Low | Tree is in good shape. | |
| ##### | LAUREL OAK | ##### | 1 | D | B | | | |
| ##### | LIVE OAK | ##### | 5 | A | B & C | Low | Prune | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | LIVE OAK | ##### | 1 | D | A, B, & C | | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | CEDAR | ##### | 3 | C | B & C | Extreme | Remove | Previously removed, stump now |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | OAK | ##### | 1 | C | B & C | High | Remove | |
| ##### | OAK | ##### | 3 | C | B & C | High | Prune | Previously removed, stump now |
| ##### | CEDAR | ##### | Dead | | | | | Previously removed, stump now |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | CEDAR | ##### | 5 | A | C | Low | Prune | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PALM | ##### | | | | Ok | | |

Chestnut Cemetery Tree Inventory (11/16)

| Tree No. | Species | DBH | Health | Structural | Target (s) | Risk | Recommendations | Winterringer 4/4/22 update |
|---|-----------------|-------|---|------------|------------|--------|---|---|
| ##### | PALM | ##### | | | | Ok But | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PALM | 8 | | | | Ok | | |
| ##### | CEDAR | ##### | 3 | C | B & C | Medium | Prune | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | CEDAR | ##### | 1 | C | B & C | High | Remove | |
| ##### | CEDAR | ##### | | | | | Already Removed. | Stump located |
| ##### | CEDAR | 7 | 5 | B | B & C | Medium | Tree is good. | |
| ##### | MAGNOLIA | ##### | 1 | C | B & C | High | Remove | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | CEDAR | ##### | 3 | C | B & C | High | To protect wall at tree base, remove. Previously removed, stump now | |
| ##### | CEDAR | ##### | 5 | | B & C | Medium | To protect the wall at the base of the tree, remove the tree. | |
| ##### | CEDAR | ##### | 5 | B | B & C | Low | To protect the wall at the base of the tree, remove the tree. | |
| ##### | OAK | ##### | Dead | | | | | Previously removed, stump now |
| ##### | CEDAR | 8 | 4 | B | B & C | Low | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | CEDAR | ##### | Tree not on survey. | | | | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PINE | ##### | 5 | B | A, B & C | | | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | CEDAR | ##### | 5 | B | B | Low | Prune | |
| ##### | PALM | ##### | | | | Ok | Many nails in tree, weed wipe &/or mower damage. | |
| ##### | PALM | ##### | | | | Ok But | Many nails in tree, weed wipe &/or mower damage. | |
| ##### | PALM | ##### | | | | | Newly planted. | |
| ##### | PALM | ##### | Dead | | | | Newly planted. | Replaced 3/22 by highway beautification project |
| ##### | PALM | ##### | | | | | Many nails in tree, weed wipe &/or mower damage. | |
| ##### | PALM | ##### | | | | | Many nails in tree, weed wipe &/or mower damage. | |
| ##### | PALM | ##### | | | | Ok But | Trunk Damage, many nails in tree, weed wipe &/or mower damage, Monitor. | |
| ##### | PALM | ##### | | | | | Newly planted. | |
| ##### | PALM | ##### | | | | | Many nails in tree, weed wipe &/or mower damage. | |
| ##### | PALM | ##### | | | | | Newly planted. | |
| ##### | PALM | 8 | | | | | Newly planted. | |
| ##### | PALM | ##### | | | | Ok But | Trunk Damage, many nails in tree, weed wipe &/or mower damage, Monitor. | |
| ##### | PALM | ##### | | | | | Many nails in tree, weed wipe &/or mower damage. | |
| ##### | PALM | ##### | | | | Ok But | Trunk Damage, many nails in tree, weed wipe &/or mower damage, Monitor. | |
| ##### | CEDAR | ##### | 5 | A | B & A | Low | Tree ok. | |
| ##### | SUGARBERRY | ##### | 5 | B | B & A | Low | Competing with cedar. | |
| ##### | OAK | ##### | Dead | | | | | Previously removed, stump now |
| ##### | PALM | ##### | | | | OK | | |
| ##### | LIVE OAK | ##### | 5 | B | B & C | Low | Prune | |
| ##### | PALM | ##### | | | | Ok But | Monitor lower trunk injuries. | |
| ##### | OAK | ##### | Dead | | | | Remove, tree not on plan. | Previously removed, stump now |
| ##### | PALM | ##### | | | | | | |
| ##### | CEDAR | ##### | 1 | C | A,B,C,O | High | Remove | |
| ##### | PALM | ##### | | | | Ok | | |
| ##### | PALM | ##### | | | | OK | | |
| ##### | LIVE OAK | ##### | 1 | C | B & C | High | Remove | |
| Keys | | | | | | | | |
| | Health | | Likelihood of Structural Failure | | | | Target | |
| | 1 = Very Poor | | A = Improbable | | | | A = People | |
| | 2 = Poor | | B = Possible | | | | B = Fence | |
| | 3 = Fair | | C = Probable | | | | C = Monument | |
| | 4 = Fairly Good | | D = Imminent Danger | | | | O = Utility | |
| | 5 = Good | | | | | | | |
| DBH = Diameter at breast height or the tree diameter measured at 4.5 feet above the ground. | | | | | | | | |

**APALACHICOLA CITY COMMISSION
REQUEST FOR BOARD ACTION
Meeting Date: August 2, 2022**

SUBJECT: Workforce Housing

AGENDA INFORMATION:

Agenda Location: New Business

Item Number: 4

Presenter: Commissioner Grove

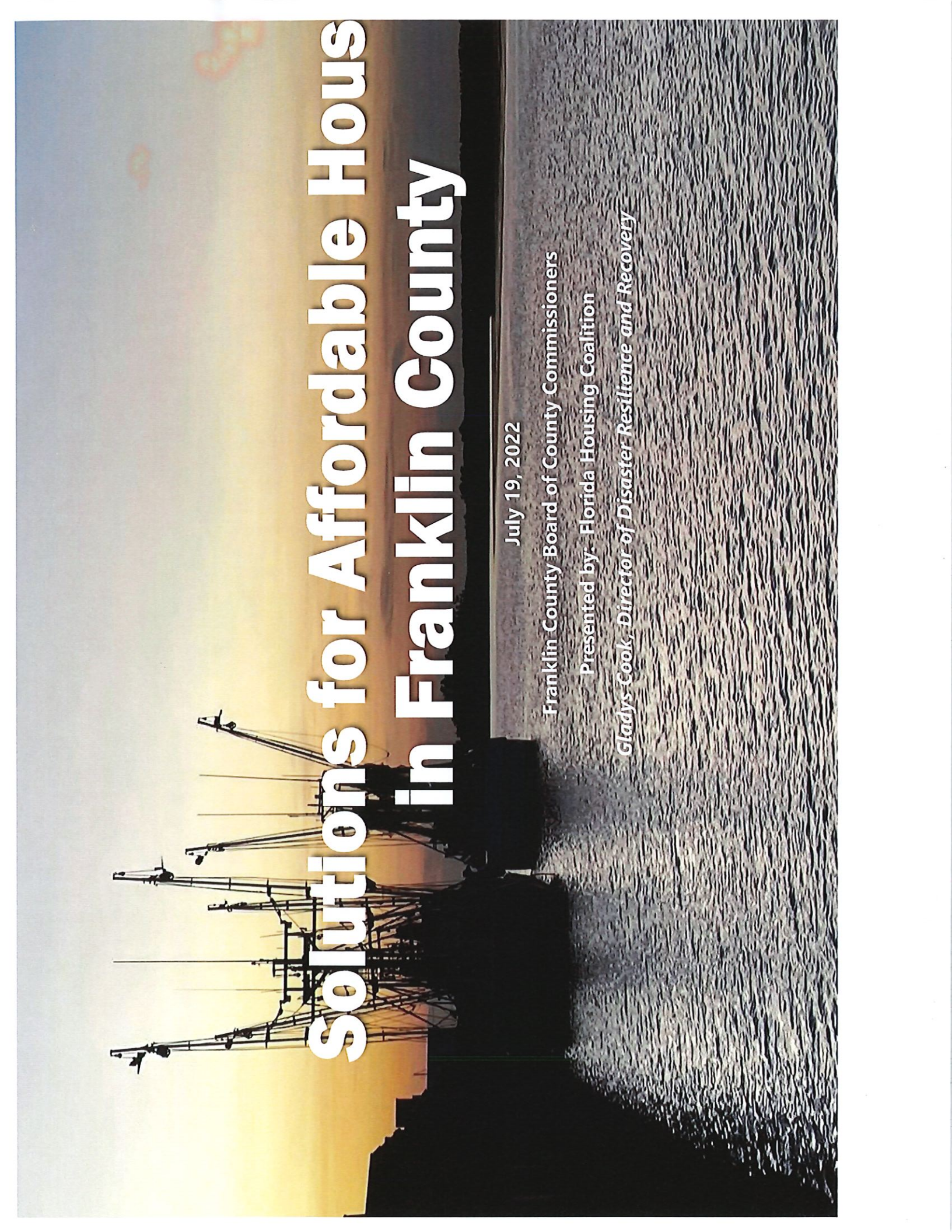
BRIEF SUMMARY: Attended the Florida Housing Summit July 20th. We need to work toward a solution countywide.

RECOMMENDED MOTION AND REQUESTED ACTIONS: Appoint commission member to a county housing task force.

FUNDING SOURCE: n/a

ATTACHMENTS: Presentation from Florida Housing Coalition

STAFF'S COMMENTS AND RECOMMENDATIONS:



Solutions for Affordable Housing in Franklin County

July 19, 2022

Franklin County Board of County Commissioners

Presented by: Florida Housing Coalition

Gladys Cook, Director of Disaster Resilience and Recovery



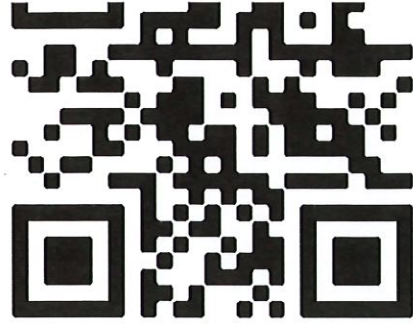
AFFORDABLE HOUSING CATALYST PROGRAM

**Sponsored by the
Florida Housing Finance Corporation**



we make housing affordable™

Florida Housing Coalition Presenter



Gladys Cook

Director of Resilience and Disaster Recovery

813.830.3450

cook@flhousing.org

THE FLORIDA HOUSING COA



Florida Housing Coalition (FHC) Technical Assistance is Available

- FHC Staff is Available Daily
 - ✓ 1-800-677-4548
- Options for Further Assistance Include:
 - ✓ Phone and Email Consultation
 - ✓ Site Visits
- Register at www.flhousing.org for:
 - ✓ Workshops
 - ✓ Webinars
 - ✓ Previous trainings
 - ✓ Publications



THE FLORIDA HOUSING COALITION

Agenda

- Important Definitions
- Housing Needs Data
- Current Housing Programs
- SHIP Administrator
- FDEM Housing Coordinator
- Role of Florida Housing Finance Corporation
- Existing Affordable Housing Units & Developers in the Area
- Solutions to Achievable Housing
- Q&A/Discussion



Source: Apartments.com
Apartments, Carrabelle,



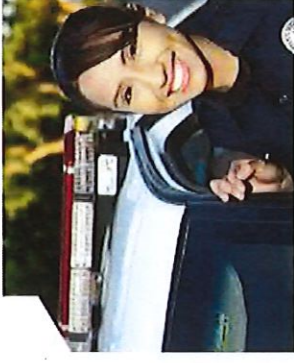
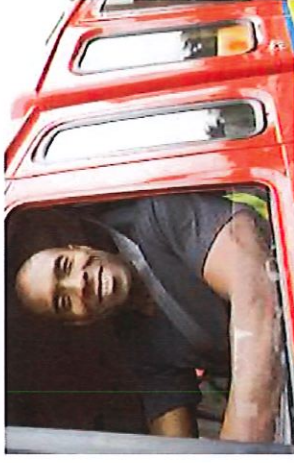
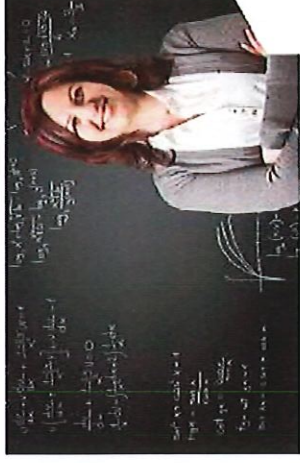
Photo Source: Royal Arr
Heritage Villas, Apalach

THE FLORIDA HOUSING COA



Why does housing matter?

The health, safety, and welfare of Floridians and the strength of Florida's overall economy depends on a sufficient supply of housing affordable to Florida's working families, elders, and people with disabilities living on fixed incomes.



Important Definitions

- **Affordable Housing**

- Rule of thumb: Housing that costs (rent plus utilities or PITI) at more than 30% of a household's gross income.
 - Households who pay more than this amount are considered "housing burdened."
 - Homeownership likely to be 45% based on lender requirements

- **Cost Burden**

- Cost Burdened: Households pays > 30%-50% of their gross income on housing costs.
- Severe Cost Burdened: Households pays > 50% of their gross income on housing costs.



Important Definitions

Area Median Income (AMI)

- Extremely Low Income (ELI) – at or below 30% AMI
- Very Low Income (VLI) - at or below 50% AMI (FYI- LIHTC <60)
- Low Income (LI) – at or below 80% AMI
- Workforce - 120%
- Workforce - 140%

Franklin County Median Family Income

- 2022 AMI - \$61,800
- 2021 AMI - \$58,700
- 2020 AMI - \$55,400
- 2019 AMI - \$51,600

Source: www.HUD.gov

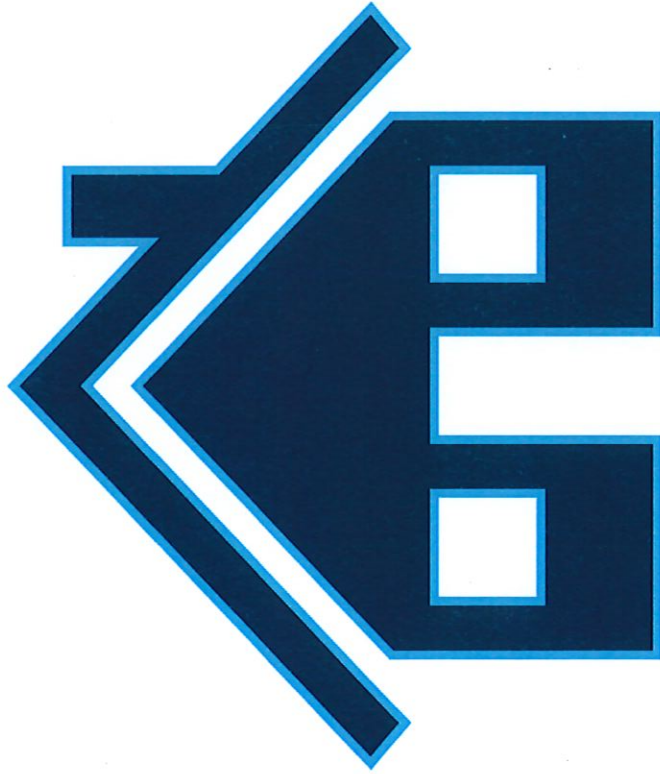
THE FLORIDA HOUSING COA



Affordable housing is safe and decent h It differs from market rate housing in tw

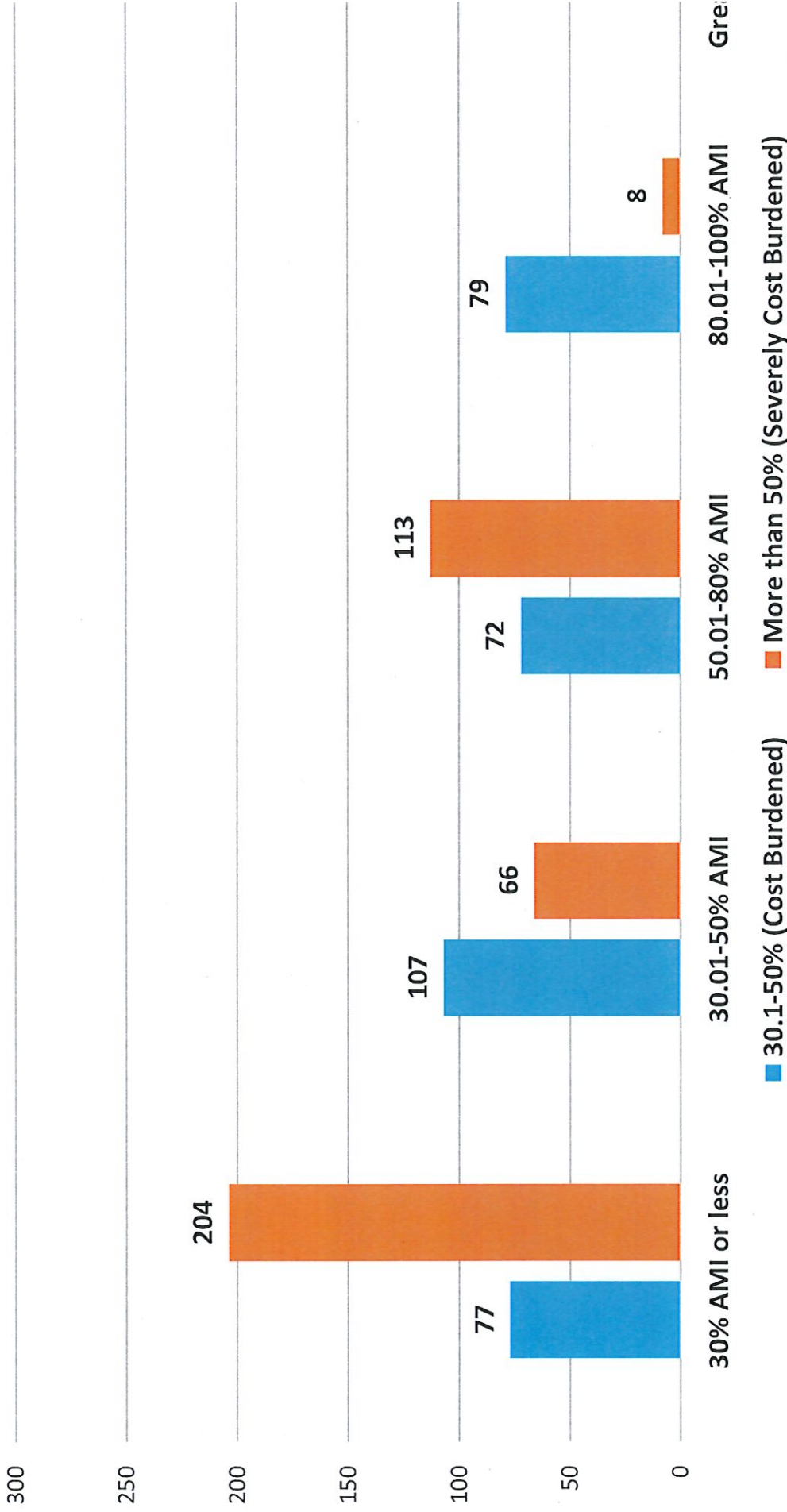
1. The income of the family living in the housing
2. The financing of the housing





Housing Need Data

Cost Burden by Income, All Households (Franklin County)



Source: Shimberg Center for Housing Studies, 2020 Estimates

THE FLORIDA HOUSING COA



COST BURDEN BY INCOME, ALL HOUSEHOLDS

**Frank
Coun**

Low Income, Cost Burdened

639

Low Income, Not Cost Burdened

754

Not Low Income, Cost Burdened

388

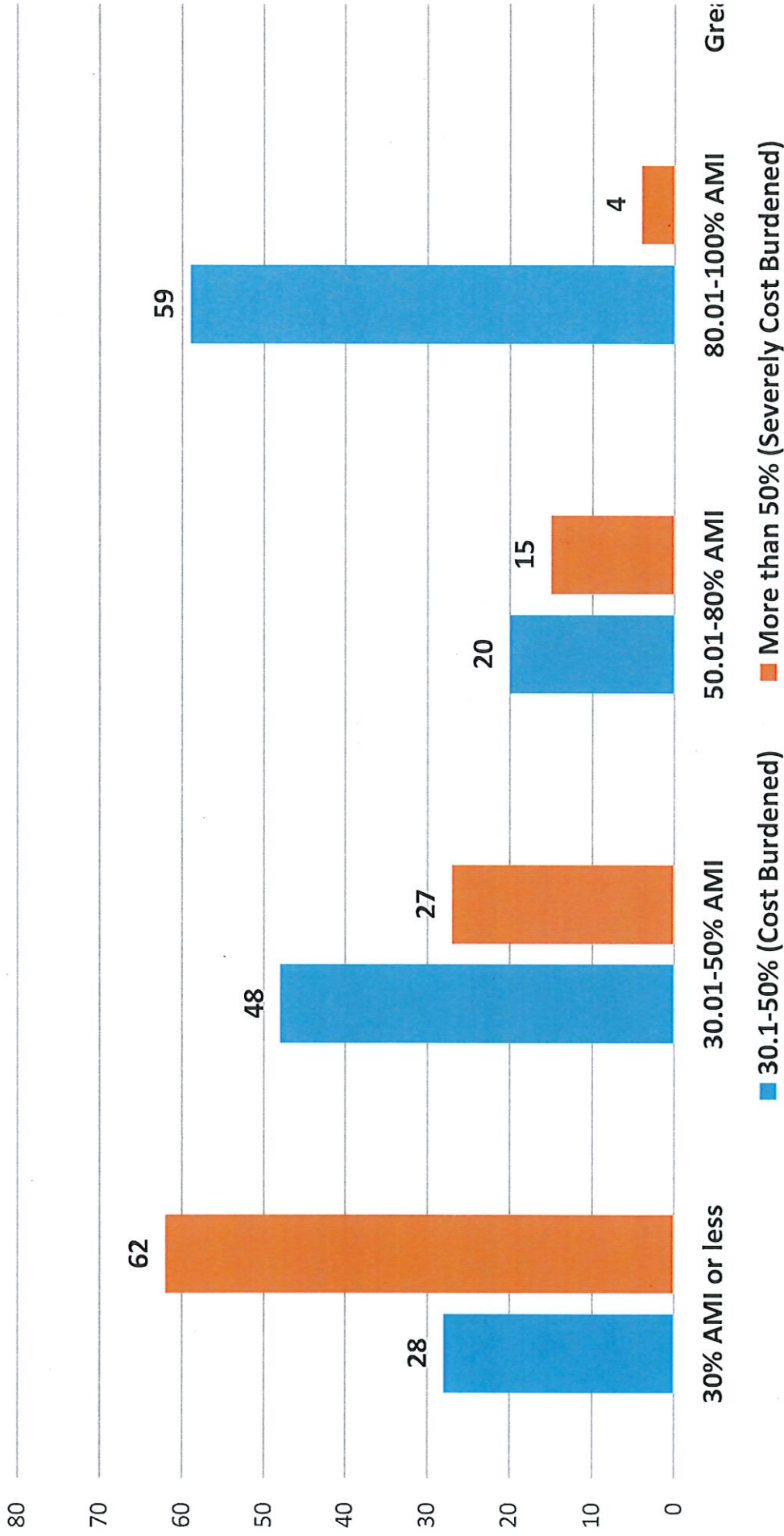
Not Low Income, Not Cost Burdened

2,320

TOTAL UNMET HOUSING NEED

639 (100%)

Cost Burden by Income, Renter Households (Franklin County)



Source: Shimberg Center for Housing Studies, 2020 Estimates

THE FLORIDA HOUSING COA



COST BURDEN BY INCOME, RENTER HOUSEHOLDS

Franklin
County

Low Income, Cost Burdened

200

Low Income, Not Cost Burdened

173

Not Low Income, Cost Burdened

130

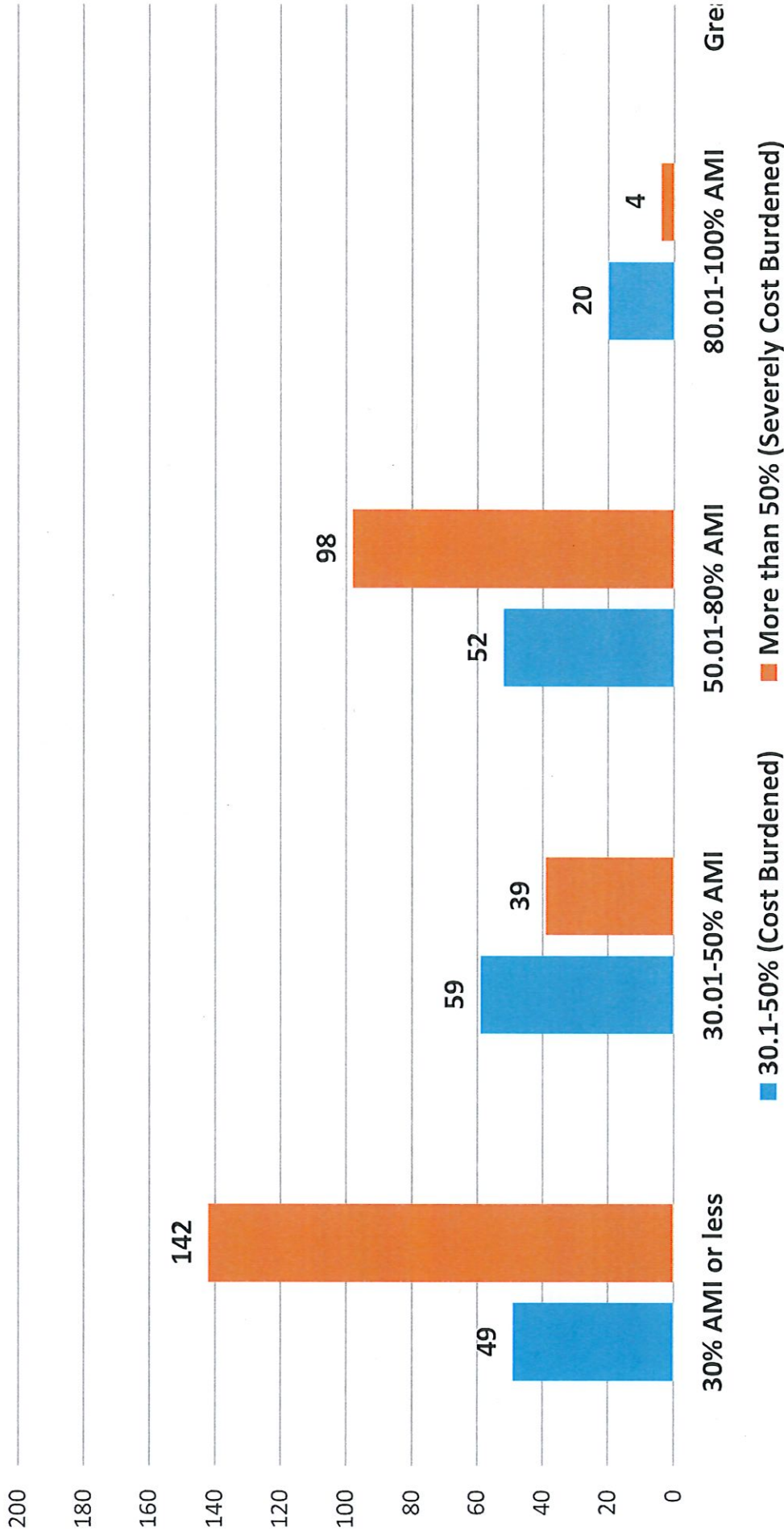
Not Low Income, Not Cost Burdened

453

TOTAL UNMET HOUSING NEED

200 (21%)

Cost Burden by Income, Owner Households (Franklin County)



Source: Shimberg Center for Housing Studies, 2020 Estimates

THE FLORIDA HOUSING COA



**COST BURDEN BY INCOME,
OWNER HOUSEHOLDS**

Franklin

Low Income, Cost Burdened

439

Low Income, Not Cost Burdened

581

Not Low Income, Cost Burdened

258

Not Low Income, Not Cost Burdened

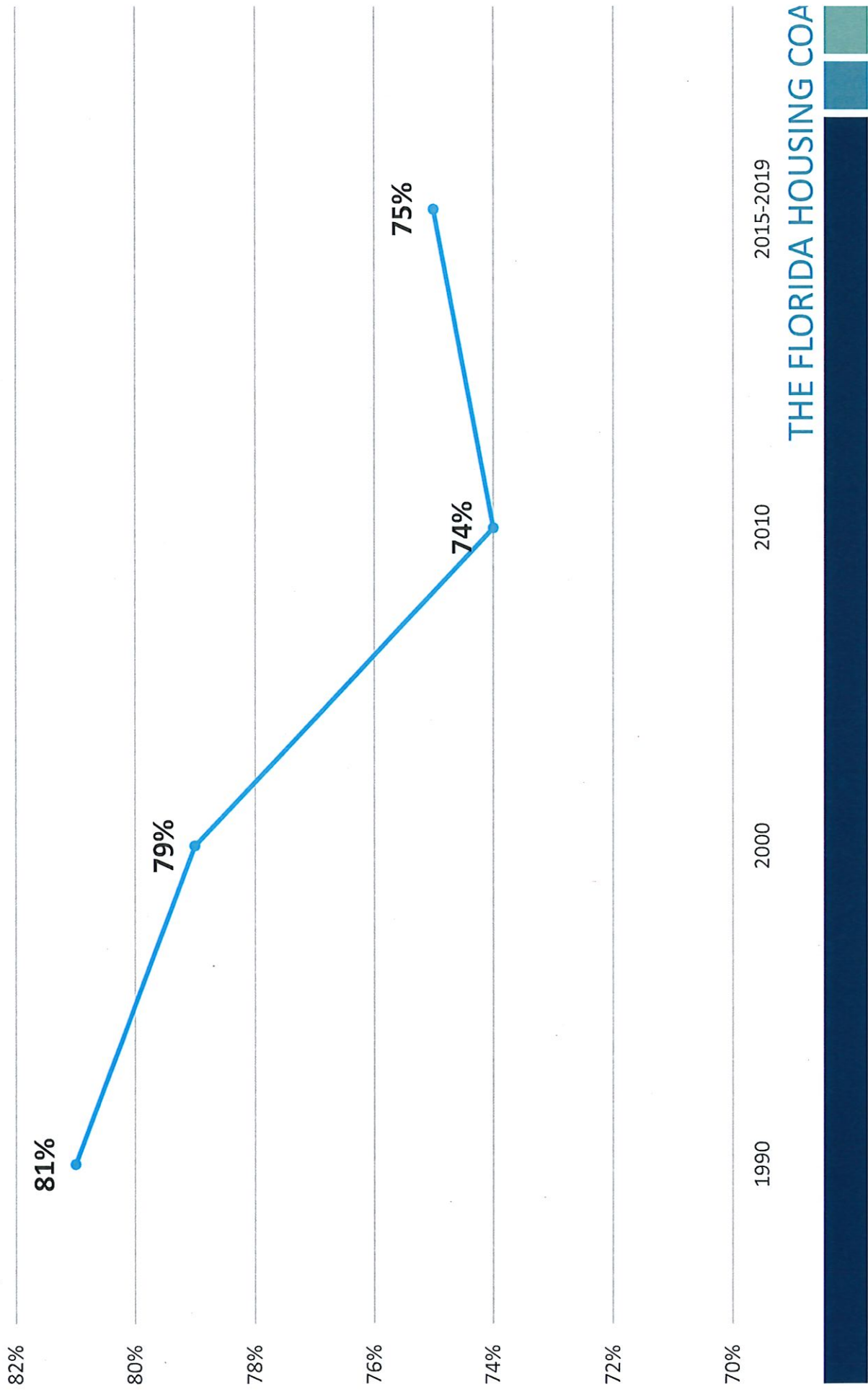
1,87

TOTAL UNMET HOUSING NEED

439 (1



Franklin County Homeownership Rate (%) 1990 Through 2015-2019 (5-Year Estimates)



2015-2019

2010

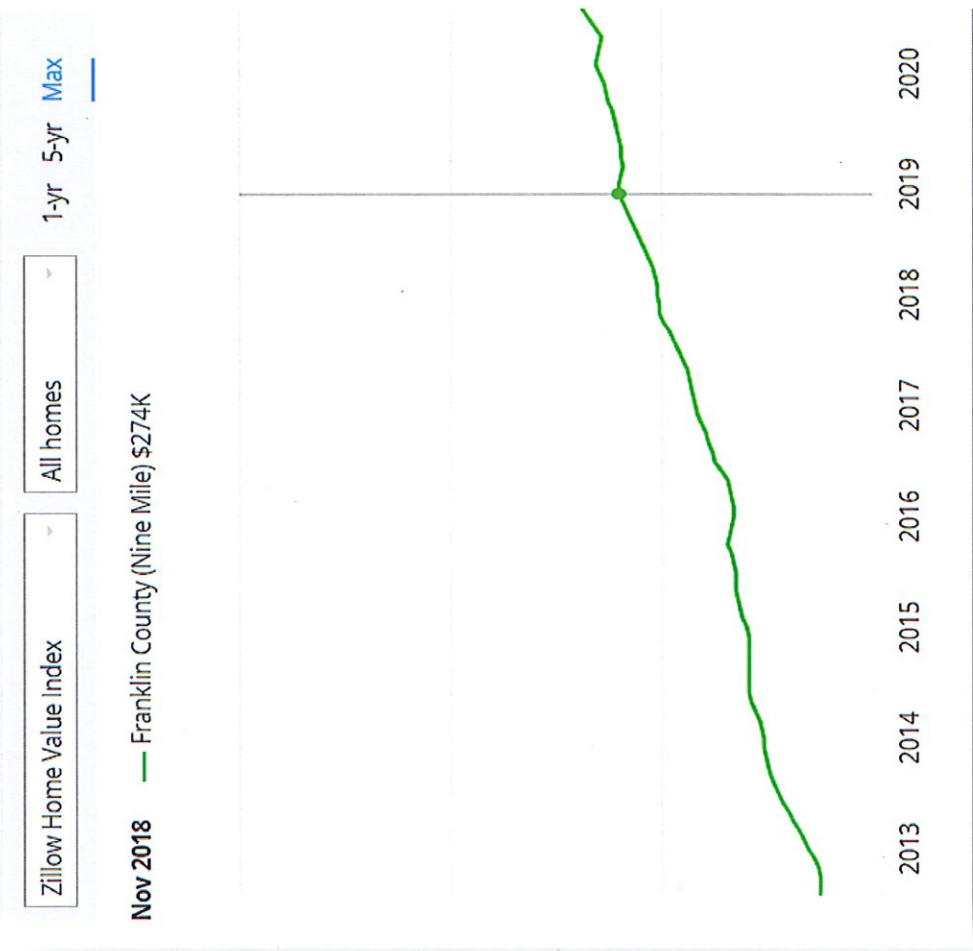
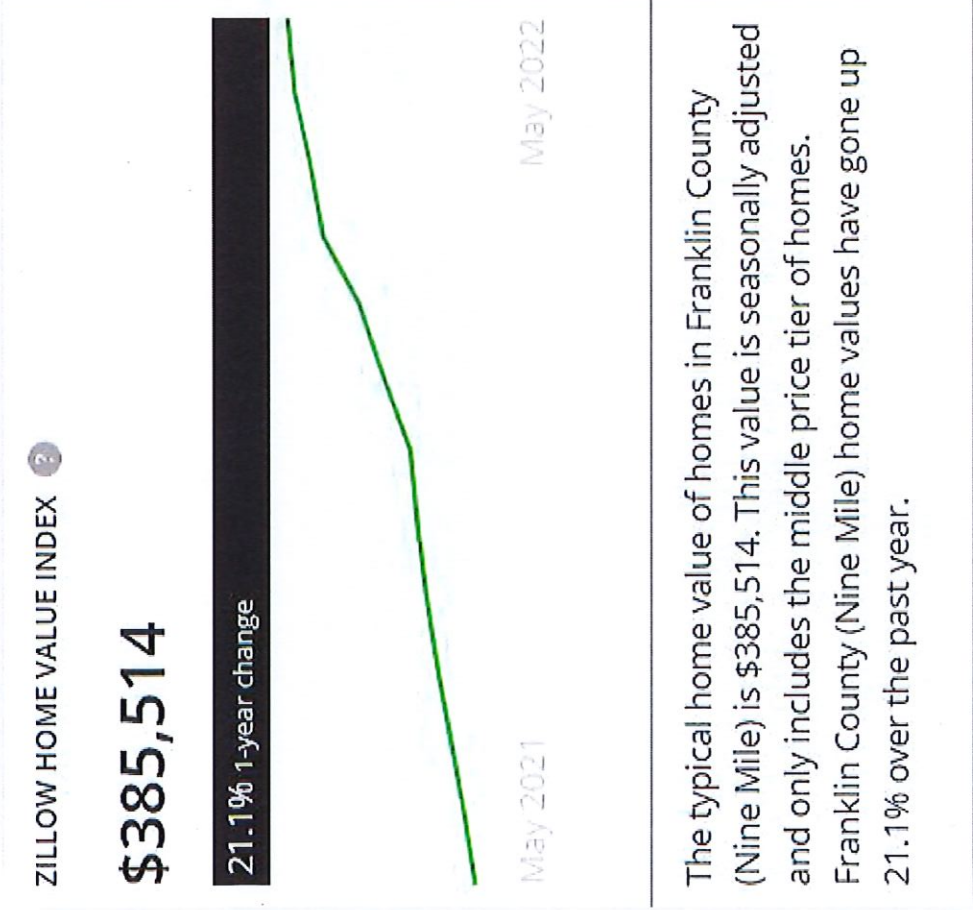
2000

1990

THE FLORIDA HOUSING COA



Zillow Typical Home Price Index



Source: Zillow

Franklin County Housing Characteristics

| UNITS IN STRUCTURE | # | % |
|---------------------|-------|-------|
| Total housing units | 8,764 | -- |
| 1-unit, detached | 6,151 | 70.2% |
| 1-unit, attached | 218 | 2.5% |
| 2 units | 131 | 1.5% |
| 3 or 4 units | 208 | 2.4% |
| 5 to 9 units | 423 | 4.8% |
| 10 to 19 units | 121 | 1.4% |
| 20 or more units | 37 | 0.4% |
| 50 or more units | 24 | 0.3% |
| Mobile home | 1,435 | 16.4% |
| Boat, RV, van, etc. | 16 | 0.2% |

| BEDROOMS | # |
|--------------------|-------|
| No bedroom | 212 |
| 1 bedroom | 541 |
| 2 bedrooms | 2,885 |
| 3 bedrooms | 3,580 |
| 4 bedrooms | 1,312 |
| 5 or more bedrooms | 234 |

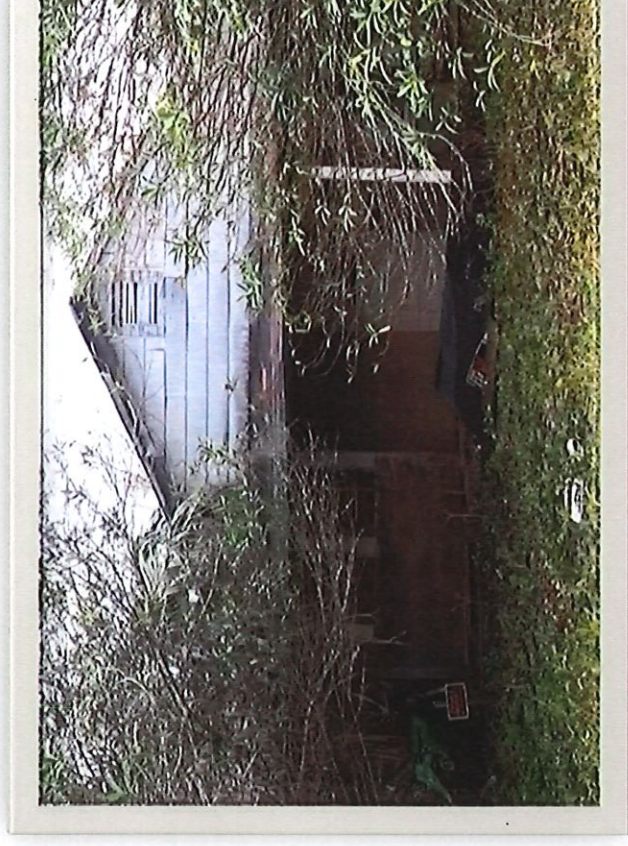
Source: 2020 ACS (5-Year Estimates)

Franklin County Housing Characteristics

YEAR STRUCTURE BUILT

60% of all housing units in Franklin County were constructed before 1970

| YEAR STRUCTURE BUILT | # | % |
|-----------------------|-------|-------|
| Total housing units | 8,764 | -- |
| Built 2014 or later | 210 | 2.4% |
| Built 2010 to 2013 | 50 | 0.6% |
| Built 2000 to 2009 | 1,963 | 22.4% |
| Built 1990 to 1999 | 1,266 | 14.4% |
| Built 1980 to 1989 | 1,995 | 22.8% |
| Built 1970 to 1979 | 1,287 | 14.7% |
| Built 1960 to 1969 | 483 | 5.5% |
| Built 1950 to 1959 | 474 | 5.4% |
| Built 1940 to 1949 | 416 | 4.7% |
| Built 1939 or earlier | 620 | 7.1% |



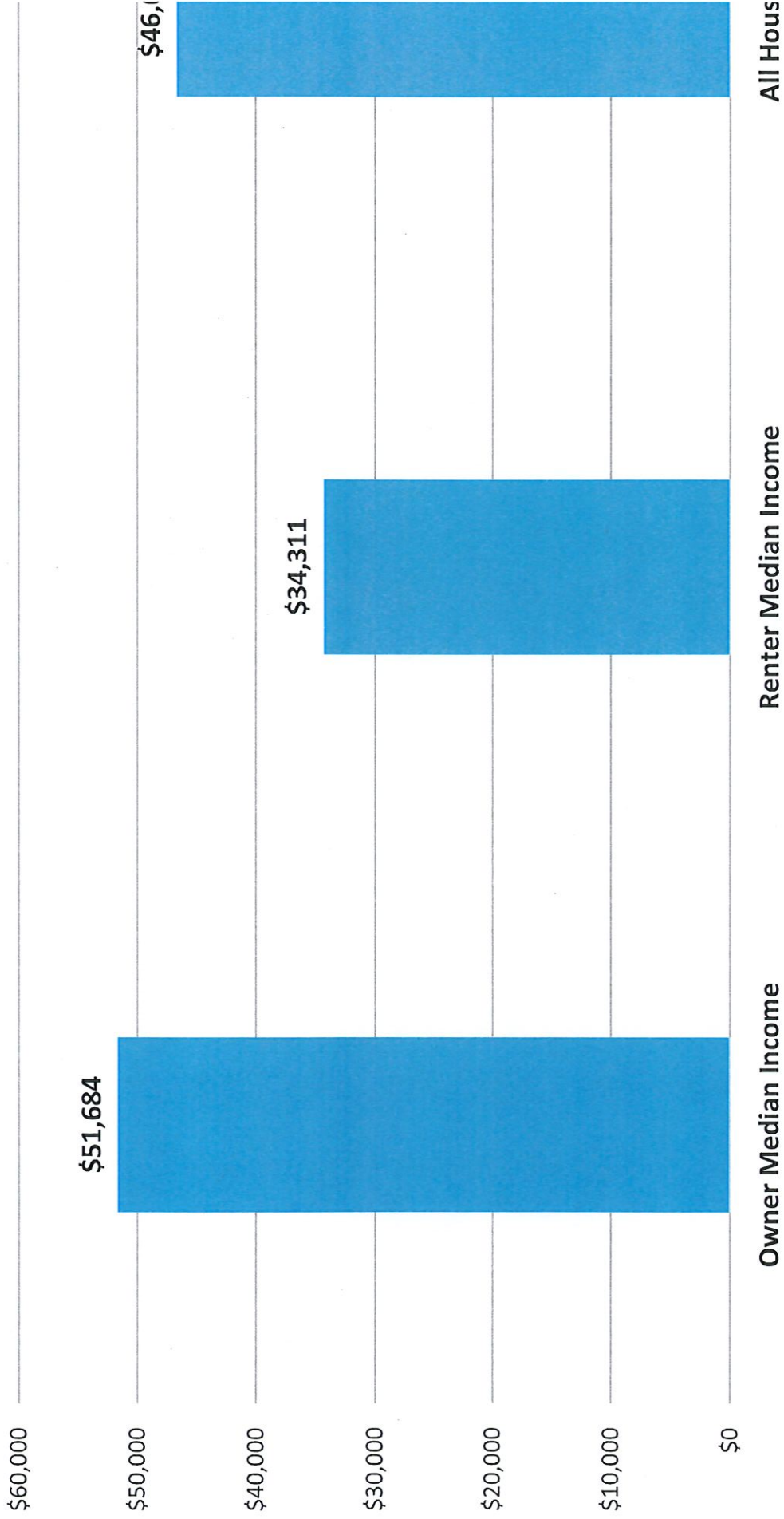
Source: Realtor.com.

116 5th St, Apalachicola, FL 32320 (built in 1930)

Source: 2020 ACS (5-Year Estimates)

THE FLORIDA HOUSING COA

Median Income by Tenure (Franklin County)



Source: Shimberg Center for Housing Studies, 2020 Estimates

THE FLORIDA HOUSING COA



Top 10 Employment Industries & Wage Franklin County

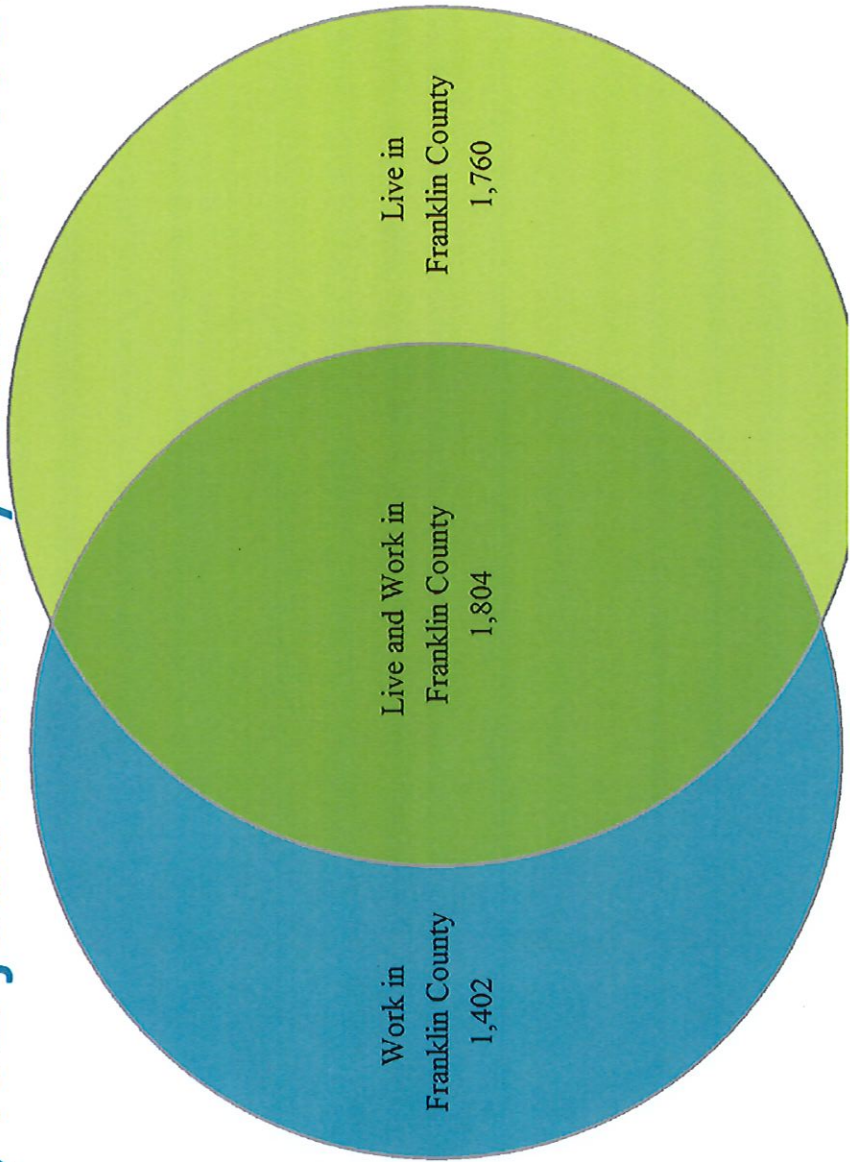
| Industry | Average Hourly Wage | Maximum Affordable Rent (30% of Income) | HUD 2BR Fair Market Rent | % Income Needed for 2 BR FMR |
|--------------------------------------|---------------------|---|--------------------------|------------------------------|
| Service-Providing | \$17.26 | \$863 | \$786 | 27% |
| Leisure and Hospitality | \$13.42 | \$671 | \$786 | 35% |
| Trade, Transportation, and Utilities | \$14.98 | \$749 | \$786 | 31% |
| Accommodation and Food Services | \$13.47 | \$673 | \$786 | 35% |
| Public Administration | \$19.46 | \$973 | \$786 | 24% |
| Education and Health Services | \$19.99 | \$999 | \$786 | 24% |
| Retail Trade | \$13.07 | \$653 | \$786 | 36% |
| Goods-Producing | \$18.73 | \$937 | \$786 | 25% |
| Educational Services | \$19.27 | \$963 | \$786 | 24% |
| Health Care and Social Assistance | \$20.71 | \$1036 | \$786 | 23% |

Source: Shimberg Center for Housing Studies, 2020 Estimates

THE FLORIDA HOUSING COA

Franklin County Labor Inflow/Outflow Map

There are 1,402 jobs filled by Outside Workers



Of the 3,206 people who are employed in Franklin County, 1,804 (56.3%) live in Franklin County. There are 1,402 (43.7%) workers who live outside Franklin County. Of the 3,564 workers who live within Franklin County, 1,760 (49.4%) work in Franklin County. There is a net outflow of ~358 workers from Franklin County.

Source: Summary of Employment, Demographics, and Commuting Patterns for Franklin County, Florida DEO May 2022



Income Limits by Number of Persons in Household Franklin County, 2022 (FHFC Rental)

| | AMI Category | 1 | 2 | 3 | 4 |
|---|--------------|----------|----------|----------|----------|
| Franklin County Median Income (2022) \$61,800 | 30% | \$12,990 | \$14,850 | \$16,710 | \$18,540 |
| | 50% | \$21,650 | \$24,750 | \$27,850 | \$30,900 |
| | 80% | \$34,640 | \$39,600 | \$44,560 | \$49,440 |
| | 120% | \$51,960 | \$59,400 | \$66,840 | \$74,160 |
| | 140% | \$60,620 | \$69,300 | \$77,980 | \$86,520 |

Source: Florida Housing Finance Corporation.

Rent Limit by Number of Bedrooms in Unit: Franklin County, 2022 (FHFC Rental)

| | AMI Category | 0 BR | 1 BR | 2 BR | 3 BR |
|-----------------------------|--------------|---------|---------|---------|---------|
| Franklin County | 30% | \$324 | \$348 | \$417 | \$482 |
| Median Income (2022) | 50% | \$541 | \$580 | \$696 | \$803 |
| \$61,800 | 80% | \$866 | \$928 | \$1,114 | \$1,286 |
| | 120% | \$1,299 | \$1,392 | \$1,671 | \$1,929 |
| | 140% | \$1,515 | \$1,624 | \$1,949 | \$2,250 |

Source: Florida Housing Finance Corporation

THE FLORIDA HOUSING COA

Maximum Sales Price for a 2-Bedroom Franklin County

| | Maximum Income 2-person HH | Max housing Costs for 2-Bedroom Unit @30% (5.5% Interest) | Max Mortgage Based on 30% Housing Cost w/ \$5K down |
|----------------|----------------------------------|--|--|
| 50%AMI | \$24,750 | \$680 | \$0 |
| 80%AMI | \$39,600 | \$1085 | \$152,082 |
| 120%AMI | \$59,400 | \$1,633 | \$257,229 |
| 140%AMI | \$69,300 | \$1,905 | \$305,420 |

Example Purchase Price of Home = \$175,000
(Maximum SHIP Purchase Price)

Source: Florida Housing Finance Corporation, SHIP & HHRP Programs

THE FLORIDA HOUSING COA

Maximum Sales Price for a 3-Bedroom Franklin County

| | Maximum Income 4-Person HH | Max Housing Costs for 3-Bedroom Unit @30% AMI (5.5% Interest) | Max Mortgage Based on 30% Housing Cost w/ \$10K Down & \$10K Closing | Sub: |
|--|-------------------------------------|--|--|------|
| 50%AMI | \$30,900 | \$850 | \$33,627 | \$ |
| 80%AMI | \$49,450 | \$1,236 | \$148,863 | \$ |
| 120%AMI | \$74,160 | \$2,039 | \$279,128 | \$ |
| 140%AMI | \$86,520 | \$2,156 | \$273,572 | \$ |
| Example Purchase Price of Home= \$350,000 | | | | |

Source: Florida Housing Finance Corporation, SHIP & HHRP Programs

THE FLORIDA HOUSING COA

Homeownership Subsidy Calculations:

| Buyer 2-pers | | 80% AMI 2-2 | |
|---------------------|-----------|-------------|--|
| Item | Amount | | |
| Purchase Price | \$175,000 | | |
| Closing Costs | \$7,500 | | |
| Down payment | (\$5,000) | | |
| Total | \$177,500 | | |
| Affordable Mortgage | \$152,082 | | |
| Subsidy Needed | \$ 22,918 | | |

| Buyer -4 pers. | | 120% AMI 3-2 | |
|---------------------|------------|--------------|--|
| Item | Amount | | |
| Purchase Price | \$350,000 | | |
| Closing Costs | \$10,000 | | |
| Down payment | (\$10,000) | | |
| Total | \$347,500 | | |
| Affordable Mortgage | \$279,128 | | |
| Subsidy Needed | \$ 70,871 | | |

Takeaways

- Affordable rental housing continues to be out of reach
- The cost of taxes and insurance as a percentage of the mortgage amount lower income borrowers out of eligibility
- SHIP Purchase Assistance \$10,000 - \$15,000 is not adequate for current homes
- Employers are challenged to attract workers to live in county due to shortage of available housing
 - There are 1,402 workers commuting to Franklin County



QUESTIONS?





Current Hous Programs

State of Florida Programs

- **Florida Housing Finance Corporation**
 - State Housing Initiatives Partnership
 - Low Income Housing Tax Credits
 - Bonds
 - HOME
 - HOP
 - **Hometown Heroes**
- **Department of Economic Opportunity (DEO)**
 - Small Cities CDBG
 - Disaster Recovery (Rebuild Florida)
 - Pandemic Mortgage and Rental Assistance
 - Weatherization
- **State and Local Fiscal Recovery Funds**-can be used for affordable housing



Federal Housing Programs

- **USDA Rural Development:** financing for single and multifamily housing; low interest rates, rental assistance included
- **USDA Self-Help-** homebuyers work together to build homes with sweat equity
- **US HUD-** single and multifamily programs offered through state, Florida Housing Finance Corp. and Public Housing Authorities.
 - CDBG
 - HOME
 - Housing Choice Vouchers
- **US Dept. of Energy-** Weatherization Programs offered thru Florida DEO – to Capital Area Action Agency



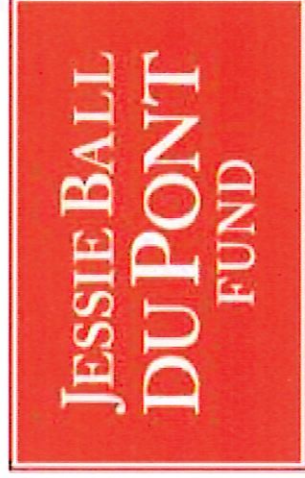
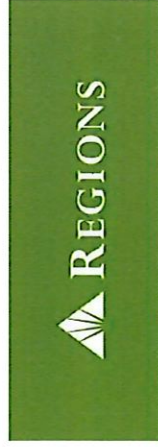
THE FLORIDA HOUSING COA



Private Housing Funding Sources



- Habitat for Humanity- 0% interest loans, sweat equity, philanthropy
- Federal Home Loan Bank of Atlanta- grants from sponsor banks for construction and purchase assistance
- Venture Capital – various funds for special projects
- Foundations
 - Banks
 - National organizations ex. Enterprise Community Partners



THE FLORIDA HOUSING COA



Franklin County SHIP Strategies

Allocation: \$350,000 per year 2022-23 Plan

| Strategy | Max Award Per Unit | Terms |
|---|---|--|
| Down Payment/Closing Costs <i>5 units</i> | VLI-\$15,000 LI-\$12,500 MOD-\$10,000 | 10-year term 0% interest Principal forgiven by 10% for each year resident met. |
| Owner Occupied Rehabilitation Assistance <i>4 units</i> | \$35,000 | 10-year term Principal forgiven by 10% for each year resident met. |
| Emergency Repair <i>5 units</i> | \$10,000 | 5-year term Principal forgiven by 20% for each year resident met. |
| Disaster Recovery Grants <i>6 units</i> | \$10,000 | Assistance is issued in form of a grant. |

Source: [Local Housing Assistance Plan \(LHAP\)](#)

THE FLORIDA HOUSING COA

Franklin County SHIP: 2018-19 Summary

| Homeownership | | | | |
|------------------------------|-------------------------------|---------------------|-----------|---|
| Code | Strategy | Expended Amount | Units | E |
| 2 | Down Payment Assistance | \$72,500.00 | 6 | |
| 3 | Owner Occupied Rehabilitation | \$204,249.50 | 9 | |
| 5 | Disaster Grant | \$107,458.81 | 18 | |
| 6 | Emergency Repair | \$18,662.00 | 2 | |
| Homeownership Totals: | | \$462,870.11 | 35 | |

| Rentals | | | | |
|-----------------------|----------|---------------------|-----------|---|
| Code | Strategy | Expended Amount | Units | E |
| Rental Totals: | | | | |
| Subtotals: | | \$462,870.11 | 35 | |

| Source of Funds |
|------------------------------------|
| State Annual Distribution |
| Program Income (Interest) |
| Program Income (Payments) |
| Recaptured Funds |
| Disaster Funds |
| Other Funds |
| Carryover funds from previous year |
| Total: |

Strategies and Production Costs

| Strategy |
|-------------------------------|
| Disaster Grant |
| Down Payment Assistance |
| Emergency Repair |
| Owner Occupied Rehabilitation |

Franklin County SHIP 2019-2020 Summary

SHIP Distribution Summary

Homeownership

| Code | Strategy | Expended Amount | Units |
|------------------------------|-------------------------------|---------------------|-----------|
| 2 | Down Payment Assistance | \$65,000.00 | 6 |
| 3 | Owner Occupied Rehabilitation | \$260,184.00 | 12 |
| 6 | Emergency Repair | \$9,318.50 | 2 |
| Homeownership Totals: | | \$334,502.50 | 20 |

Rentals

| Code | Strategy | Expended Amount | Units |
|-----------------------|----------|---------------------|-----------|
| Rental Totals: | | | |
| Subtotals: | | \$334,502.50 | 20 |

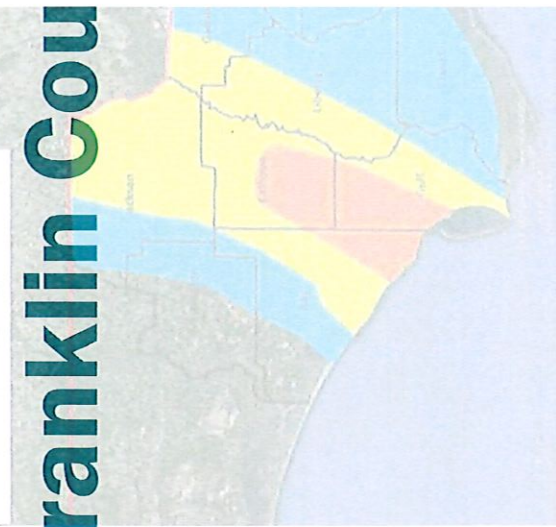
| Source of Funds | Amount |
|------------------------------------|---------------------|
| State Annual Distribution | \$350,000.00 |
| Program Income (Interest) | \$0.00 |
| Program Income (Payments) | \$100,000.00 |
| Recaptured Funds | |
| Disaster Funds | |
| Other Funds | |
| Carryover funds from previous year | \$0.00 |
| Total: | \$370,000.00 |

Strategies and Production Costs

| Strategy | Amount |
|-------------------------------|--------|
| Down Payment Assistance | |
| Emergency Repair | |
| Owner Occupied Rehabilitation | |

Hurricane Michael Impacts to Franklin County

Hurricane Michael's Forest Damage Path in Florida



Franklin County FEMA IA Applicant Facts

Households: **8,698**

Median Household Income: **\$41,267**

FEMA Applicants: **1,732**

High/Severe Damage (%): **501 (5.76%)**

Owner (Renter) ((Unspecified)) Applicants:

1,259 (456) ((17))

Access and Functional Needs: **32**

Age over 65: **506**

Residing in Flood Zone: **915**

Table 15: Estimated damaged to owner occupied housing units by county

| County | Minor-Low | Minor-High | Major-Low | Major-High |
|----------|-----------|------------|-----------|------------|
| Bay | 1,068 | 1,694 | 2,051 | 3,707 |
| Calhoun | 120 | 192 | 242 | 573 |
| Franklin | 101 | 85 | 81 | 118 |
| Gadsden | 536 | 461 | 433 | 529 |

Table 21: Percentage of housing stock with HUD defined major to severe damage

| County | Total Housing Units | Housing Units with Major/Severe Damage | Housing Units with Major/Severe Damage as a Percentage of all Housing Units | Household Major/Severe Damage Low and Moderate |
|----------|---------------------|--|---|--|
| Bay | 102,811 | 25,045 | 24.4% | 13,915 |
| Calhoun | 6,021 | 2,154 | 35.8% | 1,119 |
| Franklin | 8,698 | 501 | 5.8% | 229 |

THE FLORIDA HOUSING COA

Franklin County Hurricane Housing Recovery Program 201 Summary

\$1,846,795

HHRP Distribution Summary

Homeownership

| Code Strategy | Expended Amount | Units | Encumbered Amount | Units |
|---------------------------------------|-----------------|-----------|---------------------|----------|
| 3 HHRP Home Repair | \$244,909.00 | 6 | | 0 |
| 3 HHRP Manufactured Home Repair | \$72,847.00 | 4 | \$19,950.00 | 1 |
| 10 HHRP Manufactured Home Replacement | \$537,410.80 | 8 | \$168,089.60 | 2 |
| Homeownership Totals: | | 18 | \$188,039.60 | 3 |

Rentals

| Code Strategy | Expended Amount | Units | Encumbered Amount | Units |
|-----------------------|-----------------|-----------|---------------------|----------|
| Rental Totals: | | | | |
| Subtotals: | | 18 | \$188,039.60 | 3 |

Strategies and Production Costs

| Strategy |
|------------------------------------|
| HHRP Home Repair |
| HHRP Manufactured Home Repair |
| HHRP Manufactured Home Replacement |

| Description | Special Target Group |
|------------------------------------|--------------------------|
| HHRP Home Repair | Retail Sales |
| HHRP Home Repair | Service Industry |
| HHRP Manufactured Home Repair | Educator/School Employee |
| HHRP Manufactured Home Repair | Nurse/Healthcare |
| HHRP Manufactured Home Repair | Service Industry |
| HHRP Manufactured Home Replacement | Retail Sales |
| HHRP Manufactured Home Replacement | Service Industry |

Affordable Housing Regulatory Incentives Franklin County LHAP

- Expedited Permitting
- Ongoing Review Process
- Should Also Include:**
- Density Bonus for Affordable Housing
- Inclusionary Zoning
- Reservation of Infrastructure for Affordable Housing
- Flexibility of zoning regulations for Affordable Housing



QUESTIONS?





Existing Affordable Housing Units & Developers in the Area

THE FLORIDA HOUSING COA



Assisted Housing by Funding Source in Franklin County

| Funder | Properties | Total Units | Assisted Units | HUD/ Assista |
|-------------------------------------|------------|-------------|----------------|-----------------|
| Florida Housing Finance Corporation | 6 | 217 | 197 | |
| USDA Rural Development | 4 | 121 | 120 | |
| HUD Public Housing | 2 | 104 | 104 | |
| Total, All Funders | 9 | 357 | 336 | |



Royal America Development |

- Heritage Villas, Apalachicola
 - 23 Units-Family
 - 9% LIHTC, RD/Rental / Section 515
- Eastpoint Apartments, Eastpoint
 - 30 Units-Family
 - 9% LIHTC, RD/Rental /
- Southern Villas of Apalachicola
 - 36 Units-Family
 - RD/Rental Assistance, Section 515

THE FLORIDA HOUSING COA



Wendover Housing Partners, LLC

- Corporate Office located in Altamonte Springs, FL
- Denton Cove Apartments
 - 52 units
 - Family
 - 9% LIHTC



THE FLORIDA HOUSING COA



The Hallmark Companies, Inc.

- Corporate Office located in Atlanta, GA
- Carrabelle Cove Apartments
 - 32 units
 - Family
 - 9% LIHTC
 - RD/Rental Assistance



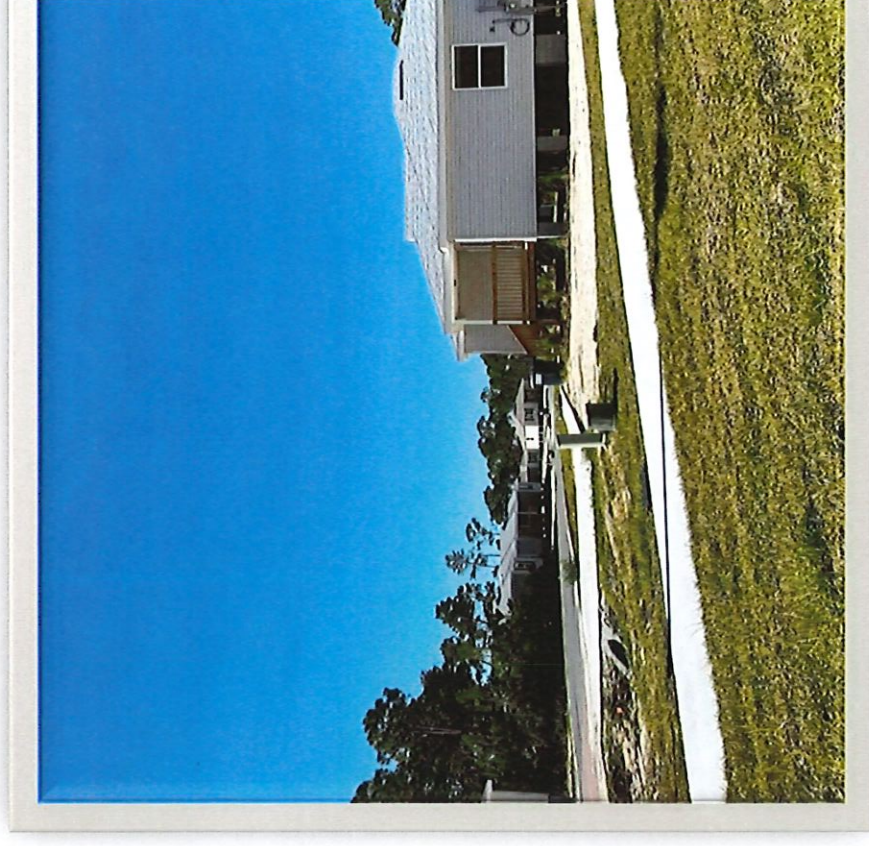
Source: Apartments.com

THE FLORIDA HOUSING COA



McDowell Housing Partners LLC

- Heartland Development
Group- based in Sebring, FL
- Jordan Bayou- Carrabelle
 - 50 units
 - Family
 - HOME from FHFC



THE FLORIDA HOUSING COA



Housing Authority of Apalachicola

- 54 Public Housing Units
 - High Performer
- Cool Springs Public Housing
 - Elderly and Family
 - Constructed in 1942



Unit Status

| | | |
|--------------|------------------|--------------------|
| 1 | 1 | 54 |
| PHAs | Developments | Total ACC Units |
| 50 | 4 | 2.00 |
| Units Leased | Units Not Leased | Residents Per Unit |

Source: HUD Public Housing Dashboard. FY 20
FL036 HA of Apalachicola.

THE FLORIDA HOUSING COA



Northwest Florida Regional Housing Authority

- Serves 9 Counties, including Franklin
- PH Projects in Franklin County
 - Driftwood Carver Happy Acres
 - Carrabelle
 - 50 Units
 - Elderly, Family

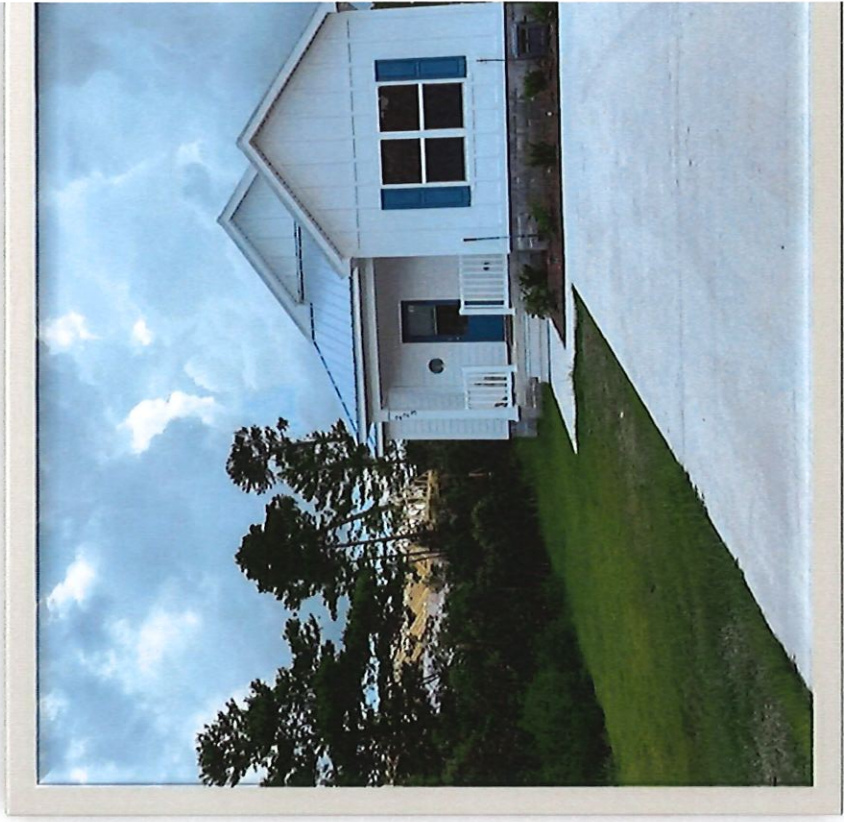
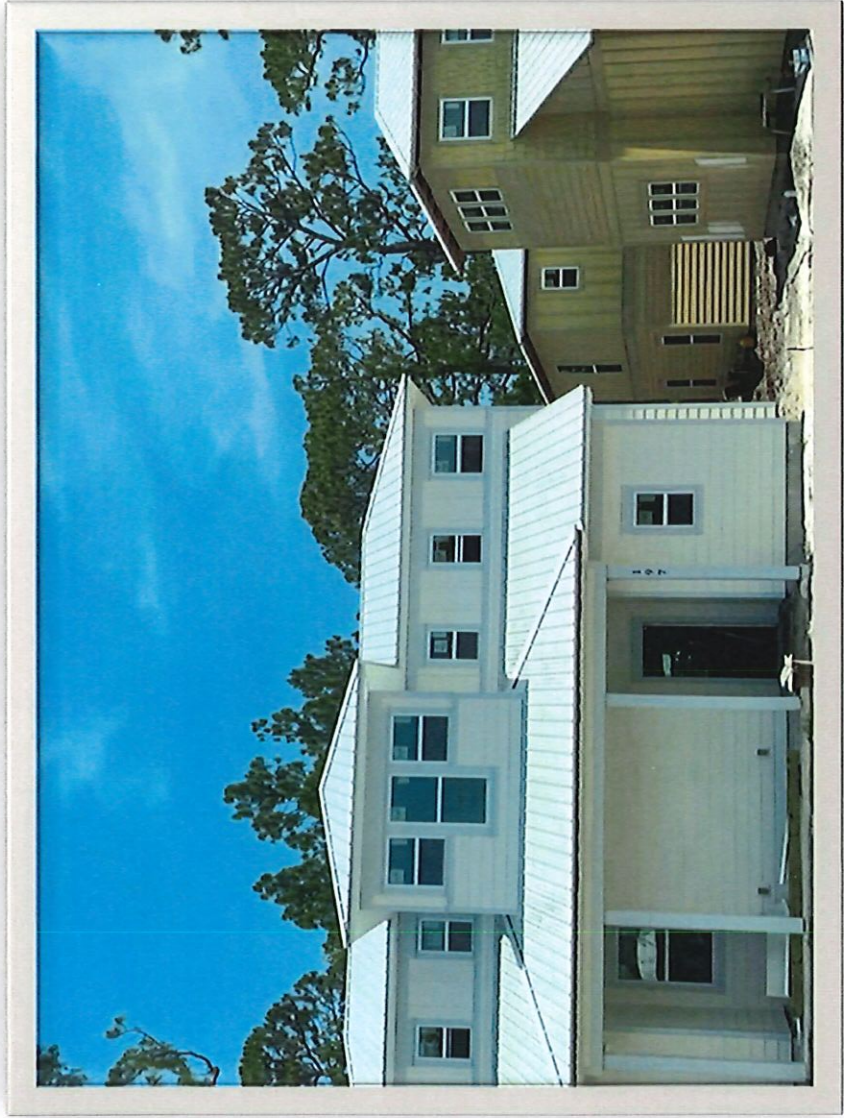


| Unit Status | 7 | 370 |
|--------------|------------------|--------------------|
| 1 PHAs | Developments | Total ACC Units |
| 342 | 12 | 1.86 |
| Units Leased | Units Not Leased | Residents Per Unit |

Source: HUD Public Housing Dashboard. FY: FL015-NW Florida Regional PHA

THE FLORIDA HOUSING COA

New Single-Family Homes Going Up





Role of Florida Housing Finan^l Corporation



FHFC Competitive Application Process

Franklin County Projects

Heritage Villas (9% LIHTC)

Denton Cove (9% LIHTC)

Carrabelle Cove (9% LIHTC)

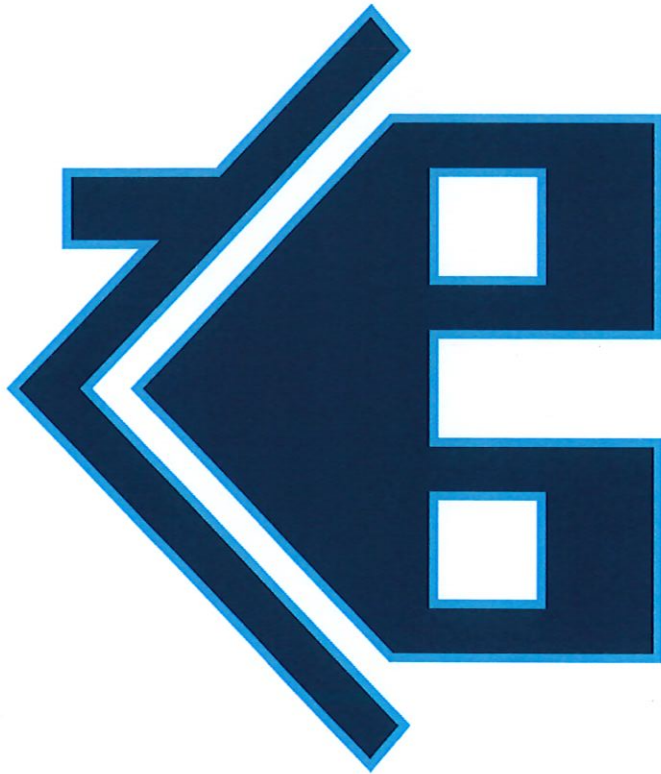
Jordan Bayou (State HOME)

Eastpoint Apartments (9% LIHTC)

Source: Shimberg Center, Assisted Housing Inventory

THE FLORIDA HOUSING COA





Solutions to Achievable Housing

Planning to Plan

1. Appoint Housing Team and Leadership
2. Adopt a Scope of Work
3. Develop a Workplan with Tasks, Dates, and Responsible Part
4. Community Engagement and Participation
5. Identify Vulnerabilities – Social and Structural
6. Identify Goals
7. Plan for Implementation

FHC is here to help!



The Toolbox

- Public-Private Partnerships
 - Housing Providers- Community Land Trust
 - Employers
 - Development Industry
 - Business and Real Estate Community
 - Philanthropy-*nonprofit organizations*
 - Service Providers
- Regulatory Incentives
- Financial Incentives and Programs
- Surplus Land
- Community Land Trust
- Interagency Coordination-Schools, Essential Services, Transportation Hazard Mitigation
- Vulnerability Analysis Tools (example: Keep Safe Florida, VMAP)



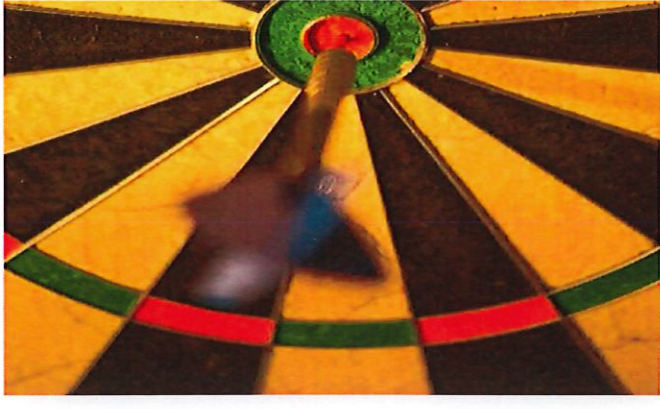
1. Target Housing Needs Based on Data

Low-Income, Cost Burdened Residents

- 200 Renter Households
- 439 Owner Households

Age of Housing Stock

- 60% constructed before 1990



2. Preservation of Existing Affordable Housing

POLICY 4.1 During each annual funding cycle, the County should develop rehabilitation program and submit application under the Florida Small City Development Block Grant Program.

- Naturally Occurring Affordable Housing (NOAH)
 - Private rentals
 - Generally older housing stock
 - Mobile homes
 - **May benefit from housing rehabilitation/retrofit**
- Assisted Housing
 - Financed with public dollars
 - Rent can remain below market-rate due to subsidy
 - Requires low-income set-aside
 - **May benefit from housing rehabilitation/retrofit**
 - **Be aware of expiring subsidies; take action to acquire**



3. Homeownership

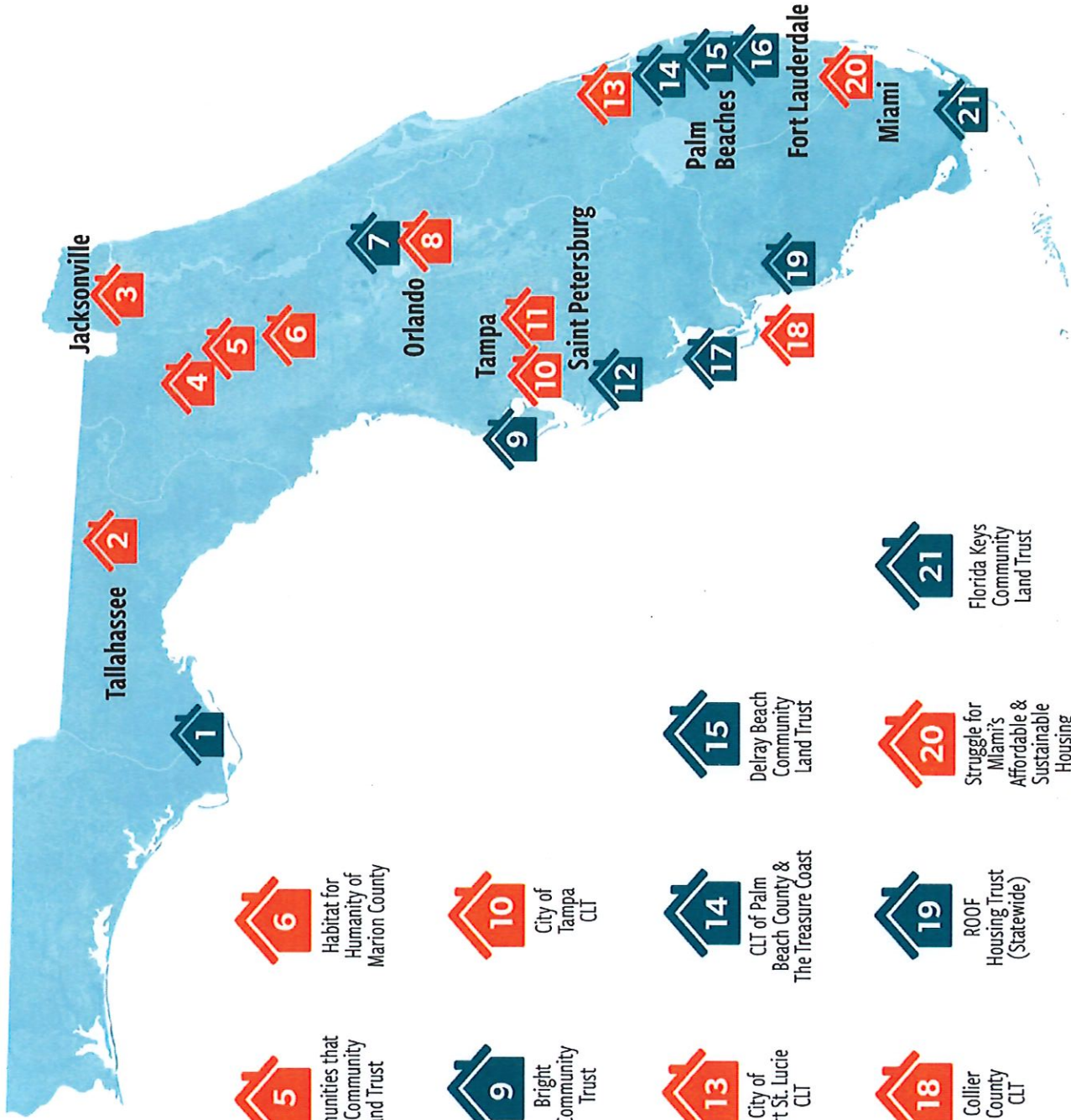
- Hometown Heroes
- **Franklin Community Land Trust**
- SHIP Homeowner Rehab-Mitigation
- SHIP Accessibility and Energy Efficiency Modifications
- Emergency Mortgage, Utility Assistance for Cost Burden Income Homeowners
- Require Affordability in Perpetuity
 - Design program with ground lease
- Accessory Dwelling Units-Identify and Regulate



What is a Community Land Trust?

- The vehicle of separating ownership of the land from the building improvements
- Also, the nonprofit organization that holds title to the land, sells housing on the land, and administers a ground lease
- Bottom line: A CLT removes the cost of the land from the purchase making a home more affordable, usually in perpetuity





1 Franklin County Community Development & Trust Corporation

2 Tallahassee Lender's Consortium CLT

3 City of Jacksonville CLT

4 City of Gainesville CLT

5 Communities that Care Community Land Trust

6 Habitat for Humanity of Marion County

7 Hannibal Square Community Land Trust

8 Housd (Regional Housing Trust - Orlando Metro)

9 Bright Community Trust

10 City of Tampa CLT

11 Hillsborough County CLT

12 Community Housing Trust of Sarasota

13 City of Port St. Lucie CLT

14 CLT of Palm Beach County & The Treasure Coast

15 Delray Beach Community Land Trust

16 South Florida Community Land Trust

17 Community Housing and Resources (Sanibel)

18 Collier County CLT

19 ROOF Housing Trust (Statewide)

21 Florida Keys Community Land Trust

20 Struggle for Miami's Affordable & Sustainable Housing (SMASH CLT)

Community Land Trust Policy in Franklin County

Comprehensive Plan

POLICY 2.3 Affordable housing will be distributed equitably throughout the County using strategies which include, but are not limited to, density bonus programs, establishment of a local community land trust to help develop ways to protect equity and appreciation for affordable housing homeowners but nevertheless insure that affordable homes remain affordable, technical assistance, and reduction or deferrals of building fees and/or infrastructure costs. Additionally, Affordable Housing Density Bonus (AHDB) projects will be located where adequate infrastructure and services are available.

POLICY 2.7 Community Land Trust(s)
Franklin County Housing Board may:

- a. Hasten the establishment of an independent private sector “land trust.”
- b. Work with the FCCLTC to clearly define the relationship and boundaries between the county, municipalities, and eligible applicants.
- c. FCBOC shall assure the legal and financial framework of the FCCLTC will develop the processes and procedures to create a viable and legal mechanism to provide and manage affordable housing.



Land Pipeline for Affordable Housing: Surplus/Public Land and Infill Lots

POLICY 2.9 Surplus Property

FCBOC on its own and in collaboration with municipalities and attempt to reuse public property (surplus buildings or land). If n then to reduce County expense to free monies for FCHB and a

- Surplus land as a resource
 - Free or reduced price in exchange for affordable housing
 - Additional funding as further incentive
 - Partner with Community Land Trust for all transfers
- Other underutilized public land as resource
 - School properties – closed buildings, parking lots
 - Libraries – redevelop as mixed-use
- Desirability of location
 - Infill development can produce varying housing types (missing middle)
 - Public-private partnerships for large scale redevelopments



Hometown Heroes (FHFC)

- Hometown Heroes First Time Homeownership
 - Income limit for family of 4 in Franklin County < \$118,950
 - Purchase Price Limit \$420,680 in Franklin County but may be as low as \$647,200
 - Must use mortgages VA, HFA, Conventional
 - Must use participating lenders
 - Eligible Occupations must appear on the LIST
 - Florida State Agencies, Licensees, First Responders, Educators, Health Care, Active military and veterans
 - Up to \$25,000 purchase assistance-no interest, deferred payment on sale
 - Must take housing counseling class



4. Rental Housing

- Identify Affordable Housing Incentives:
 - Land
 - Density
 - Funding
 - Support
- Issue Request for Proposals or Request for Qualification:
- Select and Support Developers
- Programs for Tenant Support (emergency rent, utility, ar in expenses)
- Programs for rental rehab



5. Action Plan

- Form a Housing Task Force
- Adopt Affordable Housing Development Goals
- Establish partnerships
- Look at SHIP Program
- Look at CRF funding



Action Plan Continued

- Assess Housing Condition & Vulnerabilities
- Support your Community Land Trust





Q&A Discussion

Thank you!

ANNUAL STATEWIDE HOME MATTERS CONFERENCE **AUG 29-31**

IN-PERSON AT THE **ROSEN CENTRE**, ORLANDO FL



REGISTRATION NOW OPEN

www.flhousing.org



Register for the Conference HERE

THE FLORIDA HOUSING COA



Finance Director – Mark Gerspacher

City Commission Meeting –August 2, 2022 – 4:00pm

1. *Budget Meetings for 2022-2023*

Travis Wade and I met with each department head the week of 7/11 – 7/22 to hear their needs for the coming years budget. The requests were summarized as part of the budget workshop on 7/26.

2. *Annual Revenue Reports for FCT Project Sites*

Revenue reports for our FCT Project Sites were submitted. The projects are the Apalachicola Riverwalk, the Apalachicola Holy Family School, Waste Treatment and Municipal Park and the Apalachicola Boat Works

3. *Continuing Services RFQ*

The RFQ for continuing services went out and we have received and answered several questions from potential vendors. Responses will be received and opened on Friday, August 5.

4. *FY2022-2023 Budget*

The first draft of the 2022 – 2023 budget will be distributed this week to commissioners to review before the next budget workshop

Grant Updates – Bree Robinson

City Commission Meeting – Tuesday, August 2nd, 2022

Applications in Works:

- **DEO Rural Infrastructure Fund** – Max \$300k ask with no match. Working on pricing/scope for complete basin analysis of whole city + cameraing of lines + identifying problem lots to remedy stormwater issues. (Following up on partial Basin Analysis completed in 2019.) Looking into a phased approach for moving forward.

1. Firehouse Subs Public Safety Foundation – Hurst Rescue Tools “Jaws of Life”

An application requesting \$34,065.00 for Jaws of Life rescue tools for the Apalachicola Volunteer Fire Department was submitted online 4/7/22. These tools were a request from the VPD and will aid them in their efforts. If funded – the grant program will handle ordering, etc. No match required. **DENIED & REAPPLIED 7/7** in the amount of \$36,795.00, as cost of materials went up. - Waiting for updates, have been advised that most projects are funded by Firehouse Subs after 3 complete applications. Will keep submitting.

2. Water Treatment Plant Improvements - Rural Infrastructure Fund – DEO FY 21/22

FUNDED! Application submitted electronically on 5/26/22 to the RIF program through DEO for fiscal year 21/22. City applied for \$150,000 for engineering services that are going to be needed as we navigate the Potable Water Consent Order and will set us up to apply for more funding down the line. City was FUNDED for \$147k.

Funded:

- Evaluation of Existing Conditions
- Enhanced Sampling Plan, Hydraulic Modeling, and Treatability Studies
- Alternatives Analysis
- Facilities Plan Report

Continuing Services Agreements with Engineers are in the works and advertised. Will award project after this process.

3. Library Improvements – Signs/Little Libraries - Florida League of Mayors 2022 City Catalyst Grants

Application submitted electronically 6/2/22 on behalf of the Apalachicola Margaret Key Public library. Requested the max ask of \$2,500 to purchase two lockable display billboards and two “Free Little Library” setups. The lockable displays are to be placed on the façade of the library. These displays will be used to post public events, library programs, etc. The little library setups will be used for the library to join the Free Little

Library program, as the goal is to place these the greenspaces/parks around Apalachicola. – **FUNDED!**

4. City of Apalachicola Old City Hall Structural Repair – Special Categories DOS

Application submitted electronically 5/31/22 for structural repairs for the Old City Hall building. (Middlebrook Building) Amount requested was \$395,000 with an in-kind match of \$98,750 for a total project budget of \$493,750. The goal of this application is to secure funding to complete the Old City Hall Renovation and support the ongoing repairs funded through the NPS grant. The purpose is to stabilize the building, by proposing to install an interior rigid steel frame to provide the structural integrity of the building exterior masonry and support the historic second floor wood frame. – **Waiting for updates.**

5. CPTA Community Planning Technical Assistance Grant Program – DEO

Application submitted 4/1/22 for updates to our local comprehensive plan as well as complete Phase 2 of the Apalachicola Areas of Critical State Concern Work Plan. If granted, grantee shall analyze the City of Apalachicola’s current local comprehensive plan and present required and recommended update to the City Commission considering resiliency. These ideas will be vetted through community engagement and based on feedback received from the community and City Commission, final amendments to the local comprehensive plan will be prepared for public hearing and subsequent transmission to DEO. The City will also undertake Phase 2 of the Areas of Critical State Concern Work Plan by updating the infrastructure project list and conducting project scoping and economic analysis for priority projects in preparation for the funding available through the Bipartisan Infrastructure Act as well as other state and federal grant opportunities. - **AWARDED!!!** Waiting for agreement.

6. Florida Fish and Wildlife Conservation Commission – Florida Boating Improvement Program – Bay Avenue Seawall Construction

Full application submitted to FWC on 4/1/22 requesting \$257,267 with a \$28,000 (budgeted) City contribution to complete the Bay Avenue Seawall project. The Bay Avenue Seawall has large cracks and structural damage. The City of Apalachicola previously worked with Dewberry Engineers to create engineered construction plans for the project (2017) – with these plans in hand we applied for the construction phase of the Bay Avenue Seawall project.

- Attended a panel on 6/28 to go over any final questions with the FWC panelist. We are in the running to be funded, but there are several other large projects also in the running.

Past year awards seem to award one large project and then a number of smaller projects.
Waiting for updates!

7. Department of Historical Resources African American Cultural and Historical Grants – Apalachicola African-American History Museum

FUNDED! Working on grant work plan and budgeting for agreement to be drafted. Awarded \$1million with a \$250k match from the City for a new construction museum next to Holy Family.

- Due to rising construction costs, the project scope has been changed from a 2-level, 2,500SQF footprint building to a 1-level 2,000SQF building with elevated ceilings. Priorities include:
 - High Security
 - Storage Room
 - Office Space
 - Breezeway to Holy Family
 - Greeting Station/Small Gift Shop Area
 - ADA Accessible Bathrooms
 - Controlled Lighting for Exhibits
 - Building with Room for Add-On at later date

8. HMGP – Backup Generator for Vacuum Station (108 Avenue F)

Grant application was submitted for \$170,000 for a new backup generator. (Current in use is too small for need.) Had to apply for a portable generator instead of stationary, as they will not fund for a stationary one in a flood zone. Multiple RFIs (requests for information) were received and answered. **Still waiting for updates.**

9. Leslie Street - FEMA

WAITING FOR UPDATE ON APPEAL

Project still in review; no timeline. Seeking out other grant opportunities.

10. National Park Service Hurricane Michael Repair/Mitigation - Grants for Repair and Restoration of the Montgomery Cotton Warehouse (Old City Hall) and the Harrison-Raney Cotton Warehouse (HCA)

Old City Hall – RFP's for contract work being drafted and will be issued soon.

HCA –RFP's for contract work being drafted and will be issued soon.

11. Grants Update -

- a. **FDOT City Landscaping** – City was reimbursed for \$193k landscaping costs after FDOT inspection and reimbursement package sent in. Landscaping and maintenance have been “completed.”
 - i. There were issues with the grass drying out during the maintenance period, Gaskin to extend maintenance and re-plant as necessary per our contract and their warranty. Re-plant happening soon – Dan is in contact.
- b. **CDBG-DR Infrastructure** – Avenues Stormwater Repair Project is moving forward. Engineer Procurement and design will need to be secured and created along with environmental review and clearance, then we are scheduled to bid out and begin construction in October/November. ALL policies needed have been completed!
- c. **CDBG-DR Hometown Revitalization** –Riverfront Revitalization and Hill Community Revitalization projects: City in environmental exemption process on administrative and engineering services. ALL policies needed have been completed! RFP’s for engineering work being drafted.
 - i. Grant agreement for Riverfront project executed! 4/13/2022
 - ii. Grant agreement for Hill projects executed! 5/3/22
- d. **HMGP Emergency Generators** – Received and signed Release of Funds forms for CDBG-DR DEO match – HMGP has funded the generators and agreement signed. HMGP admin is being procured currently! Advertised in The Democrat per MSA paper standards from DEO.
- e. **HMGP Market Street Vacuum Station** - Received and signed Release of Funds forms for CDBG-DR match – HMGP has funded the generators and agreement signed. HMGP admin is being procured currently! Advertised in The Democrat per MSA paper standards from DEO.
- f. **Michael FEMA Projects Updates**
 - i. **Bodiford** - BODIFORD PLANS COMPLETE! Waiting for scope verification with FEMA to bid out.
 - ii. **Scipio** – Designs from Dewberry draft complete – waiting for full. Waiting for scope verification from FEMA to bid out.
 - iii. **Alleyway Repairs** – Alleyway: 3, 7, 9, 8, 10, 11, 6, 2, 5, 12, 4 Crushed Shells to be replaced. Extensions requested for all FEMA projects – extension granted.
 - iv. **Old City Hall and HCA Contents loss** – Ordering replacement items from loss. (Funding already received – just needs to be ordered and receipts turned in.) Partially ordered – postponing ordering of remaining items until back room flooring of City Hall complete to place items in.

- v. **Lafayette Park** – TDC funds going towards pavilion at end of boardwalk. Awaiting donated electrical services project to be complete – IN PROGRESS and looking great!
- vi. **Hurricane Sally** – Almost all Sally projects are completed and finalized. Uploading receipts to finish.
- g. **DEP – WWTP Tank Cleaning** –WORK COMPLETED! Filed for reimbursement of funds, \$116k, on 7/24/22.
- h. **Department of Historical Resources 2023 Small Matching Grant – Black History Trail. FUNDED!** Docs for agreement in progress.

12. DEP Applications – Resilient Florida + Water Restoration Assistance - WWTP & Vulnerability Study

WWTP-

Grant #2 is an application for the WWTP totaling \$14 million - the City of Apalachicola was approved for the full \$14 million for new equipment and relocation. DEP contacted us and let us know we had 2 duplicated grant efforts both submitted to them. Both are for the WWTP – and combined could cover the entire WWTP Project costs, headworks and all. DEP has agreed, with some preliminary efforts to ensure the scope and pricing are as they should be.

- Scope of works for both efforts are in progress! Cost breakdown below:
- DEP requested several documents to send out agreements – documents supplied.
- Have been notified that Continuing Services Agreements can be use for both efforts if correct for CFR Compliance – Waiting for bids to close for Engineering. **(Due 8/5)**

COST: The Total Estimated Cost of this Project is \$18,927,391. The anticipated funding breakdown is for **FDEP** to fund approximately **\$5,551,875**, and **FDEP-SRF** to fund **\$13,375,516**.

Vulnerability Study-

Grant #1 Vulnerability Study – FUNDED! Documents requested for agreement to be drafted – in progress.

13. USDA Water Street Permeable Parking Sidewalk and Lighting –

City Commission made a motion, after an award recommendation, to award the project to CWR Contracting, Inc. They have met with Dewberry engineers on site to begin working soon! Final documents mailed to USDA office on 7/26/22 for closeout before construction can begin. **Awaiting USDA staff review.**

14. Coronavirus State and Local Fiscal Recovery Funds (SLFRF) – American Rescue Plan

The City formerly made application to the SLFRF program and received an award of \$1,179,010.00. The City has received half of this allocated amount and will receive the second half after spending the first deposit. City has elected to receive "standard allowance" for government services.

Dates:

- » Funds must be obligated by December 31, 2024
- » All expenditures must be complete by December 31, 2026

American Rescue Plan Info:

- Electing the "standard allowance" to spend on government services
 - Government Services generally include any service traditionally provided by government unless Treasury has stated otherwise. Here are some examples:
 - Construction of schools and hospitals
 - Road building and maintenance and other infrastructure
 - Health Services
 - General Government administration, staff, and admin facilities
 - Environmental remediation
 - Provision of police, fire, and other public safety services, including purchase of vehicles
 - **However, these funds may not be used for a project that conflicts with or contravenes the purpose of the American Rescue Plan Act statute (uses of funds that undermine COVID-19 mitigation practices in line with CDC guidance and recommendations)**
 - All projects MUST follow 2CFR procurement.
 - No construction of the following:
 - New correctional facilities as a response to an increase in rate of crime. New congregate facilities to decrease the spread of COVID 19 in the facility. Convention centers, stadiums or other large capital projects intended for general economic development or to aid impacted industries.
- Funds cannot be used for payments for debt services or replenishing rainy day funds.

All information included in this report is accurate as of July 26, 2022 at 3:00pm. After that time, information is subject to change. If you have any questions, please send them to brobinson@cityofapalachicola.com!

ATTORNEY REPORT

TO: City Commission, City of Apalachicola
FROM: Daniel W. Hartman, Esq.
DATE: August 2022
SUBJ: City Attorney Report for Commission Meeting

1. Noise Ordinance

Please review the Noise Ordinance as revised and provide any additional comments or revisions, we can finalize for first reading at the September 2022 City Commission meeting.

2. Procurement Policy - Supplement

Please review the Supplement to the CDBG Procurement Policy (2022) previously adopted by the City. The purpose of the Supplement is to address non-CDBG type procurements of goods and services. Also to clearly delineate the spending authorization of City Manager and incorporate the Statutory Category II CCNA threshold amount into the City's Procurement Policy.

3. Grace Period on ROW Encroachment Agreements (Fences and Auxiliary Structures)

During a discussion following the PZ meeting regarding the need to deal with Fence and Auxiliary building encroachments in City Alleys (ROWs) it was suggested that the City adopt a uniform policy on the same. The suggestion for consideration by the City was to formally announce a Policy to deal with such ROW encroachments in a uniform manner. Specifically to publicly announce a grace period for property owners in violation to come into compliance. The example discussed was a 2 or 3 year grace period during which persons in violation would either move their encroaching structure out of the ROW or apply for and receive an encroachment agreement from the City Commissions.

The benefits of this approach include a certain percentage of owners coming into compliance without the need for City intervention and it would mitigate against any allegations of selective enforcement.

4.

ORDINANCE NO. 2022-__

AN ORDINANCE OF THE CITY OF APALACHICOLA, FLORIDA AMENDING ORDINANCE NO. 2015-01 REGULATING AND PROHIBITING THE EMISSION OF HARMFUL NOISE; DECLARING SAID NOISES TO BE DETRIMENTAL TO THE PUBLIC HEALTH, COMFORT, CONVENIENCE, SAFETY, WELFARE AND PROSPERITY OF THE RESIDENTS OF SAID CITY; ESTABLISHING AND DEFINING CERTAIN TERMS; ESTABLISHING AND PROVIDING FOR CERTAIN EXCEPTIONS; PROHIBITING THE MAKING, CAUSING OR ALLOWING OF SAID NOISES WHICH CAUSE A NOISE DISTURBANCE OR EXCEED CERTAIN SOUND LEVELS; PROVIDING FOR TECHNIQUES TO BE USED IN MEASURING LEVELS OF SAID NOISE AND THE ESTABLISHMENT OF SAID LIMITS; PROVIDING FOR PENALTIES; PROVIDING FOR ADDITIONAL CIVIL REMEDIES AND CITATIONS; PROVIDING FOR THE REPEAL OF ANY ORDINANCE OR PARTS THEREFROM IN CONFLICT HEREWITH; PROVIDING FOR SPECIAL PERMITS; PROVIDING FOR APPEALS OF SPECIAL PERMITS; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the making and creation of excessive and unusually loud noises within the City of Apalachicola, Florida, is a condition which has existed for some time; and

WHEREAS, the City of Apalachicola recognizes that the current manner in which sound levels are defined and measured must be updated; and

WHEREAS, said noises and the amount, intensity, duration and vibration of said noises are increasing within the area of said City as population, industry and tourism grows; and

WHEREAS, the making and creation of said noises are prolonged, unusual and unnatural in their time, place and use and effect and are a detriment to the public health, comfort, convenience, safety, welfare and prosperity of the residents of said City; and

NOTE: ~~Struck-through~~ language is language proposed to be deleted, Underlined language is amended language, and *** represents sections that have been skipped and that remain unchanged.

WHEREAS, as a matter of legislative determination and public policy, the City Commission of the City of Apalachicola finds it in the public interest for the provisions and prohibitions hereinafter contained to be enacted; and

WHEREAS, it is further declared that the provisions and prohibitions hereinafter contained and enacted are in the pursuance of and for the purpose of securing and promoting the public health, comfort, safety, welfare and prosperity of the inhabitants of said City of Apalachicola; and

WHEREAS, it is the intent of this Ordinance that it shall work harmoniously with existing ordinances and valid state statutes regulating noise emissions and shall be an additional regulation to any such pre-existing ordinances and statutes; and

WHEREAS, it is the intent of this ordinance to amend Ordinance No.: 2015-01.

NOW THEREFORE, BE IT INACTED BY THE PEOPLE OF THE CITY OF APALACHICOLA, FLORIDA:

ARTICLE I. NOISE

Section 1. Terminology; Definitions. All terminology used in this article not defined below shall be defined according to applicable publications of the American National Standards Institute (ANSI) or the American Society for Testing and Materials (ASTM) or their successor bodies.

A-weighted sound level (dBA): The sound pressure level in decibels as measured on a sound level meter using the A-weighted network. The level so read is designated "dBA."

C-weighted sound level (dBC): The sound pressure in decibels as measured on a level meter using the C-weighted network. The level so read is designated as, "dBC"

Ambient Noise: The surrounding or steady background noise in a particular location as distinct

from the specific noise being measured.

Commercial Area: Land used primarily for the sale of merchandise or goods, or for the performances of a service, or for office or clerical work.

Construction activity: Any site preparation, assembly, erection, substantial repair, alteration, or improvement of realty, whether publicly or privately owned, and whether above ground or below ground.

Decibel (dB): The practical unit of measurement for sound pressure level; the number of decibels of a measured sound is equal to twenty (20) times the logarithm to the base ten (10) of the ratio of the sound pressure of the measured sound to the sound pressure of a standard sound (twenty (20) micropascals; abbreviated "dB."

Emergency: Any occurrence or set of circumstances involving actual or imminent physical trauma to human beings or living creatures or property damage which necessitates immediate action.

Emergency Work: Any work performed for the purpose of preventing or alleviating the physical trauma or property damage threatened or caused by an emergency, including work necessary to restore property to a safe condition following an emergency.

Industrial and Commercial Seafood Area: Land use which is primarily for manufacturing, processing (including commercial seafood operations), loading and unloading or an airport.

Multifamily Dwellings: a building designed or used exclusively for residential occupancy by two (2) or more families.

Noise: Any sound which annoys or disturbs humans or causes or tends to cause an adverse psychological effect on humans. "Noise" includes low frequency vibrations, such as caused by amplifications of bass instrumental sounds.

Noise Disturbance: Sound which (a) is or may be harmful or injurious to the health or welfare of a person with normal sensitivities, or (b) significantly interferes with the enjoyment or normal conduct of life, property or outdoor recreation, or (c) causes noise pollution.

Noise Pollution: shall mean the presence of noise in an excessive or disturbing amount or of such duration, wave frequency or intensity as to be injurious to human or animal life or property.

Park Land: Land that is used primarily for public recreational activities.

Person: Any individual, natural person, public or private corporation, firm, association, joint venture, partnership, or any other entity whatsoever or any combination of such, jointly and severally.

Public Right-of Way: Any street, avenue, boulevard, highway, sidewalk or alley or similar place normally accessible to the public which is owned or controlled by a governmental entity.

Public Space: Any real property or structure thereon normally accessible to the public which is owned or controlled by a governmental entity.

Pure Tone: Any sound which can be distinctly heard as single pitch or a set of single pitches. For the purposes of measurement, a pure tone shall exist if the one-third octave band sound pressure level in the band with the tones exceeds arithmetic value the sound pressure levels of the two (2) contiguous one-third octave bands by five (5) dB.

Real Property Line:

- (a) The imaginary line including its vertical extension that separates one parcel of real property from another; or
- (b) The vertical and horizontal boundaries of a dwelling unit that is one unit in a multi-dwelling-unit building.

Receiving Land: Land area neighboring or in the vicinity of a sound source and on or at which the sound emanating from the sound source is audible to the normal human ear.

Residential: Land use that is primarily for living and sleeping or park land or hospitals or schools or nursing homes or the individual plots within a mobile home park assigned by the owner of the park or any land use that is not commercial or industrial.

Short Durations: Any sound with a duration of less than one minute.

Sound: An oscillation in pressure, particle displacement, particle velocity or other physical parameter, in a medium with internal forces that causes compression and rarefaction of that medium. The description of sound may include any characteristic of such sound, including duration, intensity and frequency.

Sound Analyzer: A device for measuring the octave band level of a sound as a function of frequency.

Sound Level: The weighted sound pressure level obtained by the use of a metering characteristic and weighting ~~A, B or~~ A and C as specified in the American National Standards Institute specifications for sound level meters ANSI S1.4-1971, or in successor publications. If the weighting employed is not indicated, the CA-weighting shall apply.

Sound Level Meter: An instrument which includes a microphone, amplifier, RMS detector, integrator or time average, output meter, and weighting networks used to measure sound pressure levels. The output meter reads sound pressure level when properly ~~property~~ calibrated, and the instrument is of type 2 or better, as specified in the American National Standards Institute publication S1.4- 1972 or its successor publication.

Sound Pressure: The instantaneous difference between the actual pressure and the average or barometric pressure at a given point in space, as produced by the presence of energy.

Sound Pressure Level: Twenty (20) times the logarithm to the base ten (10) of the ratio of the RMS sound pressure to the reference pressure of twenty (20) micronewtons per square meter ($20 \times 10^{-6} \text{N/m}^2$). The sound pressure level is expressed in decibels.

Section 2. **Area of applicability.** This article shall be applicable to and embrace all areas within the City limits of the City of Apalachicola.

Section 3. **Exceptions.** The following activities or sources are exempt from the requirements of this article:

- (1) The emission of sound for the purpose of ~~alerting~~ alerting persons to the existence of an emergency, or in the performance of emergency work.
- (2) Between the hours of 7:00 a.m. and 11:00 p.m., ceremonial or traditional activities or events, including the sounding of church bells and the normal sounds of organized sporting and cultural events, but specifically not including music or other amplified sounds performed or played at volumes or vibrations that violate standards of this article.
- (3) Operation of equipment or conduct of activities normal to residential or agricultural communities as set forth herein:

| | <i>Description</i> | <i>Hours of Operations</i> |
|-----|--|----------------------------|
| (a) | lawn care, soil cultivation, domestic power tools, lawn mowers, maintenance of trees, hedges, gardens, saws and tractors, street sweepers, mosquito fogging, tree trimming and limb chipping and other normal community operations | 7:00 a.m. to 10:00 p.m. |
| (b) | operation of equipment for solid waste and recycling collection in or adjacent to residential uses | 6:00 a.m. to 6:00 p.m. |
| (c) | operation of equipment for solid waste collection in nonresidential locations | 4:00 a.m. to 10:00 p.m. |

- (4) Operation of manufacturing in areas zoned for such activities and which do not create a noise disturbance on any properties not designated for such activities.
- (5) Usual noises of construction and operation of construction equipment between the hours of 7:00 a.m. to 8:00 p.m.
- (6) Usual engine noises of traffic and motor vehicles on the public right-of-way.
- (7) Single family residential air-conditioning units when in reasonable mechanical condition operating with the standard noise and vibration control systems typically provided by the manufacturer. A unit is presumed to be in reasonable mechanical condition if it meets the noise specifications contained in the air Conditioning and Refrigeration Institute's ("ARI") Applied Directory of Certified Produce Performance Variable Air Volume terminals.
- ~~(8) Properly licensed and zoned commercial establishments serving food and/or beverages within a building as their main operational business purpose that have entertainment located within the confines of their occupied building walls and ceilings with the doors and windows not left open.~~

Section 4. Prohibited Acts. The occurrence of the conditions, acts or omissions as described in subsections (1) or (2) of this section shall constitute a violation of this article. The Requirements in any one of said subsections stand alone. Measurements described in subsection (2) shall constitute *prima facie* evidence of a violation of this article. However, such measurements are not necessary for enforcement of this article, *i.e.* neither sound measurements as provided in subsection (2) nor any other type of sound measurements are necessary to prove a violation of subsection (1) of this section.

(1) *Noise Disturbance.* Notwithstanding any other provision of this article, and in addition thereto, it shall be unlawful for any person to make or continue, or cause to permit to be made or continued, any noise disturbance, as defined in Section 1.

(a) *Standards.* The standards to be considered in determining whether a violation of subsection (1) of this section exists may include but shall not be limited to the following:

1. The volume of noise.
2. The intensity of the noise.
3. Whether the nature of the noise is usual or unusual.
4. The volume and intensity of the ambient noise, if any.
5. The proximity of the noise to residential sleeping facilities.
6. The nature and zoning of the area from which the noise emanates.
7. The nature and zoning of the receiving land.
8. The time of the day or night the noise occurs.
9. The duration of the noise.
10. Whether the noise is produced by a commercial or noncommercial activity.

(b) *Enforcement.* Enforcement does not depend on any minimum number of standards being met. This Ordinance shall be enforced by the Apalachicola Police Department and/or City Code Enforcement Official.

(c) *Persons Affected.* Persons affected may include residents, passersby, law enforcement, property owners or code enforcement officials.

(2) *Maximum Permissible Sound Levels.*

(a) *Sound and Measurement Location.* No person shall operate or cause to be operated, from any source, sound which, when measured from the location indicated below at the property line of the property where the sound is being generated, exceeds:

| | |
|--|--------|
| <u>Residential – No Heavy Rhythmic Bass</u> | |
| <u>Across the Street from Sound Source</u> | |
| 7 a.m. – 10 p.m. | 60 dBA |
| 10 p.m. – 7 a.m. | 55 dBA |

| | |
|---|--------|
| <u>Residential – WITH Heavy Rhythmic Bass Sounds Evident</u> | |
| <u>Across the Street from Sound Source</u> | |
| 7 a.m. – 10 p.m. | 75 dBC |

10 p.m. – 7 a.m. 70 dBC

Commercial – all measurements made across street from sound source

| | <u>No Heavy Rhythmic Bass</u> | <u>WITH Heavy Rhythmic Bass Evident</u> |
|------------------|-------------------------------|---|
| 7 a.m. – 10 p.m. | 70 dBA | 80 dBC |
| 10 p.m. – 7 a.m. | 65 dBA | 75 dBC |

Industrial Uses Located Commerical Zones (Including Property Zoned RF – Seafood Working Water Front area) Receiving Property: 75 dBA or 85 dBC, measured across the street from the source.

- ~~1. Sixty (60) dBA during the hours between 7:00 a.m. and 10:00 p.m. at the property line of the noise source.~~
- ~~2. Fifty five (5) dBA during the hours between 10:00 p.m. and 7:00 a.m. at the property line of the noise source.~~
- ~~3. Sixty five (65) dBA if the receiving land is a commercial area.~~
- ~~4. Eighty (80) dBC dBA if the receiving land is industrial.~~

(b) *Correction for Character of Sound.* For any source of sound which emits a pure tone, the maximum sound level limits set forth in subsection (2)(a) shall be reduced by five (5) dBA or dBC, whichever is more applicable according to bass content. For any source of sound which is of short duration and is non-repetitive, the maximum sound level limits set forth in subsection (2)(a) shall be increased by ten (10) dBC ~~dBA~~ from 7:00 a.m. to 10:00 p.m.

(c) *Correction for Ambient Noise.* Corrections for ambient noise should be made in accordance with applicable ASTM standards.

(d) *Methods of Measurements.*

1. The measurement of sound shall be made with a decibel or a sound level meter operating on the C or A weighted scale, as applicable of any standard design and quality meeting the standards prescribed by the American National Standards Association. The instruments shall be maintained in calibration and good working order. Measurements recorded shall be taken so as to provide a proper representation of the sound source. The microphone used during measurement shall be positioned so as to not to create any unnatural enhancement or diminution of the measured sound. A wind- screen for the microphone shall be used when required. Traffic, aircraft, and other background ambient sounds shall not be considered in taking measurements except where such ambient sound interferes with the primary noise being measured.

~~2. The measurement shall be made at or beyond the real property line of the property on which such sound is generated or on the receiving land, as appropriate, approximately five (5) feet above ground.~~

Section 5. **Enforcement and Penalties.** Any person or entity violating any of the provisions of this article shall be prosecuted in the same manner as misdemeanors are prosecuted. Such violations shall be prosecuted in the name of the State of Florida in a court having jurisdiction of misdemeanors by the prosecuting attorney thereof and, upon conviction for the first offense shall be punished by a fine not to exceed Two Hundred and fifty dollars (\$250.00) (\$50.00); and up to Five Hundred dollars (\$500.00) for any repeat offense. ~~for the second offense, shall be punished by a fine not to exceed one hundred fifty dollars (\$150.00); and for the third offense and thereafter, shall be punished by a fine not to exceed two hundred fifty dollars (\$250.00) or by imprisonment in the County jail not to exceed sixty (60) days or by both such fine and imprisonment. Each incident or separate occurrence of an act that violates this article shall be deemed a separate offense.~~

Section 6. **Civil Remedies. and Citations.** In addition to the criminal penalties provided in Section 5 above, the City Commission of the City of Apalachicola is authorized to institute any appropriate action or proceeding, including suit for injunctive relief, as may be

necessary, in order to prevent or abate violations of this article. Citations may also be issued to enforce this article as provided by other Ordinances authorized by the City of Apalachicola.

Section 7. Special Permits. Special permits for prospective activities that will exceed the maximum permissible noise levels permitted by this section may be obtained by completed application to the City ~~Manager Administrator~~ or her/his designee. The special permit shall specify the permissible sound levels measured by dBA or dBC as applicable, the time permitted and location where the prospective activity will occur. Such special permit shall not be unreasonably withheld so long as the prospective activity will not adversely affect the health, safety and welfare of nearby residents. The administrative determination shall be made within ten (10) business days of application, or the subject activity shall be deemed permitted.

Section 8. Appeals. ~~Any~~ All appeals of the decision made by the City Manager as to issuance or denial of a Special Permit ~~person denied a Special Permit~~ must be filed within 20 days of such decision in the form of ~~may file~~ an administrative appeal to the City Commission.

Section 9. Severability. If any section, sentence, clause, phrase or provision of this Ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not be construed as to render invalid or unconstitutional the remaining provisions of this Ordinance.

Section 10. Effective Date. This Ordinance shall take effect immediately upon adoption by the City of Apalachicola, Florida.

First Reading on :
Second Reading and Adoption on :

ATTEST: City Commission of the
City of Apalachicola, Florida

By: _____
Deborah Guillotte, City Clerk

By: _____
Brenda Ash, Mayor

APPROVED AS TO FORM:

By: _____
Daniel W. Hartman, City Attorney

CITY OF APALACHICOLA
SUPPLEMENTAL PROCUREMENT POLICIES

Policy No. 2022-

These policies are in addition to those adopted in Policy number 2022- ____ (CDBG Block Grant Program Procurement Policies). These policies are supplemental and complementary and are intended to be followed by the City when procuring products or services not related to the City's Community Development Block Grant Program.

Competition

All procurement transactions, including but not limited to micro purchases, small purchases of goods and services of more than **\$3,000.00** but less than **\$10,000.00** where feasible as determined by the City Manager will be conducted in a manner providing full and open competition in the best interest of the city.

All procurement transactions of more than **\$10,000.00** but less than **\$35,000.00** when feasible as determined by the Commission will be conducted in a manner providing for open competition in the best interest of the city.

All procurement transactions for goods and services in excess of **\$35,000.00** (Category Two, see section 287.017(2), F.S.) shall be competitively bid consistent with section 287.057, F.S.

Sole Source

The non-competitive selection of vendors and non-competitive purchasing may be used as a procurement method for purchases of products or services when available from only one source as set forth in Policy 2022-_____.

Selection

References to a City procurement office, logistics Director, Procurement Manager and Purchasing agent or their equivalent all refer to the office of the City Manager with powers attendant thereto as set forth in Article III, Section 27 of the City Charter.

Any selection or evaluation group, board or committee shall be designated by the City Manager. However, the City Commission retains the right to appoint such evaluation group or committee on any specific procurement in the amount of \$35,000 or more at its sole discretion. It shall be the responsibility of the City Manager to bring all such procurements to the attention of the City Commission such that the City Commission has the timely opportunity to exercise this right.

The recommendations of any such evaluation committee or group involving an amount of \$10,000 or more shall be made to the City Commission for final selection and/or approval.

Conflict

The terms set forth above shall control over of Policy 2022-_____ when in direct conflict. Otherwise this Policy and Policy 2022-_____ are intended to complement one another.

MINUTES OF THE SPECIAL MEETING OF THE APALACHICOLA CITY COMMISSION HELD
TUESDAY, MAY 31, 2022, 5:00 PM AT THE APALACHICOLA COMMUNITY CENTER.

PRESENT: Mayor Brenda Ash
Commissioner Anita Grove
Commissioner Despina George
Commissioner Adriane Elliott
Commissioner Donna Duncan

Deborah Guillotte, City Clerk
Dan Hartman, Attorney

CALL TO ORDER

Mayor Brenda Ash called the meeting to order and gave the Invocation, followed by the Pledge of Allegiance.

PUBLIC COMMENT

No public comment.

BANYAN SOFTWARE APPROVAL

Finance Director Mark Gerspacher is requesting funds for a city government software consisting of the following: finance; utility billing; code enforcement; business license; and cemetery.

Commissioner Adriane Elliott made a motion to approve the purchase of the Banyan Software. Commissioner Despina George seconded, and the motion carried 5-0.

**SMALL CATEGORIES GRANT APPLICATION W/MATCH – OLD CITY HALL –
RESOLUTION 2022-03**

Cindy Clark reviewed and requested that the city approve the special category grant application with the Florida Division of Historical Resources in the amount of \$395,000, with a city match, for the Old City Hall work. Ms. Clark is asking by Resolution that the city match \$98,750.

Commissioner George made a motion to approve the grant application with the City match of \$98,750, funded \$25,000 from insurance proceeds, \$25,000 from ARPA funds, and the remainder funded by in-kind projects. Commissioner Grove seconded and the motion carried 5-0.

Attorney Hartman read Resolution 2022-03 in its entirety.

Commissioner Elliott made a motion to adopt Resolution 2022-03. Commissioner George seconded and the motion carried 5-0.

| |
|---|
| <p style="text-align: center;">NPS GRANT – HISTORY, CULTURE, AND ART BUILDING RECOMMENDATIONS</p> <p style="text-align: center;">APPROVAL</p> |
|---|

Cindy Clark requested approval of 4M Design Groups assessment of the History, Culture and Art Building (HCA) and recommendations for allocation of the \$281,884, grant award from the National Parks Service (NPS), as outlined in 4M's written report.

Commissioner Grove made a motion to approve the assessment and recommendations. Commissioner George seconded and the motion carried 5-0.

| |
|---|
| <p style="text-align: center;">ADJOURNMENT</p> |
|---|

Commissioner Elliott made a motion to adjourn. Commissioner Grove seconded and the motion carried 5-0.

Brenda Ash, Mayor

Deborah Guillotte, City Clerk

CRA Plan, execute documents and by laws; 8) staff begin the process of research to determine where the City goes from this point.

| |
|--------------------|
| ADJOURNMENT |
|--------------------|

There being no further business, the meeting was adjourned.

Brenda Ash, Mayor

Deborah Guillotte, City Clerk

MINUTES OF THE REGULAR MEETING OF THE APALACHICOLA CITY COMMISSION HELD
TUESDAY, JULY 12, 2022, 4:00 PM AT THE APALACHICOLA COMMUNITY CENTER.

PRESENT: Mayor Brenda Ash
Commissioner Anita Grove
Commissioner Despina George
Commissioner Donna Duncan
ABSENT: Commissioner Adriane Elliott

Travis Wade
Deborah Guillotte, City Clerk
Dan Hartman, Attorney

CALL TO ORDER

Mayor Brenda Ash called the meeting to order and gave the invocation, followed by the Pledge of Allegiance.

AGENDA ADOPTION

Commissioner Anita Grove made a motion to adopt the agenda. Commissioner Despina George seconded, and the motion carried 4-0.

PUBLIC COMMENT

Public comments consisted of the following: 1) meeting time; 2) Prado - ditch maintenance and overflow and new development site holding pond and run-off; 3) short term rental zoning issues – city Attorney will research.

EVERGREEN SALARY STUDY PRESENTATION OF FINDINGS

Rob Williamson, Project Manager, Evergreen Solutions, LLC reviewed the city presentation on the following: study goals, project phases, employee meetings; current system finds; market results; recommendations and results. Mayor Ash requests that the Finance Director calculate these numbers to be discussed at next month's meeting.

UNFINISHED BUSINESS

1. Lobbyist – Area of Critical State Concern

Mayor Ash after research, recommends the proposal by The Southern Group be approved as the City's Lobbyist for the Area of Critical State Concern at a cost of \$5000 per month.

Commissioner George suggests that the city put this out for bid. Mayor Ash will request that they do a presentation at the August meeting.

Commissioner Grove made a motion to table this item until the August meeting. Commissioner George seconded and the motion carried 4-0.

New Business

1. Revolving Loan Fund for Mount Zion

Commissioner Grove gave a review that Mount Zion Church was awarded a grant to have roof repair and is requesting the Commission approve a Revolving Loan Application in the amount of \$4000 to cover loan interest charges, to secure this project.

Commissioner Grove made a motion to approve this funding request in the amount of \$4000 based on the Revolving Loan Committee’s approval. Commissioner George seconded and the motion carried 4-0.

NEW BUSINESS

2. North Florida African Corridor/HCA

Myrtis Wynn requests the approval for the North Florida African Corridor Project to operate and manage the HCA building as a museum until the African American Museum is constructed and completed. Willie Tolliver reviewed some of the African American History of Apalachicola.

The overall census of the Commission was agreeable to this agreement, and requests staff will move forward with its completion.

NEW BUSINESS

3. New Policies Approval

Manager Wade requested that the below policies that have been approved by Department of Economic Opportunity for the CDBG grant applications, be approved by the Commission. Bree Robinson stated that these policies are CDBG-DR specific, and only effect the sphere of the grants that have been awarded to the City and need approved by the Commission to move forward.

- **Anti-Fraud Waste and Abuse Policy**
- **Financial Management Procedures Policy**
- **Quality Control Quality Assurance Procedures Policy**

Commissioner Grove made a motion to approve the above policies. Commissioner George seconded and the motion carried 4-0.

MAYOR AND COMMISSIONER COMMENTS

Commission comments consisted of the following: 1) the African American Kenzie Collection is at FSU, PC and closes out on July 28th; 2) Apalachicola Bay Systems Initiative update; 3) Franklin County will be having a housing summit meeting on July 19th at 5pm at the Courthouse; 4) Waste One pickup going great; 5) the County will host an ethics class in August – date to be determined; 6) strategic planning session with Keith Bowers; 7) yard debris pickup dates – in the Waste One Agreement; and 8) elections and ordinance workshop.

CITY MANAGER COMMUNICATIONS

Travis Wade – See Attachment “A”

Manager Wade stated that the Lafayette Park Pier construction has started, and the lighting change over to LED will begin on July 25th.

Paid Holidays discussion need to be placed on August Agenda.

American Rescue Plan Act money discussion and a request this item be placed on the budget agenda.

GRANTS COORDINATOR COMMUNICATIONS

Bree Robinson – See Attachment “B”

FINANCE DIRECTOR COMMUNICATIONS

Mark Gerspacher – See Attachment “C”

Approve Budget Calendar – Finance Director, Mark Gerspacher requested approval of the Budget Calendar.

Commissioner George made a motion to approve the budget calendar. Commissioner Grove seconded and the motion carried 4-0.

Mr. Gerspacher gave an update on the Banyan software, stating this program will be in effect by October 2022.

ATTORNEY COMMUNICATIONS

Dan Hartman – See Attachment “D”

Attorney Hartman requests the direction of the Commission, of possibly amending the definition of impervious surface coverage in the current Ordinance, and changing decks to pervious, depending on how it is built. The Commission will research the existing Ordinance before deciding.

CONSENT AGENDA

- A. Meeting Minutes Adoption** – May 31, 2022, Workshop, June 7, 2022, Regular Meeting, June 21, 2022, Special Meeting and June 29, 2022, Special Meeting Minutes
- B. P&Z Minutes** – June 13, 2022

Commissioner Grove made a motion to approve the consent agenda. Commissioner George seconded and the motion carried 4-0.

DEPARTMENT REPORTS

ADJOURNMENT

Commissioner George made a motion to adjourn the meeting. Commissioner Grove seconded and the motion carried 4-0.

Brenda Ash, Mayor

Deborah Guillotte, City Clerk

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, July 11th, 2022
Community Center/ City Hall -1 Bay Avenue
Agenda

Regular Meeting: 6:00 pm

Attendance: Al Ingle, Bobby Miller, Chase Galloway, Justin McMillan (Alternate),

Dan Hartman.

1. Approval of June 13th, 2022 regular meeting minutes.
 - **Motion to approve by Bobby Miller; 2nd by Chase Galloway. All in favor – Motion carries.**

2. Review, Discussion and Decision for Addition. **(R-2) @ 248 11th Street.** Block 153, Lot 3. For H. Jones -Owner; Contractor:
 - **Motion to approve contingent on staff review of rear setback by Bobby Miller; 2nd by Justin McMillan. All in favor – Motion carries.**

3. Review, Discussion and Decision for Addition. **(Historic District) (R-1) @ 143 13th Street/159 Ave. H,** Block 81, Lots 9&10. For M. Moffett-Owner; Contractor:td
 - **Motion to approve contingent on staff review of survey to confirm setbacks and combining of the two parcels by Bobby Miller; 2nd by Chase Galloway. All in favor – Motion carries.**

4. Review, Discussion and Decision for Shed. **(R-2) @ 148 13th Street.** Block 90, Lot 2&3. For T. Becknell - Owner; Contractor: Self.
 - **Motion to approve by Justin McMillan; 2nd by Bobby Miller. All in favor – Motion carries.**

5. Review, Discussion and Decision for Pole Barn & Gravel. **(Historic District) (R-1) @ 121 14th Street** Block 89, Lot 9&10. For J. Stephens–Owner; Contractor: Self
 - **Motion to approve by Bobby Miller; 2nd by Justin McMillan. All in favor – Motion carries.**

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, July 11th, 2022
Community Center/ City Hall -1 Bay Avenue
Agenda

6. Review, Discussion and Decision for Shed. **(R-2) @ 235 6th Street**, Block 182, Lot 6. For E. & S. Raetzloff-Owner; Contractor: Self
 - **Motion to approve contingent on staff review of 5-foot setback by Chase Galloway; 2nd by Bobby Miller. All in favor – Motion carries.**

7. Review, Discussion and Decision for New Mobile Home + Fence. **(R-3) @ 107 25th Ave.** , Block 257 Lot 16&17. For B. Lee-Owner; Contractor: Daniel Lemieux
 - **Motion to approve by Bobby Miller; 2nd by Chase Galloway. All in favor – Motion carries.**

8. Review, Discussion and Decision for Car Port. **(R-2) @ 159 20th Ave.** Block 247 Lot 20, 21, 22, & 23. For H. Angel – Owner; Contractor: Earl Duggar
 - **Motion to approve by Bobby Miller; 2nd by Justin McMillan. All in favor – Motion carries.**

9. Review, Discussion and Decision for Paved Parking Lot. **(Historic District) (C-2) @ 101 Ave. E.** Block 32 Lot 1-2. For SCT Apalach Holdings, LLC – Owner; Contractor: Roberts and Roberts, Inc.
 - **Discussion regarding engineered stormwater management plan from applicant and concerns over stripping the property before new material put down.**
 - **Motion to table by Bobby Miller; 2nd by Chase Galloway. All in favor – Motion carries.**

10. Review, Discussion and Decision for Preliminary Plat Approval – Oyster City Townhomes. **(R-2) @ 270 Prado. Block 265.** For Mexico Beach, LLC – Owner; Contractor: Sean Marston, P.E.
 - **Name changed to “Palmer Point Townhomes”.**
 - **Motion to approve by Bobby Miller; 2nd by Chase Galloway. All in favor – motion carries.**

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, July 11th, 2022
Community Center/ City Hall -1 Bay Avenue
Agenda

Other/New Business:

Outstanding/Unresolved Issues:

Motion to adjourn by Bobby Miller; 2nd by Justin McMillan.

Approved:



12 July 2022



CITY OF APALACHICOLA CODE ENFORCEMENT

192 Coach Wagoner Blvd * Apalachicola, Florida 32320 * 850-653-8222

July 28, 2022

CODE ENFORCEMENT OFFICE

July 28, 2022

4 Tree Permits (photos and site visits).

2 Fence Permits (with site visits)

6 Fill Permits (with site visits). One

2 Short term rental (Air BNB) notifications sent (certified mail)

4 Meetings with Air BNB property owners

3 Dumping sites visited (Neighborhood canvas for violator information)

3 Meetings regarding debris/blight on personal property

1 Meeting with Dan Garlic and Scott Davis reference 270 Acola

8 Stop Work Orders

6 Citations issued

1 sign violation (Glen Coxwell)

2 On-Site meetings - encroachment on city property

1 meeting at Grady Market reference unpermitted wall (additional stop work order issued)

2 Trees that were on City right - of - way that need to be removed (permits issued)

Research for tree fine at 270 Acola (fine set and sent through certified mail)

Daily Office Meetings

Daily phone inquiries & emails answered

Set up files for each client

Numerous meetings reference code violations at 249 and 251 The Prado.

Numerous phone and email communications reference 245 12th Street (Allen residence)

Fees Collected

Tree Permits \$390 (\$250 City/ \$140 Tree Restoration)

Fence Permits \$100

Fill Permit \$250

Additional Fill \$16,100

Fines Collected

2 Citations \$500

CITY OF APALACHICOLA
ADMINISTRATION DEPARTMENT
July 2022

- Updated meeting calendar on website
- Payroll
- Finance Clerk posted revenues, expenses, pay accounts receivables, balance check accounts, purchase orders and tracking, research on all vendor accounts, and order city employee cell phones
- Assist staff with tree applications, utility bill issues
- Staff assisted with Cemetery, utility bills, garbage, permitting issues, city property rentals and other miscellaneous duties
- Completed tasks as assigned by the City Manager/Commission
- Public Records Request
- Annual golf cart sticker renewals
- Business License Renewal Notices and processing by City staff

July doesn't have a lot to report this month, other than crowded, crowded, crowded! The annual 3rd of July was heavily patrol and the downtown businesses and streets have been patrolled a lot due to increased people visiting the area.

July 2022 Totals

| | | |
|---|------|------|
| Traffic Stops/ Warnings/ citations | 34 | |
| Arrests/ Warrant Requests | 3 | |
| Traffic Accidents | 4 | |
| Burglary/Theft calls | 2 | |
| Assist Citizens/ Complaints/investigations | | 1010 |
| Trespass Warnings/agreements | 13 | |
| Business alarm calls/building checks/welfare checks | | 926 |
| assist county call/other agencies | 22 | |
| Assist Animal control | 1 | |
| Domestic cases involving violence/disturbance calls | | 0 |
| Drugs | 0 | |
| Total calls from dispatch | 2378 | |

APALACHICOLA VOLUNTEER FIRE/RESCUE

MONTHLY REPORT

June 2021
32 calls

| | | | |
|------------------------|-------------|-----------------------|-------------|
| 1. Accidents | <u>4</u> | 7. Gas Leaks | <u> </u> |
| 2. Lift Assists EMS | <u>21</u> | 8. Life Flight | <u>3</u> |
| 3. Bi-Monthly Meetings | <u>2</u> | 9. Search/Rescue | <u> </u> |
| 4. Brush Fires | <u>1</u> | 10. Training | <u> </u> |
| 5. House Fires | <u> </u> | 11. Transformer Fires | <u> </u> |
| 6. Vehicle Fires | <u>1</u> | 12. Vessel Fires | <u> </u> |

1st Responders 53 calls

Firefighter Attendance

| | | | |
|--------------------|-------------|------------------------------|-----------|
| 1. George Watkins | <u>5</u> | 11. Chris Love | <u>3</u> |
| 2. Fonda Davis | <u>2</u> | 12. Avery Scott | <u>5</u> |
| 3. Ginger Creamer | <u>23</u> | 13. Fred Mackinon | <u>10</u> |
| 4. Albert Floyd | <u>6</u> | 14. Ashley Teat | <u>12</u> |
| 5. Rhett Butler | <u>3</u> | 15. Anthony Croom | <u>1</u> |
| 6. Bruce Hoffman | <u>24</u> | 16. Scott Brackett | <u>4</u> |
| 7. Palmer Philyaw | <u>0</u> | 17. Skylar Newell | <u>0</u> |
| 8. | <u> </u> | 18. Shannon Segree | <u>11</u> |
| 9. Troy Segree | <u>20</u> | 19. Adam Joseph | <u>6</u> |
| 10. Rick Hernandez | <u>0</u> | 20. Craig Gibson | <u>5</u> |

Additional Notes:

Recorded by: (Signature)

Date: _____

BUILDING DEPARTMENT

July 2022

- 25 Building Permits Issued
- 3 Building Permits in Process
- 20 Building Inspections
- 11 Certificates of Completion Issued
- Daily Phone Inquiries & Emails Answered
- Several On-Site Meetings
- Daily Office Meetings
- Records Requests
- 9 Planning & Zoning Applications -Support
- July Planning & Zoning Meeting
- July Building Dept. Fees brought in: \$8,719
- Building Dept. Fees ytd: \$90,965

Utility Billing Clerk – July 2022

07/01/2022 through 07/28/2022

| Category | Type | Payment Method | Count | Amount |
|--------------------------|--------------------------------|----------------|-------|------------|
| Deposit Payments | Manual | NOT SPECIFIED | 13 | -2000.00 |
| | Total - Manual | | 13 | -2000.00 |
| Total - Deposit Payments | | | 13 | -2000.00 |
| Payments | | CASH | 243 | -20669.12 |
| | | CHECK | 1081 | -150502.33 |
| | | CREDIT CARD | 387 | -29007.25 |
| | Total - Manual | | 1711 | -200178.70 |
| | Payment Redistribution | | 157 | 0.00 |
| | Total - Payment Redistribution | | 157 | 0.00 |
| | Recurring | Bank Draft | 549 | -81943.67 |
| | Total - Recurring | | 549 | -81943.67 |
| | Returned Check | CHECK | 2 | 339.39 |
| | | DRAFT | 6 | 786.79 |
| | Total - Returned Check | | 8 | 1126.18 |
| Total - Payments | | | 2425 | -280996.19 |
| GRAND TOTAL | | | 2438 | -282996.19 |

Billing Dept - Payments processed in July -2,438

Work Orders Issued – 60 Work Orders Completed – 58

Customers on Shut Off List – 160

Bills mailed out – 2,106 (less City accounts 61)

Set up new Waste One rates / Communicate with Waste One daily to set up billing, customer garbage can request

Issue customer reports to Waste One to help with transition process

Water Dept - Aaron left City leaving 3 vacancies with WS Dept/ sent email to mayor & comm asking who will read meters, when dead meters will be changed out / taps paid since December 2021-when will these taps be installed.

Email regarding meter repairs to be able to shut off meters for non pay

Travis asked me to gather backflow information and complete report for DEP, was due December 2021 (Rhett on vacation) I have never seen this report.

Gather information for Lisa at Dewberry for Water Dept

Send customer letters for backflow testing - Enter Backflow system testing

Attend Commission Meetings when requested / place Quill orders for all departments

Issue reports as requested by City Clerk and Finance Director-other departments

Load documents for Website / update calendar

Janelle C. Paul 7/28/22

City of Apalachicola public works monthly report July 2022

The public works department, services all city vehicles and replaces all the tires on city vehicles, services all the mowers and weed eaters, cuts all city parks, cut all city properties, clean all city buildings, empty all garbage cans down town and city parks, clean city right of ways, cut city right of ways, and patch holes on city roads as needed. And set community center up for monthly meetings.

- emptied down town and public parks trash cans.
- cut our routine main roads parks and cemeteries.
- completed 14 work orders.
- dug out and cleaned several storm ditches in town.
- cleaned several alleys in town.
- cut tree on 9th st.
- repaired battery park pier hand railing.
- cleaned alley on 24th st.
- replaced stop sign on commerce and ave g.
- cut ditch on 23rd st.
- put flooring in city hall office.
- finished wall in police station.
- filled pot hole on several right of ways.
-

Prepared by Robert Osburn

Monthly Report for the
Apalachicola Margaret Key Public Library
July 2022

1012 patrons visited - 575 books/movies/audiobooks circulated- 19 new accounts opened - 175 patrons used our computers - \$415.57 collected as library revenue - 571 items donated to the library - 138 hours donated by our wonderful volunteers - 13,036 people reached w/36 Facebook posts - 95 accounts reached w/26 Instagram posts

An enormous THANK YOU to all the volunteer individuals and organizations who helped shape a wonderful Summer at our Apalachicola Library: Apalachicola National Estuarine Research Reserve, Apalachicola Riverkeepers, Aaliyah Herrera, Audie Piper, Bring Me A Book Franklin, Carol Harris and Randy Mims, Dean Newman, Elizabeth Perkins, Franklin County Sherriff's Office, FSU Coastal and Marine Laboratory, Florida State Parks, Jenny Odom, Jerry Hurley, Karen Kessel, Michael S. (free mowing!), P.A.L.S., Peggy O'Bear, Richard Lenhart, Sandra McClain, and Susan David. We are so grateful to each of you, your time, efforts, and all your support. Thank you.

What a Summer at the library! This Summer has been a celebration honoring our community connections. Our fantastic Summer Library Assistant Mendy Bannerman, sponsored by PALS, visited Camp Moving Education on July 5th, helping kids construct their own books about their camp experiences. The library visited Apalachicola's Project Impact three times for science demonstrations with robots, geysers, and bionic arms, all lead by volunteer, Richard Lenhart. The library had book baskets at both camps and looks forward to future projects together.

In July, we packed our weeks! Sundays, we offered 'Snack & Story' for kids at 2pm; and gardening help by Helen Gologowski, our Master Gardener volunteer from 1-3pm. Mondays at 2pm, we held 'Music Mondays' for kids, with mini music lessons taught by local musicians. At 4pm our Apalachicola Writer's Group wielded words with author and volunteer, Jerry Hurley. Tuesdays and Thursdays at 2pm, we featured a 'Water' craft and story, hosted by Ms. Mendy, with 'Board Game Bonanza' or Lego Club to follow. Karen Kessel, from Bring Me A Book Franklin, continued the Tuesday tradition with Books for Babies at 10:30am and Sunset Stories at 5:30 pm. Wednesdays we dedicated to our waters, with visits from the Florida State University Marine Lab, the Apalachicola National Estuarine Research Reserve, a Florida State Park Ranger, or the Apalachicola Riverkeepers. Each organization brought different sea creatures, shells, activities, and crafts for all ages. Book Club also met for another Wednesday chapter in mid-July, to choose their Fall books. Fridays from 6-8pm, were a true highlight with a very popular Summer Music Series for 4 Fridays, two in July, with local and area musicians packing the library and bringing the fun! In July we also offered another PALS Sponsored Friday Family Movie Night and will hold our Summer Reading Closeout Party on the final Friday from 4-6pm.

The library is open 10:00 a.m. to 6:00 PM, Monday - Friday and Sundays from 1-4PM. We help patrons with reading, writing, and learning; as well as a suite of print/copy/scan/fax/and notary services. We continue to loan books, audiobooks, movies, puzzles, and various items from our Library of Things.

In Gratitude,

Lucy Carter, Library Director

Isel Sánchez-Whiteley, Library Assistant