

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
TUESDAY, NOVEMBER 12, 2019
Community Center/City Hall - 1 Bay Avenue
AGENDA

Regular Meeting - 6:00 P.M.

1. Approval of October 14th, 2019 Regular Meeting Minutes.
2. Review, Discussion and Decision for a 14' x 64' Mobile Home **(R-3) @ 269 24th Avenue Block 233, Lots 27 & 28** For -- Kenia Martir—Owner; Contractor: Clayton Homes.
3. Review, Discussion and Decision for a New 12' x 48' 6" Porch **(Historic District)(R-1) @74 Avenue K Block 180, Lot 6** For—Andy Stivers—Owner; Contractor: Hutchinson Design & Construction, Inc.
4. Review, Discussion and Decision for Demolition of the Bus Barn 9,595 Sq. Ft. **(R-2) @ 170 Avenue L** Blocks 16, 128, & 131 For—Franklin Co. School District—Owner; Contractor: Great Southern Demolition.
5. Review, Discussion and Decision for a 48' x 28' New Single Family with fence **(R-2) @ 217 Cottage Hill Rd.** For—James Frost—Owner; Contractor: Owner.
6. Review, Discussion and Decision for a New Single Family with tree removal **(R-2) @ 270 Acola Avenue Block 5, Lots 7 & 8** For—Doug Lawrence—Owner; Contractor: Gulf Coast Field Services, LLC.
7. Review, Discussion and Decision for a 12' x 28' Front Porch **(R-3) @ 452 23rd Street Block 215, Lots 4, 5, 6, & 7** For - Greg & Karen Harris—Owner, Contractor: Owner.



CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, OCTOBER 14, 2019
Community Center/City Hall - 1 Bay Avenue
AGENDA

Regular Meeting - 6:00 P.M.

1. Approval of September 9, 2019 Regular Meeting Minutes. **Motion to Approve: Constance Peck, second by Elizabeth Milliken.**
2. Review, Discussion and Decision for 8' x 20' Storage Shed **(Historic District)(O/R) @ 108 11th Street, Block(s) 78, Lot(s) 2, For - Russell Cumbie, Contractor - Owner. Motion to Approve: Al Ingle, second by Elizabeth Milliken.**
3. Review, Discussion and Decision for a Radio Broadcast Antenna **(Historic District)(R-1) @ 85 Bay Avenue** Block 26, Lots 9 & 10, For- James Elias, Contractor- Owner. **Motion to Approve: Al Ingle, second by Elizabeth Milliken.**
4. Review, Discussion and Decision for New Construction, Detached Garage, Picket fence & Privacy Fence, Tree Removal **(Historic District)(C-2)@ 196 9th St.** For-- Ralph & Brenda Basset—Owner; Contractor: Construct Group SE Inc **Motion to Approve with Conditions: Modify fencing height to be in line with house façade: Joe Taylor, second by Elizabeth Milliken.**
5. Review, Discussion and Decision for a Commercial Alteration to an Existing Structure. Proposes to Convert an Existing Room to an Outdoor Patio Area and Expand patio Area; Construct covered Entrance **(Historic District)(C-2) @120 MLK BLVD** For-- Apalach Land & Development—Owner; Contractor: Construct Group SE Inc. **Motion to Approve: Joe Taylor, second by Al Ingle.**
6. Review, Discussion and Decision for Adding Exterior Garage Stairs to an Existing Garage/ Studio **(Historic) (R-1) @ 42 6th St** For--Jason Carter—Owner; Representative- George Coon. **Motion to Approve: Joe Taylor, second by Elizabeth Milliken.**
7. Review, Discussion and Decision for a 14' x 64' Mobile Home **(R-3) @ 269 24th Avenue** Block 233, Lots 27 & 28 For-- Kenia Martir—Owner; Contractor: Clayton Homes. **Motion to Table for Further Review: Joe Taylor, second by Al Ingle.**
8. Review, Discussion and Decision for a Residential Dock with Boat Lifts **(R-1) @250 ½ Hwy 98** For-- Jay Chesley—Owner; Representative- Garlick Environmental Associates. **Motion**

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to Approve with conditions: Contingent on receipt of Federal Permits: Joe Taylor, second by Elizabeth Milliken.

9. Review, Discussion and Decision for Extending Commercial Dock with a Floating Dock **(RF & C-4) @ Scipio Creek Marina** For—Creamer Family LLC—Owner; Representative- Farlick Environmental Associates. **Motion to Approve with conditions: Contingent on receipt of Federal Permits: Joe Taylor, second by Elizabeth Milliken**
10. Review, Discussion and Decision for Tree Removal **(R-3) @ 335 Earl King St. Block 217, Lots 13, 14, 15, 16** For—Shuler Brothers Rentals Inc—Owner. **Motion to Approve contingent upon adherence to previous tree ordinance: Elizabeth Milliken, second by Al Ingle.**

Motion to Adjourn: Al Ingle, second Elizabeth Milliken. Motion carried.

Tom Daly, Chairperson



Building Dept. Review Summary

P&Z Meeting October 14, 2019

Address: 269 24th Ave. Interior Lot

Zoning: R-3

Historic District: No

Block: 233

Lots: 27 & 28

Project Description:

14' x 64' Mobile Home- replacing hurricane damaged structure. Mobile Homes are an allowable use in R-3.

Flood Zone: X & AH 14' First Floor Elevation: 16.53' Complies with Flood Ordinance

Lot Size: 60' x 100'

Impervious Surface Proposed: 15% Allowed: 40% Complies with LDC

Height Proposed: 12' 6" Allowed: 35' Complies with LDC

Main Structure (Single Family Residential)

Setbacks Required: Front: 15' Rear: 25' Right : 7.5' Left: 7.5'

Setbacks proposed: Front: 15' Rear: 25' Right : 23' Left: 23'

Setbacks Proposed: Complies with LDC

**CITY OF APALACHICOLA
ORDINANCE NO. 2016-01**

AN ORDINANCE OF THE CITY OF APALACHICOLA, FLORIDA AMENDING THE LAND DEVELOPMENT CODE OF THE CITY MAKING FINDINGS OF FACT AND ESTABLISHING MINIMUM ARCHITECTURAL, AESTHETIC AND SAFETY STANDARDS FOR SINGLE-FAMILY DWELLINGS WITHIN THE CITY; PROVIDING FOR IMPLEMENTATION OF RESTRICTIONS IN SUBDIVISIONS AND THE HISTORIC DISTRICT TO THE EXTENT RESTRICTIONS AND/OR COVENANTS IN SUCH AREAS ARE LESS RESTRICTIVE THAN THOSE PROVIDED HEREIN; PROVIDING FOR SEVERABILITY; PROVIDING FOR REPEAL OF ORDINANCES OR PARTS THEREOF THAT ARE IN CONFLICT HEREWITH; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Apalachicola recognizes the historical and economic benefit of its residential community; and

WHEREAS, the City of Apalachicola desires to preserve and promote the architectural and aesthetic amenities of its residential communities both within and outside of the Historic District of the City; and

WHEREAS, the City of Apalachicola acknowledges that it is necessary both in the Historic District and all of the residential neighborhoods of the City, **other than in zoning district R-3**, to ensure the continuation of the architectural and aesthetic appearance of residential neighborhoods that the fronts, porches, roof pitch, entry ways and exteriors of residential building be regulated and restricted; and

WHEREAS, the City of Apalachicola acknowledges based on history and experience that the entire City is uniquely situated so that it is and has been susceptible to hurricane force winds, coastal flooding and wave action and the City desires for the benefit of its residents and visitors to mitigate the potential adverse effects of these forces on residential buildings within the City; and

WHEREAS, the City of Apalachicola acknowledges that it is situated in a location on Apalachicola River and Bay such that there is a high water table and growing high salt content of the soils in some areas making it necessary to restrict and regulate for the benefit of its residential communities and others the type and grade of any metal objects including tie downs and anchors which are used for the purposes of securing and protecting any building on the site; and

WHEREAS, the City of Apalachicola acknowledges that because of its unique location in the Gulf of Mexico, its water boundaries and the elevation of its land areas, high wind forces during storm events that occur in this area require extra precaution and regulation to ensure safe and sufficient downward force to reduce uplift forces on wood floor residences and other off

grade buildings to prevent damage and displacement to such buildings and surrounding buildings in the neighborhood.

NOW, THEREFORE, be it enacted by the people of the City of Apalachicola, Florida that the Land Development Code of the City of Apalachicola is amended to add the following requirements for single-family dwelling structures:

LDC Section IV, Zoning Districts and Regulations.

E. Supplementary Regulations

[12] Architectural design, aesthetic and safety standards for single-family dwellings in all zonings districts except R-3.

a. To promote consistency within residential neighborhoods in the City, the following architectural design, and aesthetic standards shall apply to all newly-constructed or structurally or materially-altered single family dwellings in all zoning districts except R-3, mobile and manufactured home residential.

As used in this section, "immediate neighborhood" means single-family dwellings whose property lines lie within five hundred feet of the subject property and which are in zoning districts other than R-3.

The standards in this section shall apply to subdivisions and the Historic District, but covenants or restrictions for these areas that are more stringent than these standards take precedence over these standards. The "immediate neighborhood" for such subdivision is the subdivision itself, and "immediate neighborhood" for the Historic District is the District itself.

1. **Roof:** Roof forms and materials shall be visually compatible with the existing architectural context of the streetscape and the majority of dwellings in the immediate neighborhood. The pitch of the roof is critically important to the success of being harmonious with the typical surrounding dwellings, and well-extended overhangs can be beneficial in protecting any home from frequent and heavy rainfall. The pitch of the major roof shall have a minimum vertical rise of five units for each twelve units of horizontal run with a minimum twelve-inch overhang, measured horizontally from the outer edge of the sloped roof to the vertical face of the wall under the roof. In addition, the roof pitch shall be equal to or greater than the roof pitches of the majority of homes in the immediate neighborhood. The roof covering shall be visually compatible with dwellings in the immediate neighborhood.

2. **Siding:** Exterior wall and trim materials shall be visually compatible with the existing architectural context of the streetscape and immediate neighborhood. Vinyl and aluminum siding are prohibited. Use of siding materials other than vinyl and aluminum (e.g., solid wood and fiber cement board) have long-term benefits for resistance to storm damage and overall structural integrity.

3) Design elements: All new or structurally or materially-altered dwellings shall provide some form of architectural character with the use of design elements such as roof dormers, extended entry way, a covered porch, decorative columns or wing walls and/or other features to enhance the appearance and alter the straight line or rectangular shape of the structure to be consistent with the majority of dwellings in the immediate neighborhood.

4) Windows and doors: Proportion, scale, height, shape, detailing and building material of windows and doors shall be consistent with the style of the proposed dwelling and other dwellings in the immediate neighborhood. Windows and doors shall be set back two to three inches from siding and trim to prevent the appearance of flatness to the facades, which is contrary to the appearance of the majority of dwellings in the City of Apalachicola.

5) Crawl space: The crawl space of an elevated above-grade building (that area located between the grade and the lowest floor member) shall be shielded by some architectural feature which is compatible with the design and architecture of the building so that the line of sight from any public road or alley does not include any portion of the underside of the structure. Such feature shall be included as part of any building permit application.

6) Foundation and enclosure: There is required a permanent foundation and an enclosure, which presents a clean, uncluttered appearance, around the perimeter of every elevated home. An enclosure in flood zone V must additionally meet applicable requirements of the City's floodplain management ordinance and the Florida Building Code that it references. Any wheels, tongue, or other transportation apparatuses must be removed. The foundation or finished floor elevation must be substantially similar in appearance to the foundation or finished floor elevations of dwellings in the immediate neighborhood. An open structural pier foundation may be allowed, but in no case will any anchor tie down strap be visible.

b. To promote safety within residential neighborhoods in the City, the following safety standards shall apply to all newly-constructed single-family dwellings in all zoning districts.

1) Footings: All elevated above-grade buildings shall be supported by and tied to a continuous footing of sufficient size to resist the gravity, wind and uplift forces which might be imposed on such buildings. Dry stack masonry units (blocks and bricks) as piers for support of any structure are prohibited.

2) Metal fasteners: For all residential structures, any bolts, anchors, straps, tie downs or other type hardware which are in contact with the ground or any part of which is within 12 inches above the ground at that location shall be of stainless steel material. This shall not apply to any such items, bolts, anchors, straps, tie downs or other such hardware, that are permanently and wholly encased in concrete.

3) Exterior steps: Exterior steps of elevated homes must be permanently affixed to the foundation or façade stem wall.

4) Electric meter box: The electrical meter box shall be permanently affixed to the single-family dwelling or mounted on a suitable structure but in no case shall be pole-mounted.

This Ordinance shall take effect immediately upon passage.

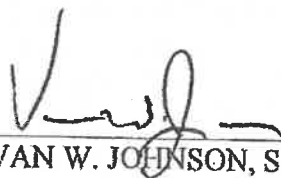
PASSED, APPROVED AND ADOPTED this 5th day of April, 2016.

PASSED FIRST READING ON: March 8, 2016

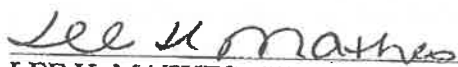
PASSED SECOND READING ON: April 5, 2016

CITY OF APALACHICOLA

BY:


VAN W. JOHNSON, SR., MAYOR

ATTEST:


LEE H. MATHES, CITY ADMINISTRATOR

EPCI
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only
DATE: _____
Permit # _____
Permit Fee _____

OWNER'S NAME: Kenia Martin

ADDRESS: 269 24th Ave, Apalachicola

CITY, STATE & ZIP CODE: FL 32320 PHONE # 850-381-3072

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: Jerry Lemieux

ADDRESS: 5940 Sycamore Rd, Quincy FL, 32351

CITY, STATE & ZIP CODE: _____ PHONE # 850-519-5752

STATE LICENSE NUMBER: 1128063 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 269 24th Ave Apalachicola FL, 32320

PROPOSED USE OF SITE: Replacement Home

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? YES
 NO

PROPERTY PARCEL ID # 01-095-08W-8330-0233-0270

LEGAL DESCRIPTION OF PROPERTY: 269 24th Ave, Apalachicola FL, 32320

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family ___ Townhouse ___ Commercial ___ Industrial
___ Duplex ___ Swimming Pool ___ Storage ___ Sign
___ Multi-Family ___ Demolition ___ Other
___ Addition, Alteration or Renovation to building.

Must be 25' - see new site plan

Distance from property lines: Front 20 ft Rear 20 ft L. Side 23 ft
R. Side 23 ft
Cost of Construction \$ 46,370.53 Square Footage 840
EPI NIA Flood Zone X Lowest Floor Elevation NIA
Area Heated/Cooled yes # Of Stories 1 # Of Units 1
Type of Roof Shingle Type of Walls 2x4 Type of Floor OSB
Extreme Dimensions of: Length 14 Height 12.6 Width 14

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Rae DeMuth
Signature of Owner or Agent

Signature of Contractor

Date: 8-9-19

Date: _____

Nancy L. Harrison
Notary as to Owner or Agent

Notary as to Contractor

My Commission expires: 02/11/2023

My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.



Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family ___ Townhouse ___ Commercial ___ Industrial
 ___ Duplex ___ Swimming Pool ___ Storage ___ Sign
 ___ Multi-Family ___ Demolition ___ Other
 ___ Addition, Alteration or Renovation to building.

Must be 25' - see new site plan

Distance from property lines: Front 20 ft Rear 20 ft L. Side 23 ft
 R. Side 23 ft
 Cost of Construction \$ 46,370.53 Square Footage 846
 EPI N/A Flood Zone X Lowest Floor Elevation N/A
 Area Heated/Cooled yes # Of Stories 1 # Of Units 1
 Type of Roof Shingle Type of Walls 2x4 Type of Floor OSB
 Extreme Dimensions of: Length 64 Height 12.6 Width 14

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

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OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Rose DeMott
Signature of Owner or Agent

Date: 8-9-19

Nancy L. Harrison
Notary as to Owner or Agent

My Commission expires: 02/11/2023

Signature of Contractor

Date: _____

Notary as to Contractor

My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.





Parcel Summary

Parcel ID 01-09S-08W-8330-0233-0270
 Location Address 269 24TH AVE
 32320
 Brief Tax Description* BL 233 LOTS 27 28 OR 513/281 584/318 673/177
 *The Description above is not to be used on legal documents.
 Property Use Code MOBILE HOM (000200)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 21.853
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Anzaldí Kenia E
 5002 Pretty Way
 Panama City, FL 32404

Residential Buildings

Building 1
 Type MOBILE HME
 Total Area 368
 Heated Area 368
 Exterior Walls AVERAGE
 Roof Cover COMP SHNGL
 Interior Walls DRYWALL
 Frame Type N/A
 Floor Cover SHT VINYL
 Heat AIR DUCTED
 Air Conditioning NONE
 Bathrooms 1
 Bedrooms 0
 Stories 0
 Effective Year Built 1969

Sales

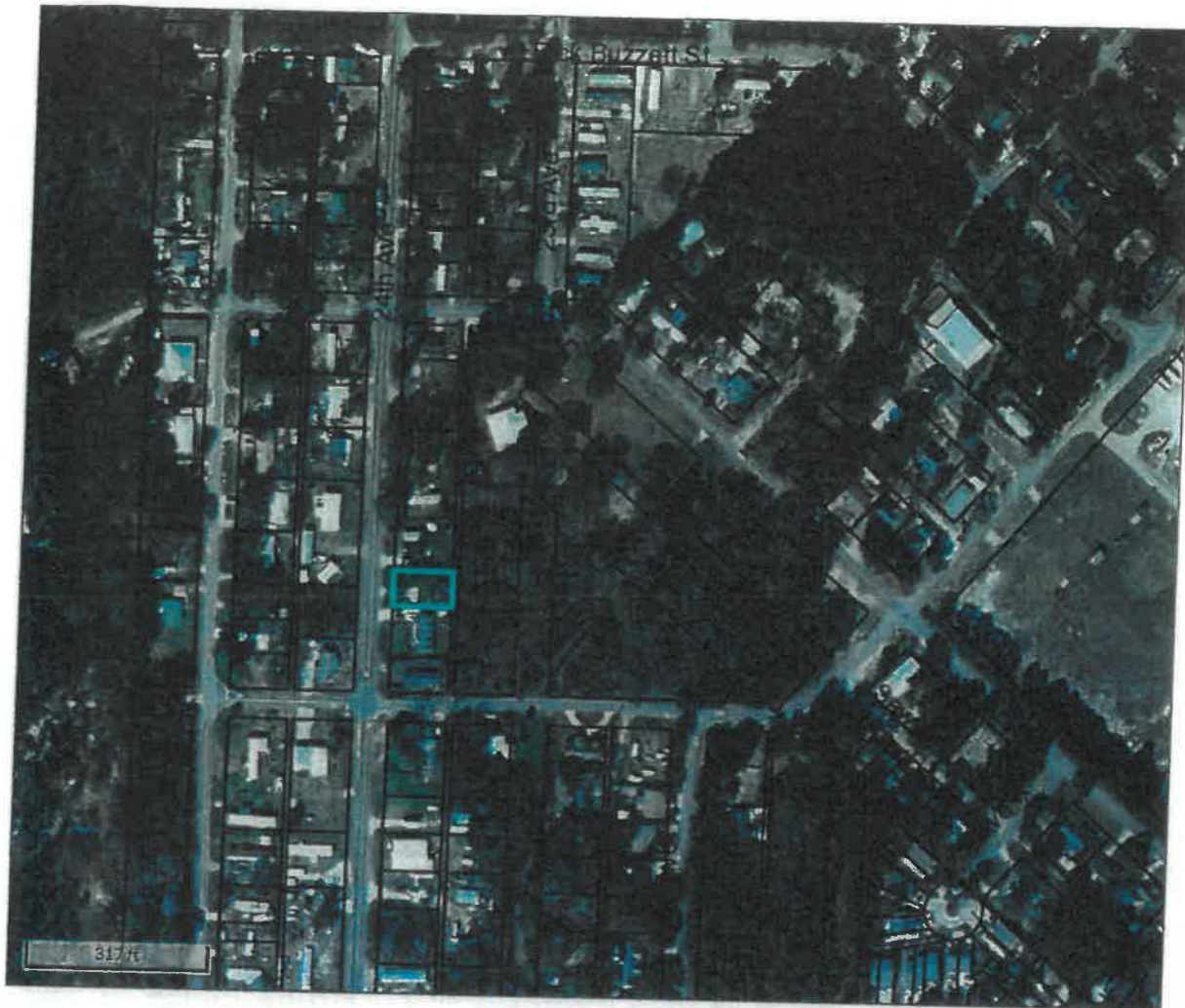
Multi Parcel	Sale Date	Sale Price
N	08/14/2001	\$100
N	09/24/1997	\$10,000

Valuation

	2019 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$3,896	\$3,896	\$3,896	\$3,896
Extra Features Value	\$0	\$0	\$0	\$0
Land Value	\$12,000	\$9,000	\$9,000	\$9,000
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0
Just (Market) Value	\$15,896	\$12,896	\$12,896	\$12,896
Assessed Value	\$14,186	\$12,896	\$12,896	\$12,896
Exempt Value	\$0	\$0	\$0	\$0
Taxable Value	\$14,186	\$12,896	\$12,896	\$12,896
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Sketches



Overview



Legend

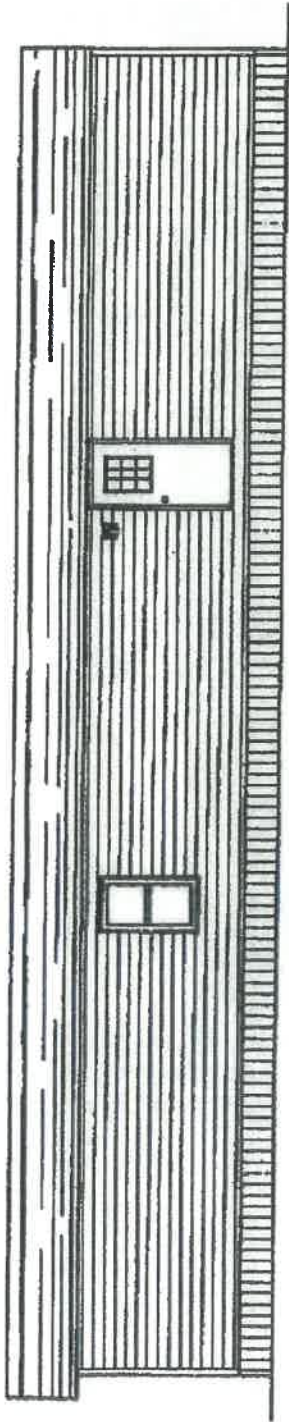
-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0233-0270	Alternate ID	08W09S01833002330270	Owner Address	ANZALDI KENIA E
Sec/Twp/Rng	1-9S-8W	Class	MOBILE HOM		5002 PRETTY WAY
Property Address	269 24TH AVE	Acreage	n/a		PANAMA CITY, FL 32404
District	3				
Brief Tax Description	BL 233 LOTS 27 28				

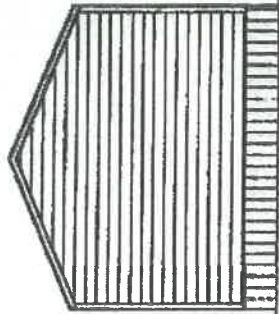
(Note: Not to be used on legal documents)

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Last Data Uploaded: 8/27/2019 7:09:09 AM

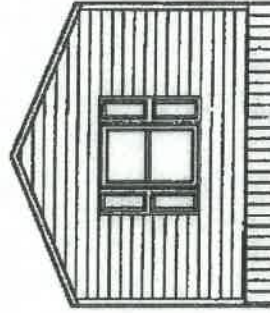
Developed by  **Schneider**
GEOSPATIAL



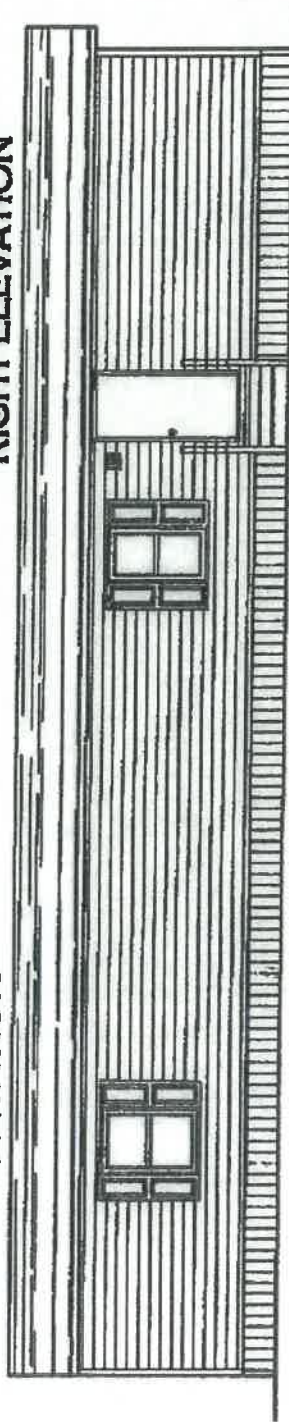
REAR ELEVATION



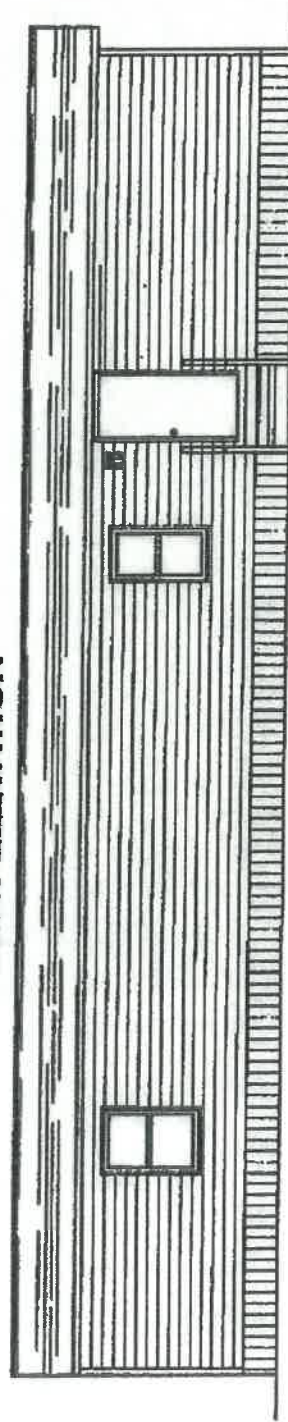
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



FRONT ELEVATION

N/A SQ.FT. (W/OPT. PORCH/RECESS "CONDITIONED")
620 SQ.FT. (STD PLAN "CONDITIONED")



Model # TRU14000A
Drawing # TRU-14000A
Product Designer: TruMe

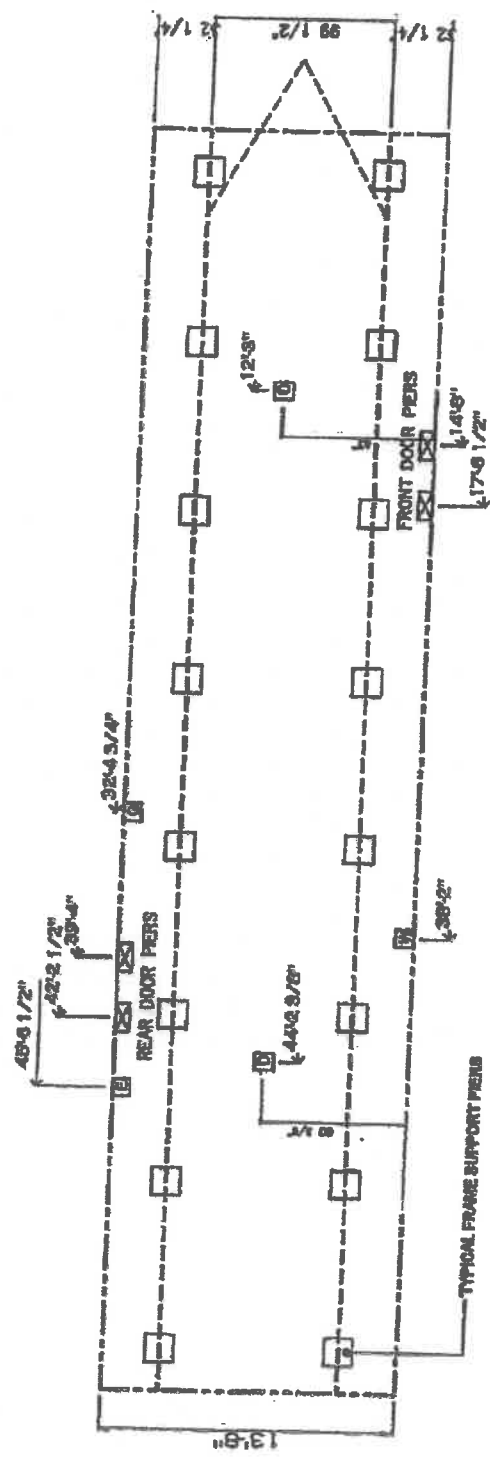
14' x 60' Pcp

Floor Plan

REV# 2/20/2006 2:00pm PM, hwhing

20 lb ROOF LOAD		OVERALL OPENING (FT)					
SPECIAL OPENING PER LOAD		3	4	5	6	8	10
1/4" BOX WIDTH		1175	1330	1485	1640	1850	2260

FOR 30 lb & 40 lb ROOF LOAD REFER TO TABLES 7 & 7a IN THE INSTALLATION MANUAL



- NOTE:
- REFER TO TABLES 6 AND 6a IN THE INSTALLATION MANUAL FOR LOAD ON FRAME PIER FOOTINGS FOR HOMES THAT DO NOT REQUIRE PERMITS. REFER TO TABLES 7 AND 7a IN THE INSTALLATION MANUAL FOR LOAD ON FRAME PIER FOOTINGS FOR HOMES THAT REQUIRE PERMITS. REFER TO TABLES 10 AND 10a TO DETERMINE FOOTING SIZE FOR ALL PIERS. REFER TO TABLE 11 FOR PIER CORRELATION AND MAXIMUM ALLOWABLE HEIGHT. CROSS REFERENCE THE PIER HEIGHT WITH THE MAXIMUM ALLOWABLE FLOOR HEIGHT LISTED IN THE FRAME WINDOW CHARTS (TABLE 14, 15, AND 20).
 - THE MAXIMUM SPACING FOR FRAME SUPPORT PIERS FOR 6" I-BEAMS IS 8 FEET, 10" I-BEAMS IS 10 FEET.
 - SERVICE DROP LOCATIONS IDENTIFIED ARE APPROXIMATE.
 - FLOOR WIDTH SHOWN IS FOR STANDARD PRODUCT ONLY. CONTACT THE WFO FACILITY FOR SPECIFICATIONS OF OPTIONS ORDERED.

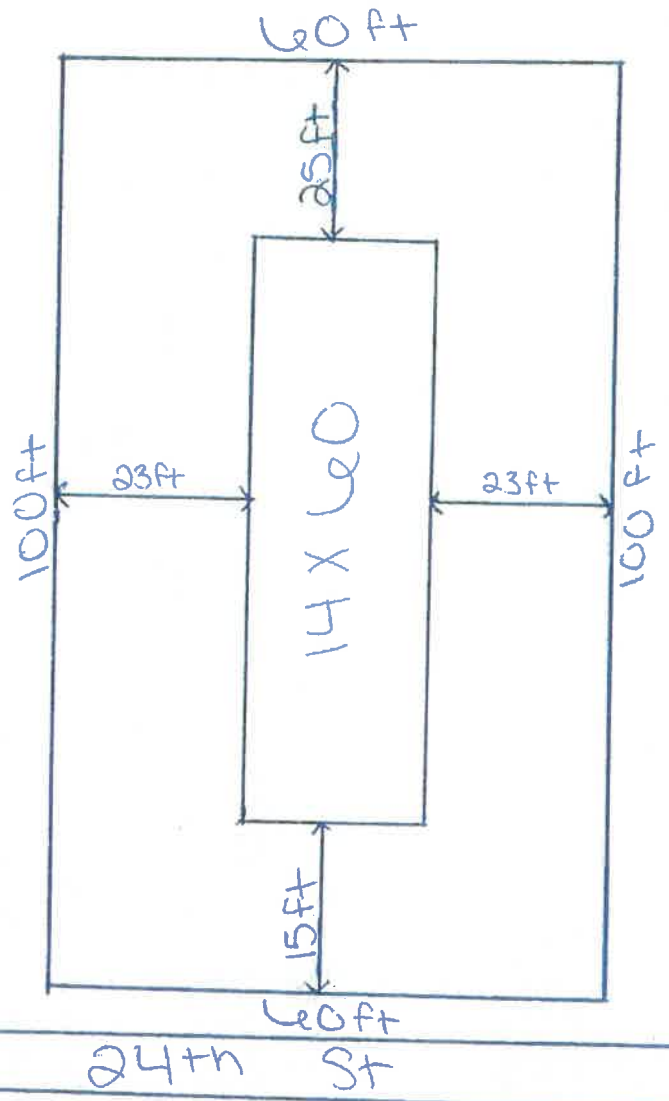
SERVICE DROP LEGEND		PIER LEGEND	
(S)	ELECTRICAL DROP	(□)	PERMITS ONLY
(W)	WATER PILET	(■)	PERMITS REQUIRED
(D)	DRY/UNDRY/DRY	(■)	NON-PERMITTED
(C)	CAN PILET	(■)	NON-PERMITTED

820 SQ.FT. (STD PLAN "CONDITIONED")
 N/A SQ.FT. (W/OPT. PORCH/RECESS "CONDITIONED")
TRULY HOMES
 Model # TRU-5002-00-2
 Product Designation: 14' x 60' Delight
 TRU-5002-00-2

Floor Plan

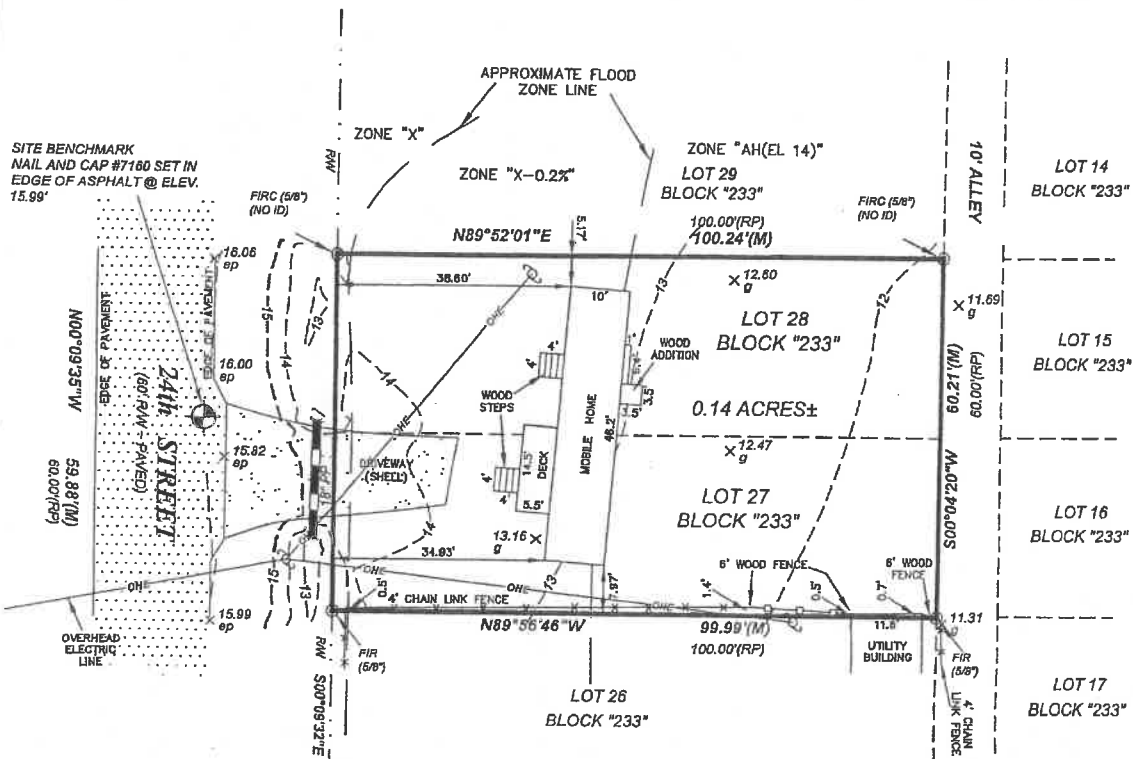
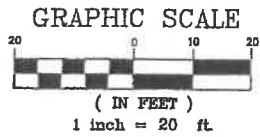
100%

српана сик план.



269 24th Ave

**PLAT OF BOUNDARY AND TOPOGRAPHICAL SURVEY CERTIFIED TO:
DANIEL MARTIR NEGRON and KENIA MARTIR,
VANDERBILT MORTGAGE FINANCE, INC.,
U.S. SMALL BUSINESS ADMINISTRATION**



SITE BENCHMARK
NAIL AND CAP #7160 SET IN
EDGE OF ASPHALT @ ELEV.
15.99'

LEGEND

M	MEASURED
RP	RECORD PLAT
SIRC	SET (5/8") IRON ROD AND CAP #7160
FIRC	FOUND (5/8") IRON ROD AND CAP
FIR	FOUND IRON ROD
SNC	SET NAIL & CAP #7160
—	NOT TO SCALE
RW	RIGHT-OF-WAY
△	POINT NOT SET OR FOUND
⊗	POWER POLE
18" PP	PLASTIC PIPE

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Easterly right of way boundary of 24th Street having an assumed bearing of South 00 degrees 09 minutes 50 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

LEGAL DESCRIPTION:

Lots 27 & 28, Block "233", GREATER APALACHICOLA, in THE CITY OF APALACHICOLA, a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in of Franklin County, Florida

REVISED 09/12/19; TOPOGRAPHICAL SURVEY ADDED - MD

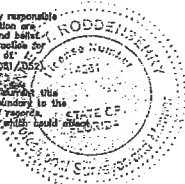
FLOOD ZONE INFORMATION:

Subject property is located in Zones "X", "X-0.2%" and "AH (EL 14)" as per Flood Insurance Rate Map Community Panel No: 120089 0507F, Index date: February 5, 2014, Franklin County, Florida.

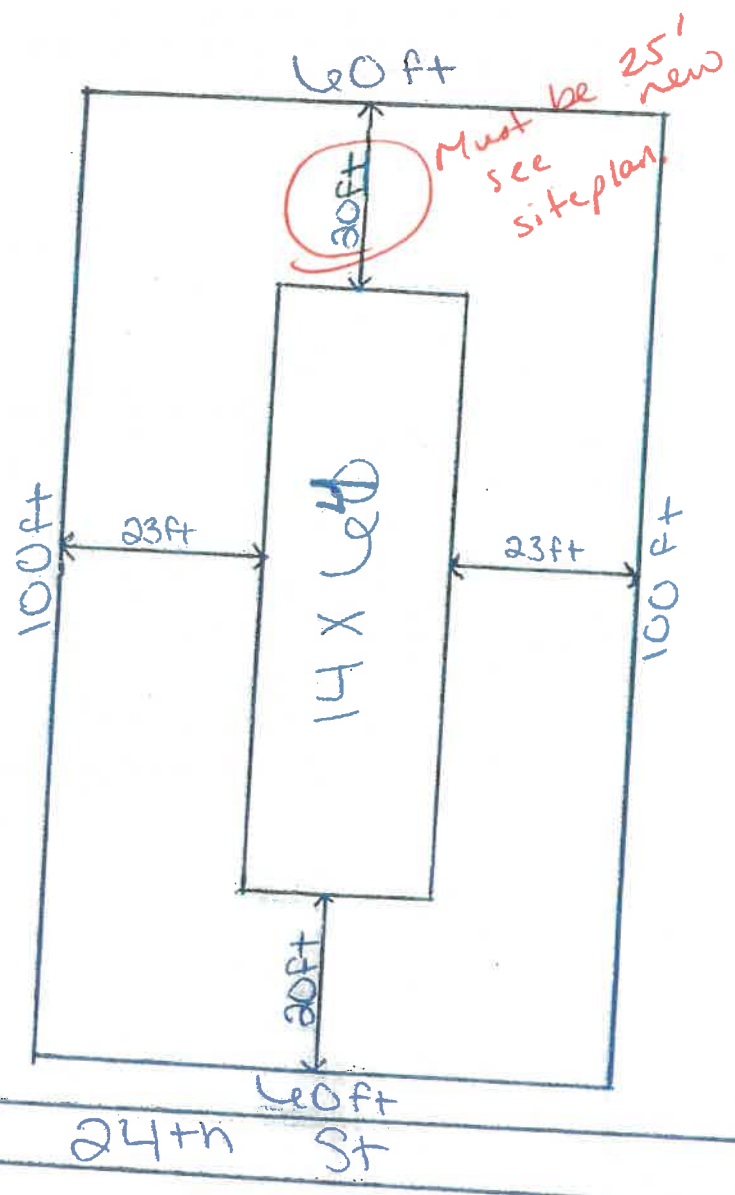
I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey made or made the standards for precise land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 33-17.631/2055)

The undersigned surveyor has not been provided with any opinion or abstract of matters affecting title or boundary to this subject property. It is possible that there are deeds of record, unrecorded deeds, or other instruments which would affect the boundaries of this property.

JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No. 4261



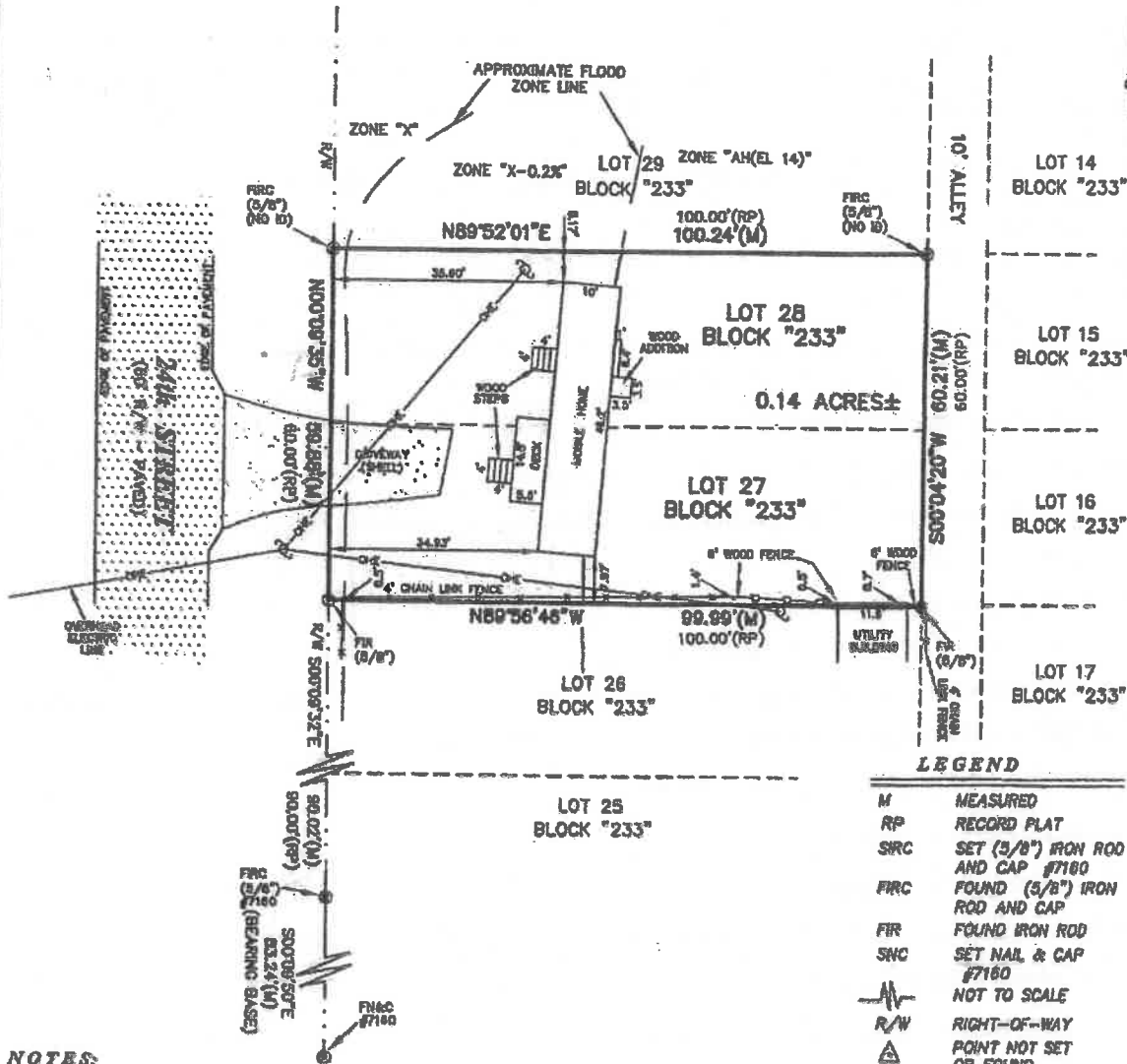
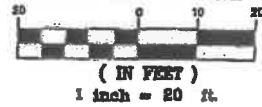
	Thurman Roddenberry & Associates, Inc. PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 125 SHELTON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 918-943-1111 FAX NUMBER: 918-943-1143 L.R. 97160		
	DATE: 08/18/19	DRAWN BY: BB	N.B.618 PG.73 COUNTY: Franklin
FILE: 18430.DWG	DATE OF LAST FIELD WORK: 09/10/19	JOB NUMBER: 18-430	



269 24th Ave.

**PLAT OF BOUNDARY SURVEY CERTIFIED TO:
DANIEL MARTIR NEGRON and KENIA MARTIR,
VANDERBILT MORTGAGE FINANCE, INC.,
U.S. SMALL BUSINESS ADMINISTRATION**

GRAPHIC SCALE



LEGEND

M	MEASURED
RP	RECORD PLAT
SRC	SET (3/8") IRON ROD AND CAP #7180
FIRC	FOUND (3/8") IRON ROD AND CAP
FIR	FOUND IRON ROD
SNC	SET NAIL & CAP #7180
~	NOT TO SCALE
R/W	RIGHT-OF-WAY
△	POINT NOT SET OR FOUND
⊕	POWER POLE

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Easterly right of way boundary of 24th Street having an assumed bearing of South 00 degrees 09 minutes 50 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

LEGAL DESCRIPTION:
Lots 27 & 28, Block "233", GREATER APALACHICOLA, in THE CITY OF APALACHICOLA, a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in of Franklin County, Florida

FLOOD ZONE INFORMATION:

Subject property is located in Zones "X", "X-0.2%" and "AH (EL 14)" as per Flood Insurance Rate Map Community Panel No: 120089 0507F, index date: February 5, 2014, Franklin County, Florida.

Professional Seal:
DANIEL MARTIR NEGRON
Surveyor and Mapper
License Certificate No. 4281

TR & A
Thomas Roddentery & Associates, Inc.
PROFESSIONAL SURVEYORS AND MAPPERS
P.O. BOX 190 • 181 SHELTON STREET • SUFCROFT, FLORIDA 32038
PHONE: (904) 246-2222 FAX: (904) 246-2110

DATE: 02/19/19	DRAWN BY: BS	N.B. 618 PG. 73 COUNTY: Franklin
FILE: 18430.DWG	DATE OF LAST FIELD WORK: 02/14/19	JOB NUMBER: 18-430

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION						FOR INSURANCE COMPANY USE
A1. Building Owner's Name KENIA MARTIR					Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 269 24TH AVENUE					Company NAIC Number:	
City APALACHICOLA		State Florida		ZIP Code 32320		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOTS 27 & 28, BLOCK "233" CITY OF APALACHICOLA						
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>						
A5. Latitude/Longitude: Lat. <u>29.72369</u> Long. <u>-85.00286</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983						
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.						
A7. Building Diagram Number <u>5</u>						
A8. For a building with a crawlspace or enclosure(s):						
a) Square footage of crawlspace or enclosure(s) <u>0.00</u> sq ft						
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>						
c) Total net area of flood openings in A8.b <u>0.00</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
A9. For a building with an attached garage:						
a) Square footage of attached garage <u>0.00</u> sq ft						
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>						
c) Total net area of flood openings in A9.b <u>0.00</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
B1. NFIP Community Name & Community Number CITY OF APALACHICOLA 120089				B2. County Name FRANKLIN		B3. State Florida
B4. Map/Panel Number 12037C 0507	B5. Suffix F	B6. FIRM Index Date 02-05-2014	B7. FIRM Panel Effective/ Revised Date 02-05-2014	B8. Flood Zone(s) AH	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 14.00'	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____						
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____						
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA						

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 269 24TH AVENUE			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32320	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
 Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: 15.99' Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

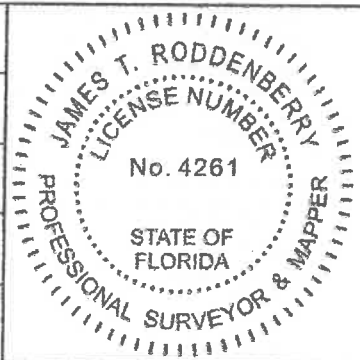

Check the measurement used.

- | | | | |
|---|-------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 16.53 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | 15.20 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | 12.47 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | 13.16 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name JAMES T. RODDENBERRY	License Number 4261		
Title PRESIDENT			
Company Name THURMAN RODDENBERRY & ASSOCIATES, INC.			
Address P.O. BOX 100			
City SOPCHOPPY	State Florida		ZIP Code 32358
Signature 	Date 09-25-2019	Telephone (850) 962-2538	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
 JOB NUMBER: 18-430 CD
 BENCHMARK: NAIL & CAP #7160 SET IN EDGE OF ASPHALT @ ELEV. 15.99' (NVAD 88)
 C2c REPRESENTS THE SUPPORT BEAM UNDER THE MOBILE HOME WHICH NEEDS TO BE 2 FEET ABOVE THE BASE FLOOD OF 14 FEET.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 269 24TH AVENUE			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32320	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

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 *A new Elevation Certificate will be required when construction of the building is complete.

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Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

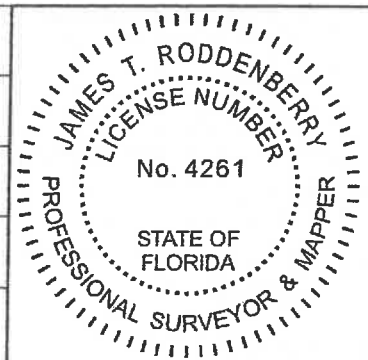
- | | | | |
|---|-------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 16.53 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | 15.20 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
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| g) Highest adjacent (finished) grade next to building (HAG) | 13.16 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
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Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name JAMES T. RODDENBERRY	License Number 4261
Title PRESIDENT	
Company Name THURMAN RODDENBERRY & ASSOCIATES, INC.	
Address P.O. BOX 100	
City SOPCHOPPY	State Florida
	ZIP Code 32358



Signature <i>James T. Roddenberry</i>	Date 09-25-2019	Telephone (850) 962-2538	Ext.
--	--------------------	-----------------------------	------

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 C2c REPRESENTS THE SUPPORT BEAM UNDER THE MOBILE HOME WHICH NEEDS TO BE 2 FEET ABOVE THE BASE FLOOD OF 14 FEET.



Building Dept. Review Summary

P&Z Meeting October 14, 2019

Address: 74 Avenue K Corner Lot

Zoning: R-1

Historic District: Yes

Block: 180

Lot: 6

Project Description: New Porch 12' x 48' 6" 582 Sq. Ft.

Flood Zone: X

Lot Size: 60' x 100'

Impervious Surface Proposed: 29% Allowed: 40%

Height Proposed: No Changes to Existing Peak of Roof Allowed: 35' Complies with LDC

Main Structure (House with Porch)

Setbacks Required: Front (Ave. K): 15' Rear: 25' Front (6th St.): 15' Left: 5'

Setbacks proposed: Front (Ave. K): 17.78' Rear: 25' Front (6th St.): 16.32' Left: 6.8'

Setbacks Proposed: Complies with LDC

EPCI
APALACHICOLA BUILDING DEPARTMENT
APPLICATION FOR BUILDING PERMIT



Official Use Only
DATE: _____ Permit # _____ Permit Fee _____

OWNER'S NAME: ANDY STIVERS

ADDRESS: 74 AVE K, APALACHICOLA, FL

CITY, STATE & ZIP CODE: 32320 PHONE # 404-840-8424

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: JOE HUTCHINSON HUTCHINSON DESIGN+CONSTRUCTION, INC.

ADDRESS: 315 PARADISE LN, APALACHICOLA, FL

CITY, STATE & ZIP CODE: 32320 PHONE # 850-653-3175

STATE LICENSE NUMBER: CGC062212 COMPETENCY CARD # CEU 850-653-5088

ADDRESS OF PROJECT: 74 AVE K, APALACHICOLA, FL 32320

PROPOSED USE OF SITE: RESIDENCE

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? NO YES

PROPERTY PARCEL ID # _____

LEGAL DESCRIPTION OF PROPERTY: LOT 6, BLOCK "180"

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial
 Duplex Swimming Pool Storage Sign
 Multi-Family Demolition Other

Addition, Alteration or Renovation to building HURRICANE MICHAEL DAMAGED ROOF REPLACED OVER HOUSE AND NEW 12' X 44' PORCH

Distance from property lines: Front 40' Rear 6' 8" L. Side 37'
R. Side 17'

Cost of Construction \$ _____ Square Footage PORCH 528 SQFT
EPI _____ Flood Zone _____ Lowest Floor Elevation _____
Area Heated/Cooled NONE # Of Stories _____ # Of Units _____
Type of Roof GAMBURGE Type of Walls _____ Type of Floor _____
Extreme Dimensions of: Length _____ Height _____ Width _____

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCE The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

[Signature]
Signature of Owner or Agent

Date: 10-3-2019

[Signature]
Notary as to Owner or Agent

My Commission expires: 12/07/2020

[Signature]
Signature of Contractor

Date: 10-3-19

[Signature]
Notary as to Contractor

My Commission expires: 01/30/21

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

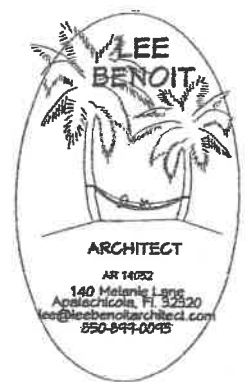


STIVERS ADDITION

74 AVENUE K, APALACHICOLA, FL 32320

DRAWING INDEX:

- A-1 PROPOSED SITE PLAN
- A-2 PROPOSED FLOOR PLAN
- A-3 PROPOSED ELEVATIONS
- A-4 FLOOR AND ROOF FRAMING
- A-5 SECTION
- A-6 RIDGE DETAIL

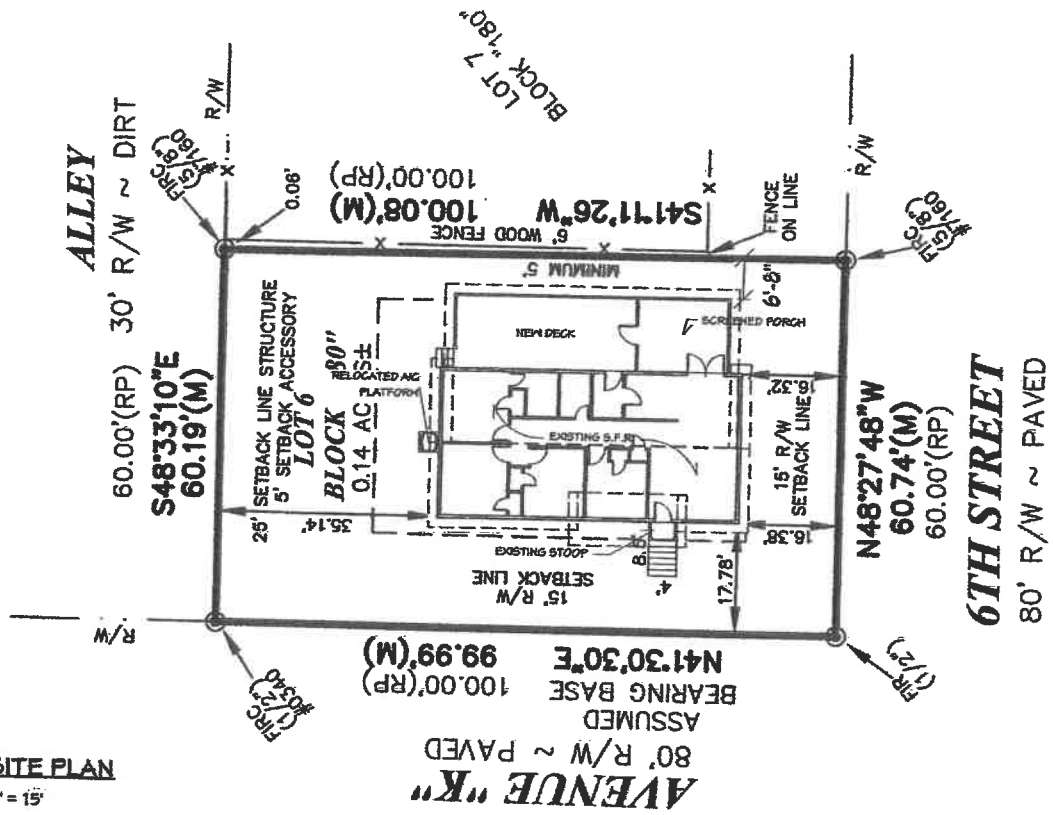


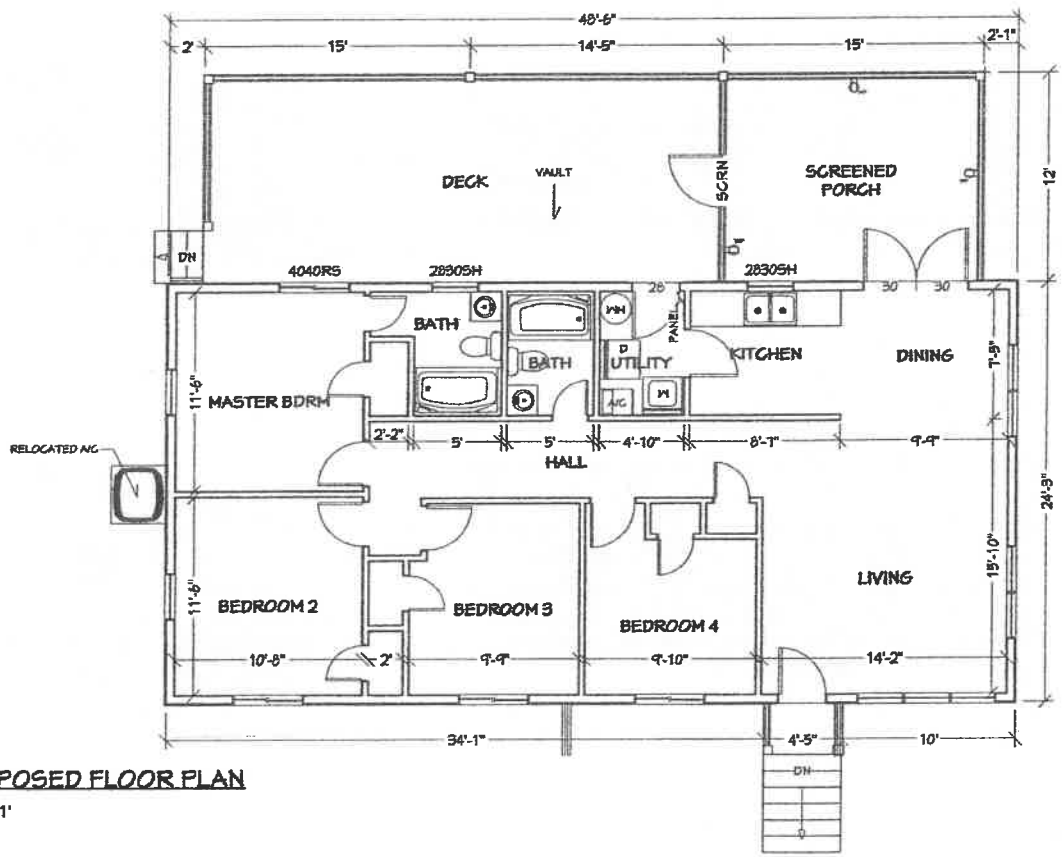
date	06/13/2019
rev	4
drawn	LEE BENOIT

plm/htc/01/urs

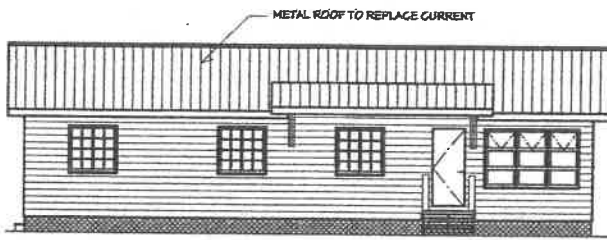


SITE PLAN
1" = 15'



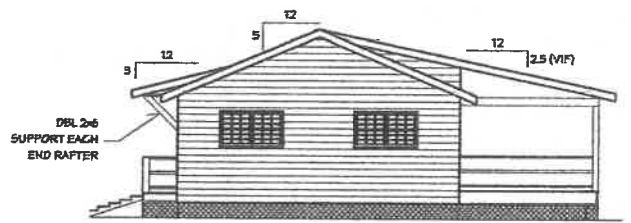


PROPOSED FLOOR PLAN
 3/16" = 1'



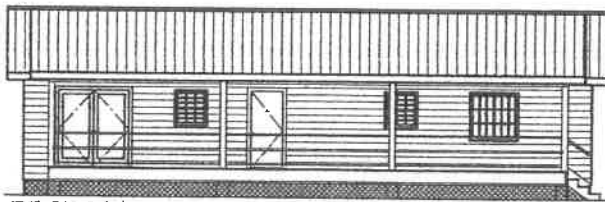
PROPOSED FRONT ELEVATION

1/8" = 1'



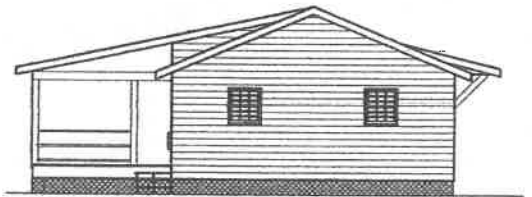
PROPOSED RIGHT ELEVATION

1/8" = 1'



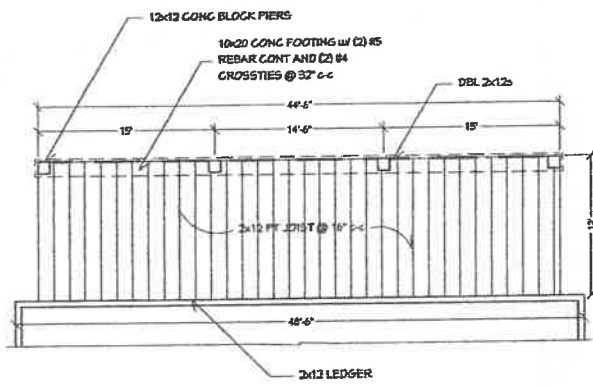
PROPOSED REAR ELEVATION

1/8" = 1'



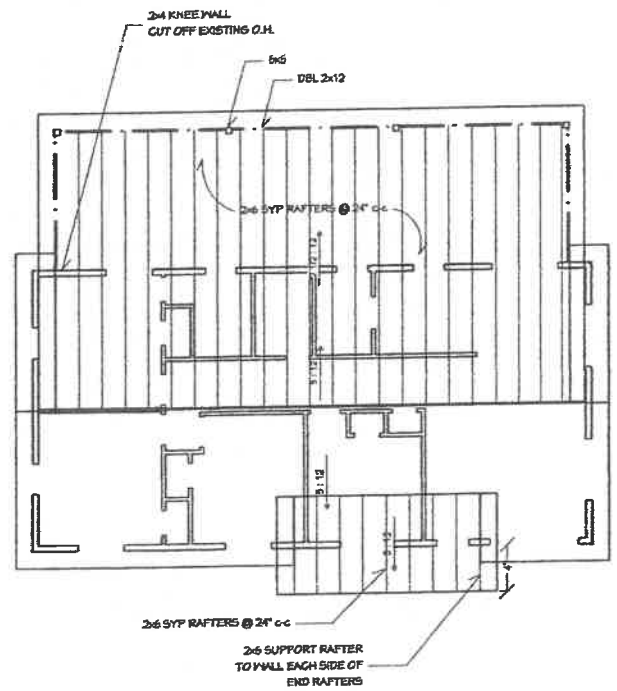
PROPOSED LEFT ELEVATION

1/8" = 1'



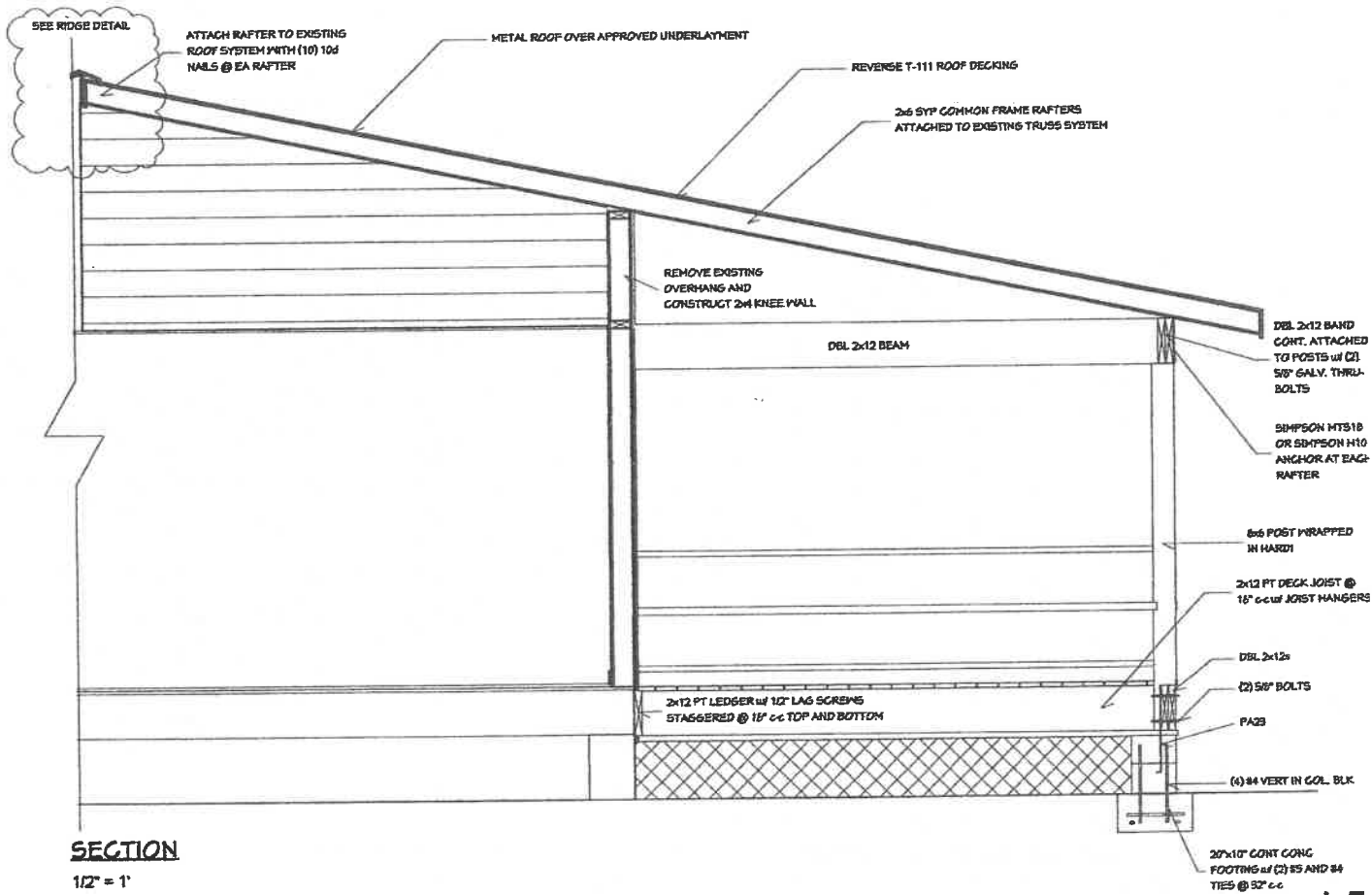
FOUNDATION/FLOOR FRAMING

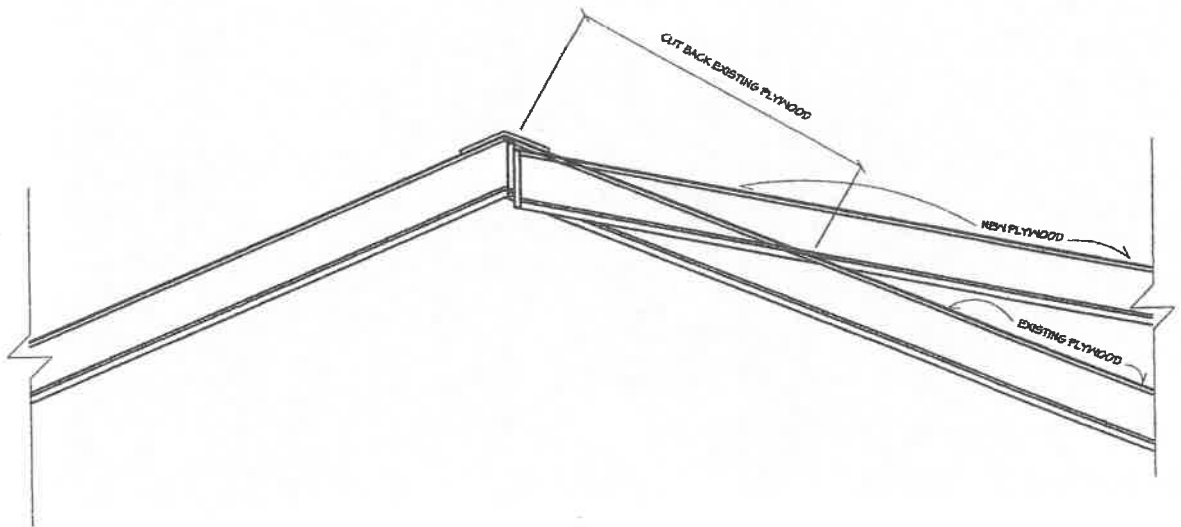
1/8" = 1'



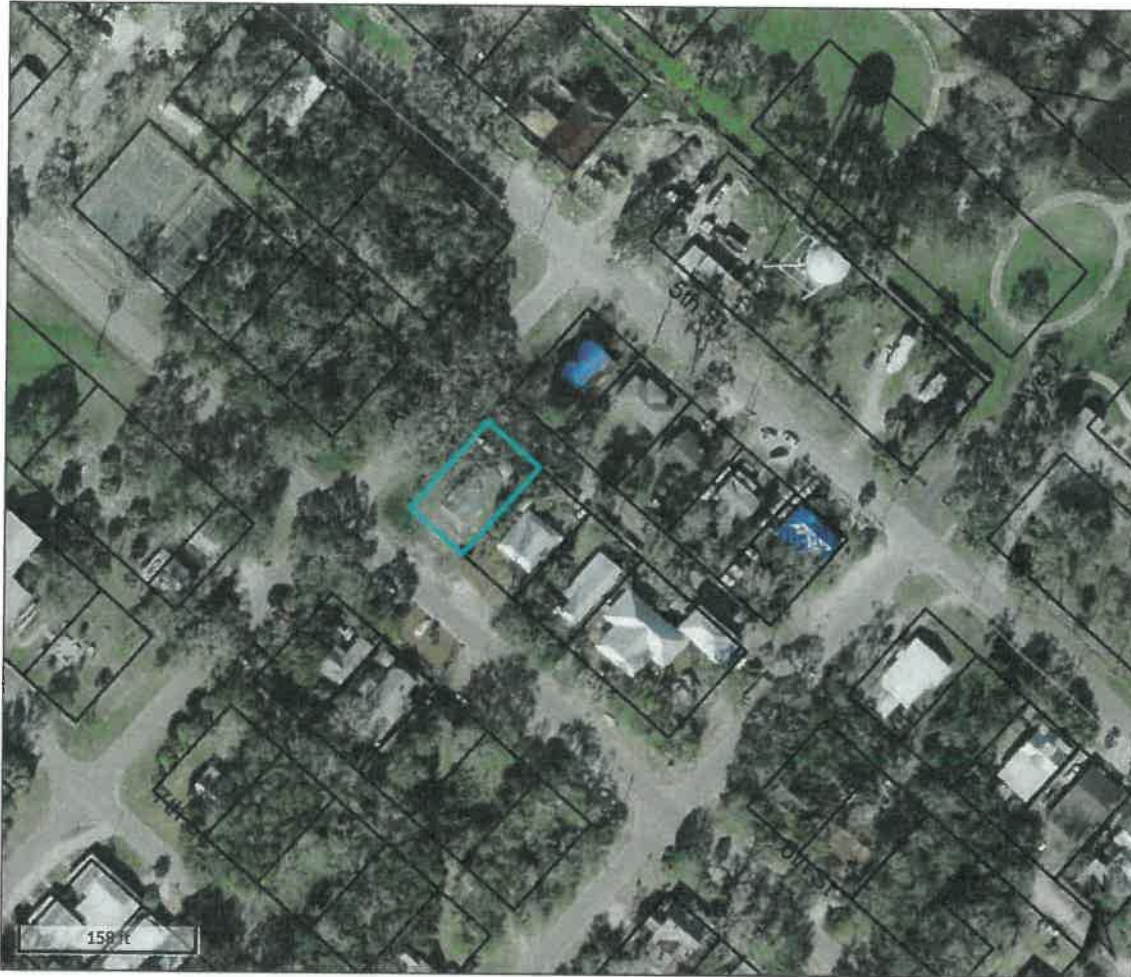
ROOF FRAMING

1/8" = 1'





RIDGE DETAIL
1" = 1'



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0180-0060	Alternate ID	08W09S01833001800060	Owner Address	STIVERS ANDREW R &
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		GOEHRING ANNE H
Property Address		Acreage	n/a		1496 SANIT FRANCIS AVE
					EAST POINT, GA 30344

District 3
Brief Tax Description BL 180 LOT 6
 (Note: Not to be used on legal documents)

Date created: 10/3/2019
 Last Data Uploaded: 10/3/2019 7:05:23 AM

Developed by  **Schneider**
 GEOSPATIAL



Franklin County, FL

Parcel Summary

Parcel ID: 01-09S-08W-8330-0180-0060
 Location Address: 32320
 Brief Tax Description*: BL 180 LOT 6 OR QQ/321 92/543 OR 467/117 709/160 1220/448
 Property Use Code: *The Description above is not to be used on legal documents.
 Sec/Twp/Rng: SINGLE FAM (000100)
 Tax District: 1-9S-8W
 Millage Rate: Apalachicola (District 3)
 Acreage: 21.853
 Homestead: 0.000
 N

[View Map](#)

Owner Information

Primary Owner: Stivers Andrew R & Goehring Anne H
 1496 Sanit Francis Ave
 East Point, GA 30344

Code	Land Use	Number of Units	Frontage	Depth
000801	THE HILL - APALACH	60.00	0	0

Residential Buildings

Building 1	Type	Frame Type	Heat	Air Conditioning	Bathrooms	Bedrooms	Stories	Effective Year Built
SF APALACH	1,128	N/A	AIR DUCTED	WINDOW	2	3	1	1996
Total Area	1,128							
Heated Area	1,128							
Exterior Walls	VINYL SIDE							
Roof Cover	COMP SHNGL							
Interior Walls	DRYWALL							
Floor Cover	SHT VINYL: CARPET							

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0300	STEPS	1	3 x 12 x 0	36	UT	1996
0510	F O PORCH	1	2 x 4 x 0	8	UT	1996
0510	F O PORCH	1	2 x 4 x 0	8	UT	1996

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

User Privacy Policy
GDPR Privacy Notice

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Developed by



Version 2.3.7



Building Dept. Review Summary

P&Z Meeting November 12th, 2019

Address: 170 Avenue L

Zoning: R-2

Historic District: No

Block: 126, 128, & 131

Lot: 5

Project Description: Demolition of the Bus Barn 9,595 Sq. Ft.

EPCI
PERMIT APPLICATION
DEMOLITION

DATE: _____ FBC # _____

OWNER'S NAME: Franklin County School District

ADDRESS: 85 School Road

CITY, STATE & ZIP CODE: Eastpoint, FL 32328 PHONE: 850-370-0276

CONTRACTOR'S NAME: Great Southern Demolition, Inc.

ADDRESS: PO Box 5985

CITY, STATE & ZIP CODE: Tallahassee, FL 32314 PHONE: 850-422-3366

STATE LICENSE NUMBER: RB29003602 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 170 Avenue L, Apalachicola, FL 32320

PROPOSED USE OF SITE: _____

PROPERTY PARCEL ID: _____

LEGAL DESCRIPTION OF PROPERTY: _____

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS: _____

PURPOSE OF BUILDING: Single Family Multi-Family Commercial Storage Sign
 Other Addition Alteration or Renovation to building

Cost of Construction \$ 39,573.00 Total Square Footage 9595
of Stories 1 # of Units _____

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

Neil Moss
Signature of Owner or Agent

Date 10/24/19

Destiny Sims
Signature of Contractor

Date 10/28/2019

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL











Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0126-0010	Alternate ID	08W09S01833001260010	Owner Address	BRD OF PUBLIC INSTRUCTION
Sec/Twp/Rng	1-9S-8W	Class	PUBLIC SCH		155 AVENUE E
Property Address		Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	ALL OF BLOCKS 126,128, AND 131				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 11/1/2019
 Last Data Uploaded: 11/1/2019 7:43:07 AM

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 GEOSPATIAL



Parcel Summary

Parcel ID 01-09S-08W-8330-0126-0010
 Location Address
 Brief ALL OF BLOCKS 126,128, AND 131 A PORTION OF BLOCKS 127, 129, 130, 136, AND 138 AND A PORTION OF 15TH AND 16TH STREET AND A PORTION OF AVE J AND K OR 139/31 LESS AND EXCEPT 1010/229
 Tax Description* *The Description above is not to be used on legal documents.
 Property Use Code PUBLIC SCH (008300)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 21.853
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Brd Of Public Instruction
 155 Avenue E
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Frontage	Depth
000100	SFR	1,800.00	0	0

Valuation

	2019 Preliminary Certified	2019 Certified	2018 Certified	2017 Certified
Building Value	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0
Land Value	\$151,200	\$151,200	\$151,200	\$151,200
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0
Just (Market) Value	\$151,200	\$151,200	\$151,200	\$151,200
Assessed Value	\$151,200	\$151,200	\$151,200	\$151,200
Exempt Value	\$151,200	\$151,200	\$151,200	\$151,200
Taxable Value	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sales, TRIM Notices, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

User Privacy Policy
 GDPR Privacy Notice



Last Data Upload: 11/1/2019, 7:43:07 AM

Version 2.3.16

Building Dept. Review Summary

P&Z Meeting November 12th, 2019

Address: 217 Cottage Hill

Zoning: R-3

Historic District: No

Block: Undetermined

Lot: Undetermined

Project Description: New Single Family 48' x 28' with Fence

Flood Zone: X/ AE

Lot Size: 500' x 88'

Impervious Surface Proposed: 3% Allowed: 3%

Height Proposed: 17' Allowed: 35' **Comply with LDC.**

Main Structure

Setbacks Required: Front: 15' Rear: 25' Right : 7' 6" Left: 7' 6"

Setbacks proposed: Front : 15' Rear: 45' Right: 10' Left: 442'

Setbacks Proposed: **Comply with LDC.**

PERMIT #: _____

PERMIT COST: _____

PAID: _____ PICKED UP: _____

(For official use only)

**CITY OF APALACHICOLA
APPLICATION FOR BUILDING PERMIT
GENERAL, RENOVATION, OR NEW CONSTRUCTION**

Owners Name: JAMES FROST

Mailing Address: 252 WATER ST APALACHICOLA

Telephone: Home: 1-850-544-7704 Cell: SAME Business: RETIRED

Contractor Name: OWNER Telephone: SAME

State Contractors License #: _____ County Registration #: _____

City License #: _____ County License #: _____

Property to be renovated: Residential Commercial _____ Use _____

Property Address: 217 COTTAGE HILL APALACHICOLA

Legal Description: Block(s) 13079.01 sq ft Lot(s): _____

Subdivision: _____ Property Dimensions: _____

Property Zoning Classification: _____ Fema Flood Zone/Panel #: _____

Description of Development: 36x36 Single Family w/screen porch, fence on concrete piers.
*Please note: Setbacks must be indicated on site plan attached to construction plans for new construction and/or additions

Estimated Cost: \$ 70,000

**If application has to go before Planning and Zoning for approval, application, any photos, and all required paperwork, must be submitted to the Building and Permits Department 10 days prior to scheduled Planning and Zoning Board Meeting.*

For New Construction and Exterior Renovations to existing structure - See attached checklist.

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Initial: _____
Applicant Signature: James Frost City Representative: JB Date Received: 1/2/18

Official Use Only This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Setback Requirement of Property: Front: _____ Rear: _____ Side: _____

Maximum Lot Coverage Meets Zoning Code: _____ Water Available: _____ Sewer Available: _____ Taps Paid: _____

Certificate of Appropriateness Approved: _____
OR Chairman, Apalachicola Planning & Zoning Board Date

Approval for Permit Issuance: _____
City Representative Date Approved



Parcel Summary

Parcel ID 01-095-08W-8340-0000-0010
 Location Address 217 COTTAGE HILL
 32320
 Brief Tax Description* A PARCEL CONT.1.05 AC PP/405 T/422 95/217 224/272 864/784 982/594 1067/456 1189/482
 *The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng --
 District Apalachicola (District 3)
 Millage Rate 22.1986
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Frost James Wesley And
 Rodgers Erin Sue
 1158 Dr Fredericks Humphries
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	1.00	UT	0	0
000000	VAC RES	1.00	UT	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/06/2017	\$100	WD	1189	482	Unqualified (U)	Vacant	CRONKITE	FROST/RODGERS
N	02/23/2009	\$100	CD	982	594	Unqualified (U)	Vacant	SUE CRONKITE	SUE CRONKITE
N	08/08/2005	\$0	TD	864	784	Unqualified (U)	Vacant	FRANKLIN COUNTY	SUE CRONKITE

Valuation

	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0
Land Value	\$5,000	\$5,000	\$5,000
Land Agricultural Value	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0
Just (Market) Value	\$5,000	\$5,000	\$5,000
Assessed Value	\$4,027	\$3,661	\$3,328
Exempt Value	\$0	\$0	\$0
Taxable Value	\$4,027	\$3,661	\$3,328
Maximum Save Our Homes Portability	\$973	\$1,339	\$1,672

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

Last Data Upload Date: 1/17/2018 11:15:46 PM



Developed by
 The Schneider
 Corporation

qPublic.net™ Franklin County, FL

Parcel Summary

Parcel ID 01-09S-08W-8340-0000-0010
 Location Address 217 COTTAGE HILL
 32320
 Brief Tax Description* A PARCEL CONT.1.05 AC PP/405 T/422 95/217 224/272 864/784 982/594 1067/456 1189/482
 *The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng --
 Tax District Apalachicola (District 3)
 Millage Rate 21.853
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Frost James Wesley And
 Rodgers Erin Sue
 1158 Dr Fredericks Humphries
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	1.00	UT	0	0
000000	VAC RES	1.00	UT	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/06/2017	\$100	WD	1189	482	Unqualified (U)	Vacant	CRONKITE	FROST/RODGERS
N	02/23/2009	\$100	CD	982	594	Unqualified (U)	Vacant	SUE CRONKITE	SUE CRONKITE
N	08/08/2005	\$0	TD	864	784	Unqualified (U)	Vacant	FRANKLIN COUNTY	SUE CRONKITE

Valuation

	2019 Preliminary Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$5,000	\$5,000	\$5,000	\$5,000	\$5,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$5,000	\$5,000	\$5,000	\$5,000	\$5,000
Assessed Value	\$4,873	\$5,000	\$4,430	\$4,027	\$3,661
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$4,873	\$5,000	\$4,430	\$4,027	\$3,661
Maximum Save Our Homes Portability	\$127	\$0	\$570	\$973	\$1,339

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notices

2019 TRIM Notice

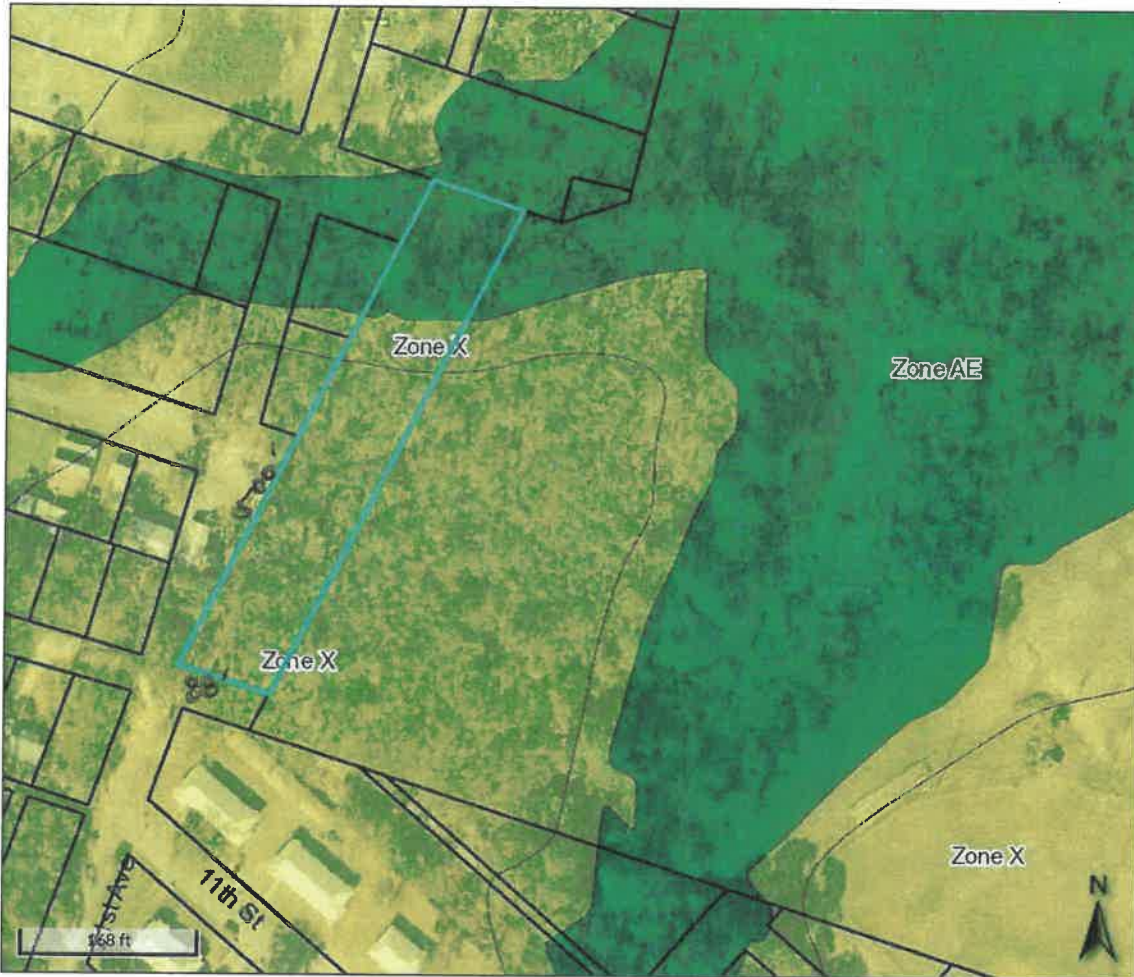
No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

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[User Privacy Policy](#)
[GDPR Privacy Notice](#)

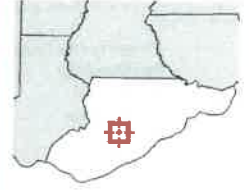


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Version 2.3.16



Overview



Legend

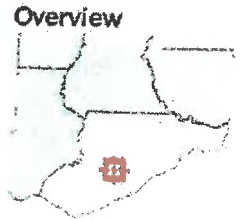
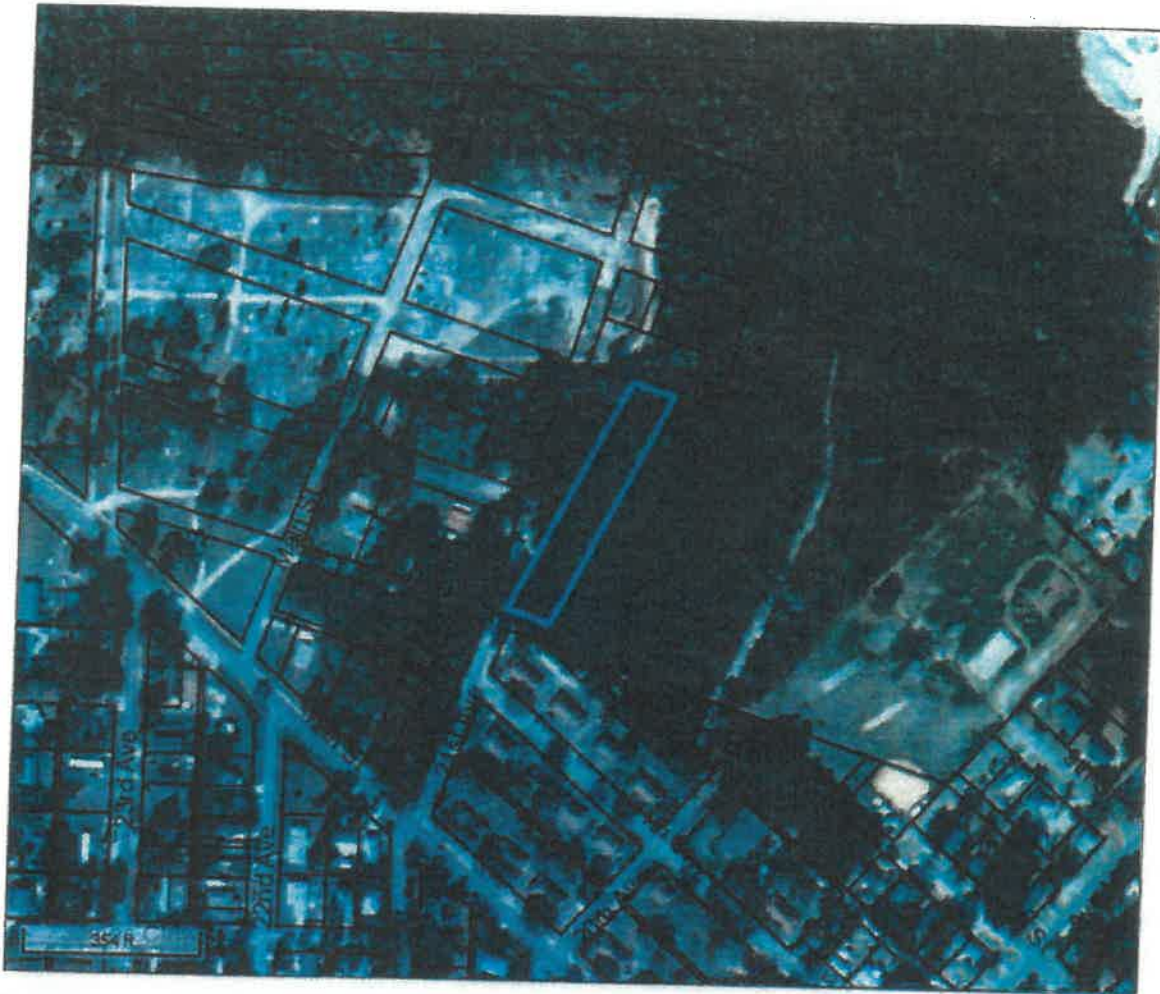
-  Parcels
-  Roads
-  City Labels
- Flood Map**
-  X: Outside 500 Year Flood
-  A: 100 Year Special Flood Area
-  AE: SFHA with base flood elevation BFI
-  VE: Coastal SFHA with BFE & velocity wave action
-  Openwater

Parcel ID	01-09S-08W-8340-0000-0010	Alternate ID	08W09501834000000010	Owner Address	FROST JAMES WESLEY AND RODGERS ERIN SUE
Sec/Twp/Rng	--	Class	VACANT		1158 DR FREDERICKS HUMPHRIES
Property Address	217 COTTAGE HILL	Acreage	n/a		APALACHICOLA, FL 32320

District 3
Brief Tax Description A PARCEL CONT.1.05 AC
 (Note: Not to be used on legal documents)

Date created: 11/1/2019
 Last Data Uploaded: 11/1/2019 7:43:07 AM

Developed by  **Schneider**
 GEOSPATIAL



- Legend**
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	01-09S-08W-8340-0000-0010	Alternate ID	08W09S01834000000010	Owner Address	FROST JAMES WESLEY AND RODGERS ERIN SUE 1158 DR FREDERICKS HUMPHRIES APALACHICOLA, FL 32320
Sec/Twp/Rng	--	Class	VACANT		
Property Address	217 COTTAGE HILL	Acreage	n/a		
District	3				
Brief Tax Description	A PARCEL CONT.1.05 AC (Note: Not to be used on legal documents)				

Date created: 1/18/2018
 Last Data Uploaded: 1/17/2018 11:15:46 PM


 Developed by
 The Schneider Corporation

Application for Permit

1. Submit a completed permit application to include Block/Lot and Flood Zone information.
2. If doing any construction ex: new construction, renovations/additions, fencing, sheds, etc... you must submit the application with site plan showing all setbacks marked, measurements & elevation photos showing what the proposed will look like including the materials to be used especially noting the siding and roofing material. (Everything, except roof replacements, must go before P&Z for approval before permit can be issued and before work begins)
3. Window/Door replacements: you must submit a permit application with a photo of the existing window/door and submit a photo of the proposed replacement. (Everything must go before P&Z for approval before permit can be issued and before work begins)
4. Electrical, Plumbing, Heating & Air permits: Submit a completed permit application & must be certified contractors. (Does not have to go before P&Z first but, cannot start work before a permit is issued)
5. All permits required to go before P&Z MUST be received at least 10 business days prior to the scheduled meeting or it will have to wait until the following meeting date, no exceptions. If the applicant and/or a representative MUST BE present at the scheduled meeting or your agenda item will not be discussed.

Notes: Any new construction will be reviewed by the Permitting and Development Coordinator and Cindy Clark – City Planner.

Planning & Zoning Meeting Schedule & Cut Off Dates

P&Z MONTH	P&Z MEETING DATE	CUT OFF DATE
JANUARY	January 14 th , 2019	December 14 th 2018
FEBRUARY	February 11 th 2019	January 11 th 2019
MARCH	March 11 th 2019	February 11 th 2019
APRIL	April 8 th 2019	March 8 th 2019
MAY	May 13 th 2019	April 13 th 2019
JUNE	June 10 th 2019	May 10 th 2019
JULY	July 8 th 2019	June 8 th 2019
AUGUST	August 12 th 2019	July 12 th 2019
SEPTEMBER	September 9 th 2019	August 9 th 2019
OCTOBER	October 14 th 2019	September 14 th 2019
NOVEMBER	November 11 th 2019	October 11 th 2019
DECEMBER	December 9 th 2019	November 9 th 2019

Please note – *A completed application for any proposed development must be filed no later than 30 days prior to any meeting of the Board at which such application is to be heard. The Staff of the City evaluating the application, or the Board may require additional information necessary to determine whether the application complies with the provisions of the City's Land Development Regulations. The request for additional information shall extend the 30 day deadline until the application is complete.*

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

-HISTORIC DISTRICT-

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner JAMES FROST
Address 1158 PL. FREDERICK S. HUMPHRIES
City APALACHICOLA State FL Zip 32320
Phone (850) 544-7103

State License # _____
City License # _____ County License # _____
Email Address _____
Phone (____) _____

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: _____

PROPERTY INFORMATION:

Street Address: 217 COTTAGE HILL City & State APALACHICOLA FLORIDA Zip 32320

Historic District Non-Historic District Zoning District R-3

Parcel #: _____ Block(s) _____ Lot(s) _____

FEMA Flood Zone/Panel #: _____
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____
Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCL.

Cortni Bankston
Permitting and Development Coordinator
(850) 653-1522 (ext 205) Phone
(850)653-5028 Cell
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

40 x 28 BUILDING ON SLAB, SINGLE STOREY


Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understood the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola, Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I verify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of my association rule or regulation.

8/9/19
DATE


SIGNATURE OF APPLICANT

EPCI
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: _____ Permit # _____ Permit Fee _____

OWNER'S NAME: JAMES W. FLOST

ADDRESS: 115 B. DR. FREDERICK S HUMPHRIES

CITY, STATE & ZIP CODE: APALACHICOLA FL PHONE # 850-544-7103

32590

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: OWNER / BUILDER

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: 217 COTTAGE HILL APALACHICOLA FL 32320

PROPOSED USE OF SITE: RESIDENTIAL

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? YES
____NO

PROPERTY PARCEL ID # _____

LEGAL DESCRIPTION OF PROPERTY: _____

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family ___ Townhouse ___ Commercial ___ Industrial
 ___ Duplex ___ Swimming Pool ___ Storage ___ Sign
 ___ Multi-Family ___ Demolition ___ Other
 ___ Addition, Alteration or Renovation to building _____

Distance from property lines: Front _____ Rear _____ L. Side _____
 R. Side _____
 Cost of Construction \$ _____ Square Footage _____
 EPI _____ Flood Zone _____ Lowest Floor Elevation _____
 Area Heated/Cooled _____ # Of Stories _____ # Of Units _____
 Type of Roof _____ Type of Walls _____ Type of Floor _____
 Extreme Dimensions of: Length _____ Height _____ Width _____

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCB: The EPCB/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent _____

Signature of Contractor _____

Date: 8/9/19 _____

Date: _____

Notary as to Owner or Agent _____

Notary as to Contractor _____

My Commission expires: _____

My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

SAMPLE APPLICATION

EPCI Each Contractor & Subcontractor must pull their own permits
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only
DATE: _____ Permit # _____ Permit Fee _____

OWNER'S NAME: (Property Owner) _____

ADDRESS: (Property Owner Address) _____

CITY, STATE & ZIP CODE: _____ **PHONE #:** (Property Owner Contact) _____

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: Contractors (Commercial/Residential Contractor) Information goes here
Note: If you are a subcontractor (Electric, Roof, HVAC, Plumbing) your information goes here

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ **PHONE #:** _____

STATE LICENSE NUMBER: _____ **COMPBTENCY CARD #:** (City License #) _____

ADDRESS OF PROJECT: (Address of project) _____

PROPOSED USE OF SITE: (Discription of proposed job, i.e, 10 x10 addition/Electric for New Construction/
Plumbing/ Metal Roof over Shingle) _____

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? ___ YES
___ NO

PROPERTY PARCEL ID #: (Can be found on property appraisers website) _____

LEGAL DESCRIPTION OF PROPERTY: (Block & Lot(s)) _____

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial
 Duplex Swimming Pool Storage Sign
 Multi-Family Demolition Other
 Addition, Alteration or Renovation to building.

Distance from property lines: Front _____ Rear _____ L. Side _____
 R. Side _____
 Cost of Construction \$ _____ Square Footage _____
 EPI _____ Flood Zone _____ Lowest Floor Elevation _____
 Area Heated/Cooled _____ # Of Stories _____ # Of Units _____
 Type of Roof _____ Type of Walls _____ Type of Floor _____
 Extreme Dimensions of: Length _____ Height _____ Width _____

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent _____

Signature of Contractor _____

Date: _____

Date: _____

Notary as to Owner or Agent _____

Notary as to Contractor _____

My Commission expires: _____

My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

**CITY OF APALACHICOLA
TREE APPLICATION
REMOVAL OR ALTERATION OF PROTECTED TREE**

Applicants Name: JAMES W. FROST (Please print)
 Property Owners Name: JAMES W. FROST Phone: 850-544-7103
 Property Address: 217 COTTAGE HILL City, State, Zip: APALACHICOLA FL 32320
 General Contractor/Tree Contractor: _____ Phone: _____
 Applicants Signature/Date 8/9/19 / _____

1. Protected trees – Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4" to 16"	Greater than 16" to less than 35"	35" and larger (Patriarch Tree)
Bald & Pond Cypress			
Eastern & Southern Red Cedar			
Live Oak			
Longleaf Pine			
Pecan			
Sabal Palm			
Slash Pine			
Southern Magnolia			
Sycamore			
Water Oak			
Total			

Size is measured at breast height (4.5 feet above ground surface)

2. Reason(s) for removal or alteration (Mark all that apply with "X")

Owner's Private Property	
Removal: New Construction	Alteration: New Construction
Tree located within or too close to footprint of proposed new building or addition	Limbs and branches encroaching where structure is to be built
Removal: No New Construction	Alteration: No New Construction
Tree roots damaging building foundation or underground utilities	Limbs and branches rubbing on side or roof of building
Imminent hazard to property or human safety	Imminent hazard to property or human safety
Diseased or pest-infested tree	Diseased or pest-infested tree
Storm damaged tree (other than City declared emergency; e.g., lightning)	Storm-damaged tree (other than during City declared emergency; e.g., lightning)
Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
City Property (City street right-of-ways adjacent to private property)	
Removal: Requested by Private Property Owner	Alteration: Requested by Private Property Owner (Significant cutting of limbs & branches)
Tree located where access to private property is proposed (driveway, etc.)	Imminent hazard to property or human safety
Imminent hazard to property or human safety	
Diseased or pest-infested tree	
Storm damaged tree (other than City declared emergency; e.g., lightning)	
Requested by City Department	
Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard)	Growth encroaching on street or alley

3. Please attach a map with the following drawn to scale:

- a. Locations of the following:
1. Lot boundaries
 2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
 3. Types & Sizes of protected trees (measured at breast height in inches)
 4. Protected trees that are proposed to be removed or altered

OFFICE USE ONLY

Permit Processing Fee (\$50.00 or \$100.00)	
Reforestation Fund	
Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)	
Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)	
Non Patriarch Tree Total (\$250.00 Max)	
Number of Trees 35" and larger x \$1,000.00	
Reforestation Fund Total	

Planning and Zoning Board (When Development plan is submitted):

Patriarch Tree _____ Non Patriarch Tree _____

_____ Approved _____ Denied

_____ Conditionally Approved (Reason for Conditional Approval or Denial): _____

Chairperson, Planning and Zoning Board Date

Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)

Patriarch Tree _____ Non Patriarch Tree _____

_____ Approved _____ Denied

_____ Conditionally Approved (Reason for Conditional Approval or Denial): _____

Code Enforcement Officer or Designee Date

City Manager or Designee Date

TREE REMOVAL AND TRIMMING APPLICATIONS

The City of Apalachicola Tree Ordinance adopted in 2019, protects the following tree species on privately owned and City owned property: live oak, southern magnolia, sabal palm, slash pine, eastern and southern red cedar, longleaf pine, pecan, bald and pond cypress, sycamore, and water oak.

A copy of the new Ordinance and the tree removal and substantial alteration application is accessible through links on the Building Department webpage at www.cityofapalachicola.com

If you have any questions about the new requirements or the new application form, please contact Wilbur Bellew, Code Enforcement Officer by e-mail at wlbellew@cityofapalachicola.com and Cortni Bankston, Permitting and Development Coordinator by e-mail at cortnibankston@cityofapalachicola.com or by telephone at 850-653-1522.

FEES AND FINES

1. **Administrative Fee** - The City of Apalachicola will collect a \$50.00 application and processing fee. However, if the application is submitted after the tree is removed and the application is approved at that time, there will be an additional application and processing fee of \$100.00.
2. **Fines** - If a **Non-Patriarch** tree is removed prior to the required application submission, the applicant, property owner, and/or contractor are subject to a fine of up to \$500.00 per tree. If a **Patriarch** tree is removed without the required approval, the applicant, property owner, and/or contractor are subject to a fine of up to \$25,000.00 per tree.
3. **Reforestation Fund** - The City of Apalachicola also collects a fee of \$25 or \$35 depending on size for each protected, non-patriarch tree removed by permit, but not to exceed \$250.00 per application. The City of Apalachicola collects a fee of \$1,000.00 for each patriarch tree removed by permit. The fees collected will be deposited into the Reforestation Fund for the establishment and maintenance of tree in city parks, squares, and public right-of-ways

Owners, Builders, Developers

PLEASE NOTE:

1. Before you proceed to have certified documents completed, you must first obtain Site Plan Approval, and if proposed development is located within the City's Historic District, a Certificate of Appropriateness from the City's Planning and Zoning Board and Architectural Review Committee.
2. Required site plan elements and the Certificate of Appropriateness Applications are due at least 10 business days prior to the scheduled monthly meeting (second Monday of each month) of the Planning and Zoning Board.
3. Site Plan Approvals are valid for one year after issuance. If a building permit is not obtained within a year after receiving site plan approval, the applicant must re-apply and receive site plan approval again.
4. Building permits are valid for one year after issuance. If construction has not begun within the year, the applicant must re-apply for a building permit.
5. After you have received your Planning and Zoning Approval for your site plan and/or Certificate of Appropriateness, whichever applies, take all development documents to the Building Department Office at 192 Coach Wagner Blvd, Apalachicola to obtain your building permit. Building permit issuance and all inspections will be handled by the Permitting and Development Coordinator and the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI. Please be advised that additional documentation may be required by the Building Official.
6. Land and Development regulations can be found on the City of Apalachicola's website @ www.cityofapalachicola.com.

It is our intent to save you time and money in plan preparation. The City of Apalachicola Planning and Zoning Board also sits as the City's Architectural Review Board. Our responsibilities include protecting the historical character of the city. By working with the Planning and Zoning Board to obtain a Certificate of Appropriateness, your development will not only proceed more smoothly, but will also enhance the City's architectural integrity and historical character of Apalachicola.

Thank you,
PLANNING AND ZONING BOARD
CITY OF APALACHICOLA

City of Apalachicola
General Permit Checklist (Section VII. Site Plan Review Regulations)

General Permit Application Requirements are applicable for all development not subject to site plan requirements. Where required by Section IV I of this ordinance a more detailed site plan shall be required, as per Section IV.

Permit Application /Review – Each application for a development permit and, where required, with the appropriate fee shall be filed with the permit official on a form furnished for such purpose which shall contain, at a minimum, the following information:

- 1. A location map and conceptual site plan of appropriate scale indicating the lot of property lines and physical description of the parcel with respect to:
- 2. General topography including highest elevation above mean or ordinary high water and slope contours.
- 3. The proposed development's distance from mean or ordinary high water and vegetated wetlands under the jurisdiction of the state.
- 4. The number and size(s) of structures existing on the parcel.
- 5. The proposed development's proximity to lot lines, setbacks, right of way, or easements and, where applicable, with respect to septic tank location and potable water supplies
- 6. Sewer/Water Availability
- 7. Flood Information including FIRM Zone. **Note: any proposed development located within the Coastal Building Zone (V and related A Zones) must also provide floodplain management information as identified on supplemental floodplain management checklist.**

For all new construction including any enlargement or alteration of an existing structure that changes its area of enclosed heated floor space, the applicant shall be required to submit, in duplicate, drawings and plans showing:

- The basic floor plan
- Foundation details
- Elevation of flood level above the grade
- Structural details
- All electrical, plumbing, heating and air conditioning equipment and service outlets.

REQUEST FOR NEW CONSTRUCTION must also include the following information:

- Site Plan: Certified Survey, including an elevation certification, with the proposed structure depicted. Indicate front, rear, and each side of property in relation to property boundaries and depict setbacks in relation to required setbacks. Any accessory structures must also be depicted, as well as driveways, and any other permanent structures, along with the identification of the materials used in construction of existing and/or proposed driveways. NOTE: For Commercial New Construction parking, stormwater and landscaping must be depicted.
- Elevation drawings of structure to be constructed showing all sides, along with preliminary floor plans.
- A detailed list of exterior materials to be used, to include: siding, roof materials, windows, doors, shutters, and exposed foundations if not on slab.

REQUEST FOR EXTERIOR RENNOVATIONS OR ADDITIONS TO EXISTING STRUCTURES must also include the following information:

- Site Plan: Document of drawing showing existing structure located on property, with existing setbacks from property boundaries, all sides. Also, indicate front, rear, and sides of property in relation to property boundaries. Accessory structures must also be depicted, as well as driveways, and any other permanent structures, along with the identification of all materials used in construction of existing and proposed driveways. A certified Survey may be requested if any questions arise.
- Color photos of existing structure, showing all exterior sides.
- A detailed list of exterior materials to be used renovation. If different from existing, explain why appropriate.
- Renditions of proposed renovations, showing location and type of any exterior changes.

Site Plan Review/Checklist (Section VII. Site Plan Review Regulations)

The Site Plan Review Process is applicable for any development OTHER THAN the construction of one single family residence on an individual lot unless such lot is located within the Special Waterfront District. The development of multifamily dwellings, commercial structures, industrial structures, parking lots, and all special exceptions must be approved through the site plan review process. Also included are projects which involve the alteration or conversion of any existing structure into a multi-family, commercial, or industrial structure which involves a change where there is the need for upgrading of the site for parking requirements, fire flow, storm water management, etc.

F. SITE PLAN CHECKLIST

Site plans or any portion thereof involving engineering shall be certified and prepared by and/or under the direct supervision of a professional engineer. Site plans shall contain maps and documents indicating the following:

A. General Information

1. Name of Project
2. Statement of intended use of site
3. Legal description of the property, size of parcel in acres or square feet and the linear dimensions of the property.
4. Name, address, and telephone number of the owner or owners of record.
5. Name, address, and telephone number if the applicant and firm which he represents.
6. Name, address, signature and registration of the professionals preparing the plan.
7. Date, north arrow and scale, number of sheets; the scale (not smaller than one (1) inch to fifty (50) feet shall be designated and, where appropriate, the same scale should be used in drawing the site plan rather than varying the scale.
8. Vicinity map, showing relationship proposed development to the surrounding streets, wetlands and water bodies shall be at a scale of not less than one inch equals two thousand feet (1: +2,000')
9. Location and identification of soil characteristics including wettest season high water table elevation, vegetable cover, wetlands, water bodies and the 100 year floodplain, including elevation, on the site.
10. Existing topography at two (2) foot contour intervals for the propose site, except where determined to be unnecessary by the City Planner.
11. Finish grading elevation
12. All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, right-of-way, the building setback lines, if different than those specified by the Zoning Regulation.) In addition, state any commitments, such as, contributions to offset public facilities impacts.

B. Building and Structures

1. Intended use
2. Number of stories
3. Height of building
4. Number of dwelling units and density for multifamily site plans
5. Projected number of employees (if applicable)
6. (Restaurants) show number of seats and occupancy load.
7. Square footage for proposed development – gross square footage, non-storage area, square footage of each story, gross square footage of sales area, etc.

C. Streets, Sidewalks, Driveways, Parking Areas and Loading Spaces

1. If available, engineering plans and specifications for street, sidewalks, and driveways, this information will be required prior to the issuance of a building permit.
2. All parking spaces designated and calculated as per code requirements
3. Number of parking spaces
4. Number and location of handicapped spaces
5. Number and designation of loading spaces
6. Number of square feet of paved parking and driveway area
7. Surface materials of driveways
8. Cross section of proposed street improvements
9. Fire lanes
10. Location of proposed driveways and median cut(s)
11. Internal traffic circulation plan, including directional arrows and signs to direct traffic flow
12. Location of traffic-control signs and signalization devices
13. Designate location of sidewalks
14. Coordinate walkways, driveways, etc., with facilities in adjacent developments
15. All proposed streets and alleys
16. The extension or construction of service roads and access thereto on-site must be shown where applicable

D. Existing Improvements (On-Site, adjacent to site)

1. Driveway and median cuts
2. Sidewalks, streets, alleys, and easements (note widths and type)
3. Storm water management systems to include natural and structural (size and materials, invert elevation)
4. Size and location of nearest water mains, valves, and fire hydrants
5. Sanitary sewer systems (size, invert elevations, etc., to be included)
6. Gas, power and telephone lines, where available.

E. Proposed Water and Sewer Facilities

1. Water, Size, material and location of water mains, plus valves and fire hydrants. Engineering plans and specifications will be required prior to the issuance of a building permit.
2. Sanitary Sewer Systems. Size, material, and location of lines. Engineering plans and specifications, with submittal of a profile where required, will be required prior to the issuance of a building permit.

F. Solid Waste Location (s) and access provisions for refuse service, including pad-screening, fencing, and landscaping.

G. Dredge and Fill. If any dredging or filling is intended in the development, a copy of the dredge and fill permit issued by the Florida Department of Environmental Regulations shall be required prior to the issuance of a building permit.

H. Storm water Management. A copy of the storm water permit pursuant to Chapter 17-25 F.A.C. issued by the Florida Department of Environmental Regulations shall be required prior to the issuance of a building permit. For those developments exempt from a storm water permit pursuant to 17.25 F.A.C., a storm water management system shall be required of all development within the Special Waterfront District.

From: Floods <Floods@em.mvflorida.com>
Sent: Wednesday, November 28, 2012 7:43 AM
Subject: New Elevation Certificate is released! PLEASE SHARE THE NEWS

FEMA has released the revised 2012 Elevation Certificate and 2012 Floodproofing Certificate. DEM has done a word-for-word review and determined there are no revisions that change any meaning or in any way alter the information that is collected. However, we encourage you to start reminding builders and surveyors that the revised certificates are now available.

FEMA announced that it will permit a "phase-in" of the revised Elevation Certificate on a voluntary basis. During the 12-month transition period beginning August 1, 2012, FEMA will accept either the new form or the old form. This voluntary transition period will allow for sufficient time for coordination and training of all affected NFIP stakeholders. Elevations certified after the last day of the transition period must be submitted on the new Elevation Certificate form with the expiration date of July 31, 2015.

Elevation Certificate - <http://www.fema.gov/library/viewRecord.do?id=1383>
Floodproofing Certificate - <http://www.fema.gov/library/viewRecord.do?id=1600>

Please share this message with any concerned.

"Floods are an act of God, but flood losses are largely an act of man."
- Gilbert F. White, scientist & philosopher, "Father of floodplain management"

Florida State Floodplain Management Office

2555 Shumard Oak Blvd., Tallahassee, FL 32399-2100

(850) 413-9960 (Helpine) or floods@em.mvflorida.com

No virus found in this message.

Checked by AVG - www.avg.com

Version: 2012.0.222 / Virus Database: 2629/5424 - Release Date: 11/28/12

FLOOD PLAIN MANAGEMENT
PERMIT APPLICATION REVIEW

DATE: 8/9/19

PERMIT #: _____

NAME: SAMES W. FROST

MAILING ADDRESS: 115 E DR FREDERICK S HUNTER CITY/STATE/ZIP: APALACHICOLA FL 32320

PHONE: 850 544 7707

STREET ADDRESS: 217 COTTAGE HILL

LEGAL DESCRIPTION: _____

PARCEL I.D #: _____

DESCRIBE DEVELOPMENT: _____

RESIDENTIAL: COMMERCIAL: _____ NEW STRUCTURE: _____ SUBSTANTIAL IMPROVEMENT: _____

FLOOD ZONE INFORMATION:

PANEL NO.: _____ FIRM ZONE: _____ BFE: _____ GRADE ELEVATION: _____

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE:
AND/OR TOP OF THE BOTTOM FLOOR _____ (PER PLANS)

SQUARE FEET OF ENCLOSURE BELOW BFE: _____ (PER PLANS)

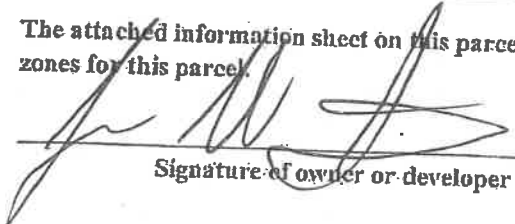
FLOOD ZONE DISCLOSURE NOTICE

I/We, _____, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014; my/our property may be adversely affected by these changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: _____ PARCEL I.D #: _____

EFFECTIVE FLOOD ZONE: _____ PRELIMINARY FLOOD ZONE: _____

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel.


Signature of owner or developer

8/9/19
Date

Material used for enclosure below BFE: solid wall/breakaway wall _____, flow through vents
_____ (sq ft of vent opening), screen wire, lattice or louvers: _____.

Type of foundation: _____

Pile Support

Concrete block stem wall

Other

Application meets all requirements designated in the flood plain management ordinance
_____ Date.

Inspections:

Foundation meets the requirement for the flood zone designation: _____

Under construction elevation certificate has been submitted and meets elevation standards for flood zone

Enclosures below the BFE are designed as required by the flood plain management ordinance:

Final elevation certificate has been submitted and all aspects of the structure meet designated flood zone
requirements: _____

All Mechanical and A/C equipment meet the required elevation for the designated BFE:

Final Inspection on structure meets all requirements designated in the flood plain management ordinance:
_____ Date.

Flood Plain Administrator

Date

ORDINANCE 2015 - 03
CITY OF APALACHICOLA, FLORIDA
(POSTING 911 EMERGENCY ADDRESS)

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF APALACHICOLA, FLORIDA ADOPTING A UNIFORM SYSTEM THAT REQUIRES THE POSTING OF THE ASSIGNED 911 EMERGENCY ADDRESS FOR BUILDINGS WITH ACCESS FROM OFFICIALLY NAMED ROADS AND STREETS WITHIN THE JURISDICTION OF THE CITY OF APALACHICOLA, FLORIDA; PROVIDE FOR ENFORCEMENT PROVIDING FOR THE REPEAL OF ANY ORDINANCE IN CONFLICT HEREWITH, AND PROVIDING FOR AN EFFECTIVE DATE.

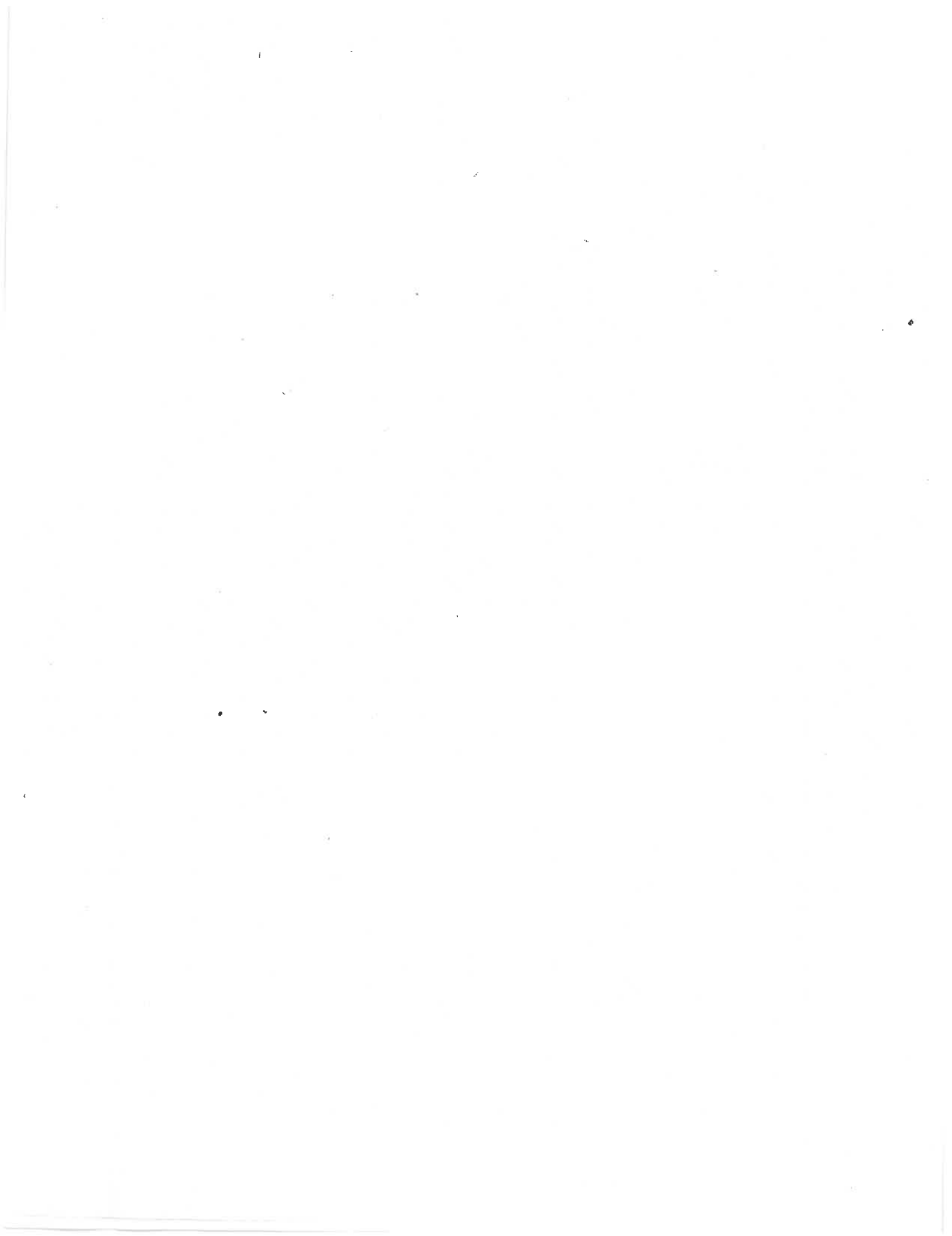
WHEREAS, The City Commission of the City of Apalachicola has determined that it would be in the best interest of the public health, safety and general welfare of its citizens and inhabitants to adopt a uniform system that requires the posting of the assigned 911 EMERGENCY ADDRESS for buildings with access from officially named roads and streets within the jurisdiction of the City of Apalachicola, Florida and

WHEREAS, all buildings, with the exception of accessory or out buildings, located on a property within the City of Apalachicola shall have the assigned address number properly displayed whether or not mail is delivered to such building or property; and

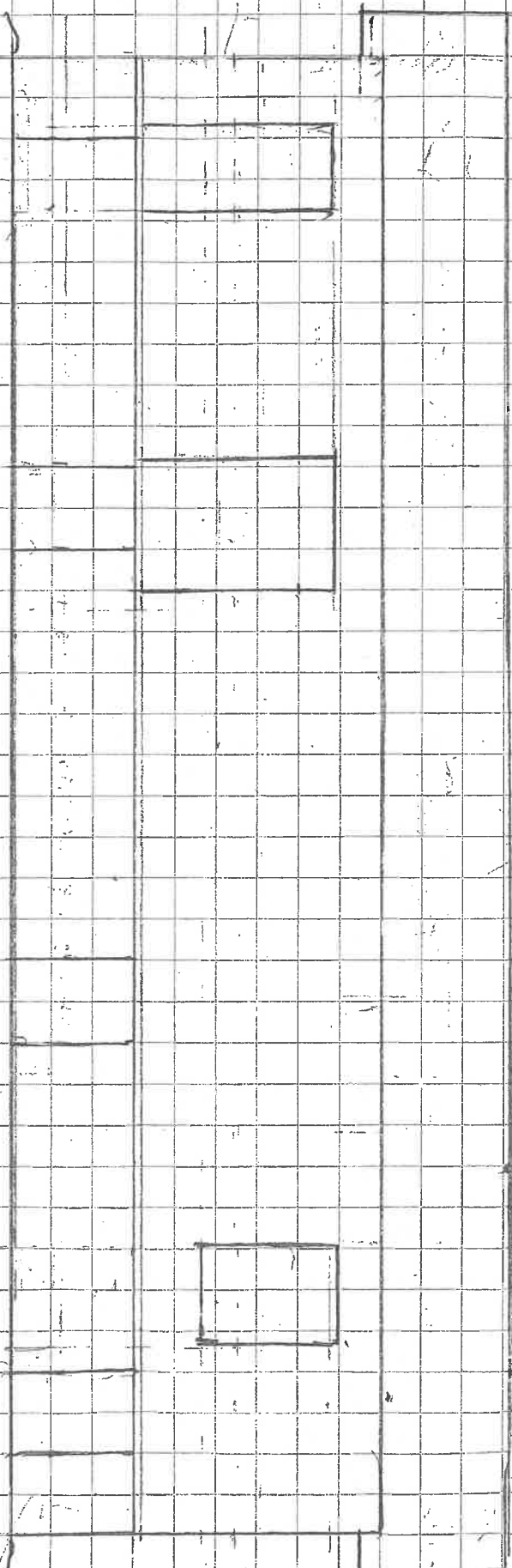
WHEREAS, it shall be the duty of the property owner to post the assigned address number for buildings on the property in the following manner:

1. The assigned address number shall be affixed to the front of the building or to a separate structure in front of the building such as a mailbox, post, wall or fence in such a manner so as to be clearly visible and legible from the public ways on which the building fronts. In the event that the building is not visible from a road or street, the address must be posted on the building and at the intersection of the building driveway and the road or street where the driveway connects.
2. Numbers shall be legible and easily seen from the road or street in which the building fronts.
3. Numbers shall be of a contrasting color with the immediate background of the building or structure on which such numerals are affixed.
4. Numbers on residential buildings shall be no less than four (4) inches in height.
5. Numbers for all commercial buildings shall be no less than six (6) inches in height and shall be placed on the business sign in front of the building and shall also be posted on the building.

WHEREAS, 911 emergency addresses currently assigned at time of passage of this Ordinance shall be posted for the building within sixty (60) days upon its adoption. Further, addresses shall be posted within 30 days of all initial assignment, a change of address or upon issuance of a warning notice that a non-compliance exists.

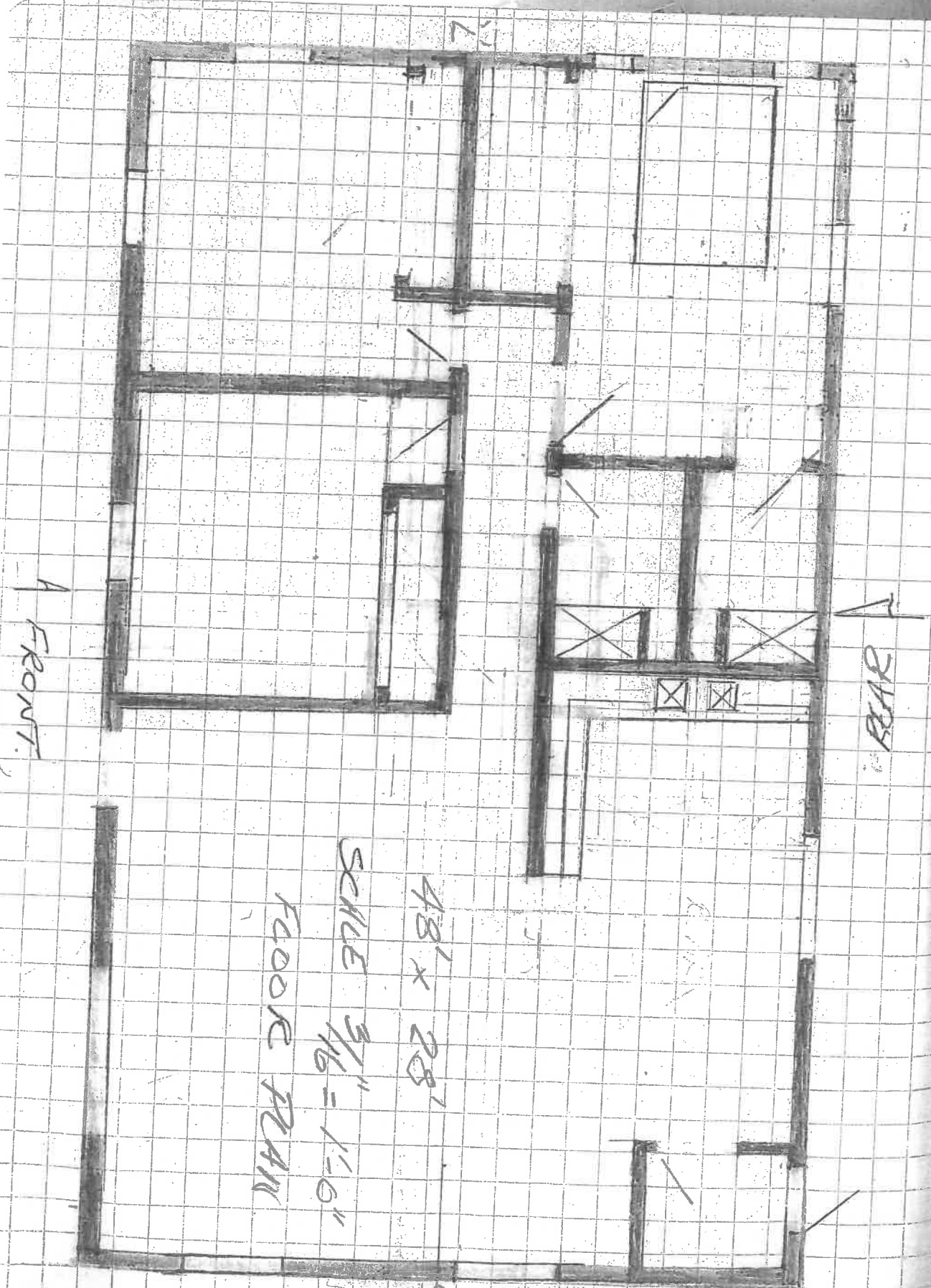


REAR A



REAR A

A



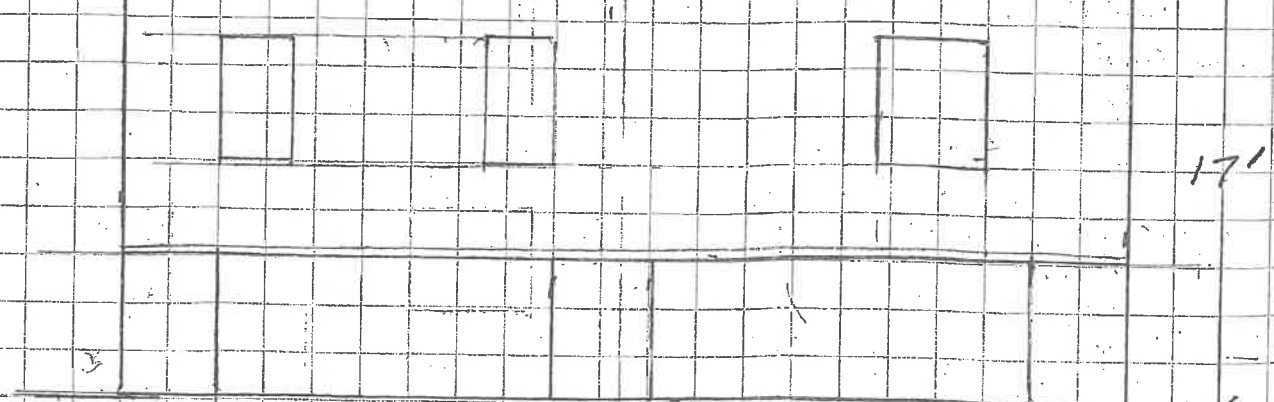
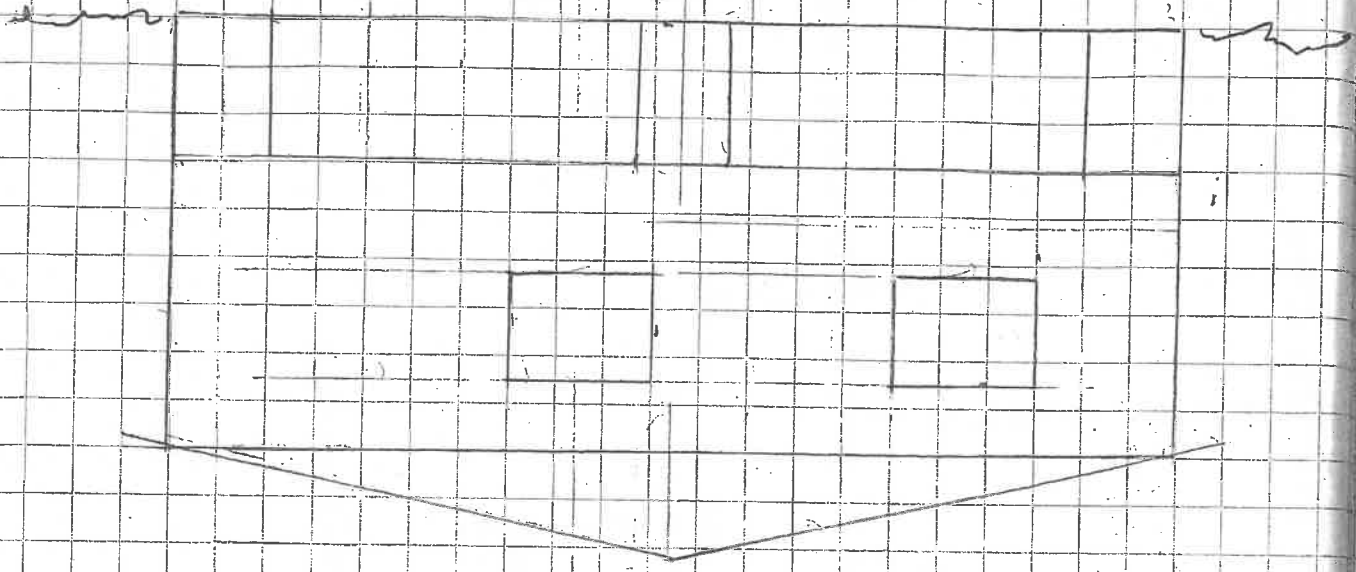
FRONT

REAR

48' x 28'
 SCALE 3/16" = 1'-6"
 FLOOR PLAN

KITCHEN

RIGHT



28' LEFT

FRONT

171

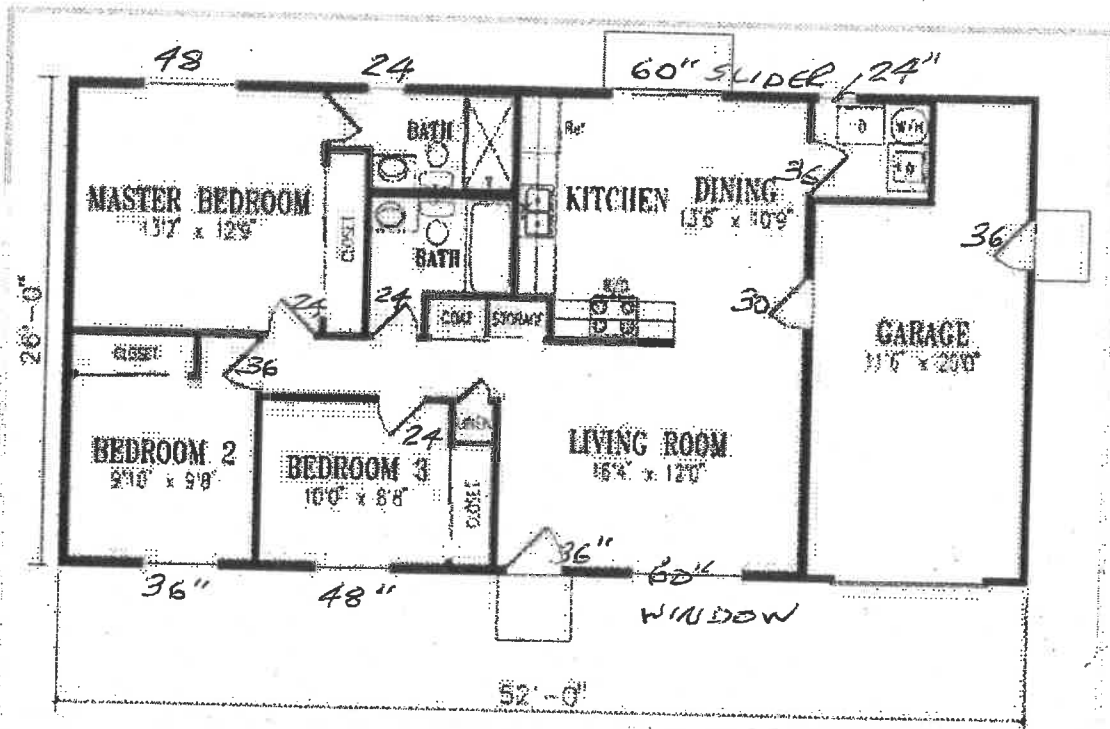
Floor Plans For A 3 Bedroom 2 Bath Ranch House Open Plan Bed 1 Hashtag

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ViewPDF.io

OPEN



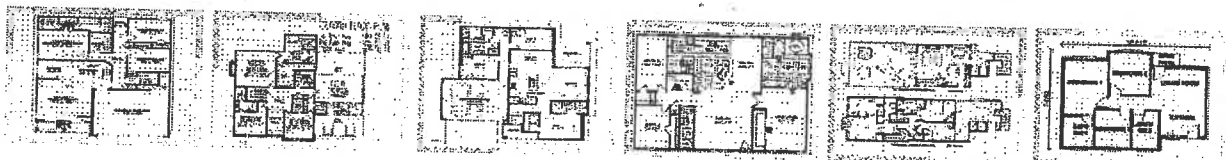
SCALE 3/32"

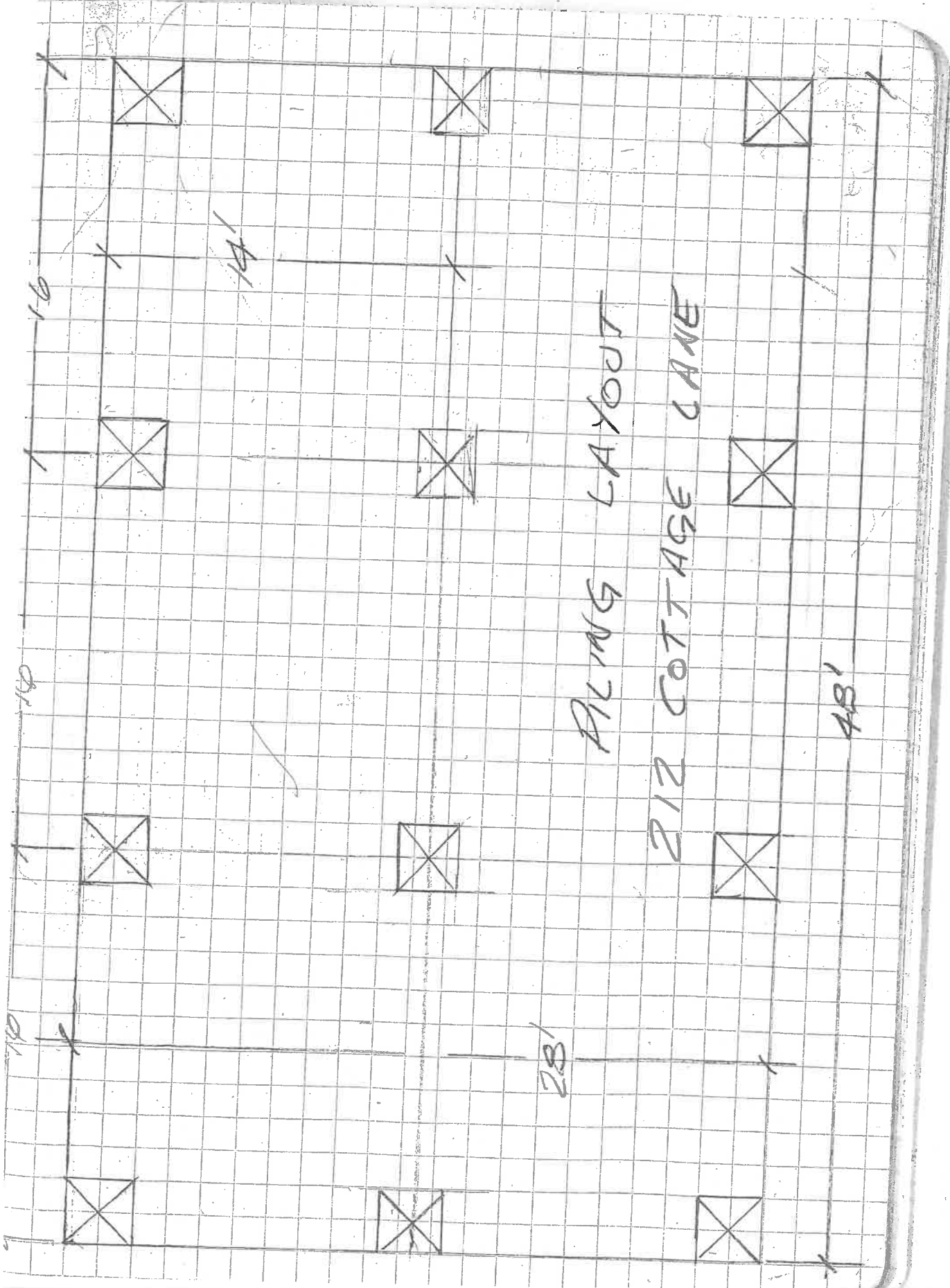
Wayfair: Official Site

Furniture Deals That Will Knock Your Socks Off

Wayfair

OPEN





ALONG LAYOUT
212 COTTAGE CANE

48'

28'

48'

14'

48'



SITE PLAN

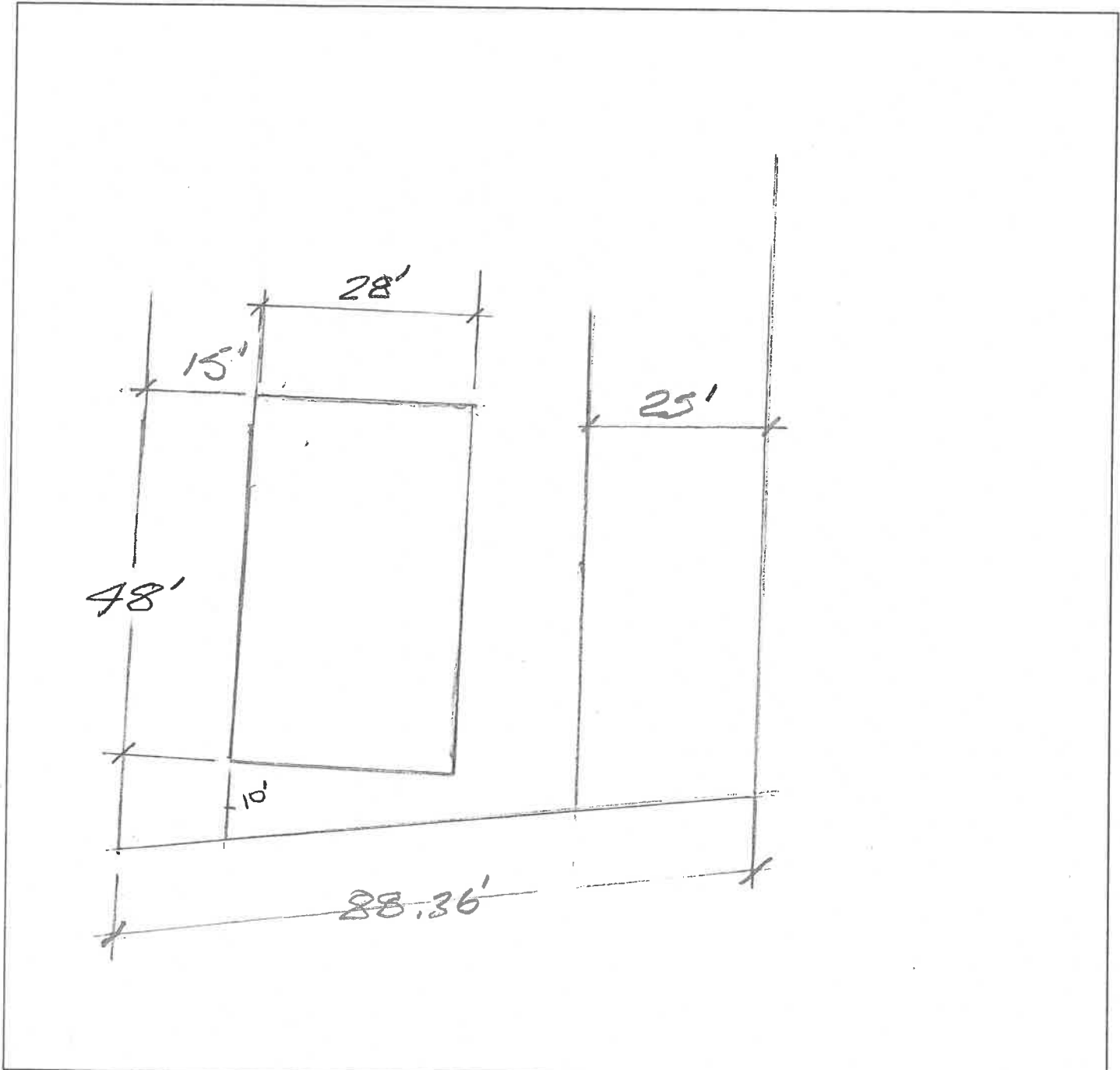
FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building_services.aspx?sid=building

PERMIT



SCALE: 1" = 20'

ADDRESS: _____

DRAWN BY:

DATE: _____

JAMES FROST



Building Dept. Review Summary

P&Z Meeting November 12th, 2019

Address: 270 Acola Rd.

Zoning: R-2

Historic District: No

Block: 5

Lot: 70

Project Description: New Single Family 2,608 sq. ft.

Flood Zone: AE 11

Lot Size: 60' x 100'

Impervious Surface Proposed: 35.16% Allowed: 40%

Height Proposed: 34' 11" Allowed: 35' **Comply with LDC.**

Main Structure

Setbacks Required: Front: 15 Rear 25' Right : 7' 6" Left:7' 6" or combination of 15' no less than 5

Setbacks proposed: Front : 15' Rear: 25' 4" Right: 5' Left: 10'

Setbacks Proposed: **Comply with LDC.**



Parcel Summary

Parcel ID 01-09S-08W-8370-0005-0070
 Location Address BL 5 PHILACO SHORES LOTS 7 8 OR/614/712 1231/211
 Brief Tax Description* **The Description above is not to be used on legal documents.*
 Property Use Code VACANT (000000)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 21.853
 Acreage 0.000
 Homestead N



[View Map](#)

Owner Information

Primary Owner
 Gulf Coast Field Services,LLC
 102 Derondo Street
 Panama City Bch, FL 32413

Code	Land Use	Number of Units	Frontage	Depth
000100	SFR	60.00	0	0

Sales

Multi Parcel	Sale Date	Sale Price
N	11/16/2018	\$30,000

Valuation

	2019 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0
Land Value	\$22,500	\$21,000	\$21,000	\$21,000
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0
Just (Market) Value	\$22,500	\$21,000	\$21,000	\$21,000
Assessed Value	\$22,500	\$5,918	\$5,380	\$4,891
Exempt Value	\$0	\$0	\$0	\$0
Taxable Value	\$22,500	\$5,918	\$5,380	\$4,891
Maximum Save Our Homes Portability	\$0	\$15,082	\$15,620	\$16,109

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notices

2019 TRIM Notice

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.
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Version 2.3.8



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8370-0005-0070	Alternate ID	08W09S01837000050070	Owner Address	GULF COAST FIELD SERVICES,LLC
Sec/Twp/Rng	1-9S-8W	Class	VACANT		102 DERONDO STREET
Property Address		Acreage	n/a		PANAMA CITY BCH, FL 32413
District	3				
Brief Tax Description	BL 5 PHILACO SHORES				

(Note: Not to be used on legal documents)

Date created: 10/7/2019
Last Data Uploaded: 10/7/2019 7:06:31 AM

Developed by  **Schneider**
GEOSPATIAL

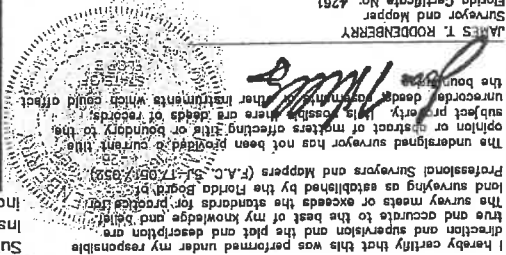
JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No. 4261

DATE: 11/06/17
 DRAWN BY: BB
 N.B.609 P.G.51 COUNTY: FRANKLIN

FILE: 18503DWG
 DATE OF LAST FIELD WORK: 11/05/18
 JOB NUMBER: 18-503

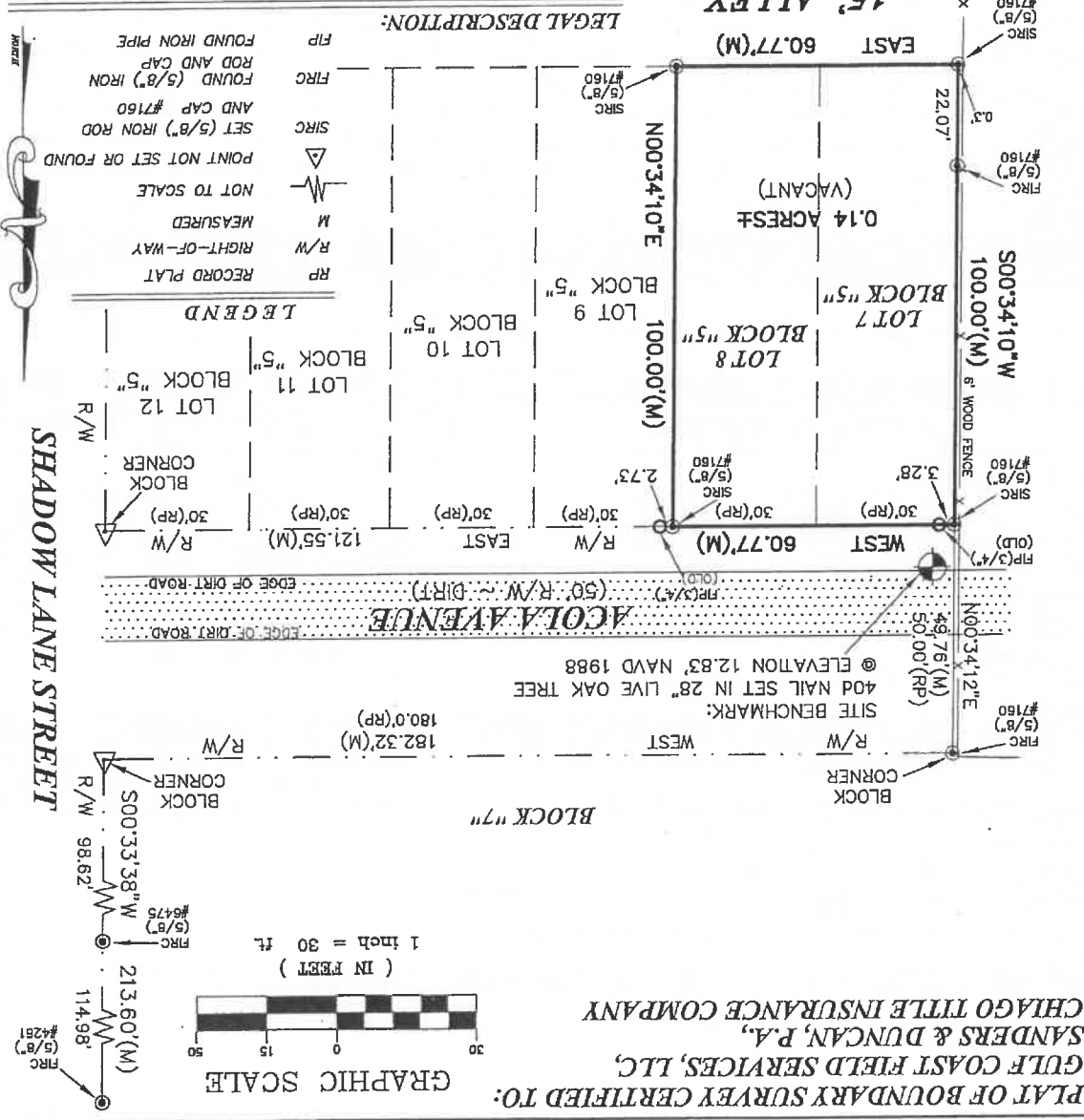
THURMAN RODDENBERRY & ASSOCIATES, INC.
 PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 100 • 135 SHELDON STREET • SOPCHOPPY, FLORIDA 3358
 PHONE NUMBER: 850-962-2358 FAX NUMBER: 850-962-1102
 LTR # 7160

Subject property is located in Zone "AE (E1.11)" as per Flood Insurance Rate Map Community Panel No: 120090 0509F, index date: February 5, 2014, Franklin County, Florida.



- FLOOD ZONE INFORMATION:**
1. SURVEY SOURCE: RECORD PLAT and a field survey performed by the undersigned surveyor.
 2. BEARING REFERENCE: Southerly right-of-way boundary of ACOLA STREET
 3. NO IMPROVEMENTS have been located in this survey other than those shown hereon.
 4. THERE ARE NO VISIBLE ENCROACHMENTS other than those shown hereon.
 5. THIS SURVEY IS DEPENDENT UPON EXISTING MONUMENTATION.
 6. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 7. ELEVATIONS DEPICTED HEREON WERE ESTABLISHED USING NAVD 1988 DATUM.

NOTES:
 1. SURVEY SOURCE: RECORD PLAT and a field survey performed by the undersigned surveyor.
 2. BEARING REFERENCE: Southerly right-of-way boundary of ACOLA STREET
 3. NO IMPROVEMENTS have been located in this survey other than those shown hereon.
 4. THERE ARE NO VISIBLE ENCROACHMENTS other than those shown hereon.
 5. THIS SURVEY IS DEPENDENT UPON EXISTING MONUMENTATION.
 6. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 7. ELEVATIONS DEPICTED HEREON WERE ESTABLISHED USING NAVD 1988 DATUM.



PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 GULF COAST FIELD SERVICES, LLC,
 SANDERS & DUNCAN, P.A.,
 CHICAGO TITLE INSURANCE COMPANY

**CITY OF APALACHICOLA
TREE APPLICATION
REMOVAL OR ALTERATION OF PROTECTED TREE**

Applicants Name: Doug & Yori Lawrence (Please print)
 Property Owners Name: Same Phone: 850-658-6001
 Property Address: 270 ACORA AVE City, State, Zip: APALACHICOLA FL 32320
 General Contractor (Tree Contractor): RICKY MOSELEY Phone: 850-897-5623
 Applicants Signature/Date: Doug Lawrence 1-10-10-19
Yori Lawrence

1. Protected trees - Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4' to 16'	Greater than 16' to less than 35'	35' and larger (Patriarch Tree)
Bald & Pond Cypress			
Eastern & Southern Red Cedar	2		
Live Oak	2		
Longleaf Pine	2		
Pecan			
Sabal Palm	2		
Slash Pine			
Southern Magnolia	1		
Sycamore			
Water Oak			
Total			
Size is measured at breast height (4.5 feet above ground surface)			

2. Reason(s) for removal or alteration (Mark all that apply with "X")

Owner's Private Property	
Removal: New Construction	Alteration: New Construction
<input checked="" type="checkbox"/> Tree located within or too close to footprint of proposed new building or addition	<input checked="" type="checkbox"/> Limbs and branches encroaching where structure is to be built
Removal: No New Construction	Alteration: No New Construction
<input type="checkbox"/> Tree roots damaging building foundation or underground utilities	<input type="checkbox"/> Limbs and branches rubbing on side or roof of building
<input type="checkbox"/> Imminent hazard to property or human safety	<input type="checkbox"/> Imminent hazard to property or human safety
<input type="checkbox"/> Diseased or pest-infested tree	<input type="checkbox"/> Diseased or pest-infested tree
<input type="checkbox"/> Storm damaged tree (other than City declared emergency; e.g., lightning)	<input type="checkbox"/> Storm-damaged tree (other than during City declared emergency; e.g., lightning)
<input type="checkbox"/> Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
City Property (City street right-of-ways adjacent to private property)	
Removal: Requested by Private Property Owner	Alteration: Requested by Private Property Owner (Significant cutting of limbs & branches)
<input checked="" type="checkbox"/> Tree located where access to private property is proposed (driveway, etc.)	<input type="checkbox"/> Imminent hazard to property or human safety
<input type="checkbox"/> Imminent hazard to property or human safety	
<input type="checkbox"/> Diseased or pest-infested tree	
<input type="checkbox"/> Storm damaged tree (other than City declared emergency; e.g., lightning)	
Requested by City Department	
<input type="checkbox"/> Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard)	<input type="checkbox"/> Growth encroaching on street or alley

3. Please attach a map with the following drawn to scale:

a. Locations of the following:

1. Lot boundaries
2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
3. Types & Sizes of protected trees (measured at breast height in inches)
4. Protected trees that are proposed to be removed or altered

OFFICE USE ONLY

Permit Processing Fee (\$50.00 or \$100.00)	
Reforestation Fund	
Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)	
Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)	
Non Patriarch Tree Total (\$250.00 Max)	
Number of Trees 35" and larger x \$1,000.00	
Reforestation Fund Total	

Planning and Zoning Board (When Development plan is submitted):

Patriarch Tree _____ Non Patriarch Tree _____

_____ Approved _____ Denied

_____ Conditionally Approved (Reason for Conditional Approval or Denial): _____

Chairperson, Planning and Zoning Board

Date

Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)

Patriarch Tree _____ Non Patriarch Tree _____

_____ Approved _____ Denied

_____ Conditionally Approved (Reason for Conditional Approval or Denial): _____

Code Enforcement Officer or Designee

Date

City Manager or Designee

Date

EPCI
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: _____ Permit # _____ Permit Fee _____

OWNER'S NAME: Gulf Coast Field Services (Doug Lawrence)

ADDRESS: 102 Derondo St

CITY, STATE & ZIP CODE: Panama City PHONE # 850.303.1789

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): NA

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: Doug Lawrence - Owner

ADDRESS: 102 Derondo St

CITY, STATE & ZIP CODE: P. C, FL PHONE # 850.303.1789

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: TBD Acola Ave

PROPOSED USE OF SITE: Single Family Residential

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? NO YES

PROPERTY PARCEL ID # 01-095-08W-8370-0005-0070

LEGAL DESCRIPTION OF PROPERTY: Blk 5 Philaco Shores Lots 7+8

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: NA

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: City SEWER SYSTEM PROVIDER: City

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family ___ Townhouse ___ Commercial ___ Industrial
___ Duplex ___ Swimming Pool ___ Storage ___ Sign
___ Multi-Family ___ Demolition ___ Other
___ Addition, Alteration or Renovation to building _____

Distance from property lines: Front 15' Rear 25' L. Side 10'
R. Side 10'
Cost of Construction \$ 350,000.00 Square Footage 2700
EPI _____ Flood Zone _____ Lowest Floor Elevation _____
Area Heated/Cooled _____ # Of Stories _____ # Of Units _____
Type of Roof metal Type of Walls _____ Type of Floor _____
Extreme Dimensions of: Length _____ Height _____ Width _____

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit of the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent

Signature of Contractor

Date: _____

Date: _____

Notary as to Owner or Agent

Notary as to Contractor

My Commission expires: _____

My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

NO ADJACENT STRUCTURES

2 1/2 STORY WOOD FRAMED HOUSE ON A MONO SLAB

APPROX 2700 SF

Project Scope	Manufacturer	Product Description	Fl. Product Approval #
Siding	HARDI		FL13192.2
Doors	THERMA TRU	3080 - 5080 - 6080	FL 8604.19 FL 7630.2 FL 7630.2
Windows	MI	IMPACT 1620	FL21637
Roofing	METAL	SV SCREW DOWN GALVALUME	FL10319.4
Trim	HARDI		FL13192.2
Foundation	CONCRETE	3000 PST	
Shutters	N/A		
Porch/Deck	PRESSURE TREATED		
Fencing	N/A		
Driveways/Sidewalks	PAVERS		
Other			

Florida Product approval Numbers

Hardi Lap siding – FL13192.2

Hardi Shake shingles – FL13192.3

Hardi Trim – FL13192.2

Hardi Soffit – FL13265.1

Hardi Panels – FL13223.1

MI windows – 1620 series – Impact – FL21637

ThermaTru Exterior doors – 5080 & 6080 – FL7630.2

3080 – FL8604.19

Metal screw down roof – FL10319.4

CITY OF APALACHICOLA
 CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT-

Official Use Only

Application # _____
 City Representative _____
 Date Received _____

OWNER INFORMATION

Buff Coast Field Services
 Owner Doug Lawrence
 Address 1102 Derondo St
 City Panama City State FL Zip 32413
 Phone (850) 303-1789

CONTRACTOR INFORMATION

Doug Lawrence - Owner
 State License # _____
 City License # _____ County License # _____
 Email Address joniparsons123@comcast.net
 Phone () 303-1789

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: _____

PROPERTY INFORMATION:

Street Address: TBD Acola Ave City & State Apalachicola Zip _____
 Historic District Non-Historic District Zoning District _____
 Parcel #: 01-09S-08W-8370-0005-0070 Block(s) 5 Lot(s) 7+8
 FEMA Flood Zone/Panel #: AE
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25' Side: 10 Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contacted to handle the City of Apalachicola Building Permits, EPC.

Cortni Bankston
 Permitting and Development Coordinator
 (850) 653-1522 (ext 205) Phone
 (850) 653-5023 Cell
cortnibankston@cityofapalachicola.com

CERTIFICATION

By Signing below, I certify that the information equipped in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submitted may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

10/3/19

SIGNATURE OF APPLICANT





Parcel Summary

Parcel ID 01-095-08W-8370-0005-0070
 Location Address
 Brief Tax Description* BL 5 PHILACO SHORES LOTS 7 8 OR/614/712 1231/211
 *The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 21.853
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Gulf Coast Field Services, LLC
 102 Derondo Street
 Panama City Bch, FL 32413

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	60.00	FF	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	11/16/2018	\$30,000	WD	1231	211	Qualified (Q)	Improved	COOK	GULF COAST FIELD SERVICES, LLC

Valuation

	2019 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$22,500	\$21,000	\$21,000	\$21,000	\$21,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$22,500	\$21,000	\$21,000	\$21,000	\$21,000
Assessed Value	\$22,500	\$5,918	\$5,380	\$4,891	\$4,446
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$22,500	\$5,918	\$5,380	\$4,891	\$4,446
Maximum Save Our Homes Portability	\$0	\$15,082	\$15,620	\$16,109	\$16,554

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

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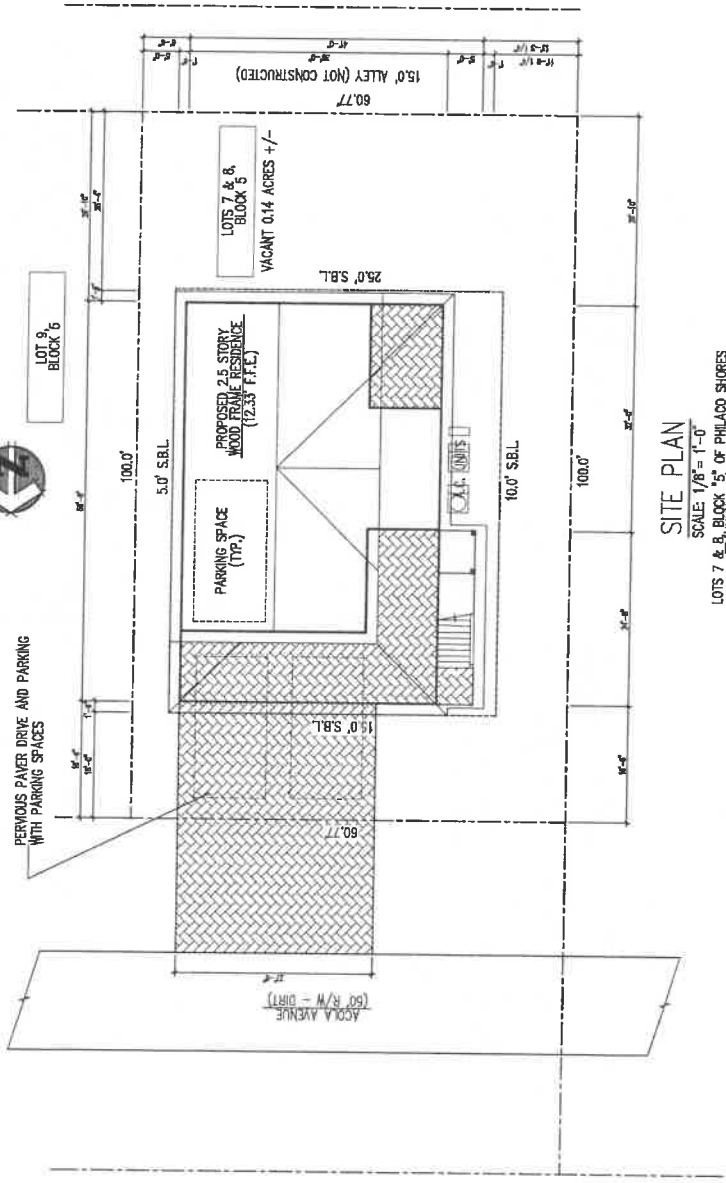
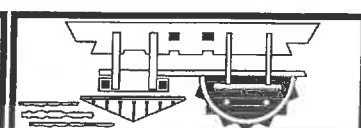
Version 2.3.7



Tyler R. Dohn - Architect
 325 West Shore Drive
 Ft. Meade, FL 32441
 (850) 231-8085
 Fax (850) 788-5897

LAWRENCE RESIDENCE
 LOTS 07 & 08
 PALMDO SHORES
 FRANKLIN COUNTY, FL

PROJECT	DATE	SHEET #
12.05.2018	172	A-1
REGION		3



SITE PLAN
 SCALE: 1/8" = 1'-0"
 LOTS 7 & 8, BLOCK 5 OF PALMDO SHORES
 FRANKLIN COUNTY, FLORIDA

FRANKLIN COUNTY CERTIFICATION
 I, the undersigned, being duly qualified and licensed as a Professional Engineer in the State of Florida, do hereby certify that the above described project complies with the applicable provisions of the Florida Building Code, and that the same has been prepared in accordance with the applicable provisions of the Florida Building Code.

MISCELLANEOUS CALCULATIONS:

FLOOR	HEAVYWOOD	CEILING	WALLS & PARTIAL	ROOF	CEILING	GRAND TOTAL
FLOOR	104	104	104	104	104	504
CEILING	104	104	104	104	104	504
WALLS	104	104	104	104	104	504
ROOF	104	104	104	104	104	504
PARTIAL	104	104	104	104	104	504
TOTAL	404	404	404	404	404	2016
LOT AREA	6077	6077	6077	6077	6077	30385
PERCENTAGE	1.31%	1.31%	1.31%	1.31%	1.31%	6.62%
APPROVED	5	5	5	5	5	25
REVISIONS	5	5	5	5	5	25

DRAWING INDEX

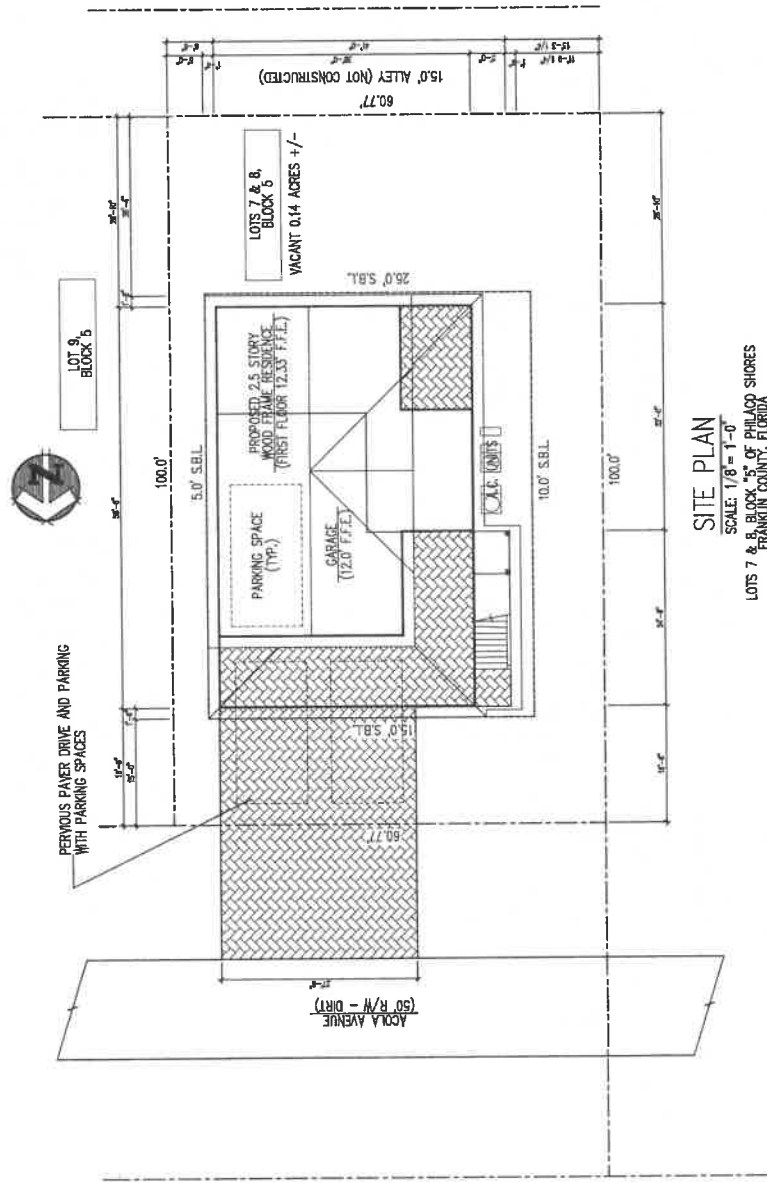
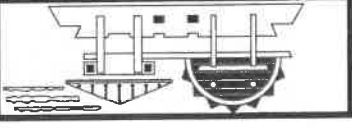
A-1	TRAINING INDEX
A-2	FRANKLIN COUNTY CERTIFICATION
A-3	FLOOR PLANS WITH ELECTRICAL PLANS
A-4	EXTERIOR ELEVATIONS
A-5	ROOF PLAN
A-6	SECTIONS
S-1	FOUNDATION PLAN
S-2	FRAMING PLANS
S-3	SECTIONS
S-4	STRUCTURAL DETAILS & NOTES
S-5	STRUCTURAL DETAILS & NOTES
S-6	STRUCTURAL DETAILS & NOTES



Tyler R. Cain - Architect
 F.P. # 12345
 3225 West Shore Drive
 Ft. Myers, Florida 33901
 (941) 321-8066
 Fax (941) 788-5897

LAWRENCE RESIDENCE
 LOTS 07 & 08
 PHILACCO SHORES
 FRANKLIN COUNTY, FL

DATE	12.05.2014
PROJECT #	1
SHEET #	A-1



SITE PLAN
 SCALE: 1/8" = 1'-0"
 LOTS 7 & 8, BLOCK 5 OF PHILACCO SHORES
 FRANKLIN COUNTY, FLORIDA

FRANKLIN COUNTY CERTIFICATION
 I, the undersigned, being a duly licensed Professional Engineer in the State of Florida, do hereby certify that I am the author of the above design and that it was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Florida.
 ALL DIMENSIONS AND CONFORMANCE SHALL BE AS SHOWN ON THIS PLAN.
 DATE: 12/05/2014
 SIGNATURE: _____
 TITLE: ENGINEER

MISCELLANEOUS CALCULATIONS:

TYPE	NO.	AREA	PERCENT	PERCENT	PERCENT	PERCENT
LOT AREA	100	10000				
PERVIOUS PAVEMENT	50	5000	50%			
LOT AREA	100	10000				
PERVIOUS PAVEMENT	50	5000	50%			
LOT AREA	100	10000				
PERVIOUS PAVEMENT	50	5000	50%			
LOT AREA	100	10000				
PERVIOUS PAVEMENT	50	5000	50%			
LOT AREA	100	10000				
PERVIOUS PAVEMENT	50	5000	50%			

DRAWING INDEX

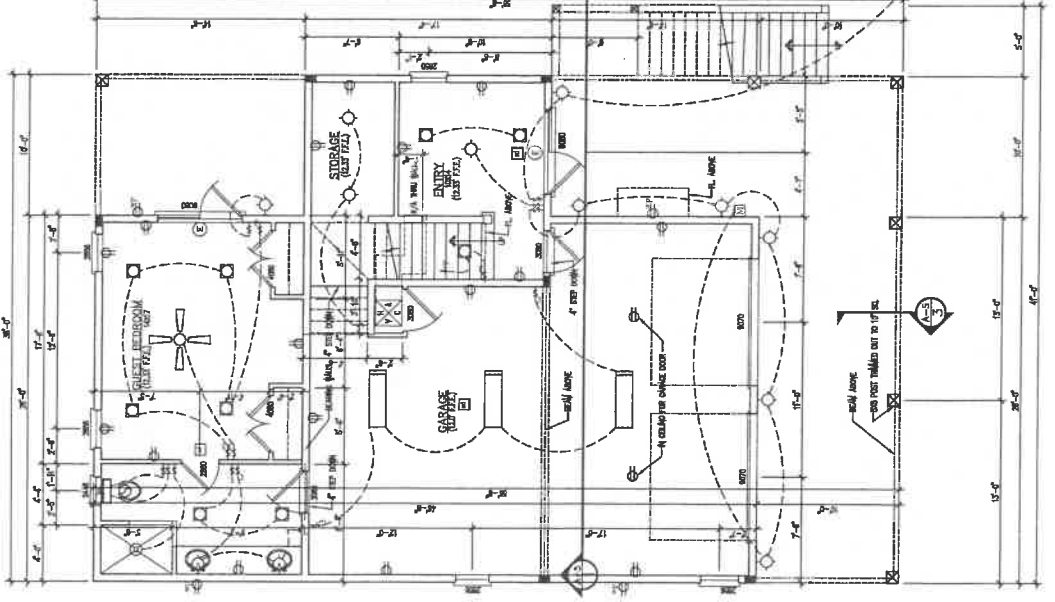
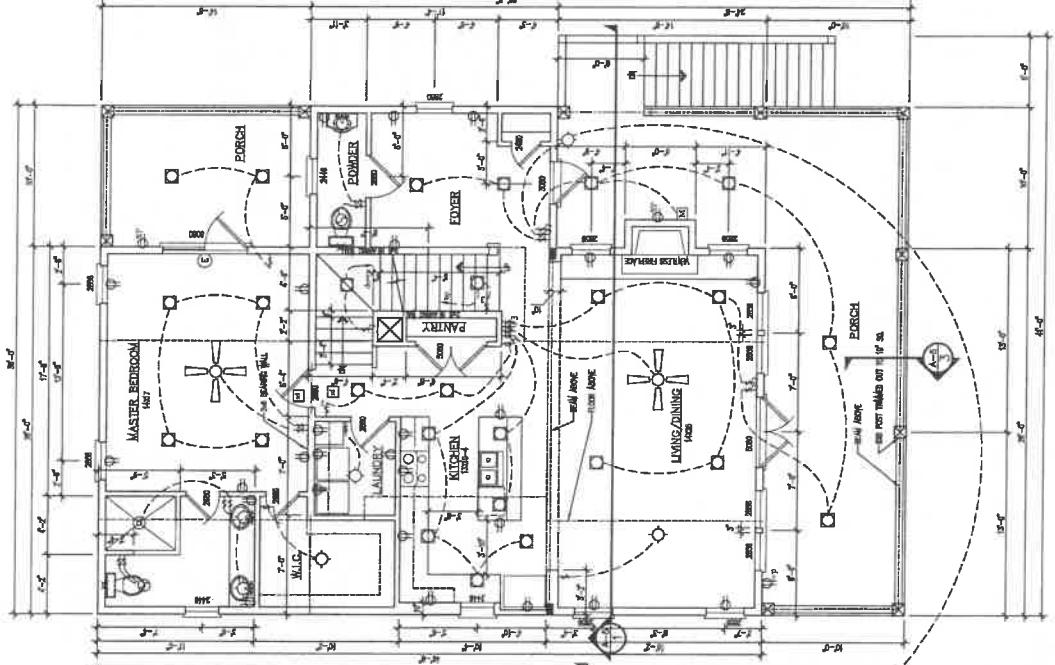
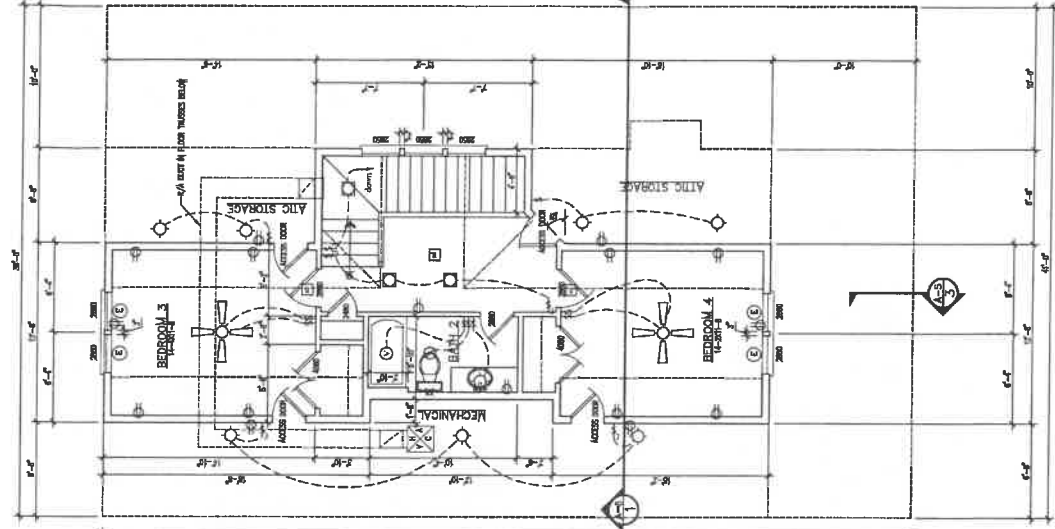
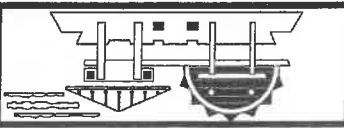
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S-3	SECTIONS
S-4	STRUCTURAL DETAILS & NOTES
S-5	STRUCTURAL DETAILS & NOTES



Iver R. Doin - Architect
 325 West Silver Drive
 Fort City, Florida 32617
 P.O. Box 117
 (850) 231-8066

LAWRENCE RESIDENCE
 LOTS 07 & 08
 PALMCO SHORES
 FRANKLIN COUNTY, FL

SHEET # A-2
 OF 5
 DATE 12.05.2018
 PROJECT # 1818
 T.R.D.
 DESIGNER
 REVISION



NOTES:
 1. ALL STAIRS TO BE BUILT AT FINISH FLOOR LEVEL.
 2. FINISH FLOOR TO BE CONCRETE ON GRADE.
 3. FINISH FLOOR TO BE CONCRETE ON GRADE.
 4. FINISH FLOOR TO BE CONCRETE ON GRADE.
 5. FINISH FLOOR TO BE CONCRETE ON GRADE.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	12/05/2018
2	ISSUED FOR PERMITS	12/05/2018
3	ISSUED FOR PERMITS	12/05/2018
4	ISSUED FOR PERMITS	12/05/2018
5	ISSUED FOR PERMITS	12/05/2018
6	ISSUED FOR PERMITS	12/05/2018
7	ISSUED FOR PERMITS	12/05/2018
8	ISSUED FOR PERMITS	12/05/2018
9	ISSUED FOR PERMITS	12/05/2018
10	ISSUED FOR PERMITS	12/05/2018

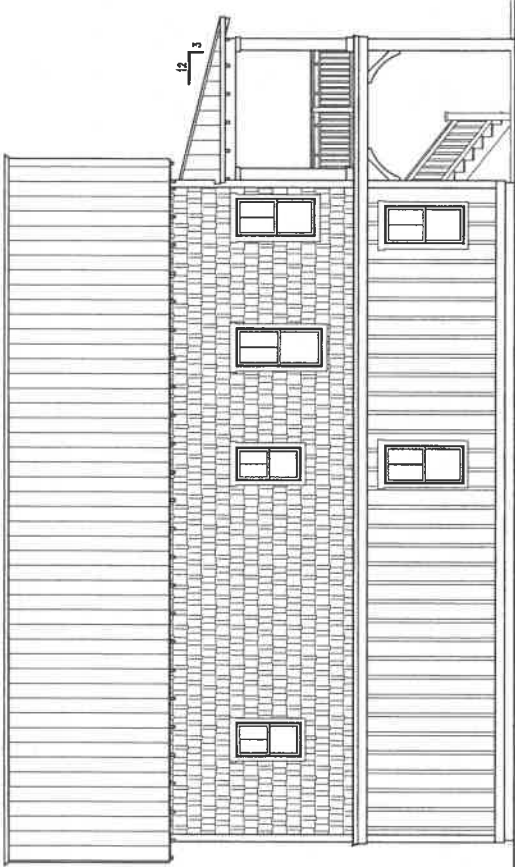
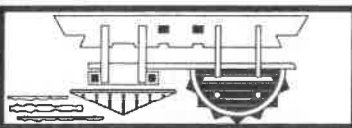




Tyler R. Doin—Architect
 P.L.C. #22117
 325 West Shore Drive
 Inlet Beach, Florida
 32651
 (850) 231-9066
 fax (888) 788-5887

LAWRENCE RESIDENCE
 PHILADELPHORS
 LOTS 07 & 08
 FRANKLIN COUNTY, FL.

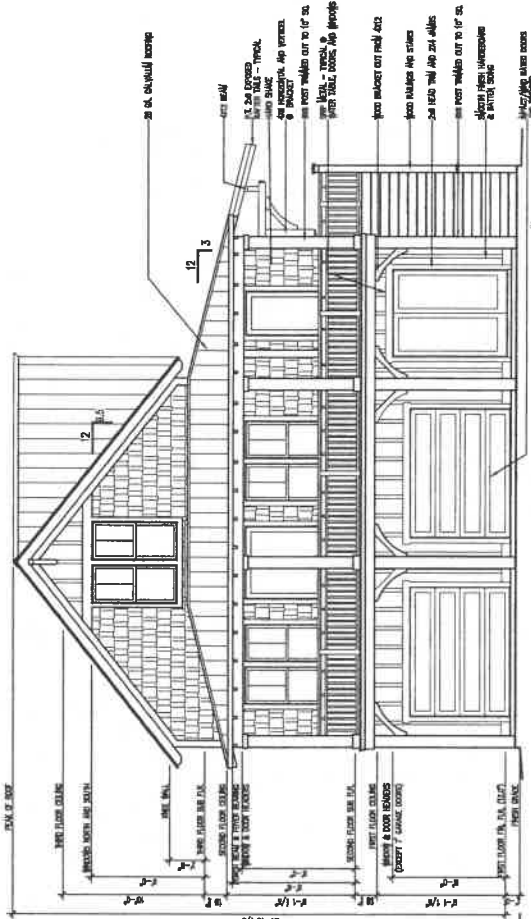
SHEET #	A-3
DATE	05.23.17
PROJECT	REVISIONS
DATE	05.23.17
BY	
DATE	



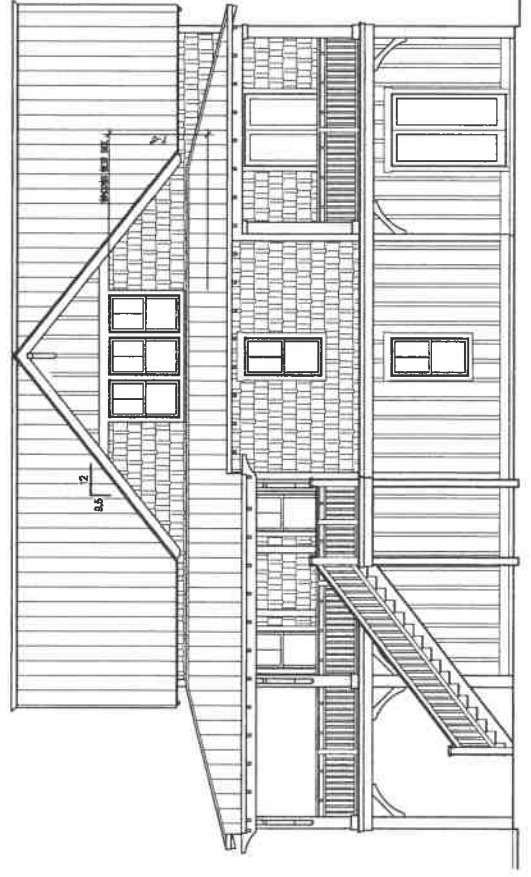
EAST ELEVATION
 SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



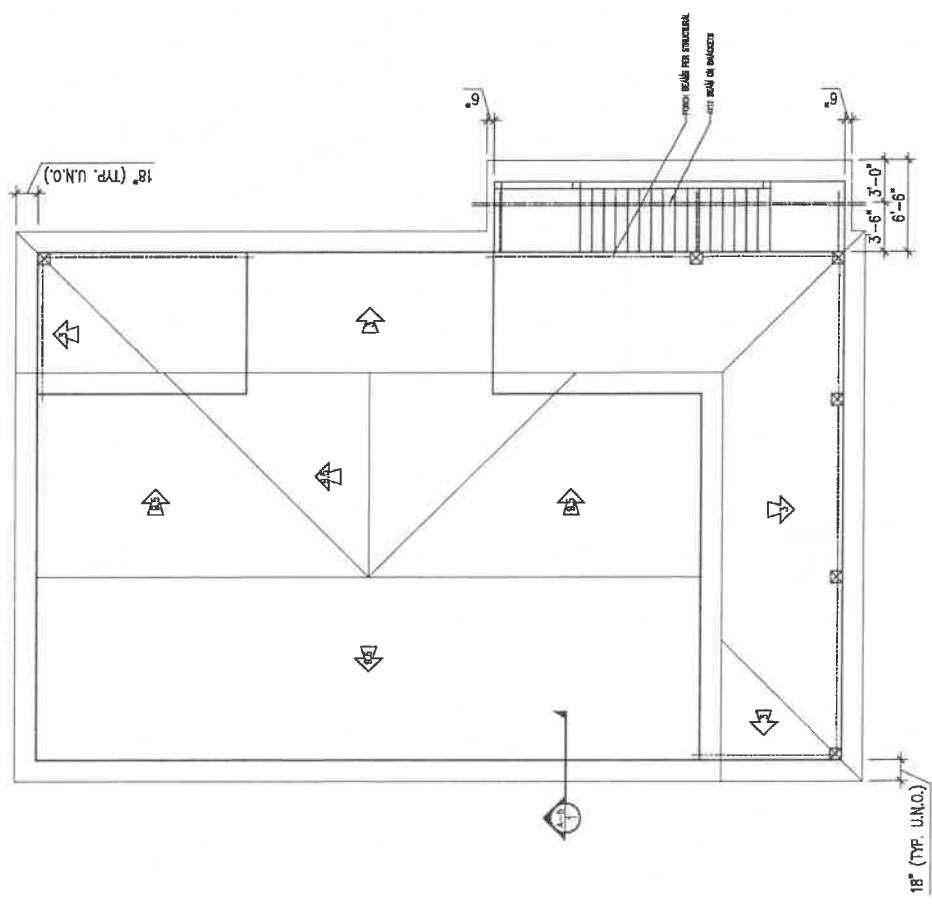
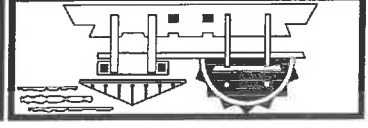
WEST ELEVATION
 SCALE: 1/4" = 1'-0"



Tyler R. Dolin - Architect
 P.L.C. 17482217
 325 West Shore Drive
 32461 Inlet Beach, Florida
 (904) 231-8066 Fax (904) 786-5697

LAWRENCE RESIDENCE
 LOT# 07 & 08
 PHILCO SHORES
 FRANKLIN COUNTY, FL.

PROJECT #	1712	DATE	12.05.2018
DATE	12.05.2018	DATE	12.05.2018
PROJECT #	1712	DATE	12.05.2018
DATE	12.05.2018	DATE	12.05.2018



ROOF PLAN
 SCALE: 1/4" = 1'-0"
 NOT VALID IN THE STATE OF FL. FOR STRUCTURAL

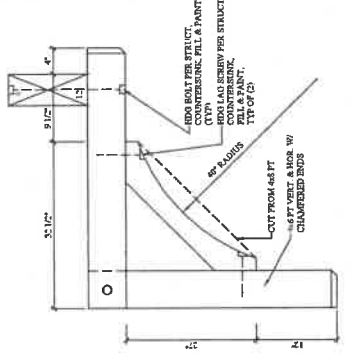
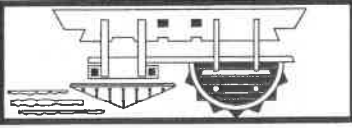




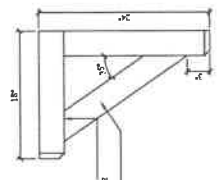
Iyer R. Dohn - Architect
 R. J. Arzuff
 325 S. Orange Ave
 Suite 228
 Ft. Lauderdale, FL 33301
 (561) 768-9897
 Fax (561) 768-9897

LAWRENCE RESIDENCE
 LOTS 07 & 08
 PHILAGO GORRAS
 FRANKLIN COUNTY, FL

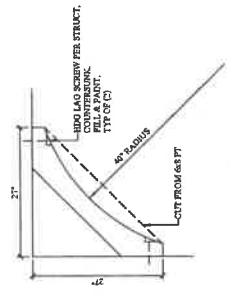
PROJECT	1818	DATE	12.05.2018
SHEET	A-5	NO.	5



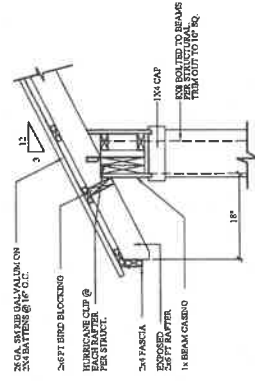
BRACKET @ STAIRS
 SCALE: 1" = 1'-0"



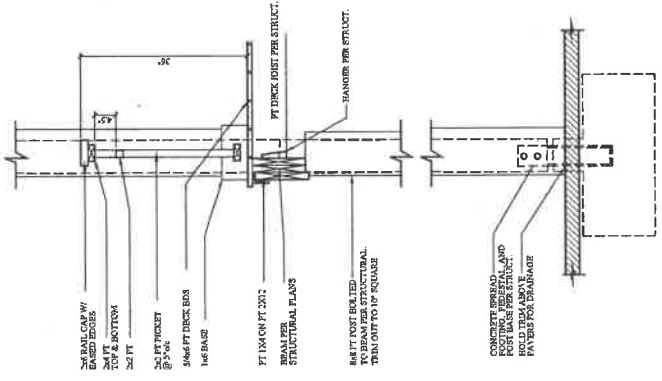
GABLE BRACKET DETAIL
 SCALE: 1" = 1'-0"



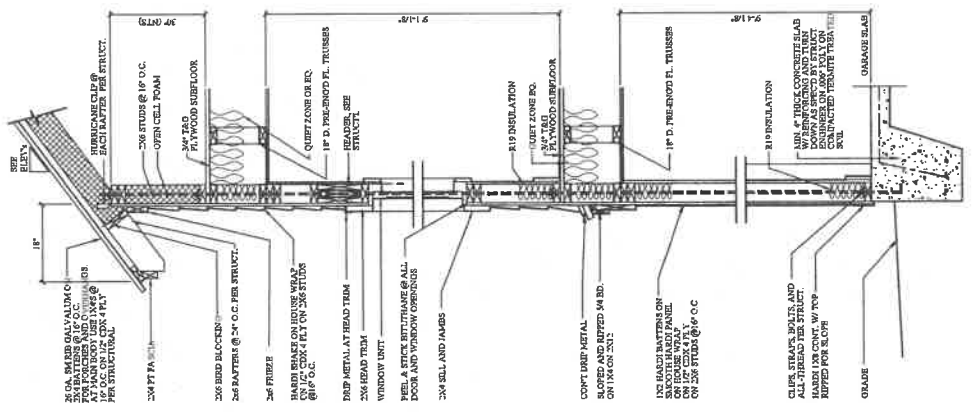
BRACE DETAIL
 SCALE: 1" = 1'-0"



PORCH SECTION
 SCALE: 1" = 1'-0"



WALL SECTION
 SCALE: 1" = 1'-0"



BUILDING SECTION
 SCALE: 1/4" = 1'-0"

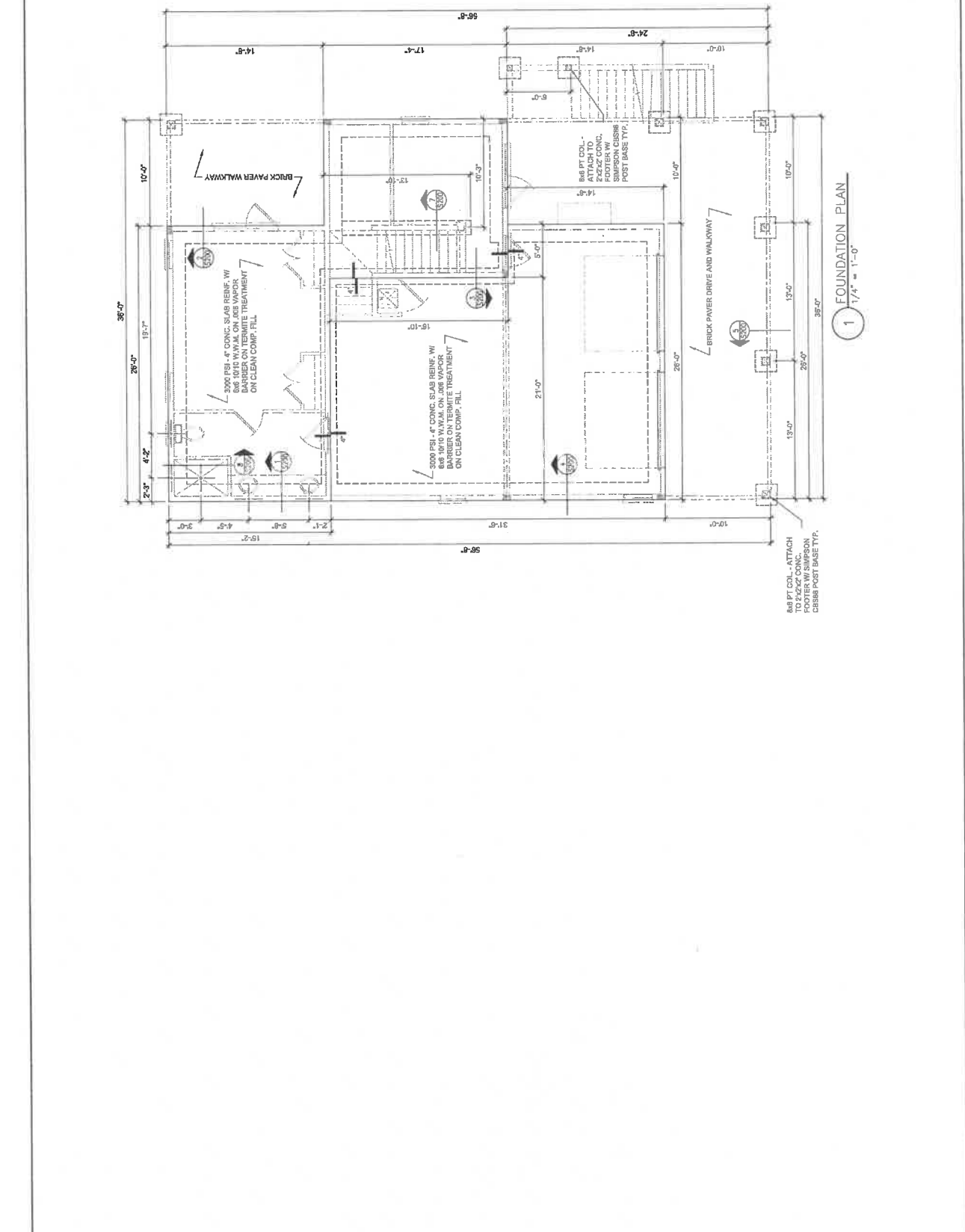
REV	DATE	DESCRIPTION

FOUNDATION PLAN

A New Residence for
 Doug Lawrence
 Apalachicola, FL

FOUNDATION PLAN
 1/4" = 1'-0"

Project No. 13258-04
 Date: 11/11/11
 Drawing No. 1001
 Drawing Title: FOUNDATION PLAN
 Drawing Number: S100



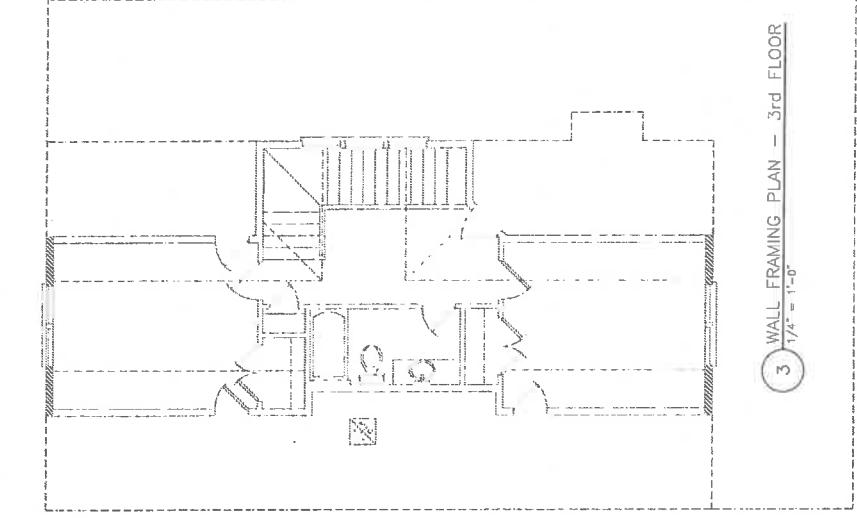
FOUNDATION PLAN
 1/4" = 1'-0"

REV	DATE	COMMENTS

A New Residence for
 Doug Lawrence
 Lots 7 & 8 Acoola Rd,
 Apalachicola, FL

WALL FRAMING PLANS
 09/20/20 13:06:33 PM
 Drawn by: [blank]
 Checked by: [blank]
 Scale: AS SHOWN

Sheet Number
S101



3 WALL FRAMING PLAN — 3rd FLOOR
 1/4" = 1'-0"

- COVERED PORCH:
- PORCH POST — 6" TREATED TIMBER
 - PORCH Rafter to WALL — SIMPSON H109A
 - POST TO 2nd FLOOR CONNECTION — NOTCH BOT. POST, NOT MORE THAN 3" & THRU BOLT W/ (2) 5/8" BOLTS & STRAP W/ SIMPSON MSTC40 STRAP
 - PORCH TOP BEAMS — (3) 2x12 TREATED TIMBER FLITCH BEAMS
 - BEAM TO CORNER COL. CONNECTION — THRU BOLT W/ (2) 5/8" BOLTS SPACED @ 23" FROM THE EDGE W/ POST NOTCHED NOT MORE THAN 3" & BEAM TO COL. CONNECTION — THRU BOLT W/ (2) 5/8" BOLTS W/ POST NOTCHED NOT MORE THAN 3"
 - (1) 18 PLYNAIL WALLS & STRAP W/ HZ
 - TYP. RAFTER TO BEAM — SIMPSON H109A
 - TYP. RAFTER TO WALL — SIMPSON H109A
 - JOIST HANGERS — SIMPSON H109A
 - PORCH FLOOR JOISTS — 2x10 PT @ 16" o.c. — ATTACH W/ SIMPSON LUS210 JOIST HANGERS

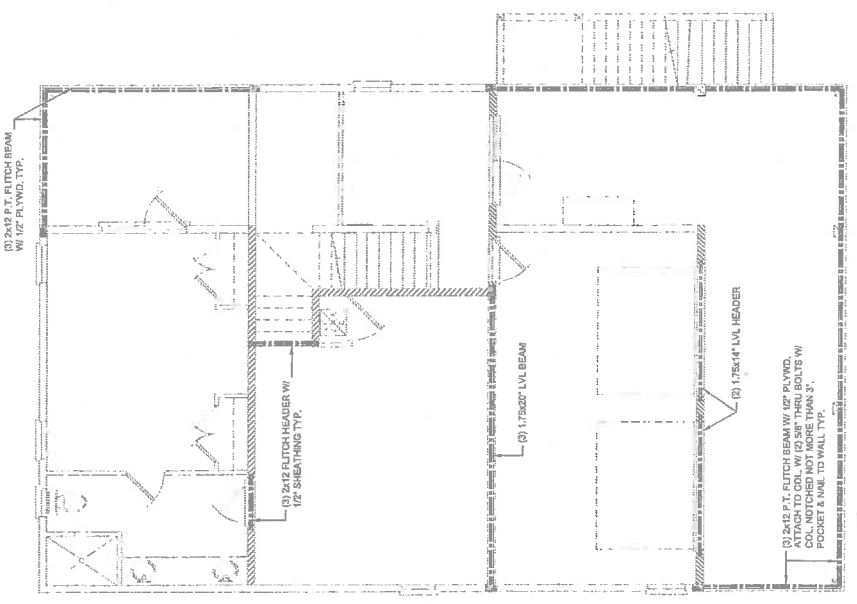
- SHEAR WALLS:
- SHEAR WALLS — 2x6 STUDS W/ 1/2" SHEATHING ON BOTH SIDES W/ NAILING PATTERN FOR SHEATHING — 3" ON EDGE & 6" IN FIELD USING 0.117X 2.39" NAILS
 - GARAGE EXT. SHEAR WALL — 2x6 STUDS W/ MIDSPAN BRACING & 1/2" SHEATHING ON BOTH SIDES — INSTALL (2) 2x8 STUD PK. AGAINST OPENINGS & ON CORNERS
 - USE (2) 2x12 MEMBERS W/ 2x8 WALLS & (2) 2x12 W/ 2x4 WALLS



2 WALL FRAMING PLAN — 2nd FLOOR
 1/4" = 1'-0"

- COVERED PORCH:
- PORCH POST — 6" TREATED TIMBER
 - PORCH Rafter to WALL — SIMPSON H109A
 - POST TO 2nd FLOOR CONNECTION — NOTCH BOT. POST, NOT MORE THAN 3" & THRU BOLT W/ (2) 5/8" BOLTS & STRAP W/ SIMPSON MSTC40 STRAP
 - PORCH TOP BEAMS — (3) 2x12 TREATED TIMBER FLITCH BEAMS
 - BEAM TO CORNER COL. CONNECTION — THRU BOLT W/ (2) 5/8" BOLTS SPACED @ 23" FROM THE EDGE W/ POST NOTCHED NOT MORE THAN 3" & BEAM TO COL. CONNECTION — THRU BOLT W/ (2) 5/8" BOLTS W/ POST NOTCHED NOT MORE THAN 3"
 - (1) 18 PLYNAIL WALLS & STRAP W/ HZ
 - TYP. RAFTER TO BEAM — SIMPSON H109A
 - TYP. RAFTER TO WALL — SIMPSON H109A
 - JOIST HANGERS — SIMPSON H109A
 - PORCH FLOOR JOISTS — 2x10 PT @ 16" o.c. — ATTACH W/ SIMPSON LUS210 JOIST HANGERS

- SHEAR WALLS:
- SHEAR WALLS — 2x6 STUDS W/ 1/2" SHEATHING ON BOTH SIDES W/ NAILING PATTERN FOR SHEATHING — 3" ON EDGE & 6" IN FIELD USING 0.117X 2.39" NAILS
 - GARAGE EXT. SHEAR WALL — 2x6 STUDS W/ MIDSPAN BRACING & 1/2" SHEATHING ON BOTH SIDES — INSTALL (2) 2x8 STUD PK. AGAINST OPENINGS & ON CORNERS
 - USE (2) 2x12 MEMBERS W/ 2x8 WALLS & (2) 2x12 W/ 2x4 WALLS



1 WALL FRAMING PLAN — 1st FLOOR
 1/4" = 1'-0"

- WALL CONSTRUCTION LEGEND**
- EXT. STUD SHEAR WALL — ATTACH 1/2" SHEATHING BOTH SIDES OF WALL
 - INT. STUD SHEAR WALL — ATTACH 1/2" SHEATHING ONE SIDE OF WALL

(3) 2x12 P.T. FLITCH BEAM W/ 1/2" PLYNAIL TYP.
 ATTACH TO COL. W/ (2) 5/8" THRU BOLTS W/ COL. NOTCHED NOT MORE THAN 3".
 POCKET & NAIL TO WALL TYP.

(3) 1.75x20" LVL BEAM

(2) 1.75x14" LVL HEADER

(3) 2x12 P.T. FLITCH BEAM W/ 1/2" PLYNAIL TYP.

(3) 2x12 FLITCH HEADER W/ 1/2" SHEATHING TYP.

(3) 2x12 P.T. FLITCH BEAM W/ 1/2" PLYNAIL TYP.
 2x10 P.T. JOISTS @ 16" o.c. — LUS210 EA. END

CORNER BRACKET & BEAM
 SEE DETAIL 4A-5

(3) 1.75x20" LVL BEAM

(3) 2x12 FLITCH HEADER W/ 1/2" SHEATHING TYP.

(3) 2x12 P.T. FLITCH BEAM W/ 1/2" PLYNAIL TYP.

REV	DATE	DESCRIPTION

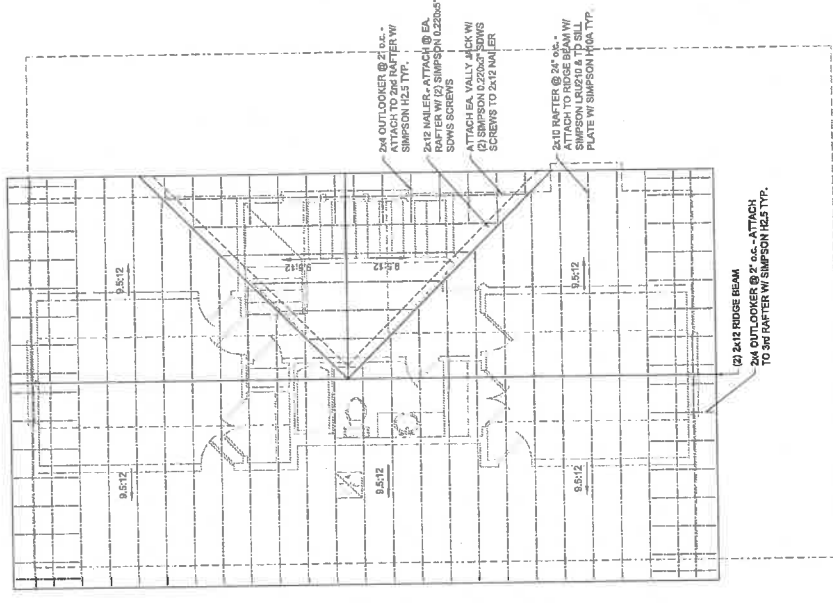
REVISION DATES:

A New Residence for
 Doug Lawrence
 Lots 7 & 8 Acola Rd.
 Apalachicola, FL

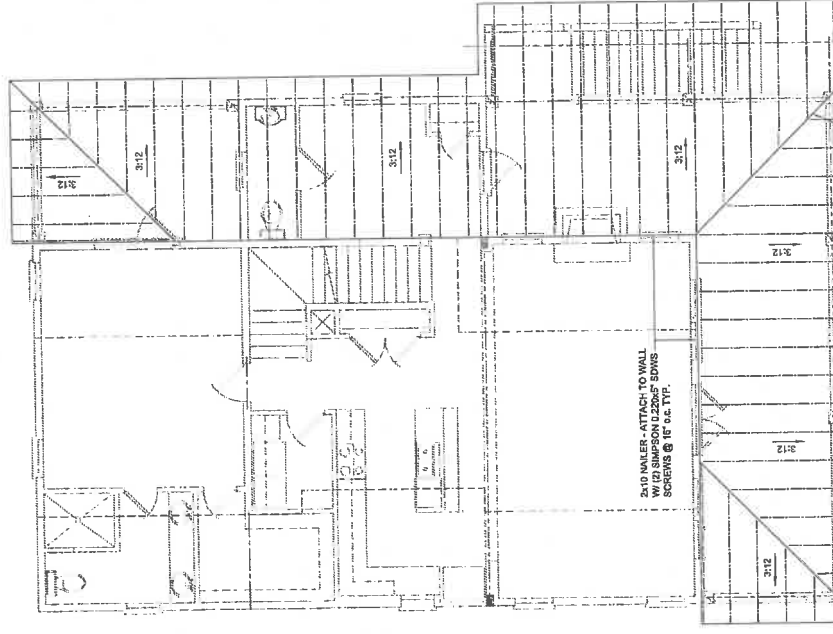
ROOF FRAMING
 PLANS

1/21/2019 11:53 AM
 DATE PLOTTED
 DRAWN BY
 CHECKED BY
 PROJECT

Drawing Number
S102



2 ROOF FRAMING PLAN - 3rd FLOOR
 1/4" = 1'-0"



1 ROOF FRAMING PLAN - 2nd FLOOR
 1/4" = 1'-0"

2x4 OUTLOOKER @ 2' o.c. - ATTACH TO 2x4 RAFTER W/ SIMPSON H25 TYP.
 2x4 RAFTER - ATTACH @ EA. RAFTER W/ (2) SIMPSON D2200S' SOWS SCREWS
 ATTACH EA. VALLY JACK W/ (2) SIMPSON D2200S' SOWS SCREWS TO 2x12 RAFTER

2x4 RIDGE BEAM
 (2) 2x4 OUTLOOKER @ 2' o.c. - ATTACH TO 3x6 RAFTER W/ SIMPSON H25 TYP.

2x4 RAFTER @ 24" o.c. - ATTACH TO RIDGE BEAM W/ SIMPSON LRU20 & TP SILL PLATE W/ SIMPSON H16A TYP.

2x4 HIP RAFTER - ATTACH TO BEAM W/ SIMP. HCP12 & INST100 S TRAY & TO WALL W/ SIMP. HUS28 TYP.

2x4 RAFTER @ 24" o.c. - ATTACH TO HIP RAFTER / WALL W/ SIMPSON LRU20 & TO BEAM W/ SIMPSON H16A TYP.

2x4 HIP RAFTER - ATTACH TO BEAM W/ SIMP. HCP12 & INST100 S TRAY & TO WALL W/ SIMP. HUS28 TYP.

2x10 WALKER - ATTACH TO WALL W/ (2) SIMPSON D2200S' SOWS SCREWS @ 18" o.c. TYP.

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name DOUG LAWRENCE				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 ALCOLA STREET				Company NAIC Number:	
City APALACHICOLA		State Florida		ZIP Code 32320	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOTS 7 & 8 BLOCK "5" PHILACO SHORES					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>29.71602</u> Long. <u>-85.0005</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1A</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>0.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF APALACHICOLA 120089			B2. County Name FRANKLIN		B3. State Florida
B4. Map/Panel Number 12037C 0507	B5. Suffix F	B6. FIRM Index Date 02-05-2014	B7. FIRM Panel Effective/ Revised Date 02-05-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 11.00'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 ALCOLA STREET			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32320	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
 Complete Items C2.a–h below according to the building diagram specified in item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: 12.83' Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|-------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 12.10 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | 10.00 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | 10.70 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name JAMES T. RODDENBERRY	License Number 4261		
Title PRESIDENT			
Company Name THURMAN RODDENBERRY & ASSOCIATES, INC.			
Address P.O. BOX 100			
City SOPCHOPPY	State Florida		ZIP Code 32358
Signature 	Date 10-24-2019	Telephone (850) 962-2538	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

JOB NUMBER 18-503CD
 BENCHMARK: SET 40d NAIL IN 28" LIVEOAK TREE NEAR WEST CORNER OF PROPERTY @ ELEV. 12.83' (NAVD 88)



Building Dept. Review Summary

P&Z Meeting November 12th, 2019

Address: 452 23rd St.

Zoning: R-3

Historic District: No

Block: 215

Lot: 4, 5, 6, & 7

Project Description: Front Porch 12' x 28'

Flood Zone: X

Lot Size: 120' x 100'

Impervious Surface Proposed: 20.7% Allowed: 40%

Height Proposed: 9' Allowed: 35' **Comply with LDC.**

Front Porch:

Setbacks Required: Front: 15 Rear 25' Right : 7' 6" Left: 7' 6" or combination of 15' no less than 5

Setbacks proposed: Front : 23' Rear: 39' Right: 42' 6" Left: 21' 6"

Setbacks Proposed: **Comply with LDC.**

CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT-

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner GREG & KAREN HARRIS
Address 452 23rd ST.
City APALACHICOLA State MA Zip _____
Phone (659) 323-0507

SELF.
State License # _____
City License # _____ County License # _____
Email Address _____
Phone (_____) _____

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: PORCH

PROPERTY INFORMATION:

Street Address: AS "OWNER" City & State _____ Zip _____
 Historic District Non-Historic District Zoning District R-3
Parcel #: 01-095-08W-8330-0215-0060 Block(s) 215 Lot(s) 4,5,6,7
FEMA Flood Zone/Panel #: X
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid _____

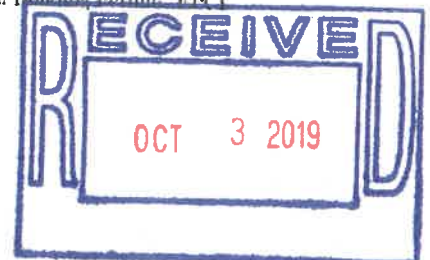
This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Department.

Cortni Bankston
Permitting and Development Coordinator
(850) 653-1522 (ext 205) Phone
(850) 653-5023 Cell
cortnibankston@cityofapalachicola.com



Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

OPEN FRONT PORCH 12' X 28' @ FRONT DOOR ENTRY
RAILING W/ PICKETS AROUND
ALL WOOD

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing		TO MATCH EXISTING S-U CRIMP.	
Trim			
Foundation		CONCRETE FOOTING FOR POSTS	
Shutters			
Porch/Deck		OPEN PORCH	
Fencing			
Driveways/Sidewalks			
Other			

EPCI
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: _____ Permit # _____ Permit Fee _____

OWNER'S NAME: GREG HARRIS

ADDRESS: 452 23rd ST.

CITY, STATE & ZIP CODE: APALACH. FL 32510 PHONE # (850) 325-0507

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: SELF.

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: HOME

PROPOSED USE OF SITE: PORCH ON EXISTING RESIDENCE

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? YES
 NO

PROPERTY PARCEL ID # 01-09S-08W-8330-0215-0060

LEGAL DESCRIPTION OF PROPERTY: BLK 215 LOTS 4, 5, 6 & 7 GREATER APALACHICOLA.

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

OPEN FRONT PORCH 12' X 28' @ FRONT DOOR ENTRY
 RAILING W/ PICKETS AROUND
 ALL WOOD

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing		TO MATCH EXISTING S-U CRIMP.	
Trim			
Foundation		CONCRETE FOOTERS FOR POSTS	
Shutters			
Porch/Deck		OPEN PORCH	
Fencing			
Driveways/Sidewalks			
Other			

EPCI
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: _____ Permit # _____ Permit Fee _____

OWNER'S NAME: GREG HARRIS

ADDRESS: 452 23rd ST.

CITY, STATE & ZIP CODE: APALACH. FL 32324 PHONE # (850) 325-0507

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: SELF.

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: HOME

PROPOSED USE OF SITE: PORCH ON EXISTING RESIDENCE

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? NO YES

PROPERTY PARCEL ID # 01-095-08W-8330-0215-0060

LEGAL DESCRIPTION OF PROPERTY: BLOCK 215 LOTS 4, 5, 6 & 7 GREATER APALACHICOLA.

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial
 Duplex Swimming Pool Storage Sign
 Multi-Family Demolition Other

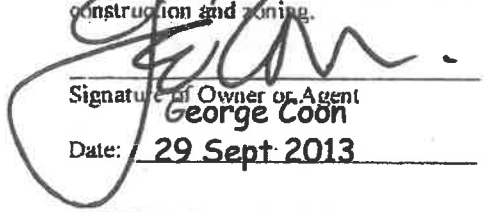
Addition, Alteration or Renovation to building. ADDED PORCH

Distance from property lines: Front 23' Rear 39' L. Side 21'-6"
 R. Side 42'-6"
 Cost of Construction \$ 5,000 +/- Square Footage 336 SF.
 EPI ? Flood Zone X Lowest Floor Elevation +3'-4"
 Area Heated/Cooled 0 # Of Stories 1 # Of Units 0
 Type of Roof 5V CRIMP Type of Walls open Type of Floor wood / open
 Extreme Dimensions of: Length 28' Height 9'-0" Width 12'

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

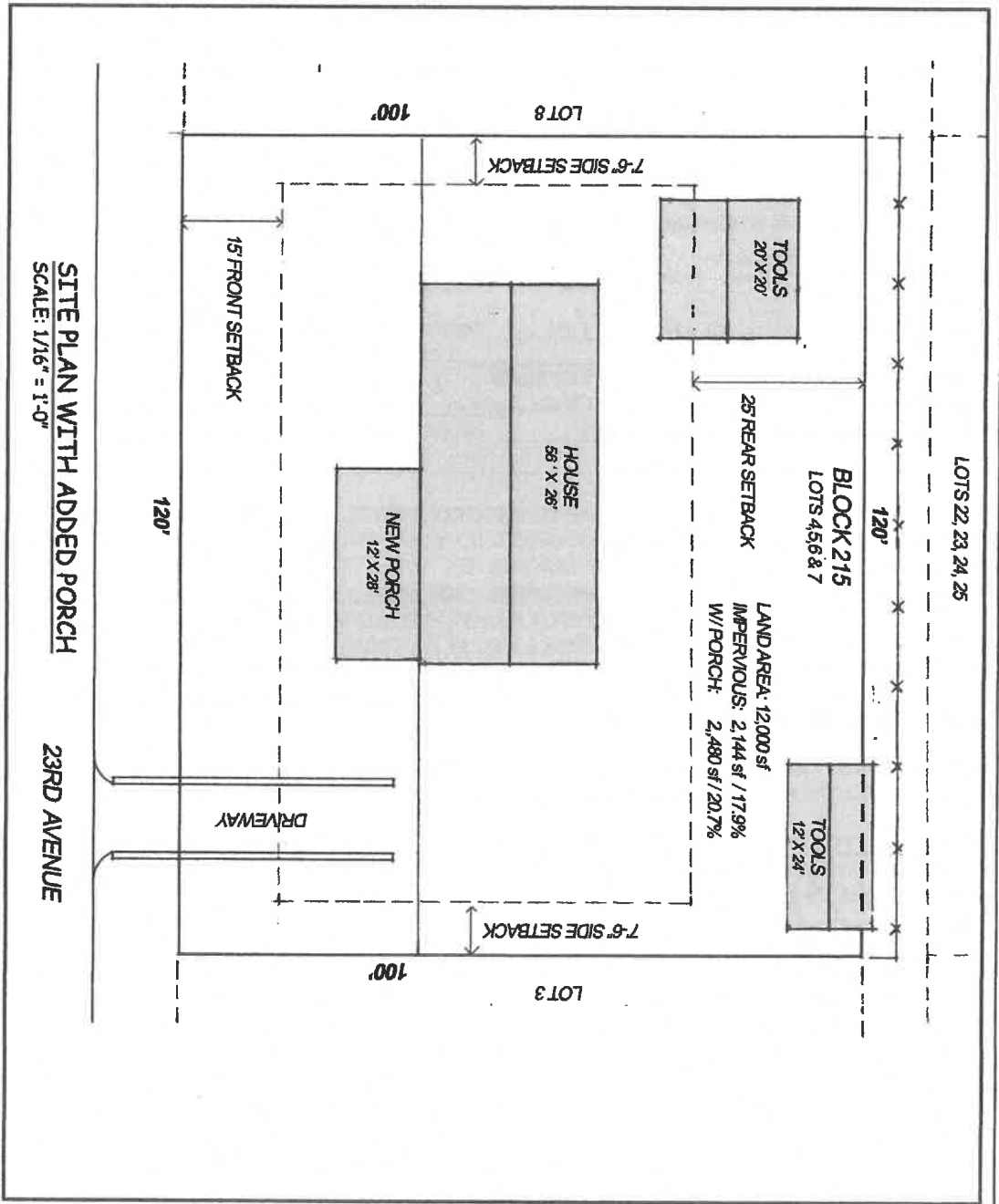

 Signature of Owner or Agent
George Coon
 Date: 29 Sept 2013

 Signature of Contractor
 Date: _____

 Notary as to Owner or Agent
 My Commission expires: _____

 Notary as to Contractor
 My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.



HARRIS SITE DIAGRAM

SCALE: AS SHOWN/APPROXIMATE

DATE: OCTOBER 2019

george
crown
inc.
225 SOUTH WASHINGTON ST. SUITE 200
ANN ARBOR, MI 48106
TEL: 734.769.1100
WWW.GEORGE-CROWN.COM

A1



Parcel Summary

Parcel ID 01-09S-08W-8330-0215-0060
 Location Address 452 23RD AVE
 32320
 Brief Tax Description* BLOCK 215 LOTS 4,5,6,& 7 GREATER APALACHICOLA OR 271/248 295/241 1041/31 1041/34 1041/504
 *The Description above is not to be used on legal documents.
 Property Use Code MOBILE HOM (000200)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 21.853
 Acreage 0.000
 Homestead Y

[View Map](#)

Owner Information

Primary Owner
 Harris Gregory P And Karen E
 452 23rd Avenue
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000155	SFR GREATER APALACH	120.00	FF	0	0

Residential Buildings

Building 1
 Type MOBILE HME
 Total Area 1,485
 Heated Area 1,485
 Exterior Walls VINYL SIDE
 Roof Cover COMP SHNGL
 Interior Walls DRYWALL
 Frame Type WOOD FRAME
 Floor Cover SHT VINYL; CARPET
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 3
 Stories 1
 Effective Year Built 2017

Extra Features

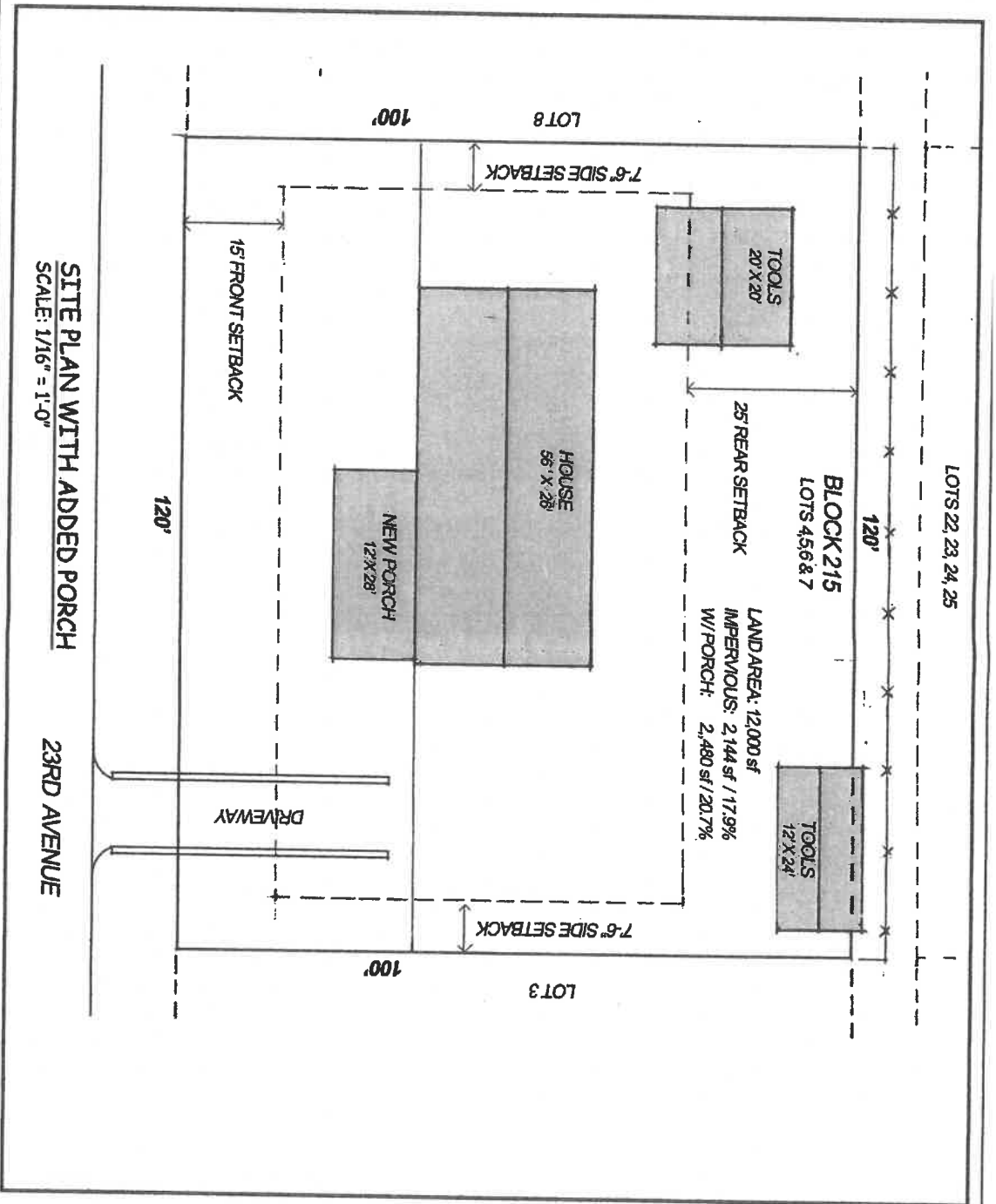
Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0330	STORAGE, UTILITY	1	0x0x0	1	UT	2000
0330	STORAGE, UTILITY	1	0x0x0	108	UT	0
0351	FENCE WOOD 6'	1	0x0x0	60	LF	2017

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	07/28/2011	\$100	WD	1041	504	Unqualified (U)	Improved	SEGREE	HARRIS

Valuation

	2019 Preliminary Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$32,859	\$31,130	\$32,859	\$3,901	\$3,901
Extra Features Value	\$2,440	\$2,440	\$2,440	\$2,080	\$1,080
Land Value	\$24,000	\$24,000	\$18,000	\$18,000	\$18,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$59,299	\$57,570	\$53,299	\$23,981	\$22,981
Assessed Value	\$54,312	\$55,941	\$53,299	\$23,981	\$22,981
Exempt Value	\$29,312	\$30,941	\$28,299	\$23,981	\$22,981
Taxable Value	\$25,000	\$25,000	\$25,000	\$0	\$0
Maximum Save Our Homes Portability	\$4,987	\$1,629	\$0	\$0	\$0



SITE PLAN WITH ADDED PORCH
 SCALE: 1/16" = 1'-0"

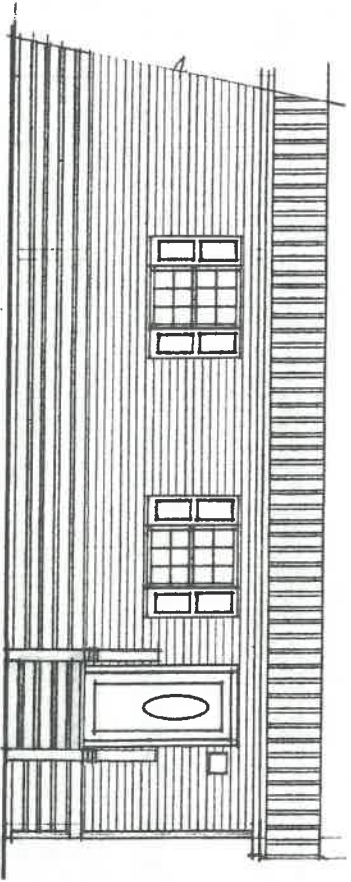
HARRIS SITE DIAGRAM

SCALE: AS SHOWN/APPROXIMATE

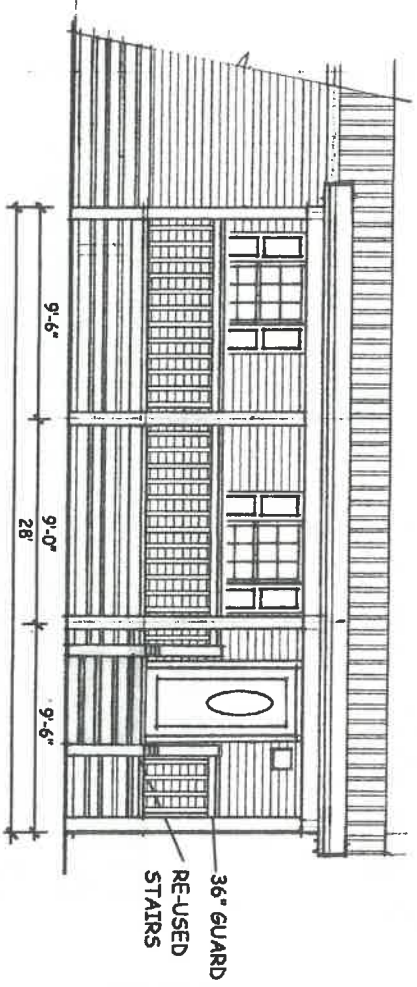
DATE: OCTOBER 2019

GEORGE
 C. HARRIS
 ENGINEER
 10000 W. 10TH AVE.
 SUITE 100
 DENVER, CO 80231
 (303) 751-1111
 WWW.GEORGEHARRIS.COM

A1



EAST SIDE ELEVATION/EXISTING
SCALE: 3/16" = 1'-0"



EAST SIDE ELEVATION/REVISED
SCALE: 3/16" = 1'-0"

36" GUARD
RE-USED
STAIRS



BACK YARD TOOL SHED

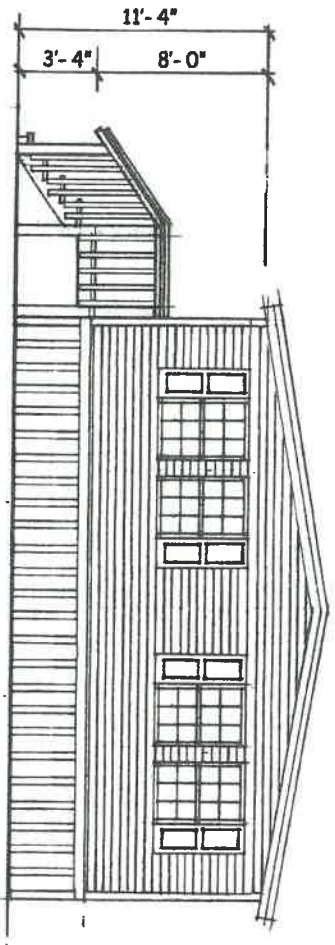
HARRIS ARCHITECTURAL DRAWINGS

SCALE: AS SHOWN/APPROXIMATE

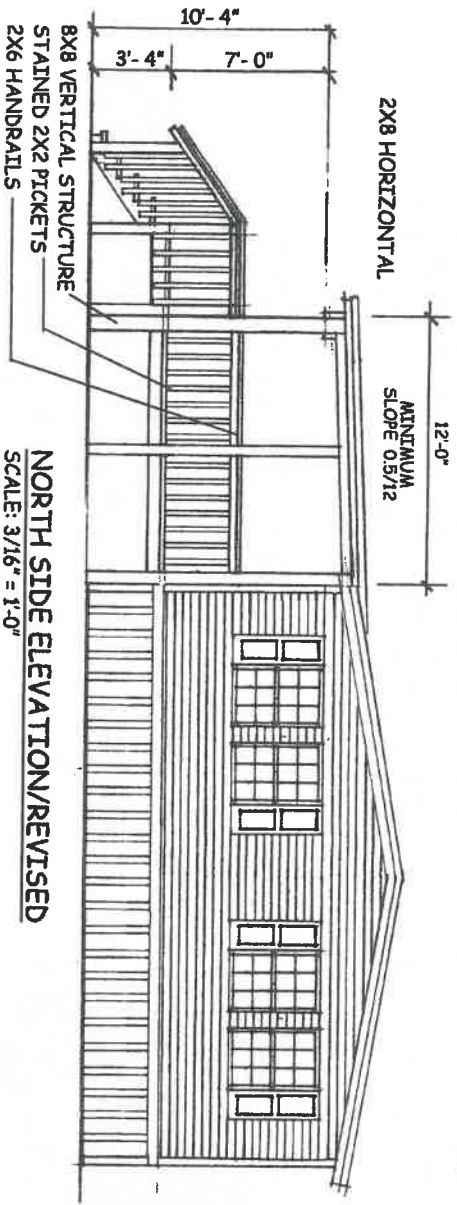
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GOOTFC
CADD
TDR
320 S.W. 11th St., Suite 110
Mesa, AZ 85201
Tel: 480-944-1111
Fax: 480-944-1112
www.gootfc.com

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NORTH SIDE ELEVATION/EXISTING
SCALE: 3/16" = 1'-0"



NORTH SIDE ELEVATION/REVISED
SCALE: 3/16" = 1'-0"



FRONT STEPS

HARRIS ARCHITECTURAL DRAWINGS

SCALE: AS SHOWN/APPROXIMATE

DATE: OCTOBER 2019

george
c c
inc.
2328 NW 34th Avenue, Ft. Lauderdale, FL 33309
407-561-1111
http://www.georgecc.com

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