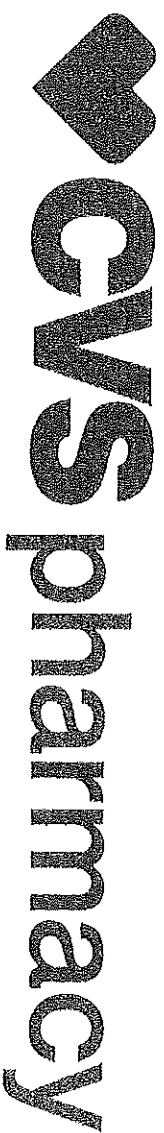


Item # 2



CVS - SIGN

C-2



Loc#: 5165
139 Avenue E
Apalachicola, FL 32320

icon

City of Apalachicola
192 Coach Wagoner Blvd
Apalachicola, FL 32320

City of Apalachicola
Sign Permit Application

Owners Name: CVS

Address of Sign Location: 139 AVE (E) / Block 77 Lots 1-2-3-4.

Phone Number: 309-242-1487 ^{Macilan + son} Mark Signs + Elect

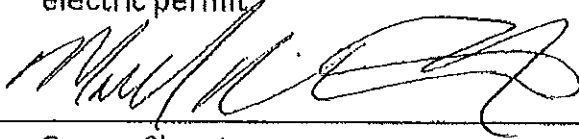
Property Tax ID Number: _____ (Mark Macilan)

Zoning of Property: C-2

Please including the following in your application:

1. Pictures of proposed sign
2. Sign dimensions (letter dimensions & surface area dimensions)
3. A site plan of the location of the sign on the property
4. If the sign is to be free standing, attached to a structure, and built on site, please provide engineered plans showing any foundation information for the sign and/or engineered plans for how the sign will be attached to the building.
5. If the sign will including lighting, please have an electrician apply for an

electric permit



Owner Signature

9/18/20

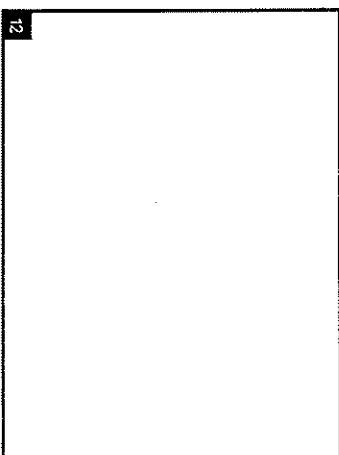
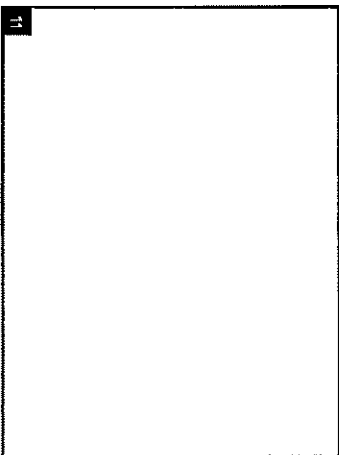
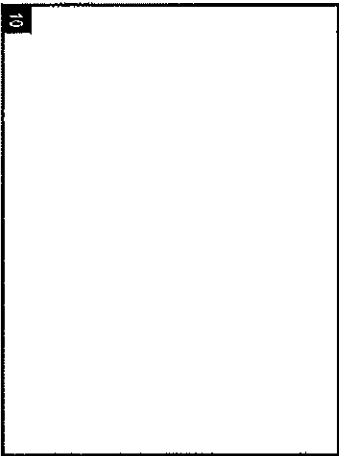
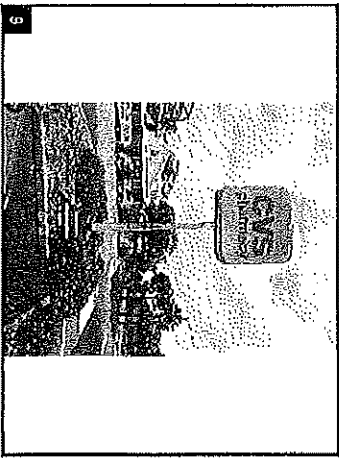
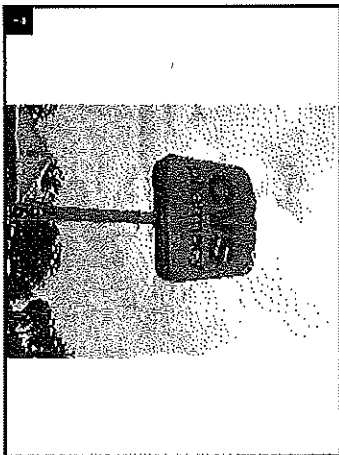
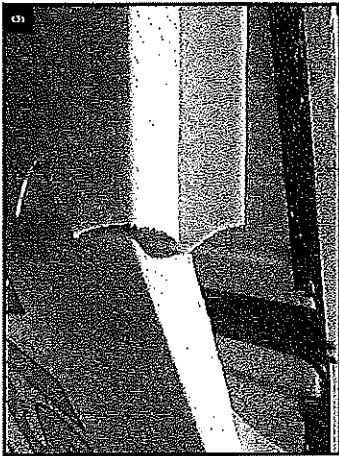
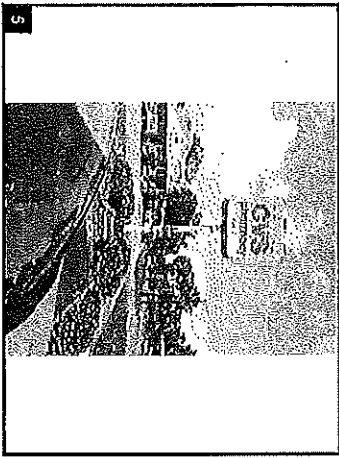
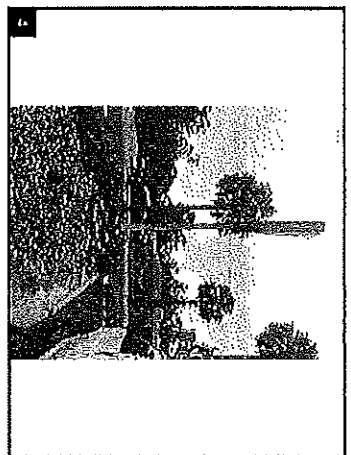
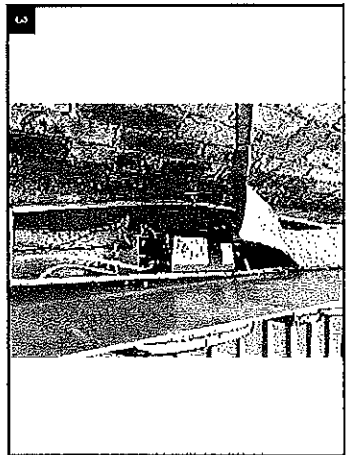
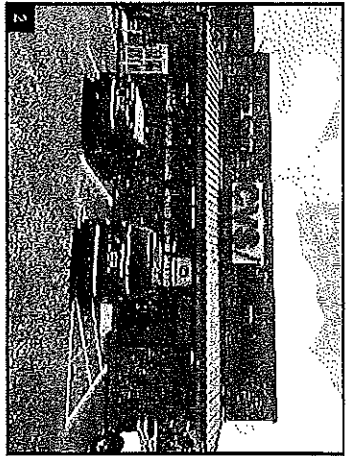
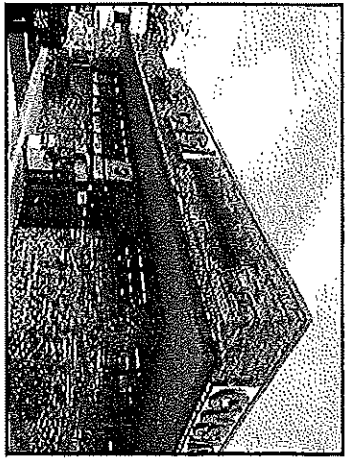
Date

Review Notes:

Approval: _____

Approving Authority Name

Date



Overview Photos

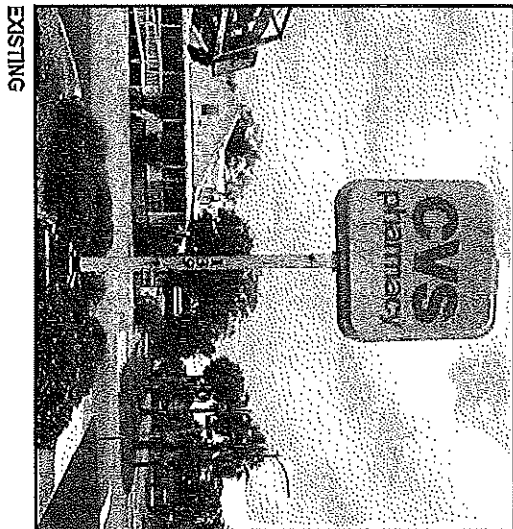
Client Project No: **139 Avenue E**
 Location: **Asheville, NC 28220**
 Project: **0852**
 Date: **1/15/15**
 Scale: **1/8" = 1'-0"**

| Sheet | Date | Revised | By | Checked | Reviewed | Approved |
|-------|---------|---------|----|---------|----------|----------|
| 01 | 1/15/15 | | | | | |
| 02 | 1/15/15 | | | | | |
| 03 | 1/15/15 | | | | | |
| 04 | 1/15/15 | | | | | |
| 05 | 1/15/15 | | | | | |
| 06 | 1/15/15 | | | | | |
| 07 | 1/15/15 | | | | | |
| 08 | 1/15/15 | | | | | |
| 09 | 1/15/15 | | | | | |
| 10 | 1/15/15 | | | | | |
| 11 | 1/15/15 | | | | | |
| 12 | 1/15/15 | | | | | |

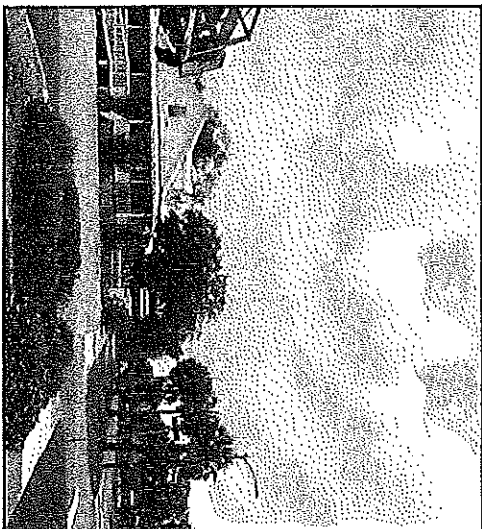


CVS pharmacy
 139 Avenue E
 Asheville, NC 28220
 828.252.1111

REMOVE PYLON



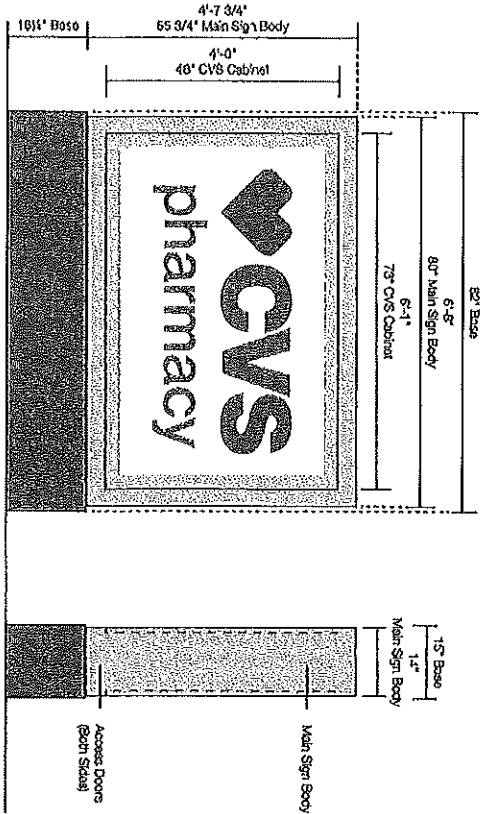
EXISTING



PROPOSED

| Order # | Quantity | Unit | Material | Material Description | Order # | Quantity | Unit | Material | Material Description |
|---------|----------|------|----------|----------------------|---------|----------|------|----------|----------------------|
| 1000 | 1 | EA | 1000 | 1000 | 1000 | 1 | EA | 1000 | 1000 |
| 1001 | 1 | EA | 1001 | 1001 | 1001 | 1 | EA | 1001 | 1001 |
| 1002 | 1 | EA | 1002 | 1002 | 1002 | 1 | EA | 1002 | 1002 |
| 1003 | 1 | EA | 1003 | 1003 | 1003 | 1 | EA | 1003 | 1003 |
| 1004 | 1 | EA | 1004 | 1004 | 1004 | 1 | EA | 1004 | 1004 |
| 1005 | 1 | EA | 1005 | 1005 | 1005 | 1 | EA | 1005 | 1005 |
| 1006 | 1 | EA | 1006 | 1006 | 1006 | 1 | EA | 1006 | 1006 |
| 1007 | 1 | EA | 1007 | 1007 | 1007 | 1 | EA | 1007 | 1007 |
| 1008 | 1 | EA | 1008 | 1008 | 1008 | 1 | EA | 1008 | 1008 |
| 1009 | 1 | EA | 1009 | 1009 | 1009 | 1 | EA | 1009 | 1009 |
| 1010 | 1 | EA | 1010 | 1010 | 1010 | 1 | EA | 1010 | 1010 |
| 1011 | 1 | EA | 1011 | 1011 | 1011 | 1 | EA | 1011 | 1011 |
| 1012 | 1 | EA | 1012 | 1012 | 1012 | 1 | EA | 1012 | 1012 |
| 1013 | 1 | EA | 1013 | 1013 | 1013 | 1 | EA | 1013 | 1013 |
| 1014 | 1 | EA | 1014 | 1014 | 1014 | 1 | EA | 1014 | 1014 |
| 1015 | 1 | EA | 1015 | 1015 | 1015 | 1 | EA | 1015 | 1015 |
| 1016 | 1 | EA | 1016 | 1016 | 1016 | 1 | EA | 1016 | 1016 |
| 1017 | 1 | EA | 1017 | 1017 | 1017 | 1 | EA | 1017 | 1017 |
| 1018 | 1 | EA | 1018 | 1018 | 1018 | 1 | EA | 1018 | 1018 |
| 1019 | 1 | EA | 1019 | 1019 | 1019 | 1 | EA | 1019 | 1019 |
| 1020 | 1 | EA | 1020 | 1020 | 1020 | 1 | EA | 1020 | 1020 |

Drawing prepared by: **ICON**
 Location: 133 Avenida E, Aptos, CA 95020
 Project #: 1052
 Date: 5/15
 Scale: 1/8" = 1'-0"
 Project Name: **CVS pharmacy**
 Project Description: **Remove existing pylon sign and install new sign**



A Sign Elevation - Front View 8'-0" Monument
Scale: 1/2"=1'-0"

B Sign Elevation - Side View 8'-0" Monument
Scale: 1/2"=1'-0"

Colors & Materials

Paint - Warm Color Scheme

PPG #413-9 Ostrich Feather Satin Finish

BM #41C-73 Plymouth Brown Satin Finish to Match Building Vintage Wood

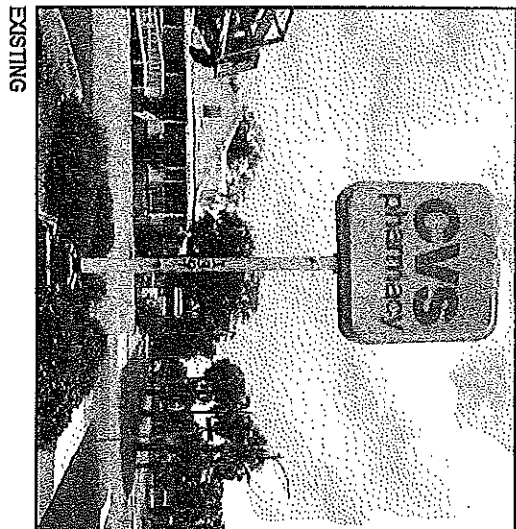
Vinyl

Cardinal Red 3M 3650-SS

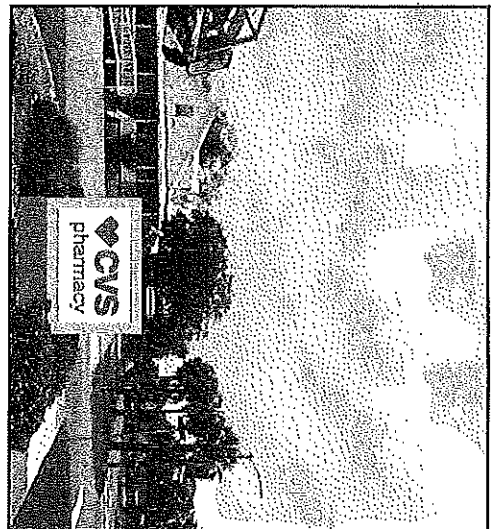
Specifications
Qty = 1 30.97 Sq Ft

- Double Face Non-Illuminated Monument Sign
- Main Sign Cabinet & CVS Cabinet
- 14" Deep fabricated aluminum angle front load cabinet clad with .080 aluminum; painted Ostrich Feather or Kologits Armor
 - Custom bent 3" rearbars to be mechanically fastened to each side of main body cabinet; painted Ostrich Feather or Kologits Armor
 - All internal angle to be 1 1/2" x 1 1/2" x 3/16" aluminum angle
 - 3/16" Hi Impact white lexan knobs with acrylic hang bars top & back side of face
 - Graphics to be translucent vinyl graphic applied 1st surface accordingly

- Base
- 1 1/2" x 1 1/2" x 3/16" Aluminum angle frame clad with .080 aluminum painted Plymouth Brown or Regstone
 - Pole & Foundation (Preference Only-Engineering TRD Per Location)
 - (Qty) 47 Dia. 30H 40 column to be direct burial foundation
 - (Qty) 2 4'-0" Deep x 2'-5 1/4" x 3" SPM
 - #4 Rebar 12"OC top & bottom TYP
 - Compression rings & rain caps as required
- Foundation varies per location; site specific engineering required
- 120 volts
 - Site to be staked prior to install
 - Electrical sweep to be coordinated with GC on site at time of install



EXISTING



PROPOSED

Owner's Project No: **ICON**

Project Name: **CVS pharmacy**

Location: 138 Avenue E, Jacksonville, FL 32225

Job # 0632

Scale 5/16"

Job Date 5/16/15

Job Title: **Architect/Engineer/Interior Designer**

| Rev | By | Date | Description | Rev | By | Date | Description |
|-----|----|----------|----------------------|-----|----|----------|----------------------|
| 1 | SM | 05/15/15 | ISSUED FOR PERMITS | 1 | SM | 05/15/15 | ISSUED FOR PERMITS |
| 2 | SM | 06/02/15 | REVISED PER COMMENTS | 2 | SM | 06/02/15 | REVISED PER COMMENTS |
| 3 | SM | 06/02/15 | REVISED PER COMMENTS | 3 | SM | 06/02/15 | REVISED PER COMMENTS |
| 4 | SM | 06/02/15 | REVISED PER COMMENTS | 4 | SM | 06/02/15 | REVISED PER COMMENTS |
| 5 | SM | 06/02/15 | REVISED PER COMMENTS | 5 | SM | 06/02/15 | REVISED PER COMMENTS |
| 6 | SM | 06/02/15 | REVISED PER COMMENTS | 6 | SM | 06/02/15 | REVISED PER COMMENTS |
| 7 | SM | 06/02/15 | REVISED PER COMMENTS | 7 | SM | 06/02/15 | REVISED PER COMMENTS |
| 8 | SM | 06/02/15 | REVISED PER COMMENTS | 8 | SM | 06/02/15 | REVISED PER COMMENTS |
| 9 | SM | 06/02/15 | REVISED PER COMMENTS | 9 | SM | 06/02/15 | REVISED PER COMMENTS |
| 10 | SM | 06/02/15 | REVISED PER COMMENTS | 10 | SM | 06/02/15 | REVISED PER COMMENTS |
| 11 | SM | 06/02/15 | REVISED PER COMMENTS | 11 | SM | 06/02/15 | REVISED PER COMMENTS |
| 12 | SM | 06/02/15 | REVISED PER COMMENTS | 12 | SM | 06/02/15 | REVISED PER COMMENTS |
| 13 | SM | 06/02/15 | REVISED PER COMMENTS | 13 | SM | 06/02/15 | REVISED PER COMMENTS |
| 14 | SM | 06/02/15 | REVISED PER COMMENTS | 14 | SM | 06/02/15 | REVISED PER COMMENTS |
| 15 | SM | 06/02/15 | REVISED PER COMMENTS | 15 | SM | 06/02/15 | REVISED PER COMMENTS |
| 16 | SM | 06/02/15 | REVISED PER COMMENTS | 16 | SM | 06/02/15 | REVISED PER COMMENTS |
| 17 | SM | 06/02/15 | REVISED PER COMMENTS | 17 | SM | 06/02/15 | REVISED PER COMMENTS |
| 18 | SM | 06/02/15 | REVISED PER COMMENTS | 18 | SM | 06/02/15 | REVISED PER COMMENTS |
| 19 | SM | 06/02/15 | REVISED PER COMMENTS | 19 | SM | 06/02/15 | REVISED PER COMMENTS |
| 20 | SM | 06/02/15 | REVISED PER COMMENTS | 20 | SM | 06/02/15 | REVISED PER COMMENTS |



Design prepared by: **CVS pharmacy**

Design prepared for: **CVS pharmacy**

Project: **CVS pharmacy**

Address: **133 Avenue E, Apalachicola, FL 32320**

Site No: **5185**

Scale: **1/8" = 1'-0"**

Date: **05/22/2018**

Drawn by: **AS**

Checked by: **AS**

Reviewed by: **AS**

Approved by: **AS**

Project No: **133 Avenue E, Apalachicola, FL 32320**

Site No: **5185**

Scale: **1/8" = 1'-0"**

Date: **05/22/2018**

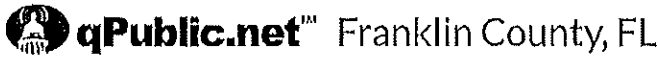
Drawn by: **AS**

Checked by: **AS**

Reviewed by: **AS**

Approved by: **AS**

| Block | Sublot | Area | Owner | Use | Notes |
|-------|--------|-----------|--------------|----------|-------|
| 1 | 1 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 2 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 3 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 4 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 5 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 6 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 7 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 8 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 9 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 10 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 11 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 12 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 13 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 14 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 15 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 16 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 17 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 18 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 19 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 20 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 21 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 22 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 23 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 24 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 25 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 26 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 27 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 28 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 29 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 30 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 31 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 32 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 33 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 34 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 35 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 36 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 37 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 38 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 39 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 40 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 41 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 42 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 43 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 44 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 45 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 46 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 47 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 48 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 49 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 50 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 51 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 52 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 53 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 54 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 55 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 56 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 57 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 58 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 59 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 60 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 61 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 62 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 63 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 64 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 65 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 66 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 67 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 68 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 69 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 70 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 71 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 72 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 73 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 74 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 75 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 76 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 77 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 78 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 79 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 80 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 81 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 82 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 83 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 84 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 85 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 86 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 87 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 88 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 89 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 90 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 91 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 92 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 93 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 94 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 95 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 96 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 97 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 98 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 99 | 10,000.00 | CVS pharmacy | Pharmacy | |
| 1 | 100 | 10,000.00 | CVS pharmacy | Pharmacy | |



Parcel Summary

Parcel ID 01-09S-08W-8330-0077-0010
 Location Address CVS PHARMACY
 Brief Tax Description* BL 77 LOTS 1-2-3-4 CITY OF APALACHICOLA OR 117/470-71 164/308 OR 369/109 389/123
 *The Description above is not to be used on legal documents.
 Property Use Code STORES, 1 (001100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.8391
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
Wills William M & Sharon L
 C/O Cvs #5165/Occ Exp Dept
 1 Cvs Drive
 Woonsocket, FL 02895

Land Information

| Code | Land Use | Number of Units | Unit Type | Frontage | Depth |
|--------|---------------------|-----------------|-----------|----------|-------|
| 000188 | SFR CHAPMAN/APALACH | 180.00 | FF | 0 | 0 |
| 000000 | VAC RES | 60.00 | FF | 0 | 0 |

Residential Buildings

Building 1
 Type STORE RETL
 Total Area 8,608
 Heated Area 8,118
 Exterior Walls CONC BLOCK; FACE BRICK
 Roof Cover MODULAR MT
 Interior Walls WALL BD/WD
 Frame Type N/A
 Floor Cover CONC FINSH; VINYL ASB
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 3
 Bedrooms 0
 Stories 1
 Effective Year Built 1993

Extra Features

| Code | Description | Number of Items | Length x Width x Height | Units | Unit Type | Effective Year Built |
|------|---------------------|-----------------|-------------------------|--------|-----------|----------------------|
| 0260 | PAVEMENT COMMERCIAL | 1 | 0x0x0 | 12,916 | UT | 1993 |
| 0570 | CON WALK | 1 | 0x0x0 | 873 | UT | 1993 |
| | CURBINE | 1 | 0x0x0 | 334 | UT | 0 |
| 0140 | C L FENCE 6 | 1 | 0x0x0 | 63 | UT | 0 |

Sales

| Multi Parcel | Sale Date | Sale Price | Instrument | Book | Page | Qualification | Vacant/Improved | Grantor | Grantee |
|--------------|------------|------------|------------|------|------|-----------------|-----------------|--------------------|-------------------|
| N | 09/11/1992 | \$63,750 | WD | 389 | 123 | Unqualified (U) | Improved | APALACH MANAGEMENT | WILLIS |
| N | 02/17/1992 | \$46,750 | WD | 369 | 109 | Unqualified (U) | Improved | FL COCA-COLA | APALACHICOLA MANA |

Valuation

| | 2020 Preliminary | 2019 Certified | 2018 Certified | 2017 Certified | 2016 Certified |
|------------------------------------|------------------|----------------|----------------|----------------|----------------|
| Building Value | \$188,651 | \$192,814 | \$201,178 | \$201,178 | \$209,542 |
| Extra Features Value | \$8,992 | \$8,992 | \$8,992 | \$8,992 | \$8,992 |
| Land Value | \$174,300 | \$174,300 | \$174,300 | \$186,000 | \$145,500 |
| Land Agricultural Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Agricultural (Market) Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Just (Market) Value | \$371,943 | \$376,106 | \$384,470 | \$396,170 | \$364,034 |
| Assessed Value | \$371,943 | \$376,106 | \$384,470 | \$396,170 | \$364,034 |
| Exempt Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Taxable Value | \$371,943 | \$376,106 | \$384,470 | \$396,170 | \$364,034 |
| Maximum Save Our Homes Portability | \$0 | \$0 | \$0 | \$0 | \$0 |

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

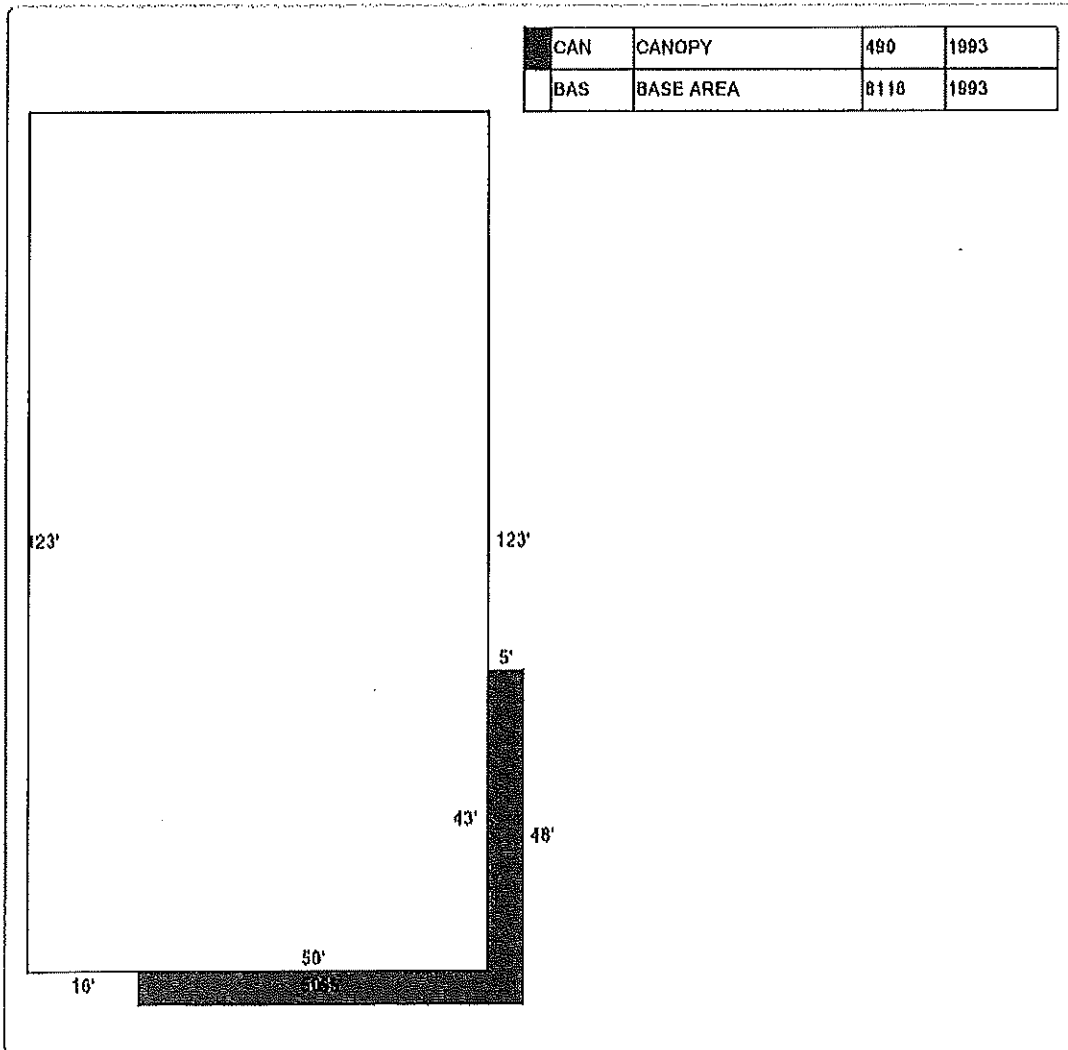
TRIM Notice 2020

[2020 TRIM Notice\(PDF\)](#)

TRIM Notice 2019

[2019 TRIM Notice\(PDF\)](#)

Sketches



No data available for the following modules: Commercial Buildings.

Item # 3

127 AVE B

Pool, shed, Garage

EPCI
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: _____ Permit # _____ Permit Fee _____

OWNER'S NAME: ALEX + ANDREA ALLEN

ADDRESS: 127 AVE B

CITY, STATE & ZIP CODE: APALACHICOLA PHONE # 617-283-6748

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): SAME

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: GALLOWAY CONSTRUCTION, INC.

ADDRESS: PO BOX 1004

CITY, STATE & ZIP CODE: BAYPOINT, FL PHONE # 850 670 1032

STATE LICENSE NUMBER: CGC1526000 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 127 AVE B APALACHICOLA FL

PROPOSED USE OF SITE: R-1

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? NO YES

PROPERTY PARCEL ID # 01-95-08W-8330-0044-0010

LEGAL DESCRIPTION OF PROPERTY: BLK 44 LOTS 1, 2, SE 1/2 3

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION

HISTORIC DISTRICT

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner ALEX ALLEN
Address 127 AVE B
City APALACHICOLA State FL Zip 32320
Phone (677) 283-6748

State License # CGC-1526000/CBC 1251952
City License # _____ County License # _____
Email Address heath@gallowayfl.com
Phone (850) 670-1032

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other _____

PROPERTY INFORMATION:

Street Address: 127 AVE B City & State APALACHICOLA FL Zip 32320

Historic District Non-Historic District Zoning District _____

Parcel #: 01-95-08W-8330-0044-0016 Block(s) 44 Lot(s) 1/2 + 1/2 SEC 3

FEMA Flood Zone/Panel #: 120069 0526F
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taxes Paid: _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official connected to handle the City of Apalachicola Building Permits, EPC.

Carmel Bankston
Permitting and Development Coordinator
(850) 658-1522 (ext 205) Phone
(850)658-5028 Cell
carmlbankston@cityofapalachicola.com

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family ___ Townhouse ___ Commercial ___ Industrial
 ___ Duplex ___ Swimming Pool ___ Storage ___ Sign
 ___ Multi-Family ___ Demolition ___ Other
 ___ Addition, Alteration or Renovation to building: _____

Distance from property lines: Front _____ Rear _____ L. Side _____
 R. Side _____
 Cost of Construction \$ 250,000 Square Footage 5839
 EPI _____ Flood Zone X Lowest Floor Elevation _____
 Area Heated/Cooled: \$ _____ # Of Stories 2 # Of Units _____
 Type of Roof METAL Type of Walls WOOD Type of Floor WOOD/CRAWL
 Extreme Dimensions of: Length 28 Height 12 Width 26

*SIDS ATTACHED
SIDE PLAN*

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit of the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent

Date: _____

Notary as to Owner or Agent

My Commission expires: _____

C.H. Sullivan

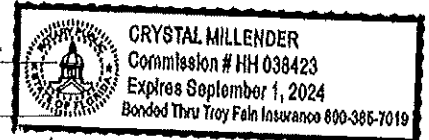
Signature of Contractor

Date: 9/28/20

Crystal Millender

Notary as to Contractor

My Commission expires: 09/01/2024



APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

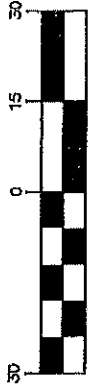
Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

TRY AND MATCH ALL MATERIALS TO EXISTING.

| Project Scope | Manufacturer | Product Description | FL Product Approval # |
|---------------------|--------------|--------------------------|-----------------------|
| Siding | | TO MATCH EXISTING | |
| Doors | | TO MATCH EXISTING | |
| Windows | | PELLA | |
| Roofing | | TO MATCH EXISTING | |
| Trim | | TO MATCH EXISTING | |
| Foundation | | C.M. (TO MATCH EXISTING) | |
| Shutters | | | |
| Porch/Deck | | MATCH EXISTING | |
| Fencing | | | |
| Driveways/Sidewalks | | | |
| Other | | | |

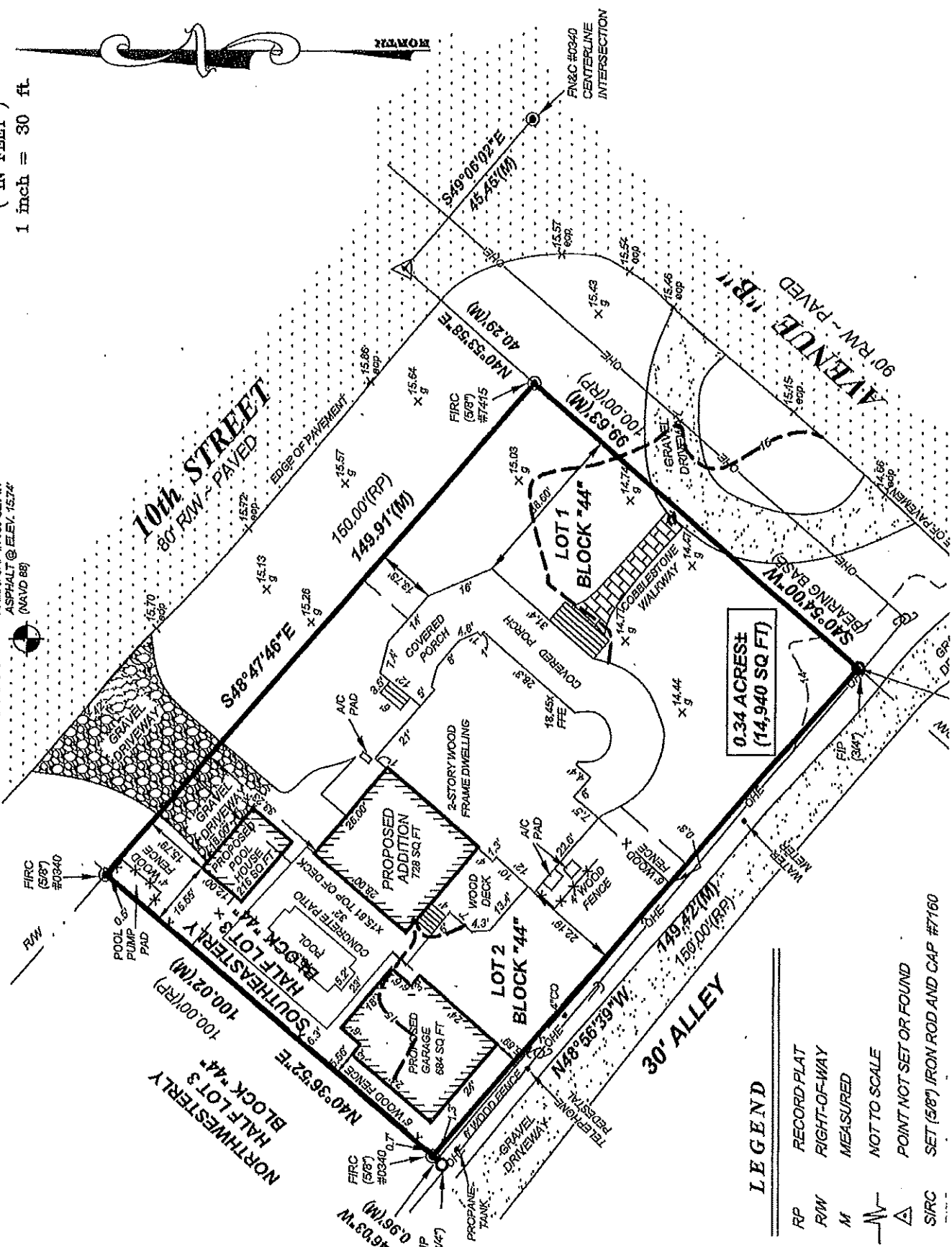
PLAN OF BOUNDARY AND METEOROLOGICAL SURVEY CERTIFIED TO:
 ALEXANDER ALLEN and ANDREA ALLEN,
 SANDERS & DUNCAN, P.A.,
 CHICAGO TITLE INSURANCE COMPANY

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft

SITE BENCHMARK
 NAIL & CAP #7160 SET IN
 ASPHALT @ ELEV. 157.74'
 (NAVD 88)



0.34 ACRES±
 (14,940 SQ FT)

LEGEND

- RP RECORD PLAT
- RW RIGHT-OF-WAY
- M MEASURED
- NOT TO SCALE
- POINT NOT SET OR FOUND
- SIRC SET (587) IRON ROD AND CAP #7160

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is/are the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submitted may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

9/21/20

SIGNATURE OF APPLICANT



CITY OF APALACHICOLA
TREE APPLICATION
REMOVAL OR ALTERATION OF PROTECTED TREE

Applicants Name: GALLOWAY CONSTRUCTION INC (Please print)
 Property Owner's Name: ALEX + ANDREA ALLEN Phone: 617-283-6798
 Property Address: 127 AVE B City, State, Zip: APALACHICOLA FL 32320
 General Contractor/Tree Contractor: GALLOWAY CONSTRUCTION Phone: 850 670 1032
 Applicants Signature/Date: [Signature] 1

1. Protected trees - Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

| | 4" to 16" | Greater than 16" to less than 35" | 35" and larger (Patriarch Tree) |
|-------------------------------------------------------------------|-----------|-----------------------------------|---------------------------------|
| Bald & Pond Cypress | | | |
| Eastern & Southern Red Cedar | | | |
| Live Oak | | | |
| Longleaf Pine | | | |
| Pecan | | | |
| Sabal Palm | | | |
| Slash Pine | | | |
| Southern Magnolia | | | |
| Sycamore | | | |
| Water Oak | | | |
| Total | | | |
| Size is measured at breast height (4.5 feet above ground surface) | | | |

2. Reason(s) for removal or alteration (Mark all that apply with "X")

| Owner's Private Property | |
|------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------|
| Removal: New Construction | Alteration: New Construction |
| Tree located within or too close to footprint of proposed new building or addition | Limbs and branches encroaching where structure is to be built |
| Removal: No New Construction | Alteration: No New Construction |
| Tree roots damaging building foundation or underground utilities | Limbs and branches rubbing on side or roof of building |
| Imminent hazard to property or human safety | Imminent hazard to property or human safety |
| Diseased or pest-infested tree | Diseased or pest-infested tree |
| Storm damaged tree (other than City declared emergency; e.g., lightning) | Storm-damaged tree (other than during City declared emergency; e.g., lightning) |
| Tree in decline (loss of vigor, poor growth, dieback of twigs & branches) | |
| City Property (City street right-of-ways adjacent to private property) | |
| Removal: Requested by Private Property Owner | Alteration: Requested by Private Property Owner (Significant cutting of limbs & branches) |
| Tree located where access to private property is proposed (driveway, etc.) | Imminent hazard to property or human safety |
| Imminent hazard to property or human safety | |
| Diseased or pest-infested tree | |
| Storm damaged tree (other than City declared emergency; e.g., lightning) | |
| Requested by City Department | |
| Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard) | Growth encroaching on street or alley |

3. Please attach a map with the following drawn to scale:

- a. Locations of the following:
 1. Lot boundaries
 2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
 3. Types & Sizes of protected trees (measured at breast height in inches)
 4. Protected trees that are proposed to be removed or altered

OFFICE USE ONLY

| | |
|----------------------------------------------------------------------------------------|--|
| Permit Processing Fee (\$50.00 or \$100.00) | |
| Reforestation Fund | |
| Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees) | |
| Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees) | |
| Non Patriarch Tree Total (\$250.00 Max) | |
| Number of Trees 35" and larger x \$1,000.00 | |
| Reforestation Fund Total | |

Planning and Zoning Board (When Development plan is submitted):

Patriarch Tree _____ Non Patriarch Tree _____

_____ Approved _____ Denied
 _____ Conditionally Approved (Reason for Conditional Approval or Denial): _____

 Chairperson, Planning and Zoning Board Date

Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)

Patriarch Tree _____ Non Patriarch Tree _____

_____ Approved _____ Denied
 _____ Conditionally Approved (Reason for Conditional Approval or Denial): _____

 Code Enforcement Officer or Designee Date

 City Manager or Designee Date

City of Apalachicola
General Permit Checklist (Section VII, Site Plan Review Regulations)

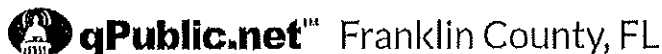
General Permit Application Requirements are applicable for all development not subject to site plan requirements. Where required by Section IV I of this ordinance a more detailed site plan shall be required, as per Section IV.

Permit Application /Review – Each application for a development permit and, where required, with the appropriate fee shall be filed with the permit official on a form furnished for such purpose which shall contain, at a minimum, the following information:

1. A location map and conceptual site plan of appropriate scale indicating the lot of property lines and physical description of the parcel with respect to:
2. General topography including highest elevation above mean or ordinary high water and slope contours.
3. The proposed development's distance from mean or ordinary high water and vegetated wetlands under the jurisdiction of the state.
4. The number and size(s) of structures existing on the parcel.
5. The proposed development's proximity to lot lines, setbacks, right of way, or easements and, where applicable, with respect to septic tank location and potable water supplies
6. Sewer/Water Availability
7. Flood Information including FIRM Zone. Note: any proposed development located within the Coastal Building Zone (V and related A Zones) must also provide floodplain management information as identified on supplemental floodplain management checklist.

For all new construction including any enlargement or alteration of an existing structure that changes its area of enclosed heated floor space, the applicant shall be required to submit, in duplicate, drawings and plans showing:

- The basic floor plan
- Foundation details
- Elevation of flood level above the grade
- Structural details
- All electrical, plumbing, heating and air conditioning equipment and service outlets.



R-1

Parcel Summary

Parcel ID 01-09S-08W-8330-0044-0010
 Location Address 127 AVE B
 (CORNER OF B & 10TH) 32320
 Br/of Tax Description* BL 44 LOTS 1,2 & SE 1/2 LOT 3 OR/180/447 199/632 613/765 1262/619
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.8391
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Allen Alexander & Andrea
 80 Kimberly Knoll Road
 Asheville, NC 28804

Land Information

| Code | Land Use | Number of Units | Unit Type | Frontage | Depth |
|--------|----------|-----------------|-----------|----------|-------|
| 000100 | SFR | 150.00 | FF | 0 | 0 |

Residential Buildings

Building 1
 Type HISTORICAL
 Total Area 4,937
 Heated Area 3,382
 Exterior Walls AVERAGE
 Roof Cover MODULAR MT
 Interior Walls WALL BD/WD
 Frame Type WOOD FRAME
 Floor Cover PINE WOOD
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 0
 Stories 2
 Effective Year Built 1956

Extra Features

| Code | Description | Number of Items | Length x Width x Height | Units | Unit Type | Effective Year Built |
|------|--------------|-----------------|-------------------------|-------|-----------|----------------------|
| 0070 | CARPORT UF | 1 | 10 x 12 x 0 | 120 | SF | 1992 |
| 0730 | UN HSE STRGE | 1 | 8 x 10 x 0 | 80 | SF | 1992 |
| 0320 | CONCRETE | 1 | 0 x 0 x 0 | 140 | SF | 1992 |
| 0410 | WD FENCE | 1 | 0 x 0 x 0 | 150 | LF | 1992 |

Sales

| Multi Parcel | Sale Date | Sale Price | Instrument | Book | Page | Qualification | Vacant/Improved | Grantor | Grantee |
|--------------|------------|------------|------------|------|------|---------------|-----------------|----------------------|----------------------|
| N | 04/05/2020 | \$760,000 | WD | 1262 | 619 | Qualified (Q) | Improved | SPOHRER B F & LYNN W | ALLEN/ALLEN |
| N | 03/17/1999 | \$400,000 | WD | 613 | 765 | Qualified (Q) | Improved | MERCER LOISE | SPOHRER B F & LYNN W |

Valuation

| | 2020 Preliminary | 2019 Certified | 2018 Certified | 2017 Certified | 2016 Certified |
|------------------------------------|------------------|----------------|----------------|----------------|----------------|
| Building Value | \$170,923 | \$170,923 | \$170,923 | \$170,923 | \$170,923 |
| Extra Features Value | \$1,915 | \$1,915 | \$1,915 | \$1,915 | \$1,915 |
| Land Value | \$210,000 | \$210,000 | \$180,000 | \$180,000 | \$180,000 |
| Land Agricultural Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Agricultural (Market) Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Just (Market) Value | \$382,838 | \$382,838 | \$352,838 | \$352,838 | \$352,838 |
| Assessed Value | \$306,702 | \$278,820 | \$253,473 | \$230,430 | \$209,482 |
| Exempt Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Taxable Value | \$306,702 | \$278,820 | \$253,473 | \$230,430 | \$209,482 |
| Maximum Save Our Homes Portability | \$0 | \$104,018 | \$99,365 | \$122,408 | \$143,356 |

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

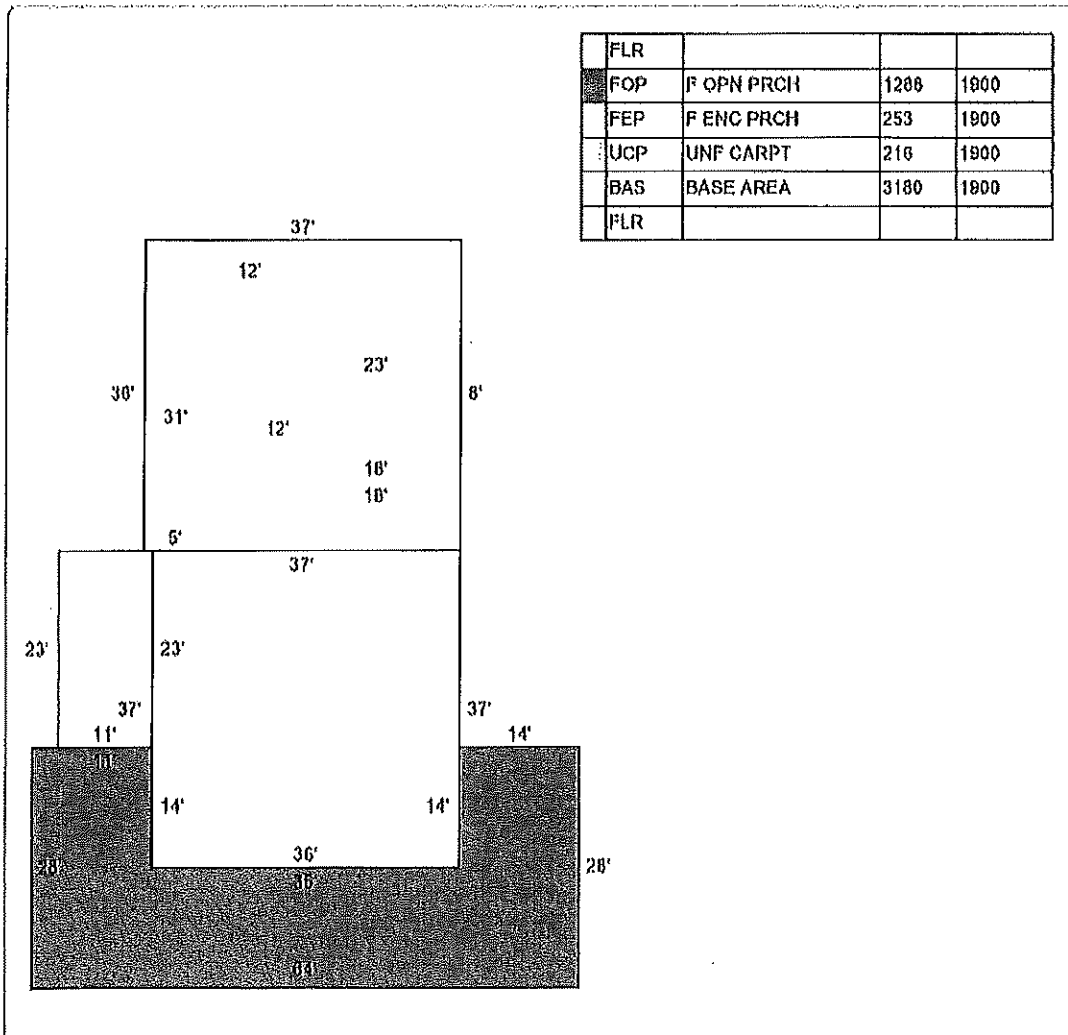
TRIM Notice 2020

[2020 TRIM Notice\(PDF\)](#)

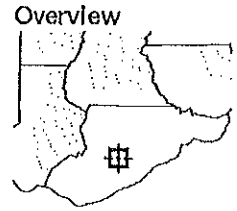
TRIM Notice 2019




[2019 TRIM Notice\(PDF\)](#)

Sketches



No data available for the following modules: Commercial Buildings.



- Legend**
-  Parcels
 -  Roads
 -  City Labels

| | | | | | |
|------------------------------|-------------------------------------------|---------------------|----------------------|----------------------|--------------------------|
| Parcel ID | 01-09S-08W-8330-0044-0010 | Alternate ID | 08W09S01833000440010 | Owner Address | ALLEN ALEXANDER & ANDREA |
| Sec/Twp/Rng | 1-9S-8W | Class | SINGLE FAM | | 80 KIMBERLY KNOLL ROAD |
| Property Address | 127 AVE B | Acreage | n/a | | ASHEVILLE, NC 28804 |
| | (CORNER OF B & 10TH) | | | | |
| District | 3 | | | | |
| Brlef Tax Description | BL 44 LOTS 1,2 & SE 1/2 | | | | |
| | (Note: Not to be used on legal documents) | | | | |

Date created: 10/5/2020
 Last Data Uploaded: 10/5/2020 7:51:32 AM

Developed by  **Schneider**
 GEOSPATIAL



**BLACKHAWK
ENGINEERING INC.**

STATE CERTIFICATE # 26881

2417-3 FLIESCHMANN ROAD, TALLAHASSEE FLORIDA 32308
PHONE (850) 224-4295 ~ FAX (850) 386-4295 ~ EMAIL: SUPPORT@BLACKHAWKENGINEERS.COM

WIND ANALYSIS ~ 140 Wind Velocity or as interpolated (attach calculations)

BUILDING JURISDICTION: FRANKLIN COUNTY (140)

Activity # _____

CALCULATIONS AS PER SECTION 1609, FBC-B 2017, ASCE 7-10, OR AS PER _____

ATTACHMENTS REQUIRED:

1. The applicable building floor plan with each Wind Analysis. A reduced legible plan may be provided.
2. Indicate location of all vaulted or high ceilings on floor plan.
3. A truss layout from the truss engineer will be required. The layout will indicate all interior bearing walls or points.

*Pool Shed Only

| | | | |
|----------------------------------------------------------------------------|-------------------------------------------------|-------------------------------|-----------------------------|
| Job Address: | 01-095-08W-8330-0044-0010 Apalachicola, Florida | Date: | Tuesday, September 08, 2020 |
| Contractor: | Homeowner | Subdivision/Lot/Block: | Apalachicola / 1 & 2 / 44 |
| Prepared By: | Mark S. Cooper P.E. | Design Professional FL Lic #: | 52601 |
| BHE Job # | 20BH-114M Risk Category: II | Wind Exposure (s): | C |
| Internal Pressure Coefficient: | 0.18, -0.18 | | |
| Plans may be used as a master plan by the above contractor: () Yes (X) No | | Initials: | MSC |

| | | | |
|------------------------|-----------------|---------------------------------------------|-----------------|
| Mean Roof Height: | 10.25 Feet | Stud Species: | (X) SPF () SYP |
| End Zone Length: | 6 Feet | Max. Stud ht. (excluding gable end): | 8 Feet |
| Roof Slope: | 4 : 12 | Stud Spacing: | 16 in. O.c. |
| Species for Top Plate: | (X) SPF () SYP | Max overhanging length (excluding porches): | 1.5 Feet |

| | | | |
|------------------------------|-------------------------|---------------------|--------------------------|
| HURRICANE CLIPS (HC): | Truss Span or Location: | Model # @ End Zone: | Model # @ Interior Zone: |
| Brand: Simpson Strong-Tie | Each Truss Support Loc. | 1 ~ H2.5A | 1 ~ H2.5A |

| | | |
|---------------------------------|------------------------------------------------------------------|---------------------------------|
| ROOF SHEATHING MATERIAL: | 7/16 OSB | (Be specific such as 7/16" OSB) |
| NAILING PATTERN: | Fastener: 8d Edges: (Perimeter) 4 oc Cont. Edge 6 oc Other Edges | Field: 6 o.c. |

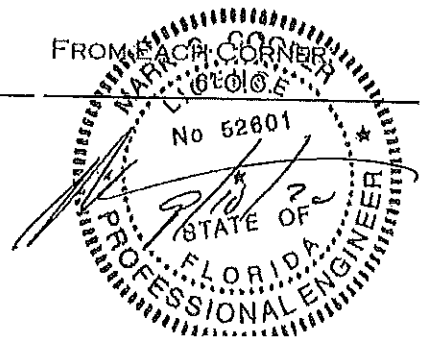
| | | |
|-------------------------------|------------------------------------------------------------------|----------------------------------------------------|
| WALL BRACING MATERIAL: | 7/16 OSB | 100% continuous or as required: (See Note 1 Below) |
| NAILING PATTERN: | Fastener: 8d Edges: (Perimeter) 6 oc Cont. Edge 6 oc Other Edges | Field: 6 o.c. |

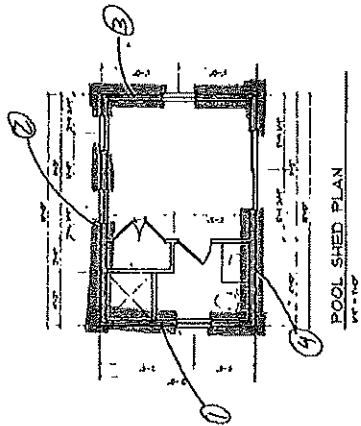
| | | | | |
|----------------|----------------|------------|-------------|-------------|
| STRAPS: | Brand: Simpson | SPACING: | TOP: | BOTTOM: |
| Model: | SPH6 & SPH6 | 1st Floor: | 48 in. O.c. | 48 in. O.c. |
| Model: | | 2nd Floor: | | |
| Model: | | 3rd Floor: | | |

Nailing: Top: SPH6 Stud 10-10d x 1-1/2 & Bottom: SPH6 Stud 10-10d x 1-1/2

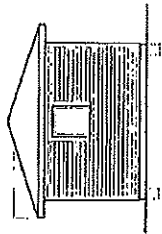
ANCHOR BOLTS: 1/2" Dia. x 10" LONG w 2"x2"x3/16" (i.e. Simpson Bpl-2) washers

Spacing: o.c. ALONG WALL: 48" O.C. FROM EACH CORNER: 6" O.C.

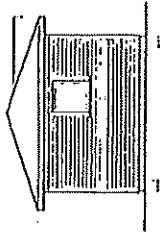




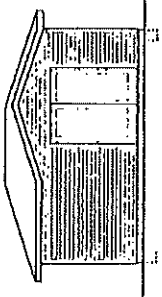
POOL SHED S.E. ELEVATION



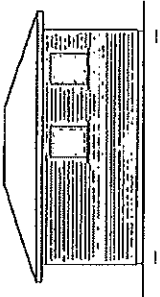
POOL SHED N.W. ELEVATION



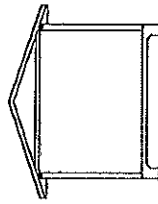
POOL SHED S.W. ELEVATION



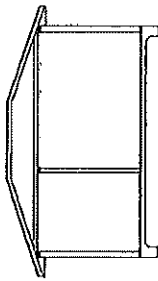
POOL SHED N.E. ELEVATION



POOL SHED SECTION "B-B"



POOL SHED SECTION "A-A"



Roof system is Pre Engineered Trusses. Truss Shop drawings shall be provided to Wind analysis Engineer for verification / compatibility of the 2 engineered designs. Points of verification will be applied loads, strapping, hold down connections, and hurricane clip connections specified within the Wind analysis.



**BLACKHAWK
ENGINEERING INC.**

STATE CERTIFICATE # 26881

2417-3 FLIESCHMANN ROAD, TALLAHASSEE FLORIDA 32308
PHONE (850) 224-4295 ~ FAX (850) 386-4295 ~ EMAIL: SUPPORT@BLACKHAWKENGINEERS.COM

WIND ANALYSIS ~ 140 Wind Velocity or as Interpolated (attach calculations)

BUILDING JURISDICTION: FRANKLIN COUNTY (140)

Activity # _____

CALCULATIONS AS PER SECTION 1609, FBC-B 2017, ASCE 7-10, OR AS PER _____

ATTACHMENTS REQUIRED:

1. The applicable building floor plan with each Wind Analysis. A reduced legible plan may be provided.
2. Indicate location of all vaulted or high ceilings on floor plan.
3. A truss layout from the truss engineer will be required. The layout will indicate all interior bearing walls or points.

*Garage Only

Job Address: 01-09S-08W-8330-0044-0010 Apalachicola, FL Date: Tuesday, September 08, 2020
 Contractor: Homeowner Subdivision/Lot/Block: Apalachicola / 1&2 / 44
 Prepared By: Mark S. Cooper P.E. Design Professional FL Lic #: 52601
 BHE Job #: 20BH-114M Risk Category: II Wind Exposure (s): C
 Internal Pressure Coefficient: 0.18, -0.18
 Plans may be used as a master plan by the above contractor: () Yes (X) No Initials: MSC

Mean Roof Height: 13.22 Feet Stud Species: (X) SPF () SYP
 End Zone Length: 6 Feet Max. Stud ht. (excluding gable end): 10 Feet
 Roof Slope: 4 : 12 Stud Spacing: 16 In. O.c.
 Species for Top Plate: (X) SPF () SYP Max overhang length (excluding porches): 1.33 Feet

HURRICANE CLIPS (HC): Truss Span or Location: Each Truss Support Loc. Model # @ End Zone: 1 ~ H10A Model # @ Interior Zone: 1 ~ H10A
 Brand: Simpson Strong-Tie

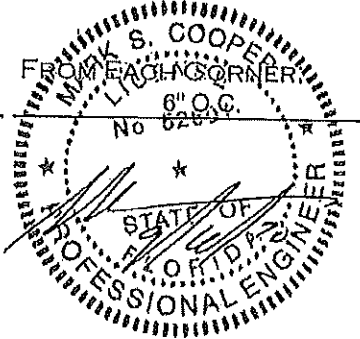
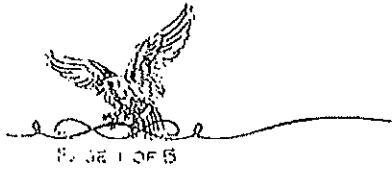
ROOF SHEATHING MATERIAL: 7/16 OSB (Be specific such as 7/16" OSB)
 NAILING PATTERN: Fastener: 8d Edges: (Perimeter) 4 oc Cont. Edge / 6 oc Other Edges Field: 6 o.c.

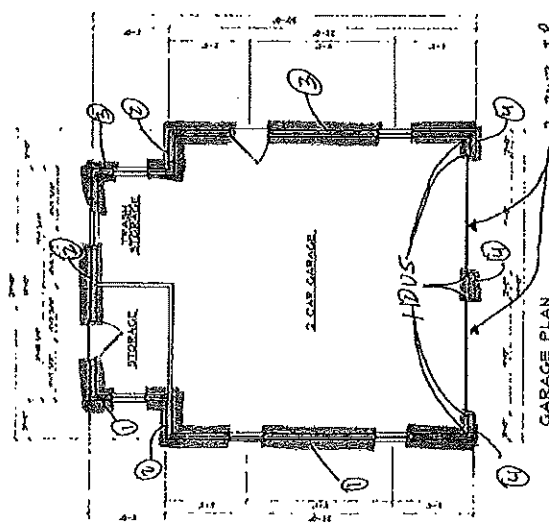
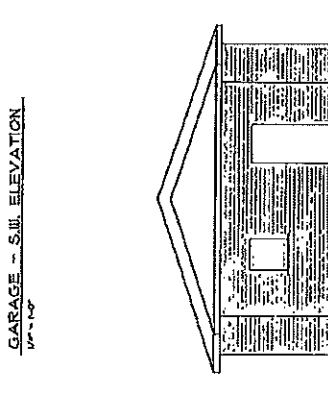
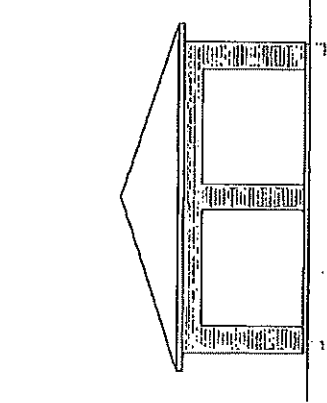
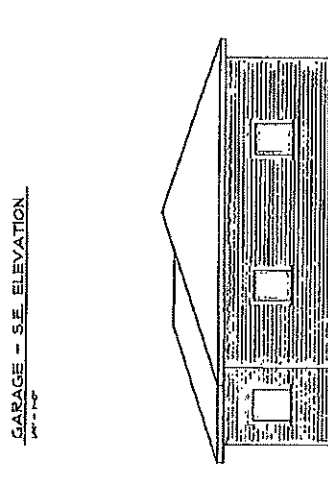
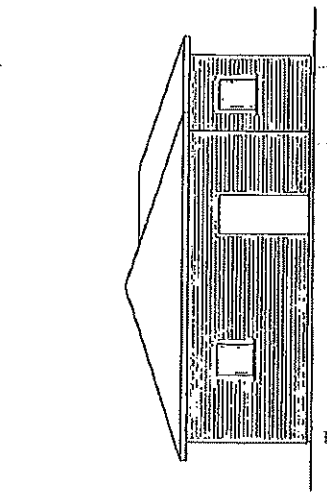
WALL BRACING MATERIAL: 7/16 OSB 100% continuous or as required: (See Note 4 below)
 NAILING PATTERN: Fastener: 8d Edges: (Perimeter) 6 oc Cont. Edge / 6 oc Other Edges Field: 6 o.c.

STRAPS: Brand: Simpson SPACING: TOP: BOTTOM:
 Model: SPH6 & SPH6 1st Floor: 32 In. O.c. 32 In. O.c.
 Model: 2nd Floor:
 Model: 3rd Floor:

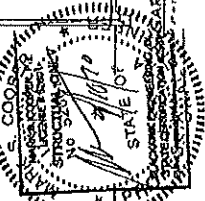
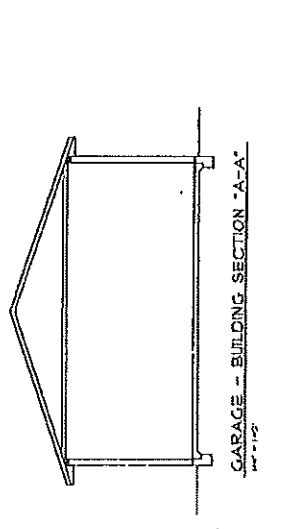
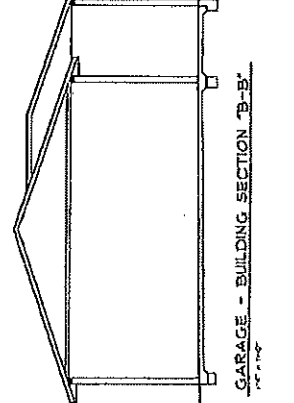
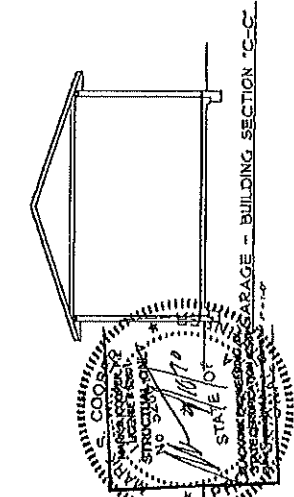
Nailing: Top: SPH6 Stud 10-10d x 1-1/2 & Bottom: SPH6 Stud 10-10d x 1-1/2

ANCHOR BOLTS: 1-2" Dia. x 10" LONG w/2"x2"x3/16" (I.e. Simpson Bpl-2) washers
 Spacing: o.c. 48" O.C. 6" O.C.
 (Install Simpson Strong Tie HDU5-SDS2.5 Hold-Downs at location's marked on attached sketch.)





Roof system is Pre Engineered Trusses, Truss Spacing drawings shall be provided to Wind analysis Engineer for verification / compatibility of the 2 engineered designs. Points of verification will be applied loads, strapping, hold down connections, and hurricane clip connections specified within the Wind analysis.

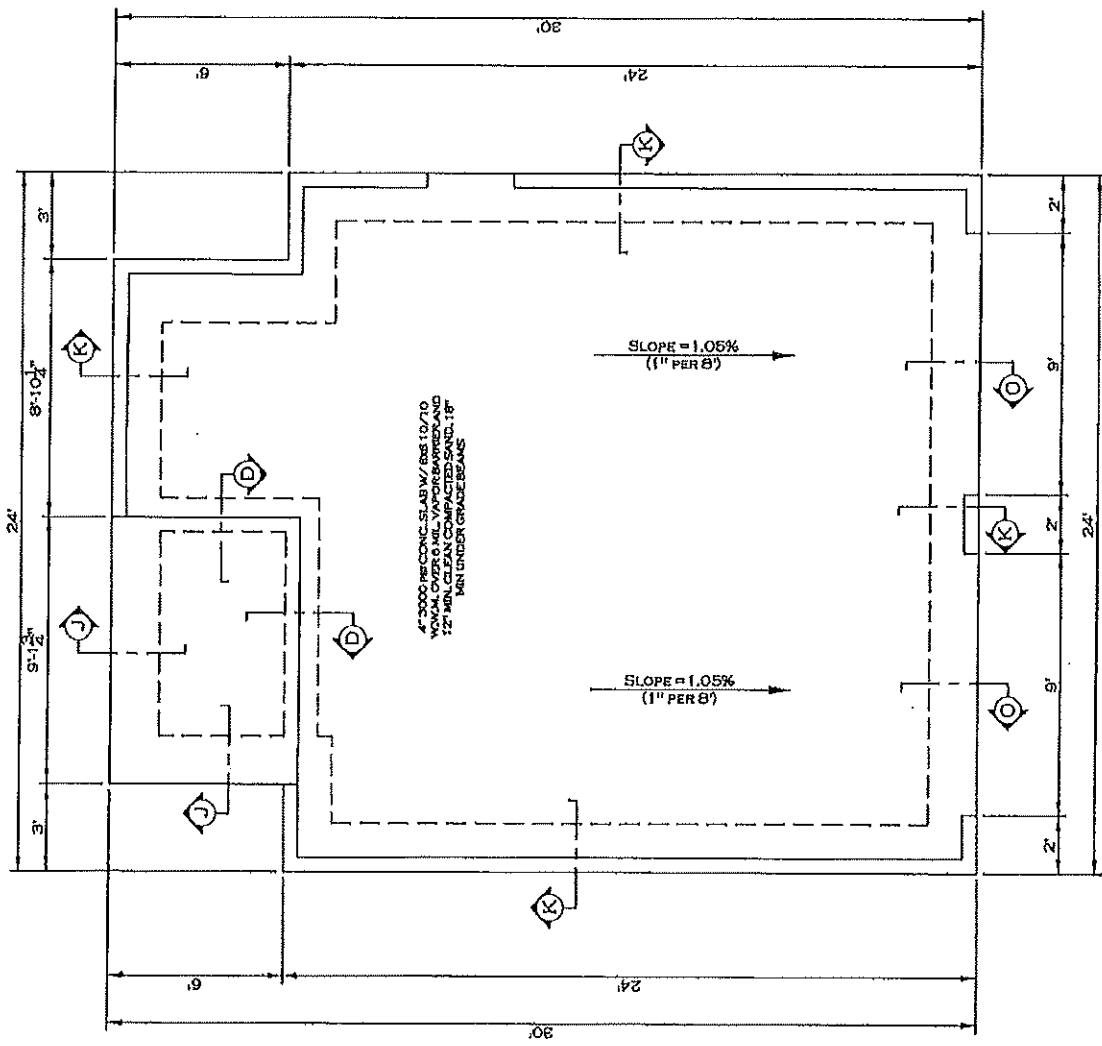
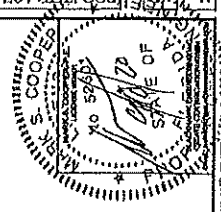


BLACKHAWK ENGINEERING, INC.
 2417 FLEISCHMANN ROAD
 TALLAHASSEE, FLORIDA 32308
 PHONE (905) 224-4298 - FAX (905) 380-4298
 STATE CONTRACTORS 20001




| | |
|-------------|---------------------------------------------------------|
| DATE | 09/01/20 |
| CHECKED | HEB |
| DRAWN | MAY/CEL |
| SCALE | 1/4" = 1'-0" |
| TITLE | FOUNDATION LAYOUT |
| PROJECT | 1277 AVE. B APALACHICOLA, FL (01-085-08W-6330-004-0010) |
| REVISION | |
| ISSUED | |
| DATE | |
| DESCRIPTION | |

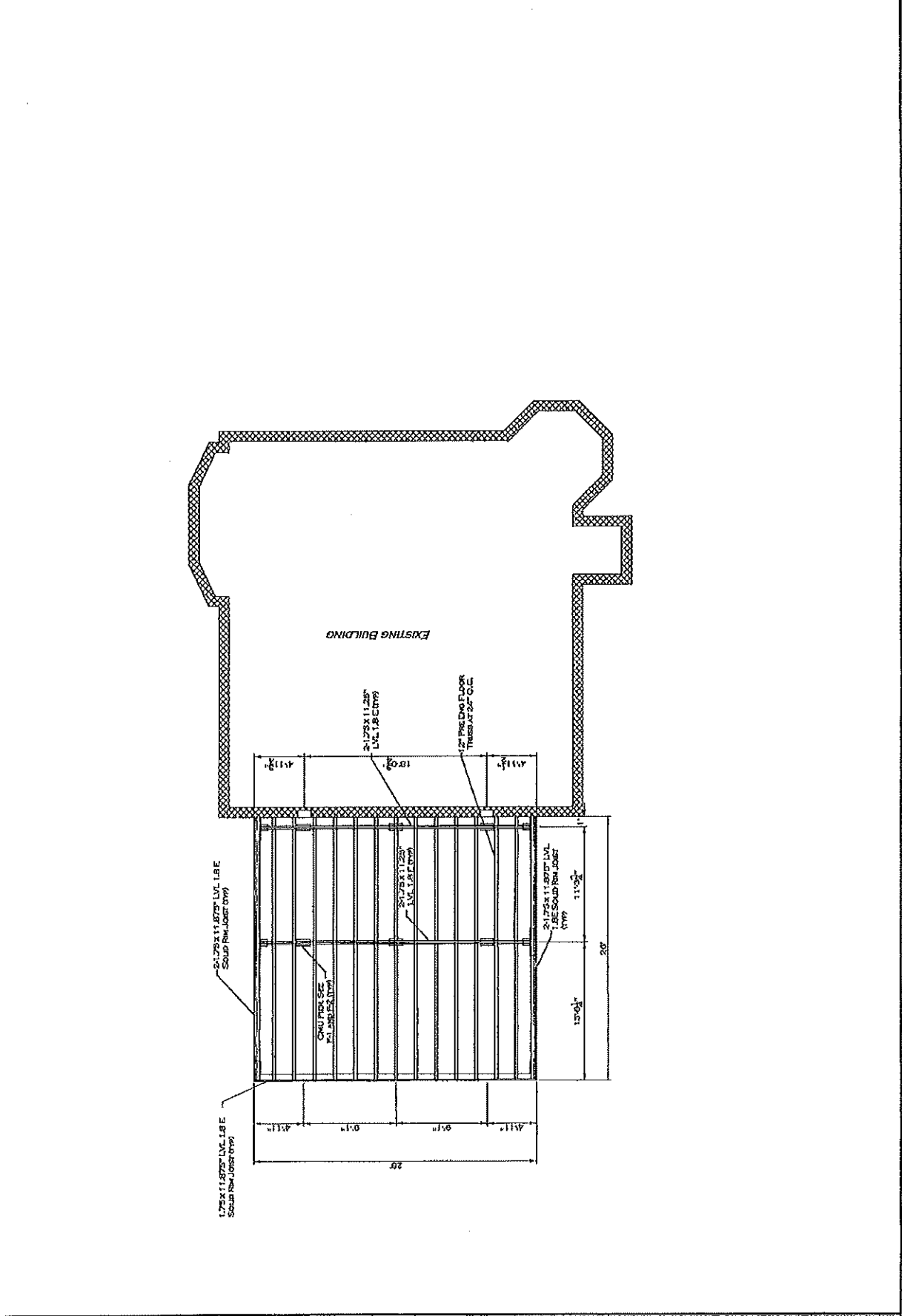
PROJECT NO. ZOBH114M
 SHEET 1 OF 3

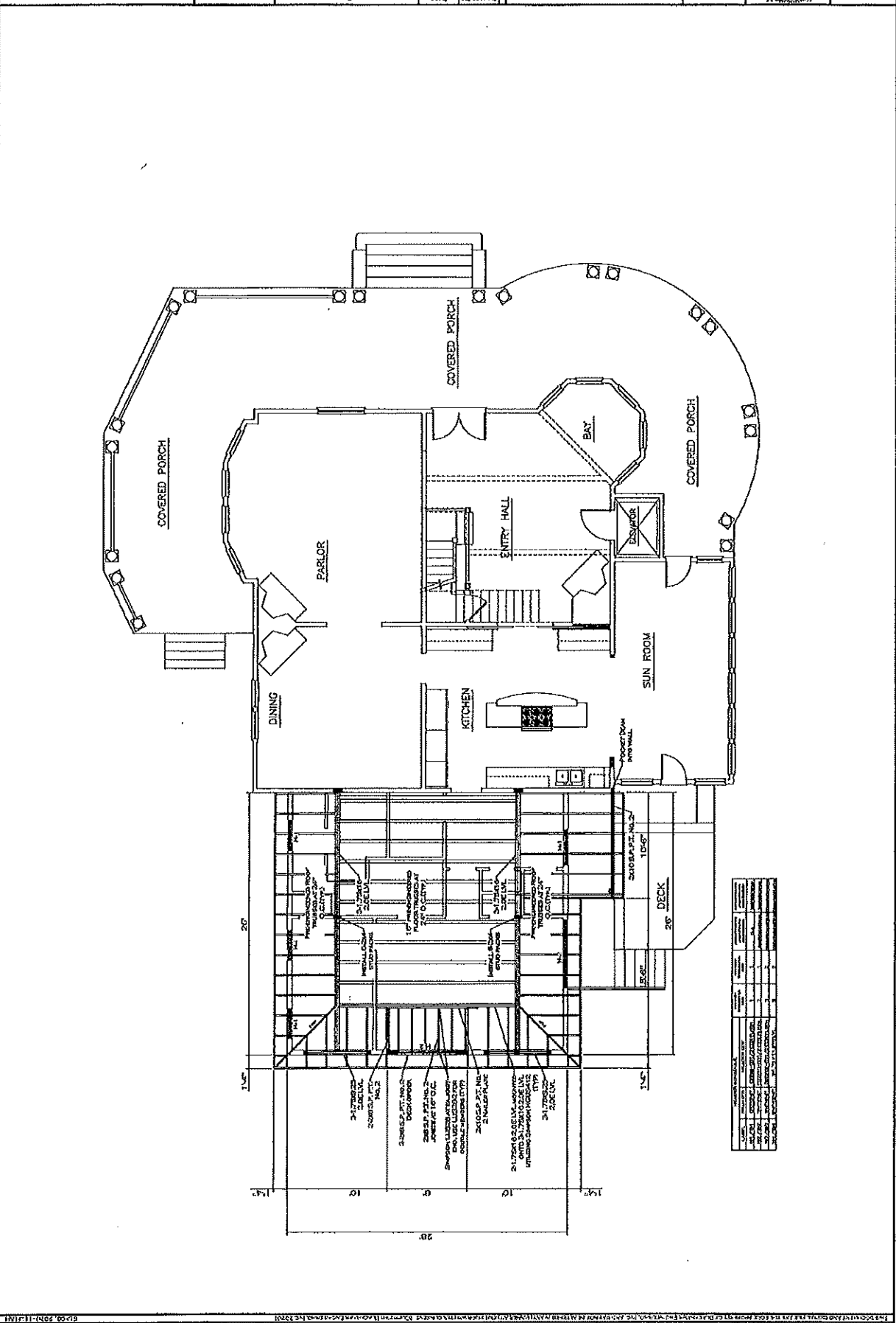


GARAGE FOUNDATION PLAN LAYOUT

THIS DOCUMENT AND DIGITAL FILE ARE THE SOLE PROPERTY OF BLACKHAWK ENGINEERING, INC. AND MAY NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT EXPRESS WRITTEN CONSENT.

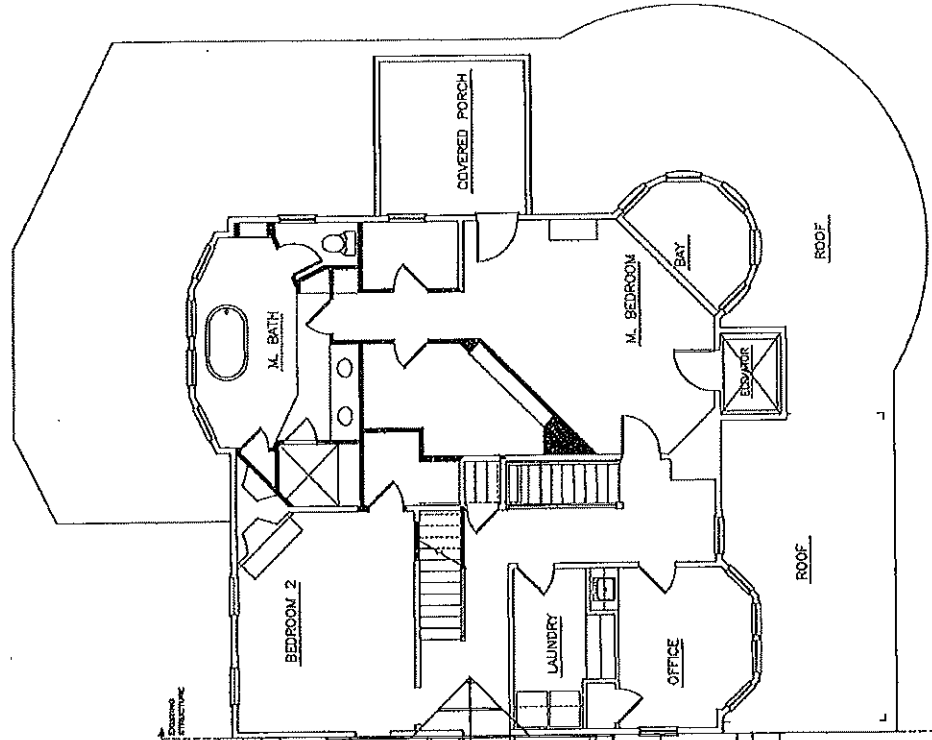
| | | | | | | | | | |
|------------------------------------------------------------------------------------|--|--------------------------------------------------------|--|---------------------------------------------------|--|------------------------------|--|------------------------------|--|
|  | | PROJECT ALBERT S. DECKER ARCHITECTS P.L.L.C. | | CLIENT BATTLE AND ASSOCIATES ARCHITECTS | | DATE 1/21/10 | | SCALE 1/4" = 1'-0" | |
| PROJECT ALBERT S. DECKER ARCHITECTS P.L.L.C. | | CLIENT BATTLE AND ASSOCIATES ARCHITECTS | | DATE 1/21/10 | | SCALE 1/4" = 1'-0" | | REVISIONS | |
| PROJECT ALBERT S. DECKER ARCHITECTS P.L.L.C. | | CLIENT BATTLE AND ASSOCIATES ARCHITECTS | | DATE 1/21/10 | | SCALE 1/4" = 1'-0" | | REVISIONS | |
| PROJECT ALBERT S. DECKER ARCHITECTS P.L.L.C. | | CLIENT BATTLE AND ASSOCIATES ARCHITECTS | | DATE 1/21/10 | | SCALE 1/4" = 1'-0" | | REVISIONS | |
| PROJECT ALBERT S. DECKER ARCHITECTS P.L.L.C. | | CLIENT BATTLE AND ASSOCIATES ARCHITECTS | | DATE 1/21/10 | | SCALE 1/4" = 1'-0" | | REVISIONS | |
| PROJECT ALBERT S. DECKER ARCHITECTS P.L.L.C. | | CLIENT BATTLE AND ASSOCIATES ARCHITECTS | | DATE 1/21/10 | | SCALE 1/4" = 1'-0" | | REVISIONS | |
| PROJECT ALBERT S. DECKER ARCHITECTS P.L.L.C. | | CLIENT BATTLE AND ASSOCIATES ARCHITECTS | | DATE 1/21/10 | | SCALE 1/4" = 1'-0" | | REVISIONS | |
| PROJECT ALBERT S. DECKER ARCHITECTS P.L.L.C. | | CLIENT BATTLE AND ASSOCIATES ARCHITECTS | | DATE 1/21/10 | | SCALE 1/4" = 1'-0" | | REVISIONS | |
| PROJECT ALBERT S. DECKER ARCHITECTS P.L.L.C. | | CLIENT BATTLE AND ASSOCIATES ARCHITECTS | | DATE 1/21/10 | | SCALE 1/4" = 1'-0" | | REVISIONS | |
| PROJECT ALBERT S. DECKER ARCHITECTS P.L.L.C. | | CLIENT BATTLE AND ASSOCIATES ARCHITECTS | | DATE 1/21/10 | | SCALE 1/4" = 1'-0" | | REVISIONS | |





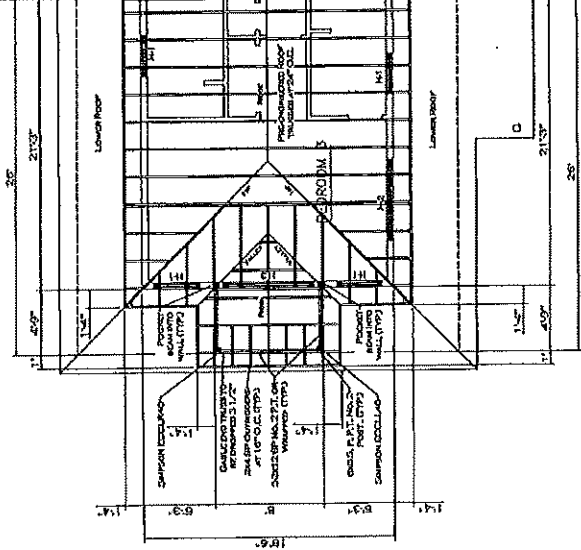
| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1 | REVISION | |
| 2 | REVISION | |
| 3 | REVISION | |
| 4 | REVISION | |
| 5 | REVISION | |
| 6 | REVISION | |
| 7 | REVISION | |
| 8 | REVISION | |
| 9 | REVISION | |
| 10 | REVISION | |

| | | | | | | | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------------------------------------|--|-------------------------------------------------------------------------|--|------------------------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------|--|--------------|
|  BLACKHAWK ENGINEERING, INC. 21711 E. WYOMING AVE., SUITE 100, DENVER, CO 80238 PHONE (303) 751-4300 • FAX (303) 751-4399 E-MAIL: info@blackhawkeng.com • WWW: www.blackhawkeng.com | | PROJECT: ALMA RESIDENCE APALACHICOLA FLA TITLE: ROOF FINISHING PLAN CLIENT: BATTLE AND ASSOCIATES ARCHITECTS | | DRAWN BY: [] CHECKED BY: [] DATE: 8/2/99 SCALE: 1/4" = 1'-0" | | HON./C.L. NO. 1172 EXPIRES: 8/2/99 | |  ROBERT L. AXON LICENSE NO. 1172 EXPIRES: 8/2/99 | | SHEET NO. 53 |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------------------------------------|--|-------------------------------------------------------------------------|--|------------------------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------|--|--------------|



PROPOSED EXISTING STRUCTURE, STRUCTURE

PROPOSED EXISTING STRUCTURE, STRUCTURE



| NO. | DESCRIPTION | DATE | BY | CHECKED |
|-----|-------------------|--------|-----|---------|
| 1 | ISSUED FOR PERMIT | 8/2/99 | [] | [] |
| 2 | REVISION | | | |
| 3 | REVISION | | | |
| 4 | REVISION | | | |
| 5 | REVISION | | | |

Item # 4

40 4th St

Addition

EPCI
APALACHICOLA BUILDING DEPARTMENT
APPLICATION FOR BUILDING PERMIT

Official Use Only

PERMIT #: _____ / _____ / _____ " _____ PERMIT FEE: \$ _____

PROPERTY OWNER'S

NAME(S): Shuler Limited Partnership EMAIL: Mshuler@shulerlawfl.com

ADDRESS: 34 4th Street

CITY, STATE & ZIP CODE: Apalachicola, FL PHONE # 850-653-1757

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): n/a

ADDRESS: n/a

CITY, STATE & ZIP CODE: n/a PHONE # n/a

CONTRACTOR: Not selected

ADDRESS: n/a

CITY, STATE & ZIP CODE: n/a PHONE # n/a

STATE LICENSE NUMBER: n/a CITY OF APALACHICOLA LICENSE # n/a

ADDRESS OF PROJECT: 40 4th Street, Apalachicola, FL

DESCRIPTION OF PROPOSED JOB: Renovate existing office space into transient rental and add approximately 400 s.f. new space. See Exhibit "A"

STRUCTURE IS LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? YES NO

PROPERTY PARCEL ID # 01-095-08W-B330-0011-0040

LEGAL DESCRIPTION OF PROPERTY: Block 11, Lots 4-5, Apalachicola, FL

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: n/a

ADDRESS: n/a CITY, STATE & ZIP: n/a

ARCHITECT'S/ENGINEER'S NAME: n/a

ADDRESS: n/a CITY, STATE & ZIP: n/a

MORTGAGE LENDER'S NAME: n/a

ADDRESS: n/a CITY, STATE & ZIP: n/a

WATER SYSTEM PROVIDER: City Apalach SEWER SYSTEM PROVIDER: City Apalach

PRIVATE WATER WELL: n/a SEPTIC TANK PERMIT NUMBER: n/a

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (Applications may be emailed to cityofapalachicola@gmail.com or dropped off in drop box at front door of city hall.)

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial
 Duplex Swimming Pool Storage Sign
 Multi-Family Demolition Fence RV Other _____

Addition, Alteration or Renovation to building. See page one - description of the job

Distance from property lines: Front 30 Rear 27 L. Side 7 R. Side 7
The property commercial. There are no set backs
 Cost of Construction \$ _____ Square Footage 2513, including new addition
 BPI _____ Flood Zone X Lowest Floor Elevation 11' 8"
 Area Heated/Cooled _____ # Of Stories 1 # Of Units 4
 Type of Roof Flat Type of Walls Concrete Block Type of Floor Concrete Slab Extreme
 Dimensions of: Length 59' Height 9' 9" Width 42'

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Thomas M. Shier, General Partner
Signature of Owner or Agent

n/a - Not selected yet.
Signature of Contractor

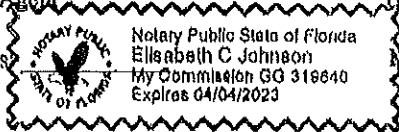
Date: 9-28-2020

Date: _____

Charllette Johnson
Notary as to Owner or Agent

Notary as to Contractor

My Commission expires: _____



My Commission expires: _____

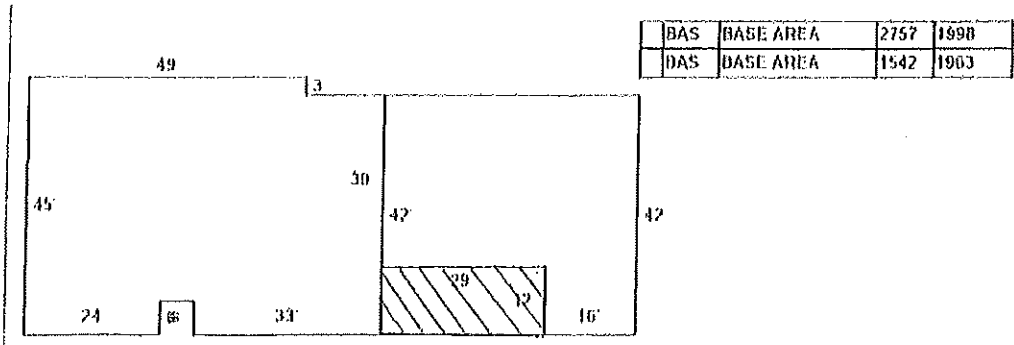
APPLICATION APPROVED BY: _____ BUILDING OFFICIAL

Vaulation

| | 2018 Preliminary Certified | 2018 Certified | 2017 Certified | 2016 Certified | 2015 Certified |
|------------------------------------|----------------------------|----------------|----------------|----------------|----------------|
| Building Value | \$71,444 | \$71,444 | \$71,444 | \$71,444 | \$71,444 |
| Extra Features Value | \$549 | \$549 | \$549 | \$549 | \$549 |
| Land Value | \$38,400 | \$38,400 | \$40,000 | \$57,600 | \$96,000 |
| Land Agricultural Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Agricultural (Market) Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Just (Market) Value | \$110,393 | \$110,393 | \$119,993 | \$129,593 | \$167,993 |
| Assessed Value | \$110,393 | \$110,393 | \$119,993 | \$129,593 | \$167,993 |
| Exempt Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Taxable Value | \$110,393 | \$110,393 | \$119,993 | \$129,593 | \$167,993 |
| Maximum Save Our Homes Portability | \$0 | \$0 | \$0 | \$0 | \$0 |

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Sketches



No data available for the following modules: Commercial Buildings.

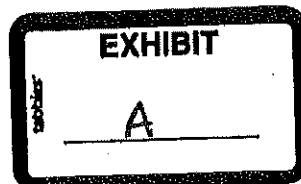
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

Developed by
 Schneider
 GEOSPATIAL

Last Data Upload: 2/21/2019, 7:01:34 AM

Version 2.2.2

The 29' x 12' is presently an open exterior of building that will be enclosed as part of the renovation.



Owners, Builders, Developers

PLEASE NOTE:

1. Before you proceed to have certified documents completed, you must first obtain Site Plan Approval, and if proposed development is located within the City's Historic District, a Certificate of Appropriateness from the City's Planning and Zoning Board and Architectural Review Committee,
2. Required site plan elements and the Certificate of Appropriateness Applications are due at least 10 business days prior to the scheduled monthly meeting (second Monday of each month) of the Planning and Zoning Board.
3. Site Plan Approvals are valid for one year after issuance. If a building permit is not obtained within a year after receiving site plan approval, the applicant must re-apply and receive site plan approval again.
4. Building permits are valid for one year after issuance. If construction has not begun within the year, the applicant must re-apply for a building permit.
5. After you have received your Planning and Zoning Approval for your site plan and/or Certificate of Appropriateness, whichever applies, take all development documents to the Building Department Office at 192 Coach Wagner Blvd, Apalachicola to obtain your building permit. Building permit issuance and all inspections will be handled by the Permitting and Development Coordinator and the Building Official contracted to handle the City of Apalachicola Building Permits, EPCL. Please be advised that additional documentation may be required by the Building Official.
6. Land and Development regulations can be found on the City of Apalachicola's website @ www.cityofapalachicola.com.

It is our intent to save you time and money in plan preparation. The City of Apalachicola Planning and Zoning Board also sits as the City's Architectural Review Board. Our responsibilities include protecting the historical character of the city. By working with the Planning and Zoning Board to obtain a Certificate of Appropriateness, your development will not only proceed more smoothly, but will also enhance the City's architectural integrity and historical character of Apalachicola.

*Thank you,
PLANNING AND ZONING BOARD
CITY OF APALACHICOLA*

| | |
|-------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|
| CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION -HISTORIC DISTRICT ONLY- | Official Use Only Application # _____ City Representative _____ Date Received _____ |
|-------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|

| | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------|
| OWNER INFORMATION | CONTRACTOR INFORMATION |
| Owner <u>Shuler Limited Partnership</u> Address <u>34 4th street</u> City <u>Apalachicola</u> State <u>FL</u> Zip <u>32320</u> Phone <u>(850) 653-1757</u> | Contractors Name: <u>n/a</u> State License # _____ City License # _____ Email Address _____ Phone <u>()</u> _____ |

Approval Type: [] Staff Approval Date: _____ [] Board Approval [] Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

| | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> New Construction <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition | <input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input type="checkbox"/> Other: _____ |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|

PROPERTY INFORMATION:

Street Address: 40 4th street City & State: Apalachicola, FL Zip: 32320

Historic District [] Non-Historic District Zoning District: Transient zoning District

Parcel #: 01-095-DRW-8330-0011-0040 Block(s): 11 Lot(s): 4-5

ICMA Flood Zone/Panel #: X
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

| | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Setback requirement of Property: Front: _____ Rear: _____ Side: _____ Lot Coverage: _____ Water Available: _____ Sewer Available: _____ Taps Paid _____ | This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued. Certificate of Appropriateness Approval: _____ Chairperson, Apalachicola Planning & Zoning Board |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Tammy Owens
 Permitting and Development Coordinator
 (850) 658-1522
 cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Renovate existing building into 4 transient rental units and enclose approximately 400 square foot of open space and incorporate it into two of the transient rentals. See exhibit "A" for the enclosure. The effect of the enclosure will "square off" the existing building, but will not increase the existing foot-print.

| Project Scope | Manufacturer | Product Description | PL Product Approval # |
|---------------------|---------------------|-----------------------------------------|-----------------------|
| Siding | Dryvit | Either Dryvit or brick match existing | |
| Doors | Pella or Thermo tru | 6' x 8' hurricane rated French doors. | |
| Windows | Pella | Replace existing windows | |
| Roofing | | Enclosure will match existing flat roof | |
| Trim | | n/a - existing building | |
| Foundation | | " | |
| Shutters | | " | |
| Porch/Deck | | " | |
| Fencing | | " | |
| Driveways/Sidewalks | | " | |
| Other | | " | |

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

9-28-20

DATE

Thomas M. Shuler, General Partner

SIGNATURE OF APPLICANT

**CITY OF APALACHICOLA
TREE APPLICATION
REMOVAL OR ALTERATION OF PROTECTED TREE**

N/A

Applicants Name: _____ EMAIL: _____
 Property Owner's Name: _____ Phone: _____
 Property Address: _____ City, State, Zip: _____
 General Contractor/Tree Contractor: _____ Phone: _____
 Applicants Signature/Date _____ / _____

1. Protected trees -- Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

| | 1/2 to 13' | Greater than 13' to 18' | 18' and larger (Diameter in DBH) |
|------------------------------|----------------------------------------------------------------------------------|-------------------------|----------------------------------|
| Bald & Pond Cypress | | | |
| Eastern & Southern Red Cedar | | | |
| Live Oak | | | |
| Longleaf Pine | | | |
| Pocan | | | |
| Sabal Palm | | | |
| Slash Pine | | | |
| Southern Magnolia | | | |
| Sycamore | | | |
| Water Oak | | | |
| Total | Total number of trees to be removed or altered (Total number of limbs to be cut) | | |

2. Reason(s) for removal or alteration (Mark all that apply with "X")

| Owner's Private Property | |
|------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------|
| Removal: New Construction | Alteration: New Construction |
| Tree located within or too close to footprint of proposed new building or addition | Limbs and branches encroaching where structure is to be built |
| Removal: No New Construction | Alteration: No New Construction |
| Tree roots damaging building foundation or underground utilities | Limbs and branches rubbing on side or roof of building |
| Imminent hazard to property or human safety | Imminent hazard to property or human safety |
| Diseased or pest-infested tree | Diseased or pest-infested tree |
| Storm damaged tree (other than City declared emergency; e.g., lightning) | Storm-damaged tree (other than during City declared emergency; e.g., lightning) |
| Tree in decline (loss of vigor, poor growth, dieback of twigs & branches) | |
| City Property / City Street Right of Way and Adjacent to Private Property | |
| Removal: Requested by Private Property Owner | Alteration: Requested by Private Property Owner (Significant cutting of limbs & branches) |
| Tree located where access to private property is proposed (driveway, etc.) | Imminent hazard to property or human safety |
| Imminent hazard to property or human safety | |
| Diseased or pest-infested tree | |
| Storm damaged tree (other than City declared emergency) e.g., lightning | |
| Requested by City Department | |
| Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard) | Growth encroaching on street or alley |

3. Please attach a map with the following drawn to scale:

N/A

a. Locations of the following:

1. Lot boundaries
2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
3. Types & Sizes of protected trees (measured at breast height in inches)
4. Protected trees that are proposed to be removed or altered

OFFICE USE ONLY

| | |
|----------------------------------------------------------------------------------------|--|
| Permit Processing Fee (\$50.00 or \$100.00) | |
| Reforestation Fund | |
| Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees) | |
| Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees) | |
| Non Patriarch Tree Total (\$250.00 Max) | |
| Number of Trees 35" and larger x \$1,000.00 | |
| Reforestation Fund Total | |

Planning and Zoning Board (When Development plan is submitted):

Patriarch Tree _____ Non Patriarch Tree _____

_____ Approved _____ Denied

_____ Conditionally Approved (Reason for Conditional Approval or Denial): _____

Chairperson, Planning and Zoning Board Date

Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)

Patriarch Tree _____ Non Patriarch Tree _____

_____ Approved _____ Denied

_____ Conditionally Approved (Reason for Conditional Approval or Denial): _____

Code Enforcement Officer or Designee Date

City Manager or Designee Date

TREE REMOVAL AND TRIMMING APPLICATIONS

N/A

The City of Apalachicola Tree Ordinance adopted in 2019, protects the following tree species on privately owned and City owned property: live oak, southern magnolia, sabal palm, slash pine, eastern and southern red cedar, longleaf pine, pecan, bald and pond cypress, sycamore, and water oak.

A copy of the new Ordinance and the tree removal and substantial alteration application is accessible through links on the Building Department webpage at www.cityofapalachicola.com

If you have any questions about the new requirements or the new application form, please contact the City Code Enforcement Officer or Permitting and Development Coordinator by e-mail at cityofapalachicola@gmail.com or by telephone at 850-653-1522.

FEES AND FINES

1. **Administrative Fee** - The City of Apalachicola will collect a \$50.00 application and processing fee. However, if the application is submitted after the tree is removed and the application is approved at that time, there will be an additional \$50.00 application and processing fee (Total of \$100.00).
2. **Fines** - If a **Non-Patriarch** tree is removed or altered prior to application submission or if an after-the fact permit for removal or alteration is denied, the applicant, property owner, and/or contractor are subject to a fine of up to \$500.00 per tree. If a **Patriarch** tree is removed or altered without the required approval, the applicant, property owner, and/or contractor are subject to a fine of up to \$25,000.00 per tree.
3. **Reforestation Fund** - The City of Apalachicola also collects a fee of \$25 or \$35 depending on size for each protected, non-patriarch tree removed by permit, but not to exceed \$250.00 per lot. The City of Apalachicola collects a fee of \$1,000.00 for each patriarch tree removed by permit. The fees collected will be deposited into the Reforestation Fund for the establishment and maintenance of tree in city parks, squares, and public right-of-ways

City of Apalachicola
General Permit Checklist (Section VII, Site Plan Review Regulations)

General Permit Application Requirements are applicable for all development not subject to site plan requirements. Where required by Section IV J of this ordinance a more detailed site plan shall be required, as per Section IV.

Permit Application /Review – Each application for a development permit and, where required, with the appropriate fee shall be filed with the permit official on a form furnished for such purpose which shall contain, at a minimum, the following information:

1. A location map and conceptual site plan of appropriate scale indicating the lot of property lines and physical description of the parcel with respect to:
2. General topography including highest elevation above mean or ordinary high water and slope contours.
3. The proposed development's distance from mean or ordinary high water and vegetated wetlands under the jurisdiction of the state.
4. The number and size(s) of structures existing on the parcel.
5. The proposed development's proximity to lot lines, setbacks, right of way, or easements and, where applicable, with respect to septic tank location and potable water supplies
6. Sewer/Water Availability
7. Flood Information including FIRM Zone. Note: any proposed development located within the Coastal Building Zone (V and related A Zones) must also provide floodplain management information as identified on supplemental floodplain management checklist.

For all new construction including any enlargement or alteration of an existing structure that changes its area of enclosed heated floor space, the applicant shall be required to submit, in duplicate, drawings and plans showing: **N/A**

- The base floor plan
- Foundation details
- Elevation of flood level above the grade
- Structural details
- All electrical, plumbing, heating and air conditioning equipment and service outlets.

REQUEST FOR NEW CONSTRUCTION must also include the following information: **N/A**

- Site Plan: Certified Survey, including an elevation certification, with the proposed structure depicted. Indicate front, rear, and each side of property in relation to property boundaries and depict setbacks in relation to required setbacks. Any accessory structures must also be depicted, as well as driveways, and any other permanent structures, along with the identification of the materials used in construction of existing and/or proposed driveways. NOTE: For Commercial New Construction parking, stormwater and landscaping must be depicted.
- Elevation drawings of structure to be constructed showing all sides, along with preliminary floor plans.
- A detailed list of exterior materials to be used, to include: siding, roof materials, windows, doors, shutters, and exposed foundations if not on slab.

REQUEST FOR EXTERIOR RENOVATIONS OR ADDITIONS TO EXISTING STRUCTURES must also include the following information:

- Site Plan: Document of drawing showing existing structure located on property, with existing setbacks from property boundaries, all sides. Also, indicate front, rear, and sides of property in relation to property boundaries. Accessory structures must also be depicted, as well as driveways, and any other permanent structures, along with the identification of all materials used in construction of existing and proposed driveways. A certified Survey may be requested if any questions arise.
- Color photos of existing structure, showing all exterior sides.
- A detailed list of exterior materials to be used renovation. If different from existing, explain why appropriate:
- Renditions of proposed renovations, showing location and type of any exterior changes.

Site Plan Review/Checklist (Section VII, Site Plan Review Regulations)

The Site Plan Review Process is applicable for any development OTHER THAN the construction of one single family residence on an individual lot unless such lot is located within the Special Waterfront District. The development of multifamily dwellings, commercial structures, industrial structures, parking lots, and all special exceptions must be approved through the site plan review process. Also included are projects which involve the alteration or conversion of any existing structure into a multi-family, commercial, or industrial structure which involves a change where there is the need for upgrading of the site for parking requirements, fire flow, storm water management, etc.

F. SITE PLAN CHECKLIST

Site plans or any portion thereof involving engineering shall be certified and prepared by and/or under the direct supervision of a professional engineer. Site plans shall contain maps and documents indicating the following:

A. General Information

1. Name of Project
2. Statement of intended use of site
3. Legal description of the property, size of parcel in acres or square feet and the linear dimensions of the property.
4. Name, address, and telephone number of the owner or owners of record.
5. Name, address, and telephone number of the applicant and firm which he represents.
6. Name, address, signature and registration of the professionals preparing the plan.
7. Date, north arrow and scale, number of sheets; the scale (not smaller than one (1) inch to fifty (50) feet shall be designated and, where appropriate, the same scale should be used in drawing the site plan rather than varying the scale.
8. Locality map, showing relationship proposed development to the surrounding streets, wetlands and water bodies shall be at a scale of not less than one inch equals two thousand feet (1: 2,000' _)
9. Location and identification of soil characteristics including wettest season high water table elevation, vegetable cover, wetlands, water bodies and the 100 year floodplain, including elevation, on the site.
10. Existing topography at two (2) foot contour intervals for the proposed site, except where determined to be unnecessary by the City Planner.
11. Finish grading elevation
12. All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, right-of-way, the building setback lines, if different than those specified by the Zoning Regulation.) In addition, state any commitments, such as, contributions to offset public facilities impacts.

B. Building and Structures

1. Intended use
2. Number of stories
3. Height of building
4. Number of dwelling units and density for multifamily site plans
5. Projected number of employees (if applicable)
6. (Restaurants) show number of seats and occupancy load.
7. Square footage for proposed development -- gross square footage, non-storage area, square footage of each story, gross square footage of sales area, etc.

C. Streets, Sidewalks, Driveways, Parking Areas and Landing Spaces

1. If available, engineering plans and specifications for street, sidewalks, and driveways, this information will be required prior to the issuance of a building permit.
 2. All parking spaces designated and calculated as per code requirements
 3. Number of parking spaces
 4. Number and location of handicapped spaces
 5. Number and designation of loading spaces
 6. Number of square feet of paved parking and driveway area
 7. Surface materials of driveways
 8. Cross section of proposed street improvements
 9. Fire lanes
 10. Location of proposed driveways and median cut(s)
 11. Internal traffic circulation plan, including directional arrows and signs to direct traffic flow
 12. Location of traffic-control signs and signalization devices
 13. Designate location of sidewalks
 14. Coordinate walkways, driveways, etc., with facilities in adjacent developments
 15. All proposed streets and alleys
 16. The extension or construction of service roads and access thereto on-site must be shown where applicable
- D. Existing Improvements (On-Site, adjacent to site)
1. Driveway and median cuts
 2. Sidewalks, streets, alleys, and easements (note widths and type)
 3. Storm water management systems to include natural and structural (size and materials, invert elevation)
 4. Size and location of nearest water mains, valves, and fire hydrants
 5. Sanitary sewer systems (size, invert elevations, etc., to be included)
 6. Gas, power and telephone lines, where available.
- E. Proposed Water and Sewer Facilities
1. Water, Size, material and location of water mains, plus valves and fire hydrants. Engineering plans and specifications will be required prior to the issuance of a building permit.
 2. Sanitary Sewer Systems. Size, material, and location of lines. Engineering plans and specifications, with submittal of a profile where required, will be required prior to the issuance of a building permit.
- F. Solid Waste, Location (is) and access provisions for refuse service, including pad screening, fencing, and landscaping.
- G. Drudge and Fill. If any dredging or filling is intended in the development, a copy of the drudge and fill permit issued by the Florida Department of Environmental Regulations shall be required prior to the issuance of a building permit.
- H. Storm water Management. A copy of the storm water permit pursuant to Chapter 17-25 F.A.C. issued by the Florida Department of Environmental Regulations shall be required prior to the issuance of a building permit. For those developments exempt from a storm water permit pursuant to 17.35 F.A.C., a storm water management system shall be required of all development within the Special Waterfront District.

FEMA has released the revised 2012 Elevation Certificate and 2012 Flood proofing Certificate, DEM has done a word-for-word review and determined there are no revisions that change any meaning or in any way alter the information that is collected. However, we encourage you to start reminding builders and surveyors that the revised certificates are now available.

FEMA announced that it will permit a “phase-in” of the revised Elevation Certificate on a voluntary basis. During the 12-month transition period beginning August 1, 2012, FEMA will accept either the new form or the old form. This voluntary transition period will allow for sufficient time for coordination and training of all affected NFIP stakeholders. Elevations certified after the last day of the transition period must be submitted on the new Elevation Certificate form with the expiration date of July 31, 2015.

Elevation Certificate – <http://www.fema.gov/library/viewRecord.do?id=1383>

Flood proofing Certificate – <http://www.fema.gov/library/viewRecord.do?id=1600>

Please share this message with any concerned.

“Floods are an act of God, but flood losses are largely an act of man”.

-Gilbert F. White, scientist & philosopher, “Father of floodplain management”

Florida State Floodplain Management Office

2555 Shumard Oak Blvd. Tallahassee, FL 32399-2100

(850)413-9960(helpline) or floods@em.myflorida.com

FLOOD PLAIN MANAGEMENT
PERMIT APPLICATION REVIEW

N/A

DATE: _____ PERMIT #: _____

NAME: _____
MAILING ADDRESS: _____ CITY/STATE/ZIP: _____
PHONE: _____

STREET ADDRESS: _____
LEGAL DISCRPTION: _____
PARCEL I.D.#: _____

DESCRIBE DEVELOPMENT: _____

RESIDENTIAL: _____ COMMERCIAL: _____ NEW STRUCTURE: _____ SUBSTANTIAL IMPROVEMENT: _____

FLOOD ZONE INFORMATION:

PANEL NO.: _____ FIRM ZONE: _____ BFE: _____ GRADE ELEVATION: _____

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE:
AND/OR TOP OF THE BOTTOM FLOOR _____ (PER PLANS)

SQUARE FEET OF ENCLOSURE BELOW BFE: _____ (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, _____, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014; my/our property may be adversely affected by these changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: _____ PARCEL I.D.#: _____
EFFECTIVE FLOOD ZONE: _____ PRELIMINARY FLOOD ZONE: _____

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel.

Signature of owner or developer

Date

N/A

Material used for enclosure below BFE: solid wall/breakaway wall _____, flow through vents
_____ (sq ft of vent opening), screen wire, lattice or louvers: _____

Type of foundation: _____
Pile Support
Concrete block stem wall
Other

Application meets all requirements designated in the flood plain management ordinance
_____ Date.

Inspections:

Foundation meets the requirement for the flood zone designation: _____

Under construction elevation certificate has been submitted and meets elevation standards for flood zone

Enclosures below the BFE are designed as required by the flood plain management ordinance:

Final elevation certificate has been submitted and all aspects of the structure meet designated flood zone requirements: _____

All Mechanical and A/C equipment meet the required elevation for the designated BFE:

Final inspection on structure meets all requirements designated in the flood plain management ordinance:
_____ Date.

Flood Plain Administrator

Date

EPCI
Apalachicola Building Department
MECHANICAL ✓ **ELECTRICAL** ✓ **PLUMBING** ✓

| | |
|-----------------------------------------|----------------------|
| Office Use Only | |
| PERMIT #: _____ / _____ / _____ - _____ | PERMIT FEE: \$ _____ |

DATE: 9-28-2020 FBC # _____

OWNER'S NAME: Shuler Limited Partnership EMAIL: Mshuler@shulerlawfl.com

ADDRESS: 34 4th street

CITY, STATE & ZIP CODE: Apalachicola, FL PHONE # 850-643-1757

CONTRACTOR'S NAME: Not yet selected
32320

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: 40 4th street, Apalachicola, FL

PROPOSED USE OF SITE: transient rentals

PROPERTY PARCEL ID # 01-095-08W-8330-0011-0040

LEGAL DESCRIPTION OF PROPERTY: Block 11, Lots 4-5, Apalachicola, FL

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

PURPOSE OF BUILDING: Single Family Multi-Family Commercial Storage Sign
 Other Addition, Alteration or Renovation to building.

Cost of Construction \$ _____ Total Square Footage 2513, including enclosure

Flood Zone Lowest Floor Elevation 11' 0"

Area Hated/Cooled 2513 # Of Stories 1 # Of Units 4

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

Shamen M. Shuler, General Partner
Signature of Owner or Agent

Signature of Contractor

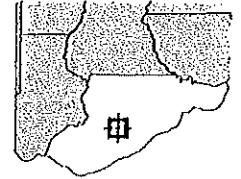
Date: 9-28-2020

Date: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL,



Overview



Legend

- Parcels
- Roads
- City Labels
- Flood Map
 - X: Outside 500 Year Flood
 - A: 100 Year Special Flood Area
 - AE: SFHA with base flood elevation BFI
 - VE: Coastal SFHA with BFE & velocity wave action
 - Openwater

Parcel ID 01-09S-08W-8330-0011-0040 Alternate ID 08W09S01833000110040 Owner Address SHULER LIMITED PARTNERSHIP
 Sec/Twp/Rng 1-9S-8W Class OFFICE BUI P O BOX 850
 Property Address 34 4TH STREET Acreage n/a APALACHICOLA, FL 32320
 DODD TITLE
 District 3
 Brief Tax Description BL 11 LOTS 4-5
 (Note: Not to be used on legal documents)

Date created: 2/21/2019
 Last Data Uploaded: 2/21/2019 7:01:34 AM

Developed by Schneider
 GEOSPATIAL

NWFWMD Report

Geographical Information

Latitude/Longitude: 29.72533, -84.98337
 Address: 60 Avenue C, Apalachicola, FL, 32320, USA
 Parcel ID: 01-09S-08W-8330-0011-0040
 Firm Panel (Preliminary): N/A
 Firm Panel (Effective): 12037C0526F

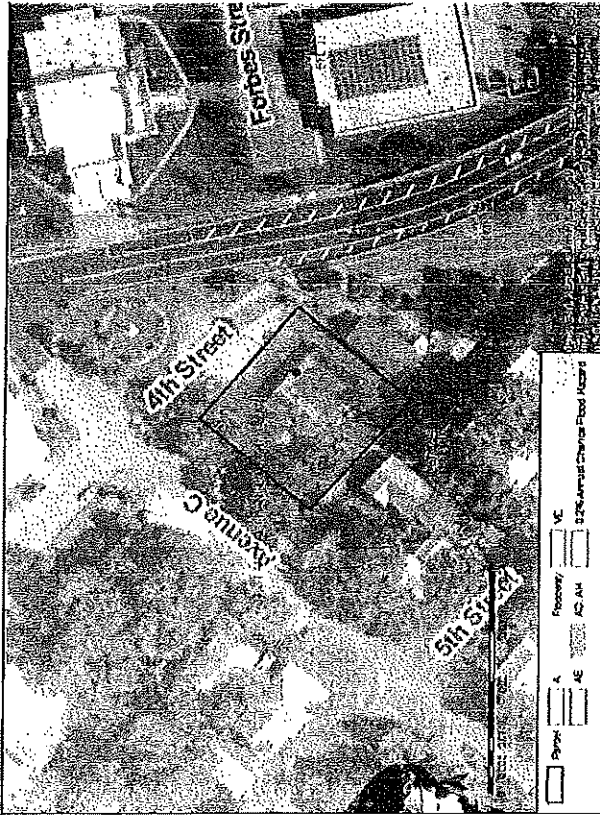
Flood Information

Flood Zone Information

Preliminary Flood Zone: N/A
 Location of Interest: N/A
 Parcel: N/A
 Base Flood Information*: N/A
 Effective Flood Zone: N/A
 Location of Interest: 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
 Parcel: 0.2 PCT ANNUAL CHANCE-84%; AE-16%;
 Base Flood Information*: 10.0 ft

*The computed elevation to which floodwater is anticipated to rise during the base flood (100 Year Flood). Base Flood Elevations (BFEs) are shown on Flood Insurance Rate Maps (FIRMs) and on the flood profiles. The BFE is the regulatory requirement for the elevation or floodproofing of structures. The relationship between the BFE and a structure's elevation determines the flood insurance premium. Datum of measurement is NAVD1988.

Effective SFHA Flood Map (Effective Issue Date: 2/5/2014)



Zone VE: A coastal area inundated by 100-year flooding and subject to a velocity hazard (wave action) where BFEs have been determined. Zone AE: An area inundated by 100-year flooding, for which BFEs have been determined. Zone AO/AH: An area inundated by 100-year flooding (AO) Sheet flow, ponding, or shallow flooding where Base Flood Depths are provided; (AH) Shallow flooding base flood depth where BFEs have been determined. Zone A: An area inundated by 100-year flooding, for which no BFEs have been determined. Zone 0.2PCT 0.2 PCT ANNUAL CHANCE FLOOD HAZARD (X500): An area inundated by 500-year flooding an area inundated by 100-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile or an area protected by levees from 100-year flooding. Zone X: An area of minimal flood hazard.

Disclaimer:
 Although derived directly from a variety of sources, including the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Maps (FIRMs), the District's digital elevation model, the counties' digital parcel maps, and data from other governmental sources, the Flood Insurance Study (FIS) report is for informational purposes only. The user is advised to be aware that for flood insurance or regulatory determinations, or for supporting an application for a Letter of Map Change (LOMC), only the official LOMA FIRM and Flood Insurance Study (FIS) report should be consulted. Also, all elevation data submitted in support of a LOMC application must be certified by a licensed land surveyor, engineer, or architect. The NWFWMD, FEMA, its agents, and partners shall not be held responsible for the misuse or misinterpretation of the information presented in this portal.

FILED AND RECORDED
DATE 08/25/97 TIME 16:01

THIS INSTRUMENT PREPARED BY:
Thomas M. Shuler OF
SHULER AND SHULER
Post Office Box 850
Apalachicola, Florida

KENDALL WADE CLERK
CO:FRANKLIN ST:FL

DOC STAMPS 1,799.00
INTANG TAX .00

SEND FUTURE TAX BILLS TO:
Shuler Limited Partnership
P.O. Box 850
Apalachicola, Florida 32329

RECORD VERIFIED
BY *David J. Gagnell*

FL 974579 B SBR P 464
CO:FRANKLIN ST:FL

WARRANTY DEED

THIS INDENTURE, Made this 21st day of August, 1997, Between Jay A. Shuler, a Single Man, whose address is P.O. Box 850, Apalachicola, Florida 32329, grantor, and the Shuler Limited Partnership, a Florida Limited Partnership, whose address is P.O. Box 850, Apalachicola, Florida 32329, grantee,

WITNESSETH, That said grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00)-----, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Franklin County, Florida, to-wit:

All of Lots Four(4) and Five(5) of Block Eleven (11) of the City of Apalachicola, Florida, according to the map or plat of said City in common use.

LEGAL DESCRIPTION FURNISHED BY PARTIES AND NOT VERIFIED BY DRAFTER

THIS DOCUMENT PREPARED WITHOUT BENEFIT OF TITLE SEARCH OR SURVEY AND IS BASED SOLELY ON FACTS PROVIDED BY EITHER OF THE PARTIES OR AGENT. THE GRANTOR HEREBY REPRESENTS AND WARRANTS THAT THE GRANTOR DOES NOT RESIDE ON THE ABOVE-DESCRIBED PROPERTY AND SAID PROPERTY IS NOT THE HOMESTEAD PROPERTY OF THE GRANTOR.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*"Grantor" and "grantee" are used for singular or plural, as the context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Jay A. Shuler (SEAL)
Jay A. Shuler

Signed, sealed and delivered in our presence:

John K. Hamphress
Signature of Witness
John K. Hamphress
Name of Witness
(Must be typed or printed.)

Adrienne A. Francis
Signature of Witness
Adrienne A. Francis
Name of Witness
(Must be typed or printed.)

STATE OF FLORIDA
COUNTY OF LEON

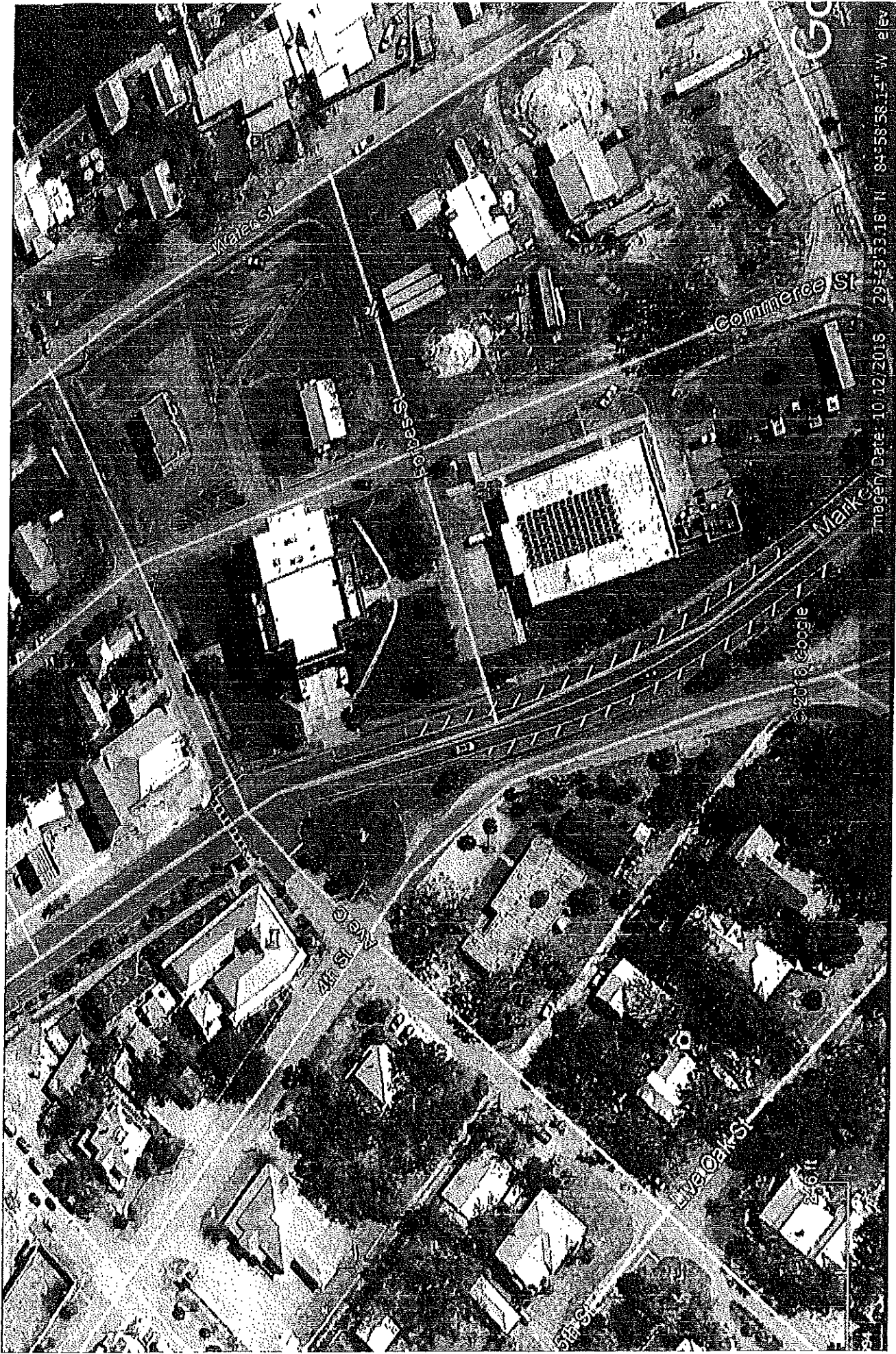
FL 974579 B 582 P 465
CO:FRANKLIN ST:FL

The foregoing instrument was acknowledged before me this
21st day of August, 1997, by Jay A. Shuler, who is personally
known to me.

(SEAL)

David J. Hull
Notary Public. My Commission Expires:
Name, Title, Expiration Date and
Commission Number (Must be typed or
printed.)





Parcel Summary

Parcel ID 01-095-08W-0330-0011-0040
 Location Address 34 4TH STREET
 DODD TITLE
 Brief Tax Description* BL 11 LOTS 4-5 CTY APALACH OR 232/243 582/464
 *The Description above is not to be used on legal documents.
 Property Use Code OFFICE BUI (001700)
 Sec/Twp/Rng 1-95-BW
 Tax District Apalachicola (District 3)
 Millage Rate 21.853
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Shuler Limited Partnership
 P O Box 050
 Apalachicola, FL 32320

Land Information

| Code | Land Use | Number of Units | Unit Type | Frontage | Depth |
|--------|------------|-----------------|-----------|----------|-------|
| 001000 | COMMERCIAL | 120.00 | FF | 0 | 0 |

Residential Buildings

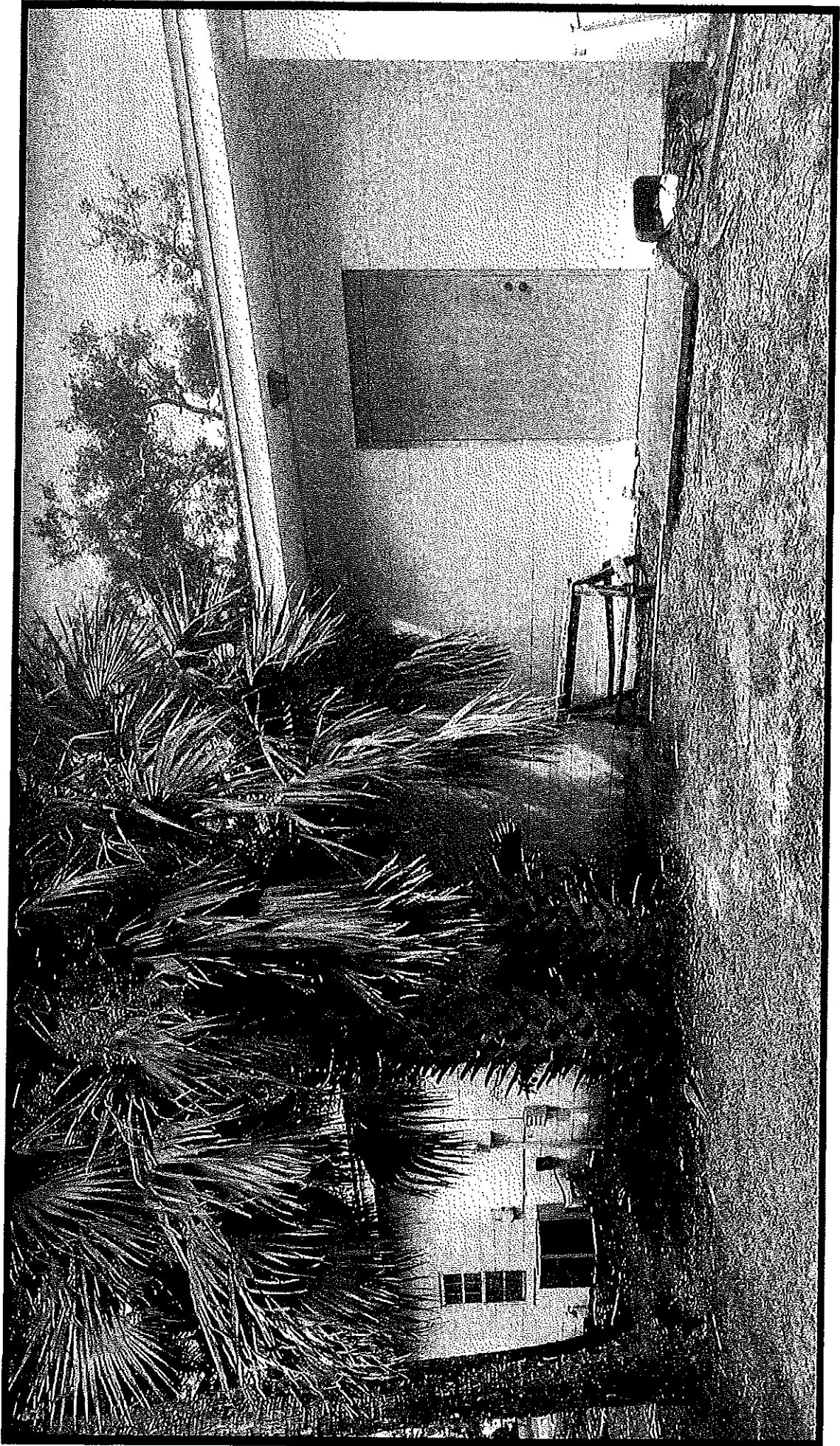
Building 1
 Type OFFICE LOW
 Total Area 4,299
 Heated Area 4,299
 Exterior Walls CONC BLOCK; FACE BRICK
 Roof Cover BUILT-UP
 Interior Walls DRYWALL
 Frame Type MASONARY
 Floor Cover ASPH TILE
 Heat AIR DUCTED
 Air Conditioning ENG CENTRAL
 Bathrooms 2
 Bedrooms 0
 Stories 1
 Effective Year Built 1963

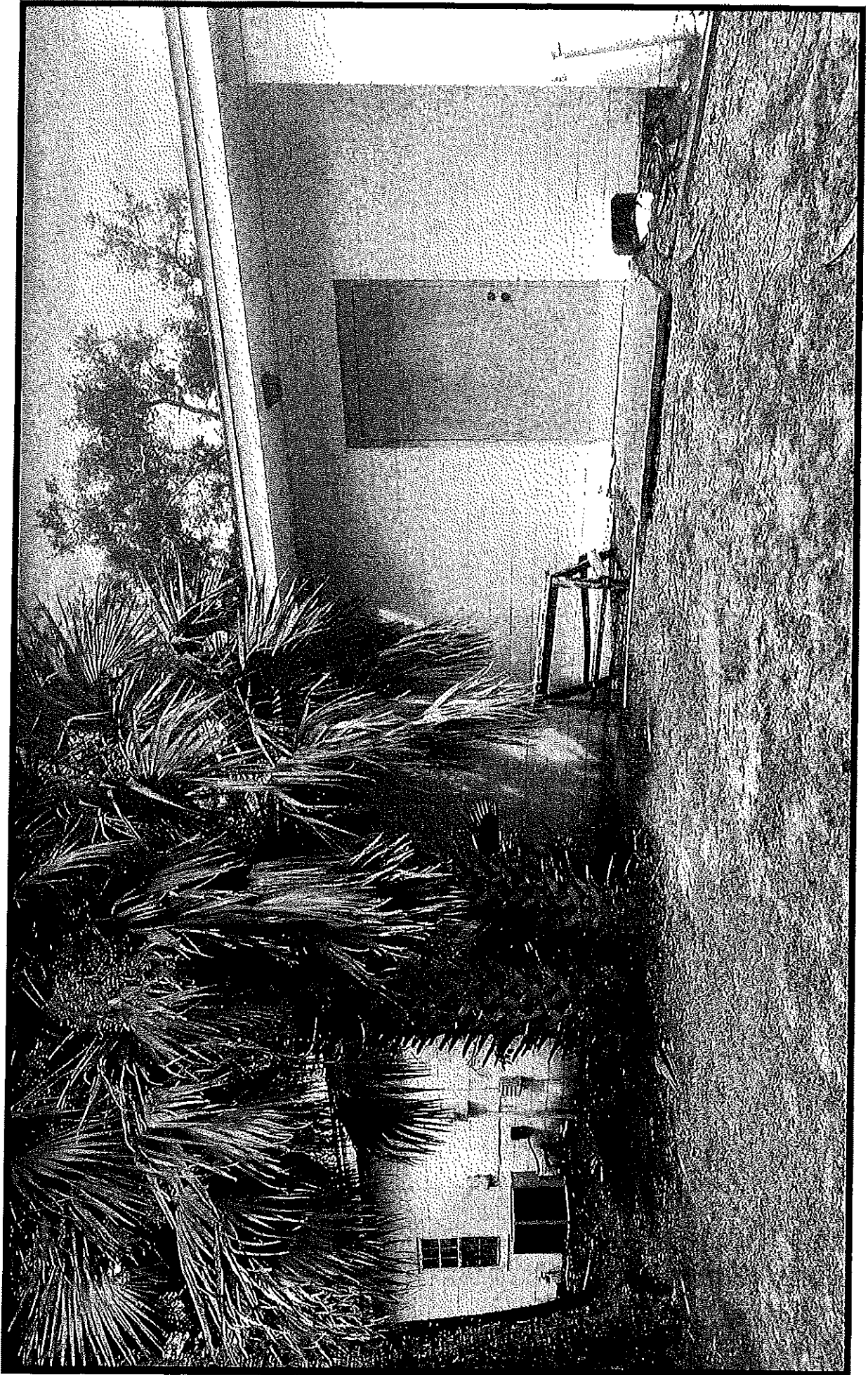
Extra Features

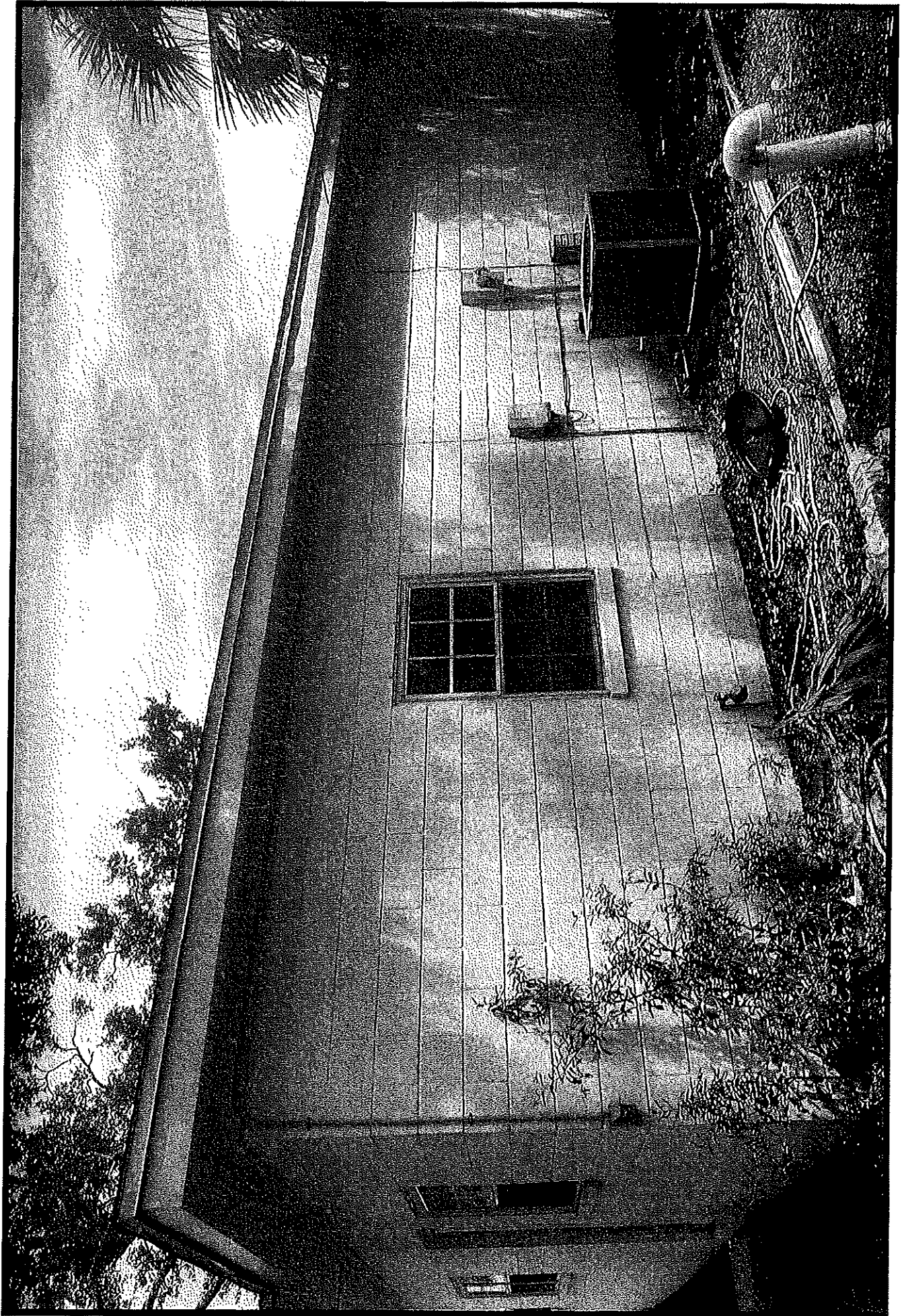
| Code | Description | Number of Items | Length x Width x Height | Units | Unit Type | Effective Year Built |
|------|-------------|-----------------|-------------------------|-------|-----------|----------------------|
| 0320 | CONCRETE | 1 | 0x0x0 | 321 | UT | 1999 |

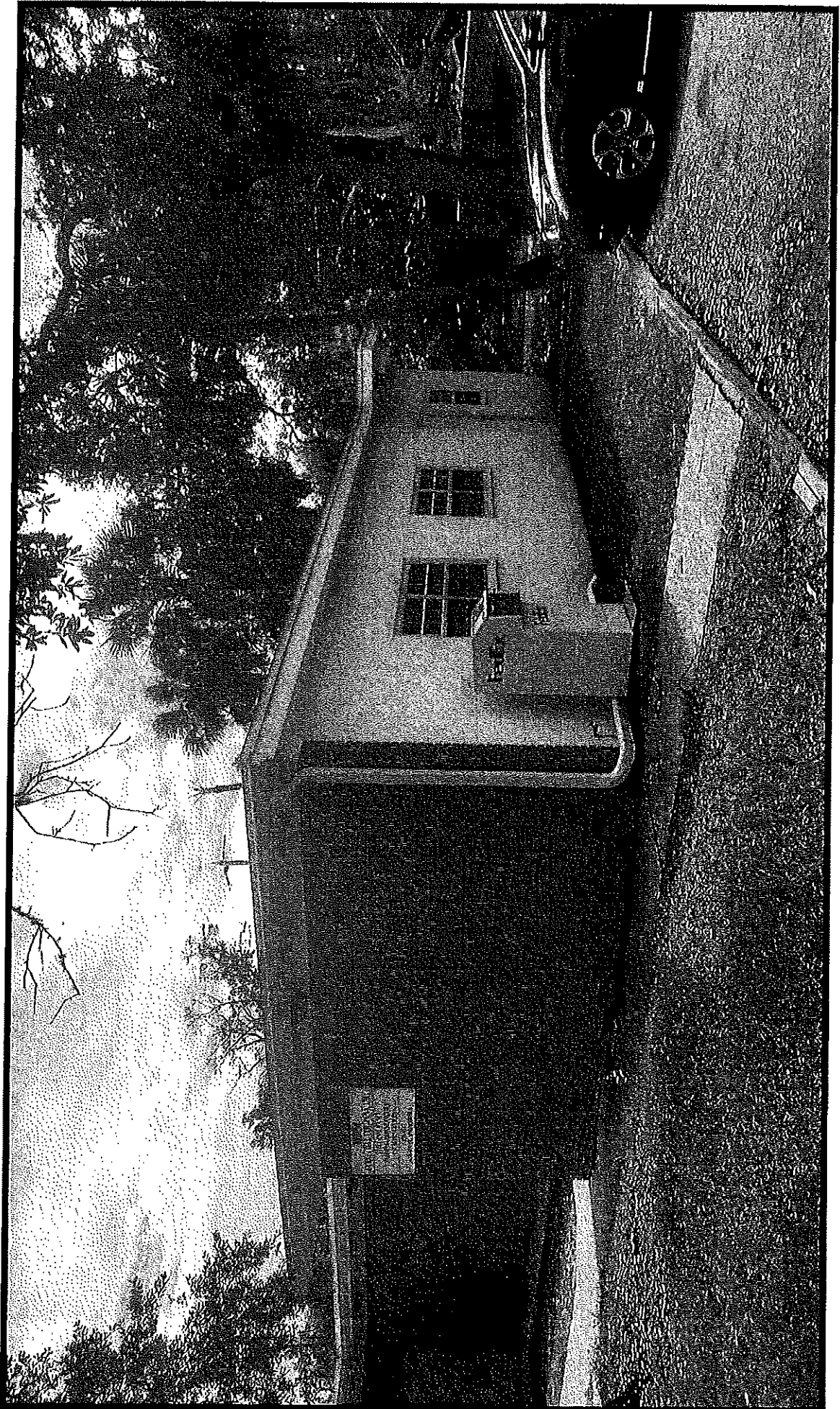
Sales

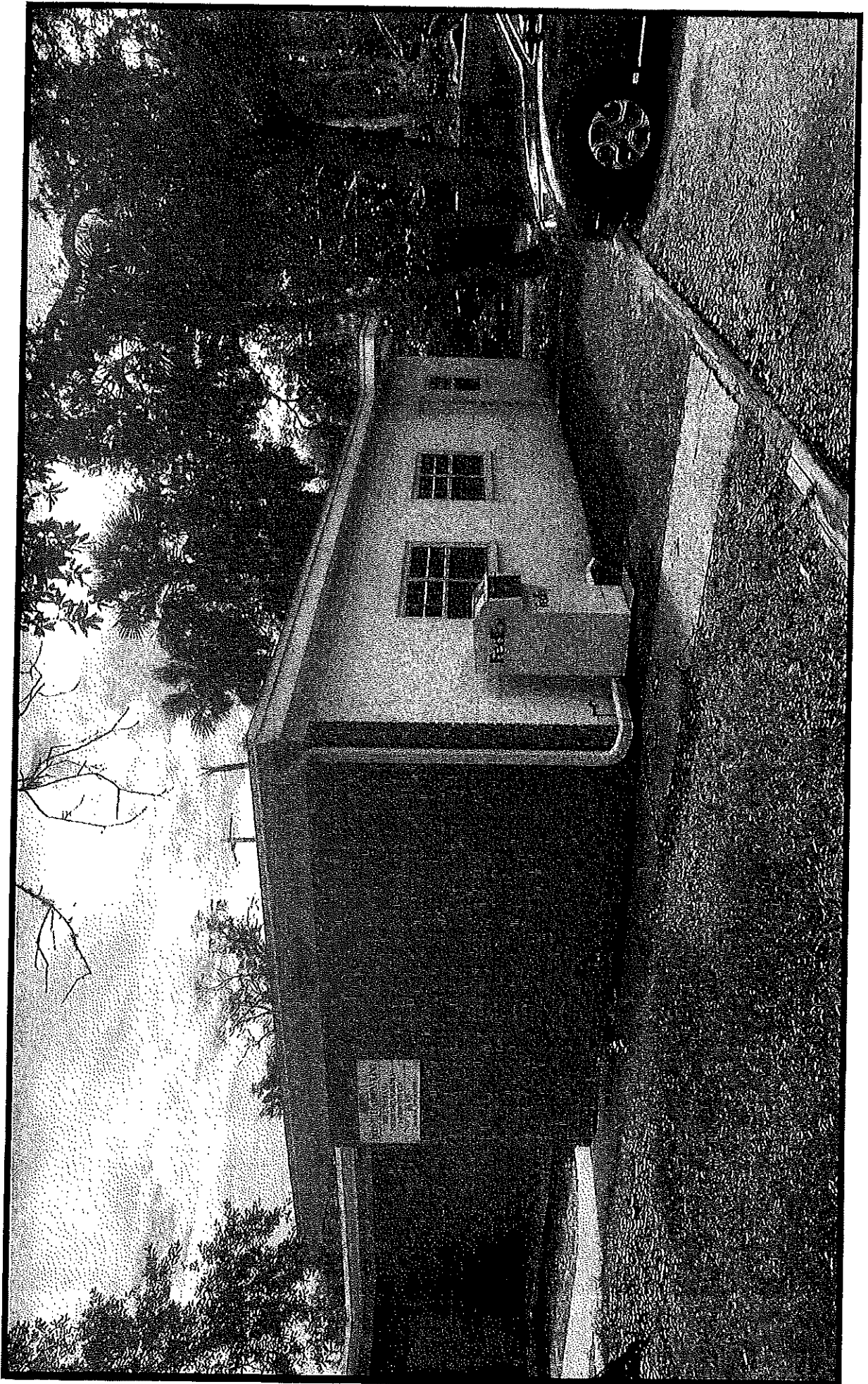
| Multi Parcel | Sale Date | Sale Price | Instrument | Book | Page | Qualification | Vacant/Improved | Grantor | Grantee |
|--------------|------------|------------|------------|------|------|-----------------|-----------------|-------------------------|------------------------|
| N | 08/25/1997 | \$257,000 | WD | 582 | 464 | Unqualified (U) | Improved | SHULER JAY A & WINNIE D | SHULER LTD PARTNERSHIP |

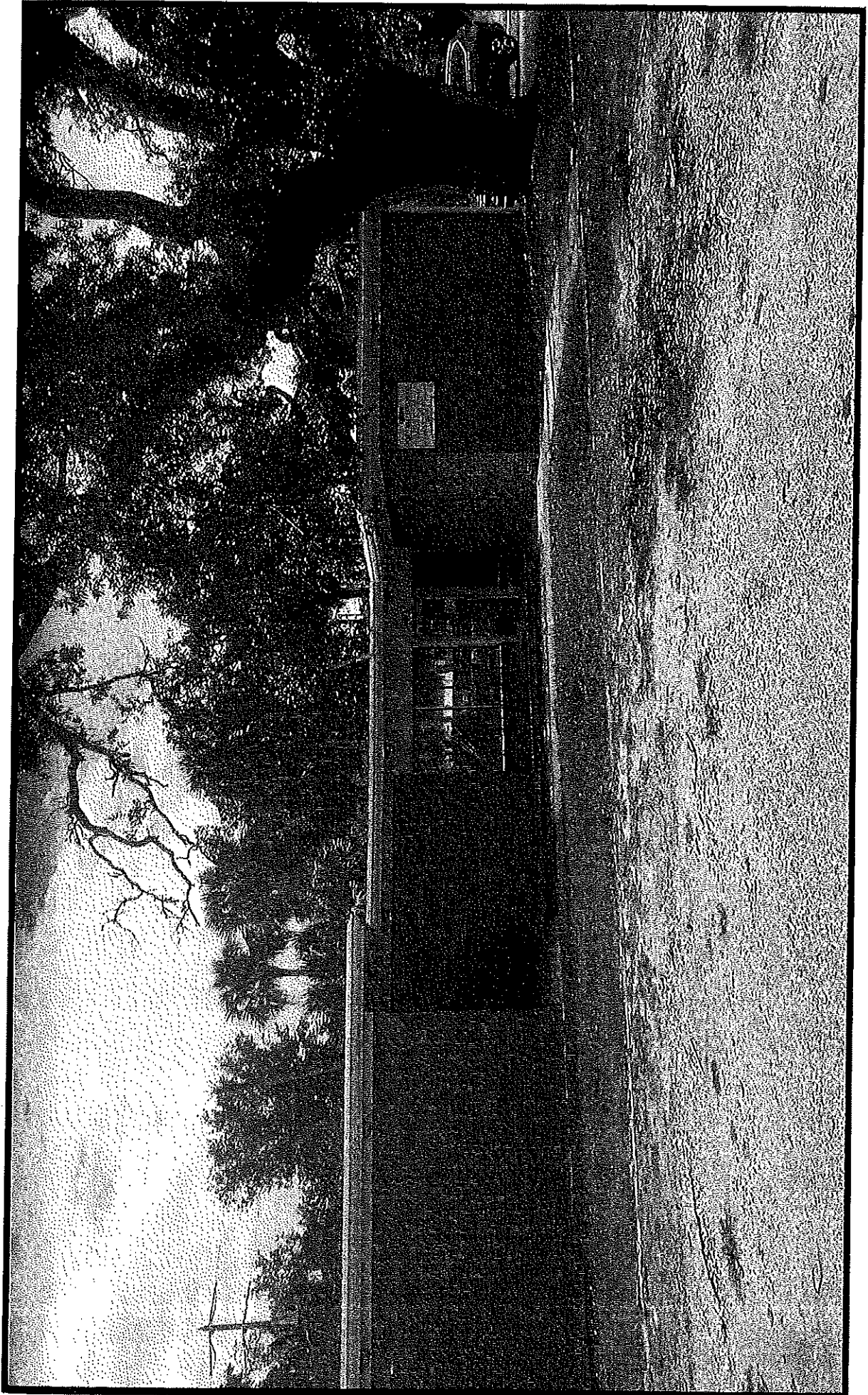


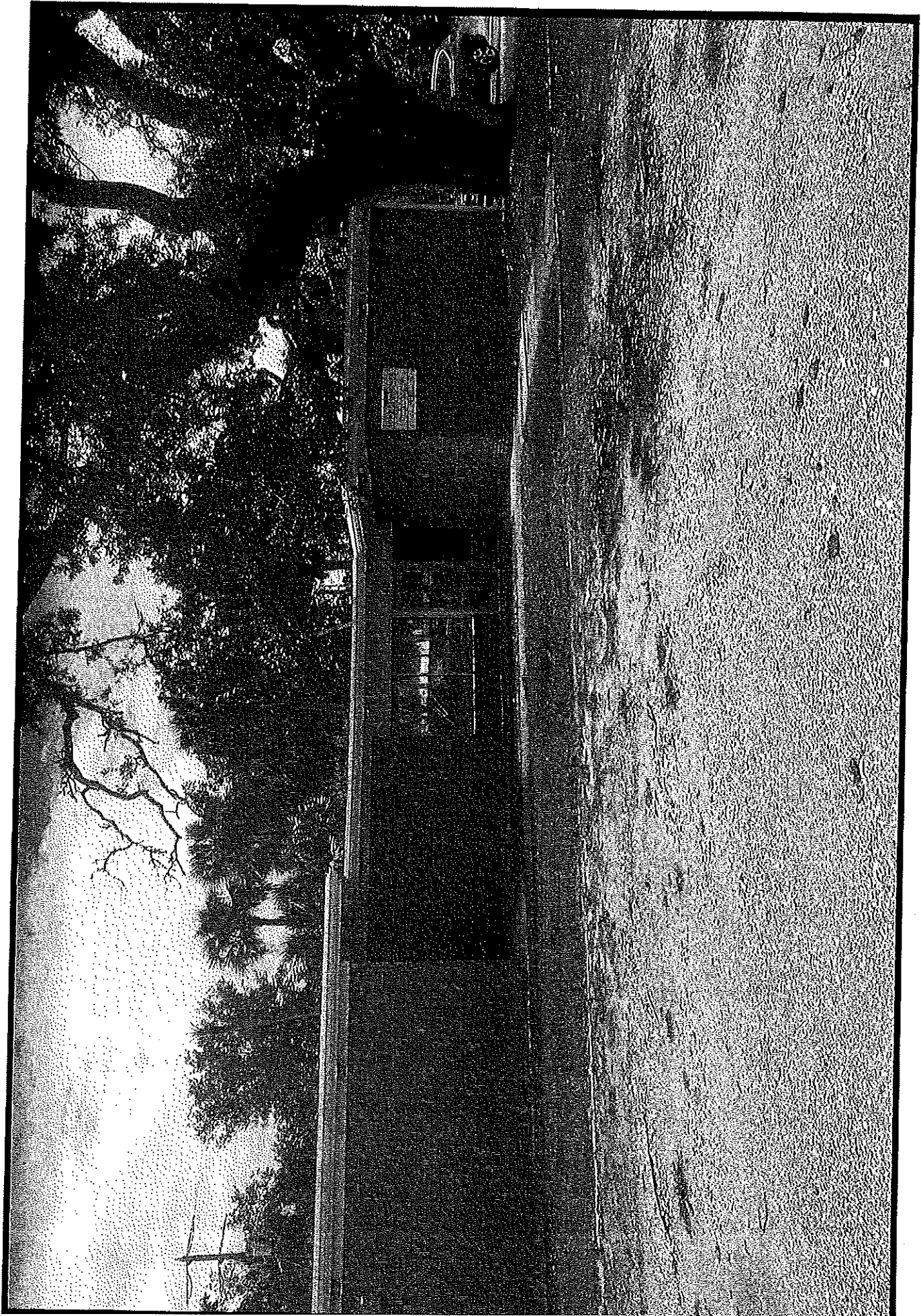












Item #5

48 Ave D

Gibson Inn Property

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

-HISTORIC DISTRICT-

Official Use Only
Application # _____
City Representative _____
Date Received _____

| OWNER INFORMATION | CONTRACTOR INFORMATION |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------|
| Owner <u>Steven Etchen</u> Address <u>433 Cape San Blas Rd.</u> City <u>Port St. Joe</u> State <u>FL</u> Zip <u>32456</u> Phone <u>(850) 312-8330</u> | State License # <u>No contractor chosen yet</u> City License # _____ County License # _____ Email Address _____ Phone <u>(_____) _____</u> |

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

| | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input checked="" type="checkbox"/> <u>New Construction replacing</u> <u>Other "Ah La Carte"</u> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

PROPERTY INFORMATION:

Street Address: 48 Ave "D" City & State Apalachicola, FL Zip 32320
 Historic District Non-Historic District Zoning District C1
 Parcel #: 01-095-08wW/8330-0001-0031 Block(s) 1 Lot(s) 2&3
 FEMA Flood Zone/Panel #: X / 0.2
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

| | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Setback requirement of Property: Front _____ Rear _____ Side _____ Lot Coverage _____ Water Available: _____ Sewer Available: _____ Taps Paid _____ | This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued. Certificate of Appropriateness Approval _____ Chairperson, Apalachicola Planning & Zoning Board |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Cortal Bankston
 Permitting and Development Coordinator
 (850) 658-1522 (ext 206) Phone
 (850) 658-5028 Cell
cortalbankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

THE PROJECT IS THE REMOVAL OF THE AH LA CARTE STRUCTURE REPLACING IT WITH A NEW GIBSON OFFICE ON TWO LEVELS WITH EXTERIOR ACCESSABILITY. ATTACHED TO THE INTERIOR SPACES WILL BE AN EXTENSIVE GROUND LEVEL PORCH. BOTH THE NEW OFFICE AREA AND PORCH WILL BE DIRECTLY CONNECTED TO THE NEW GIBSON GARDENS LANDSCAPED AREA. ALL PARTS OF ANY STRUCTURE WILL MEET OFFICE FIRE & LIFE SAFETY CODES.

| Project Scope | Manufacturer | Product Description | FL Product Approval # |
|---------------------|--------------|-------------------------------------------------|-----------------------|
| Siding | | LAP CEMENTITIOUS | |
| Doors | | VTNYL OR VTNYL COATED STEEL | |
| Windows | | SAME | |
| Roofing | | LOW PROFILE STANDING SEAM, NATURAL GALVALUME | |
| Trim | | CEMENTITIOUS 2X6 AT CORNERS | |
| Foundation | | STRUCTURE DESIGNED CONCRETE | |
| Shutters | | NA | |
| Porch/Deck | | OPEN SPACED 2X8 PRESSURE TREATED WOOD | |
| Fencing | | NA | |
| Driveways/Sidewalks | | GRAVEL OR PERVIOUS TO BE AGREED | |
| Other | | | |

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

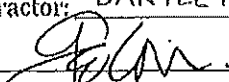
1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apacheville and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apacheville Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

3 Sept 2020

DATE


SIGNATURE OF APPLICANT

**CITY OF APALACHICOLA
TREE APPLICATION
REMOVAL OR ALTERATION OF PROTECTED TREE**

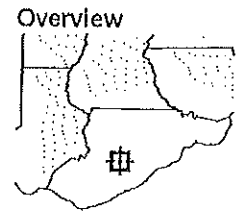
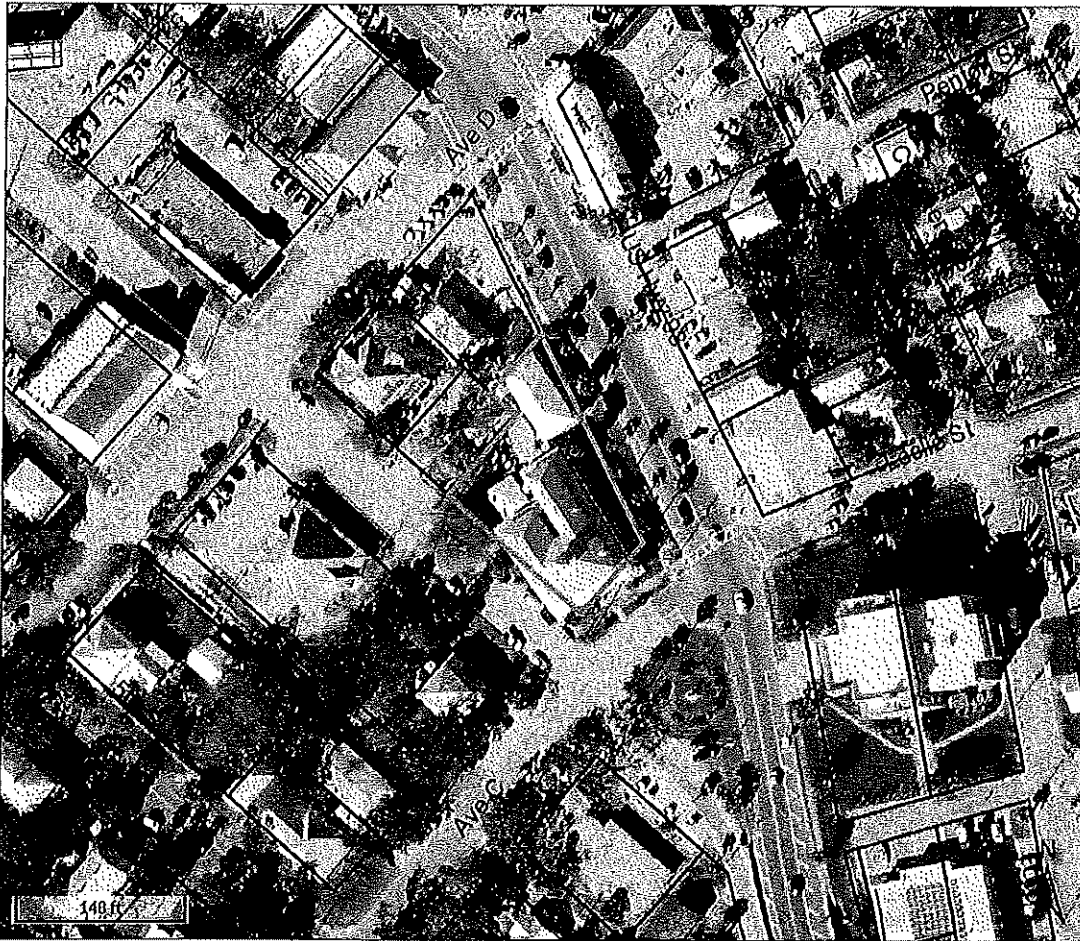
Applicants Name: STEVEN ETCHEN (Please print)
 Property Owners Name: STEVEN ETCHEN Phone: (850) 312-8330
 Property Address: 58 High St. (5th) City, State, Zip: APALACHICOLA, FL 32320
 General Contractor/Tree Contractor: BARTLETT TREE EXPERTS Phone: TODD DEGNER (850)575-1777
 Applicants Signature/Date:  / 10 JULY 2020

1. Protected trees - Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

| | 4" to 16" | Greater than 16" to less than 35" | 35" and larger (Patriarch Tree) |
|-------------------------------------------------------------------|----------------------|-----------------------------------|---------------------------------|
| Bald & Pond Cypress | | | |
| Eastern & Southern Red Cedar | | | |
| Live Oak | | | PROPORTIONATELY TRIMMED |
| Longleaf Pine | | | |
| Pecan | | | |
| Sabal Palm | THREE (CONSTRUCTION) | | |
| Slash Pine | | | |
| Southern Magnolia | | | |
| Sycamore | | | |
| Water Oak | | | |
| Total | | | |
| Size is measured at breast height (4.5 feet above ground surface) | | | |

2. Reason(s) for removal or alteration (Mark all that apply with "X")

| Owner's Private Property | | | |
|------------------------------------------------------------------------|------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| Removal: New Construction | | Alteration: New Construction | |
| <input checked="" type="checkbox"/> | Tree located within or too close to footprint of proposed new building or addition | <input checked="" type="checkbox"/> | Limbs and branches encroaching where structure is to be built |
| Removal: No New Construction | | Alteration: No New Construction | |
| <input type="checkbox"/> | Tree roots damaging building foundation or underground utilities | <input type="checkbox"/> | Limbs and branches rubbing on side or roof of building |
| <input type="checkbox"/> | Imminent hazard to property or human safety | <input type="checkbox"/> | Imminent hazard to property or human safety |
| <input type="checkbox"/> | Diseased or pest-infested tree | <input type="checkbox"/> | Diseased or pest-infested tree |
| <input type="checkbox"/> | Storm damaged tree (other than City declared emergency; e.g., lightning) | <input type="checkbox"/> | Storm-damaged tree (other than during City declared emergency; e.g., lightning) |
| <input type="checkbox"/> | Tree in decline (loss of vigor, poor growth, dieback of twigs & branches) | | |
| City Property (City street right-of-ways adjacent to private property) | | | |
| Removal: Requested by Private Property Owner | | Alteration: Requested by Private Property Owner (Significant cutting of limbs & branches) | |
| <input type="checkbox"/> | Tree located where access to private property is proposed (driveway, etc.) | <input type="checkbox"/> | |
| <input type="checkbox"/> | Imminent hazard to property or human safety | | |
| <input type="checkbox"/> | Diseased or pest-infested tree | | |
| <input type="checkbox"/> | Storm damaged tree (other than City declared emergency; e.g., lightning) | | |
| Requested by City Department | | | |
| <input type="checkbox"/> | Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard) | <input type="checkbox"/> | |
| | | Growth encroaching on street or alley | |

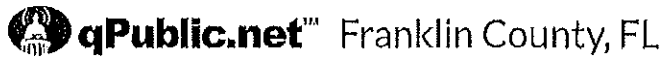


- Legend
-  Parcels
 -  Roads
 -  City Labels

| | | | | | |
|-----------------------|--------------------------------------------------------------------|--------------|----------------------|---------------|------------------------|
| Parcel ID | 01-09S-08W-8330-0001-0010 | Alternate ID | 08W09S01833000010010 | Owner Address | GIBSON INN LLC |
| Sec/Twp/Rng | 1-9S-8W | Class | HOTELS AND | | PO BOX 221 |
| Property Address | GIBSON INN | Acreage | n/a | | APALACHICOLA, FL 32329 |
| District | 3 | | | | |
| Brief Tax Description | BL 1 LOTS 1-2 & THESE (Note: Not to be used on legal documents) | | | | |

Date created: 10/5/2020
 Last Data Uploaded: 10/5/2020 7:51:32 AM

Developed by  **Schneider**
 GEOSPATIAL



Parcel Summary

Parcel ID 01-09S-08W-8330-0001-0010
 Location GIBSON INN
 Address 32320
 Brief BL 1 LOTS 1-2 & THE SE 1/2 LOT 3 & SE FRACT PART OF LOT 8 & ALSO THE NE 14 FT OF THE W 1/2 OF LOT 3 OR/55/98 64/422.110/146-47 133/645
 Tax Description* 145/486 205/270 243/138 267/299 1161/392 1225/326
 *The Description above is not to be used on legal documents.
 Property Use HOTELS AND (003900)
 Code
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.8391
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
Gibson Inn LLC
 PO Box 221
 Apalachicola, FL 32329

Land Information

| Code | Land Use | Number of Units | Unit Type | Frontage | Depth |
|--------|------------|-----------------|-----------|----------|-------|
| 001000 | COMMERCIAL | 190.00 | FF | 0 | 0 |

Residential Buildings

Building 1
 Type HISTORICAL
 Total Area 20,584
 Heated Area 17,576
 Exterior Walls BD/BATTEN
 Roof Cover MODULAR MT; TIN ROOF
 Interior Walls WALL BD/WD
 Frame Type WOOD FRAME
 Floor Cover PINE WOOD
 Heat AIR DUCTED
 Air Conditioning ENG CENTRL
 Bathrooms 30
 Bedrooms 30
 Stories 3
 Effective Year Built 1975

Building 2
 Type HOTEL
 Total Area 4,154
 Heated Area 2,838
 Exterior Walls BD/BATTEN
 Roof Cover MODULAR MT
 Interior Walls DRYWALL
 Frame Type WOOD FRAME
 Floor Cover CLAY TILE; HARDWOOD
 Heat RAD ELEC
 Air Conditioning WINDOW
 Bathrooms 8
 Bedrooms 0
 Stories 2
 Effective Year Built 1984

Building 3
 Type HOTEL
 Total Area 1,800
 Heated Area 1,800
 Exterior Walls AVERAGE
 Roof Cover MINIMUM
 Interior Walls WALL BD/WD
 Frame Type WOOD FRAME
 Floor Cover PINE WOOD
 Heat AIR DUCTED
 Air Conditioning ENG CENTRL

Bathrooms 0
 Bedrooms 0
 Stories 2
 Effective Year Built 1950

Extra Features

| Code | Description | Number of Items | Length x Width x Height | Units | Unit Type | Effective Year Built |
|------|-------------|-----------------|-------------------------|-------|-----------|----------------------|
| 0320 | CONCRETE | 1 | 0x0x0 | 2,256 | UT | 1993 |
| 0300 | STEPS | 1 | 0x0x0 | 374 | UT | 1993 |
| 0710 | MTBLDG | 1 | 0x0x0 | 200 | UT | 1993 |

Sales

| Mult Parcel | Sale Date | Sale Price | Instrument | Book | Page | Qualification | Vacant/Improved | Grantor | Grantee |
|-------------|------------|-------------|------------|------|------|-----------------|-----------------|-------------------------------|-------------------------|
| N | 08/10/2018 | \$3,000,000 | WD | 1225 | 326 | Unqualified (U) | Improved | THE GIBSON VENTURE | GIBSON INNLLC |
| N | 01/13/2016 | \$100 | WD | 1161 | 392 | Unqualified (U) | Improved | MARKET STREET & AVENUE D, LLC | THE GIBSON VENTURE, LTD |
| N | 12/01/1983 | \$76,500 | WD | 205 | 270 | Unqualified (U) | Improved | | |
| N | 00/01/1976 | \$15,000 | WD | 133 | 645 | Qualified (Q) | Improved | | |

Valuation

| | 2020 Preliminary | 2019 Certified | 2018 Certified | 2017 Certified | 2016 Certified |
|------------------------------------|------------------|----------------|----------------|----------------|----------------|
| Building Value | \$1,883,089 | \$1,828,250 | \$595,101 | \$595,101 | \$622,757 |
| Extra Features Value | \$6,525 | \$6,525 | \$6,525 | \$6,525 | \$6,525 |
| Land Value | \$228,000 | \$228,000 | \$190,000 | \$190,000 | \$161,500 |
| Land Agricultural Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Agricultural (Market) Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Just (Market) Value | \$2,117,614 | \$2,062,775 | \$791,626 | \$791,626 | \$790,782 |
| Assessed Value | \$957,868 | \$870,789 | \$791,626 | \$791,626 | \$790,782 |
| Exempt Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Taxable Value | \$957,868 | \$870,789 | \$791,626 | \$791,626 | \$790,782 |
| Maximum Save Our Homes Portability | \$0 | \$1,191,986 | \$0 | \$0 | \$0 |

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

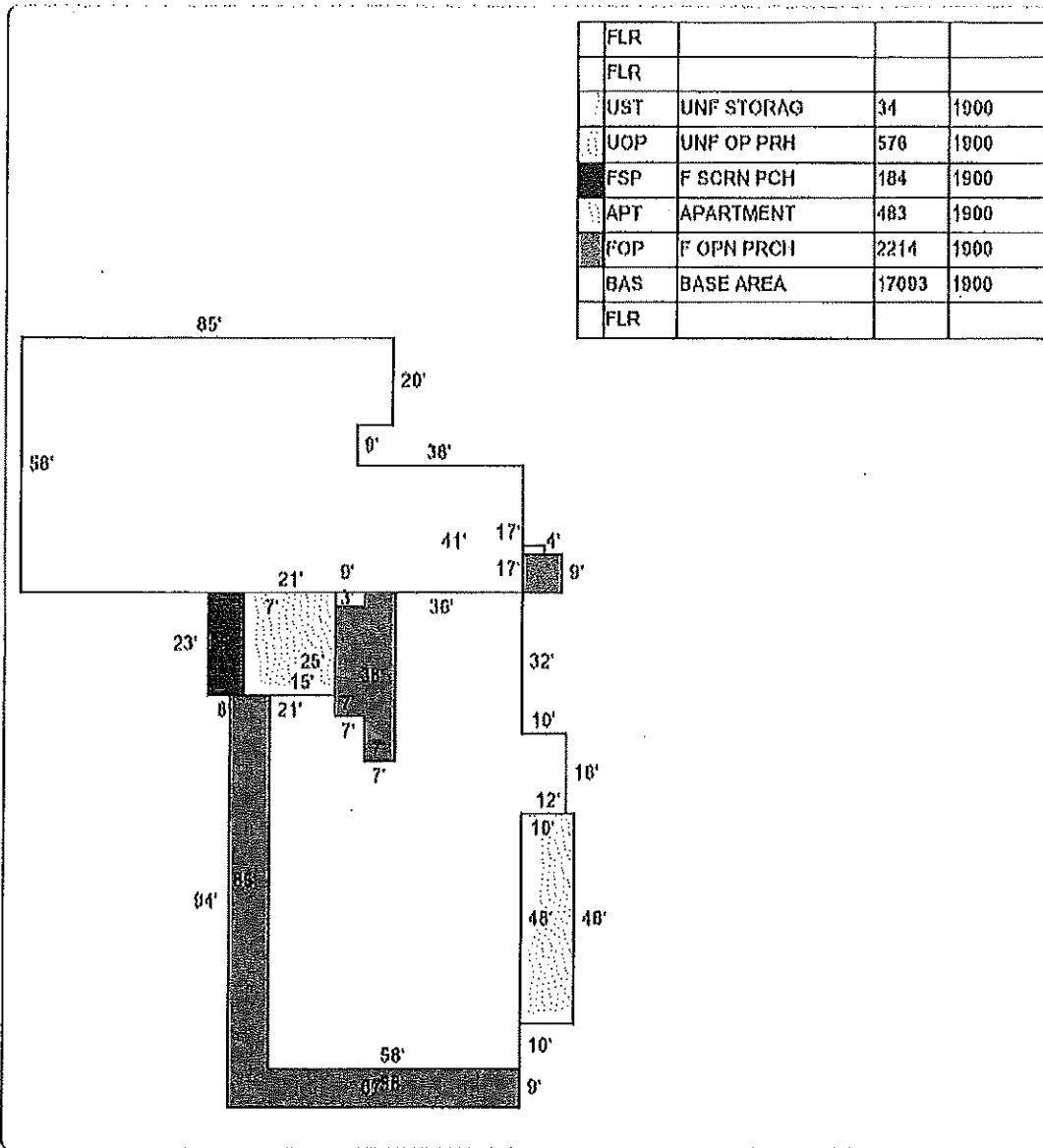
TRIM Notice 2020

2020 TRIM Notice(PDF)

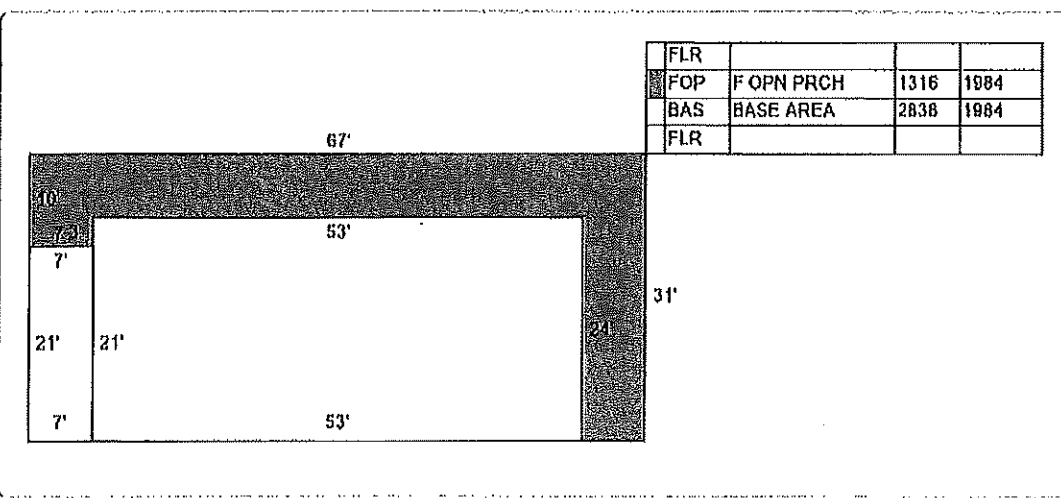
TRIM Notice 2019

2019 TRIM Notice(PDF)

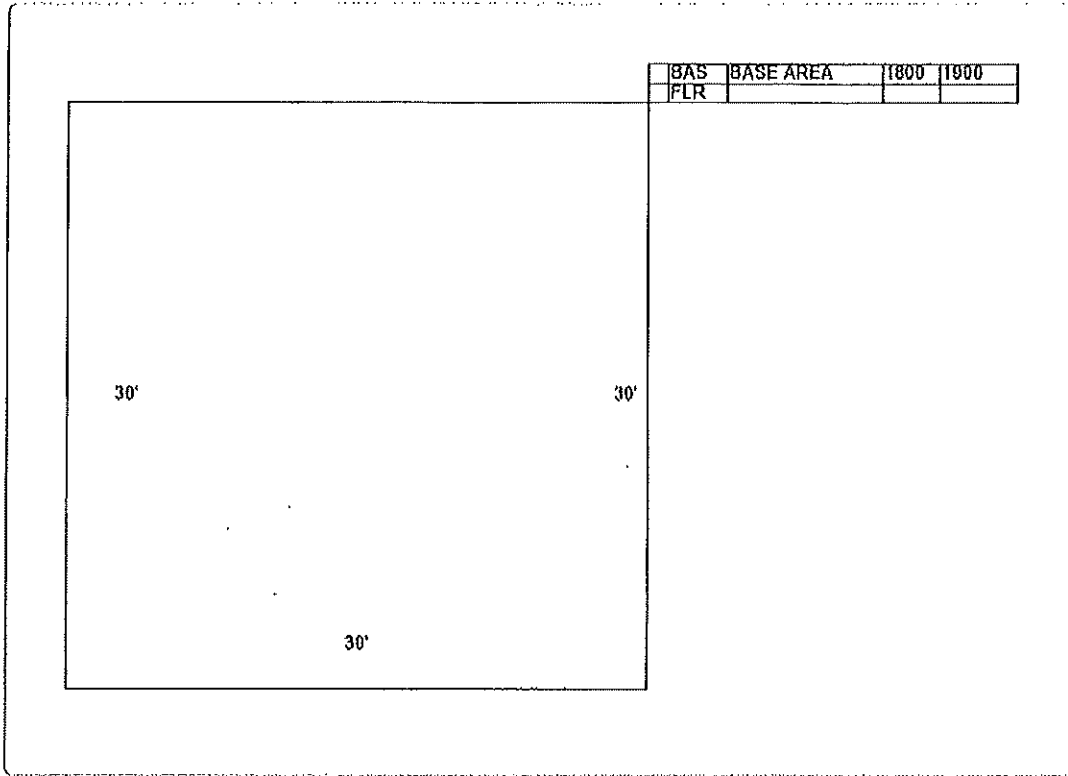
Sketches



| | | | |
|-----|-------------|-------|------|
| FLR | | | |
| FLR | | | |
| UST | UNF STORAGE | 34 | 1900 |
| UOP | UNF OP PRH | 578 | 1900 |
| FSP | F SCR N PCH | 184 | 1900 |
| APT | APARTMENT | 483 | 1900 |
| FOP | F OPN PRCH | 2214 | 1900 |
| BAS | BASE AREA | 17093 | 1900 |
| FLR | | | |



| | | | |
|-----|------------|------|------|
| FLR | | | |
| FOP | F OPN PRCH | 1316 | 1984 |
| BAS | BASE AREA | 2838 | 1984 |
| FLR | | | |



No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

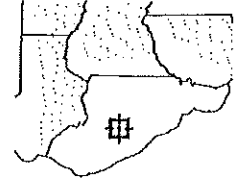
Last Data Upload: 10/5/2020, 7:51:32 AM

Version 2.3.00








Overview



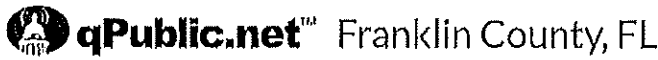
Legend

-  Parcels
-  Roads
-  City Labels

| | | | | | |
|-----------------------|----------------------------------------------------------------------------|--------------|----------------------|---------------|------------------------|
| Parcel ID | 01-09S-08W-8330-0001-0031 | Alternate ID | 08W09S01833000010031 | Owner Address | BUCKHOUSE,LLC |
| Sec/Twp/Rng | 1-9S-8W | Class | SINGLE FAM | | C/O GIBSON INN LLC |
| Property Address | | Acreage | n/a | | APALACHICOLA, FL 32329 |
| District | 3 | | | | |
| Brief Tax Description | BL 1 NW 1/2 LOT 3 & A PORTION (Note: Not to be used on legal documents) | | | | |

Date created: 10/5/2020
Last Data Uploaded: 10/5/2020 7:51:32 AM

Developed by  Schneider
GEO SPATIAL



Parcel Summary

Parcel ID 01-09S-08W-8330-0001-0031
 Location Address 32320
 Brief BL 1 NW 1/2 LOT 3 & A PORTION OF LOT 4 M/L CITY OF APALACH HH/135 77/43 146/70 163/629 207/401 431/66 550/49 550/52 550/54 561/575
 Tax Description* 1066/743 1240/339
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.8391
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Buck House, LLC
 C/O Gibson Inn LLC
 Apalachicola, FL 32329

Land Information

| Code | Land Use | Number of Units | Unit Type | Frontage | Depth |
|--------|------------|-----------------|-----------|----------|-------|
| 001000 | COMMERCIAL | 60.00 | UT | 0 | 0 |

Residential Buildings

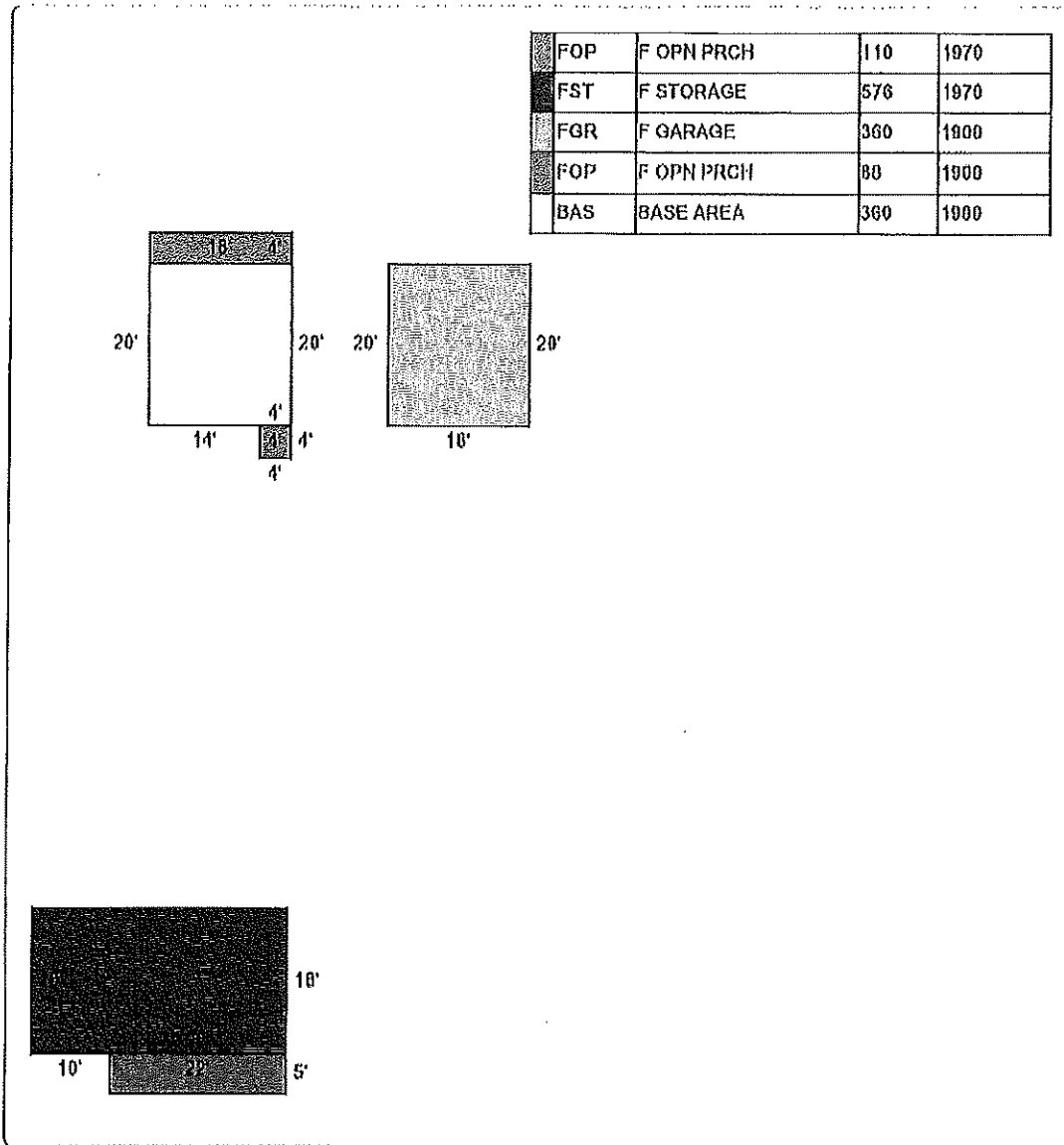
Building 1
 Type SF APALACH
 Total Area 1,494
 Heated Area 360
 Exterior Walls HARDIE SID
 Roof Cover TIN ROOF
 Interior Walls DRYWALL
 Frame Type N/A
 Floor Cover PINE WOOD
 Heat FORCED AIR
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 1
 Stories 0
 Effective Year Built 1970

Extra Features

| Code | Description | Number of Items | Length x Width x Height | Units | Unit Type | Effective Year Built |
|------|---------------|-----------------|-------------------------|-------|-----------|----------------------|
| 0665 | STEPS W/RAILS | 1 | 0x0x0 | 36 | SF | 2000 |
| 1016 | WOOD FENCE 6' | 1 | 0x0x0 | 36 | SF | 1970 |
| 0310 | WD WALK | 1 | 0x0x0 | 276 | SF | 1970 |

Sales

| Mult Parcel | Sale Date | Sale Price | Instrument | Book | Page | Qualification | Vacant/Improved | Grantor | Grantee |
|-------------|------------|------------|------------|------|------|-----------------|-----------------|---------|-----------------|
| N | 04/30/2019 | \$310,000 | WD | 1240 | 339 | Unqualified (U) | Improved | HOOKER | BUCK HOUSE, LLC |
| N | 06/28/2012 | \$145,000 | WD | 1066 | 743 | Qualified (Q) | Improved | GARLICK | HOOKER |



No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data hereon, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)



Last Data Upload: 10/5/2020, 7:51:32 AM

Version 2.3.88

Valuation

| | 2020 Preliminary | 2019 Certified | 2018 Certified | 2017 Certified | 2016 Certified |
|------------------------------------|------------------|----------------|----------------|----------------|----------------|
| Building Value | \$62,814 | \$45,281 | \$39,521 | \$39,521 | \$40,407 |
| Extra Features Value | \$1,794 | \$1,794 | \$1,794 | \$1,794 | \$1,794 |
| Land Value | \$86,400 | \$86,400 | \$61,200 | \$61,200 | \$61,200 |
| Land Agricultural Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Agricultural (Market) Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Just (Market) Value | \$151,008 | \$133,475 | \$102,515 | \$102,515 | \$103,401 |
| Assessed Value | \$151,008 | \$112,767 | \$102,515 | \$102,515 | \$103,401 |
| Exempt Value | \$0 | \$0 | \$0 | \$0 | \$0 |
| Taxable Value | \$151,008 | \$112,767 | \$102,515 | \$102,515 | \$103,401 |
| Maximum Save Our Homes Portability | \$0 | \$20,708 | \$0 | \$0 | \$0 |

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020

[2020 TRIM Notice\(PDF\)](#)

TRIM Notice 2019

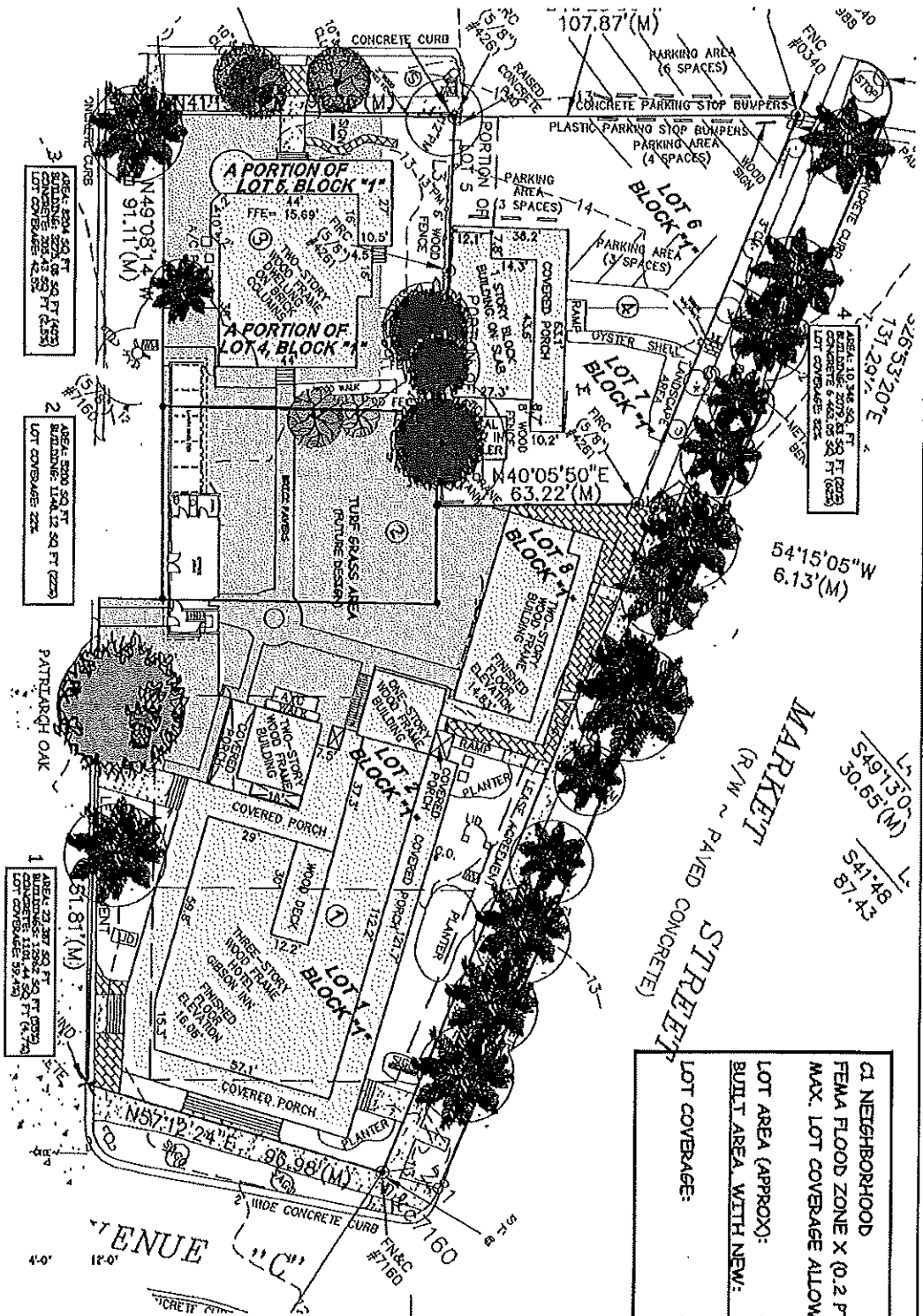
[2019 TRIM Notice\(PDF\)](#)

Sketches

GIBSON OFFICES / SITE PLAN

SCALE: 1/32"

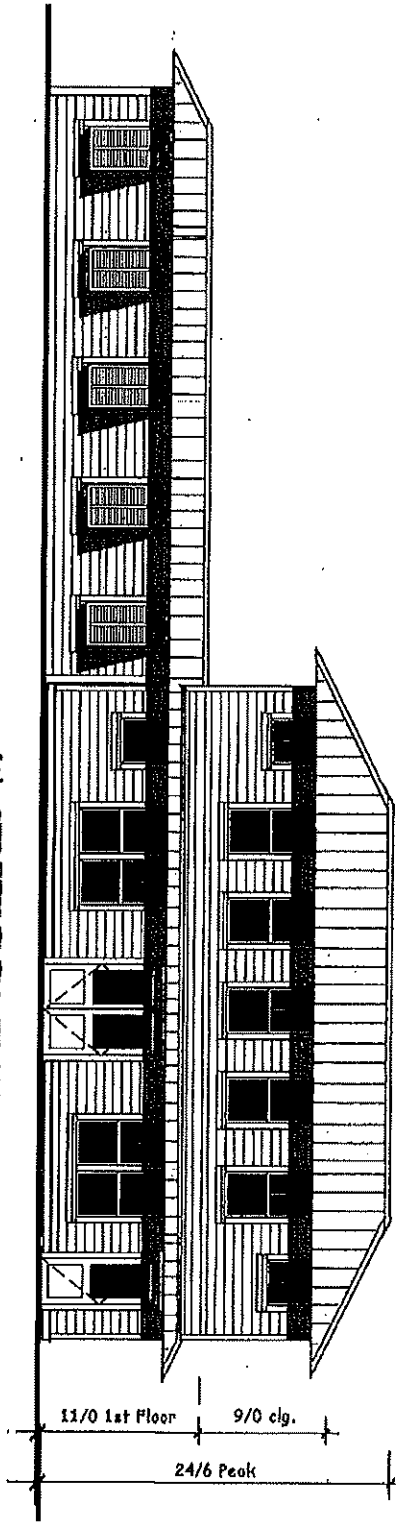
OCTOBER 2020



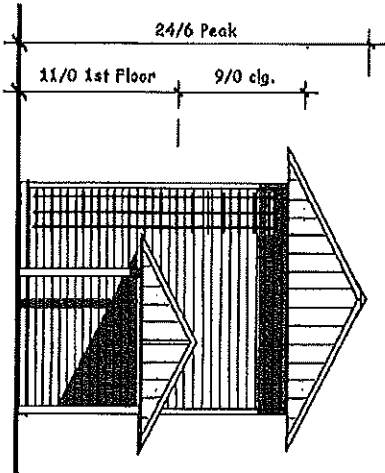
| | |
|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------|
| <p>CI NEIGHBORHOOD FEMA FLOOD ZONE X (0.2 FT) MAX. LOT COVERAGE ALLOWED: 80%</p> | <p>LOT AREA (APPROX): 47,139 SQ FT BUILT AREA WITH NEW: 27,234 SQ FT</p> |
| <p>LOT COVERAGE: 58%</p> | |

ENGINEERING
 PLANNING
 AND
 DESIGN
 ASSOCIATES, INC.
 ARCHITECTS

A1.1



4th STREET ELEVATION
SCALE: 1/8"



NORTH ELEVATION
SCALE: 1/8"

GIBSON OFFICES / ELEVATIONS

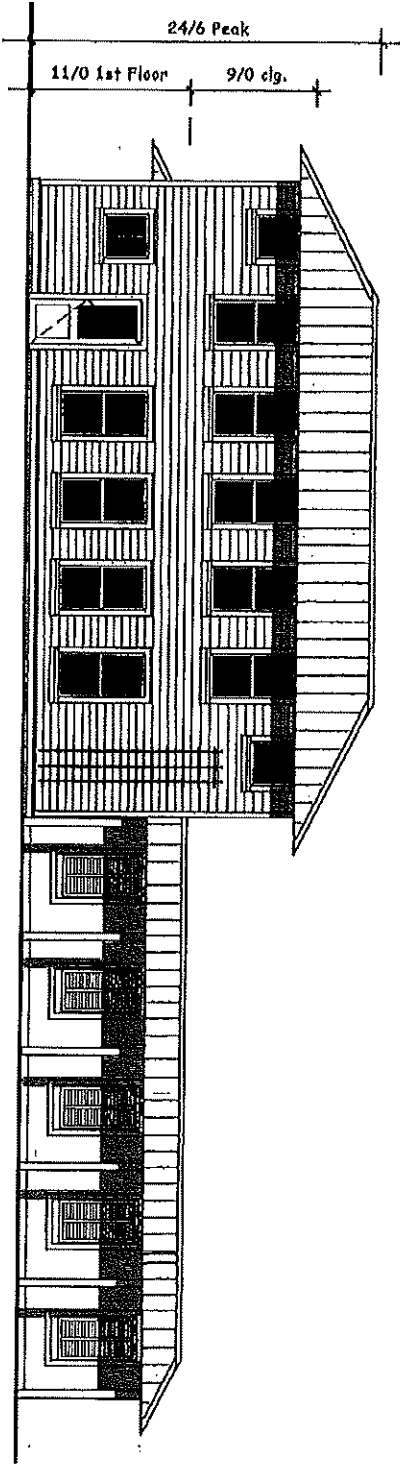
SCALES: AS SHOWN

SEPTEMBER 2020

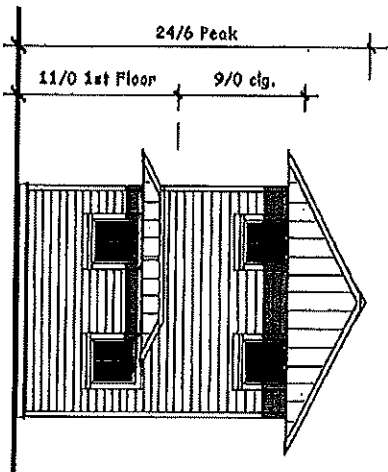
SCOTT
ARCHITECTS
ASSOCIATES
ARCHITECTS

SCOTT
ARCHITECTS
ASSOCIATES
ARCHITECTS

A2.2



EAST (LAWN) ELEVATION
SCALE: 1/8"



SOUTH ELEVATION
SCALE: 1/8"

GIBSON OFFICES / ELEVATIONS

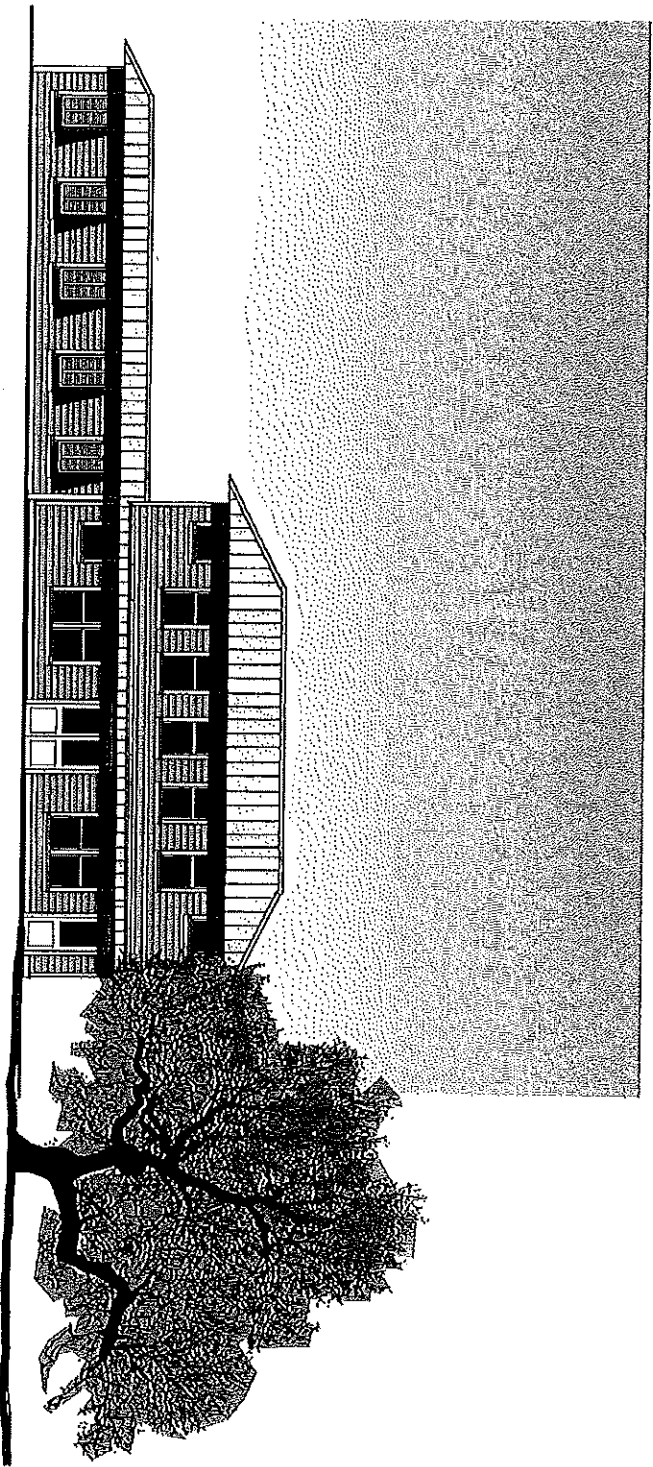
SCALES: AS SHOWN

SEPTEMBER 2020

Architect
Gibson
Associates
Architects

SPORTE
C.H.
10000
10000

A2.3



BUILDING RENDERING
SCALE: NOT TO SCALE

GIBSON OFFICES / RENDERING

SCALES: AS SHOWN

SEPTEMBER 2020

Architectural
Firm of
LUCAS
ASSOCIATES
ARCHITECTS

SCOTT
CO
INC.
GENERAL OFFICE: 1111 N.
DIXIE HWY., SUITE 1000
MILWAUKEE, WI 53227
TEL: 414.224.1111

A4.1

Item
6

51 Ave C

Gibson Inn Property

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

-HISTORIC DISTRICT-

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

Owner Steven Etchen
Address 433 Cape San Blas Rd.
City Port St. Joe State FL Zip 32456
Phone (850) 312-8330

CONTRACTOR INFORMATION

State License # No contractor chosen yet
City License # _____ County License # _____
Email Address _____
Phone (_____) _____

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial

PROJECT TYPE

New Construction

Addition

Alteration/Renovation

Relocation

Demolition

Fence

Repair (Extensive)

Variance

New Construction

Swimming pool, lawn, and trees

PROPERTY INFORMATION:

Street Address: 51 Ave "C" City & State Apalachicola, FL Zip 32320

Historic District Non-Historic District Zoning District C1

Parcel #: 01-09S-08wW8330-0001-0031 Block(s) "1" Lot(s) 6 & 7

FEMA Flood Zone/Panel #: X / 0.2
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid: _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contacted to handle the City of Apalachicola Building Permits, EPC.

Cortni Bunkston
Permitting and Development Coordinator
(850) 658-1522 (ext 205) Phone
(850) 658-5028 Cell
cortnibunkston@cityofapalachicola.com

Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

The project consists of the removal of the 1 story building at the corner of Ave "D" and Market Street, the erection of a fence with planting along the top, and the addition of a swimming pool for the use of the Gibson Inn.

| Project Scope | Manufacturer | Product Description | FL Product Approval # |
|---------------------|--------------|---------------------|-----------------------|
| Siding | | | |
| Doors | | | |
| Windows | | | |
| Roofing | | | |
| Trim | | | |
| Foundation | | | |
| Shutters | | | |
| Porch/Deck | | | |
| Fencing | | | |
| Driveways/Sidewalks | | | |
| Other | | | |

CERTIFICATION

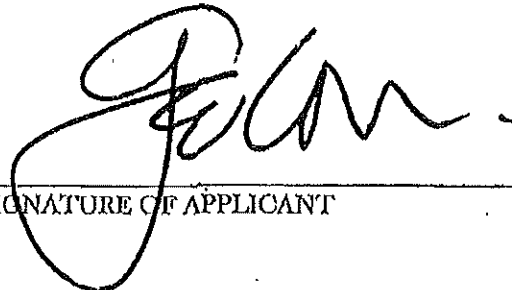
By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

30 July 2020

DATE

SIGNATURE OF APPLICANT



GIBSON SWIMMING POOL / SURVEY

SCALE: 1/32"=1'-0"

AUGUST 2020

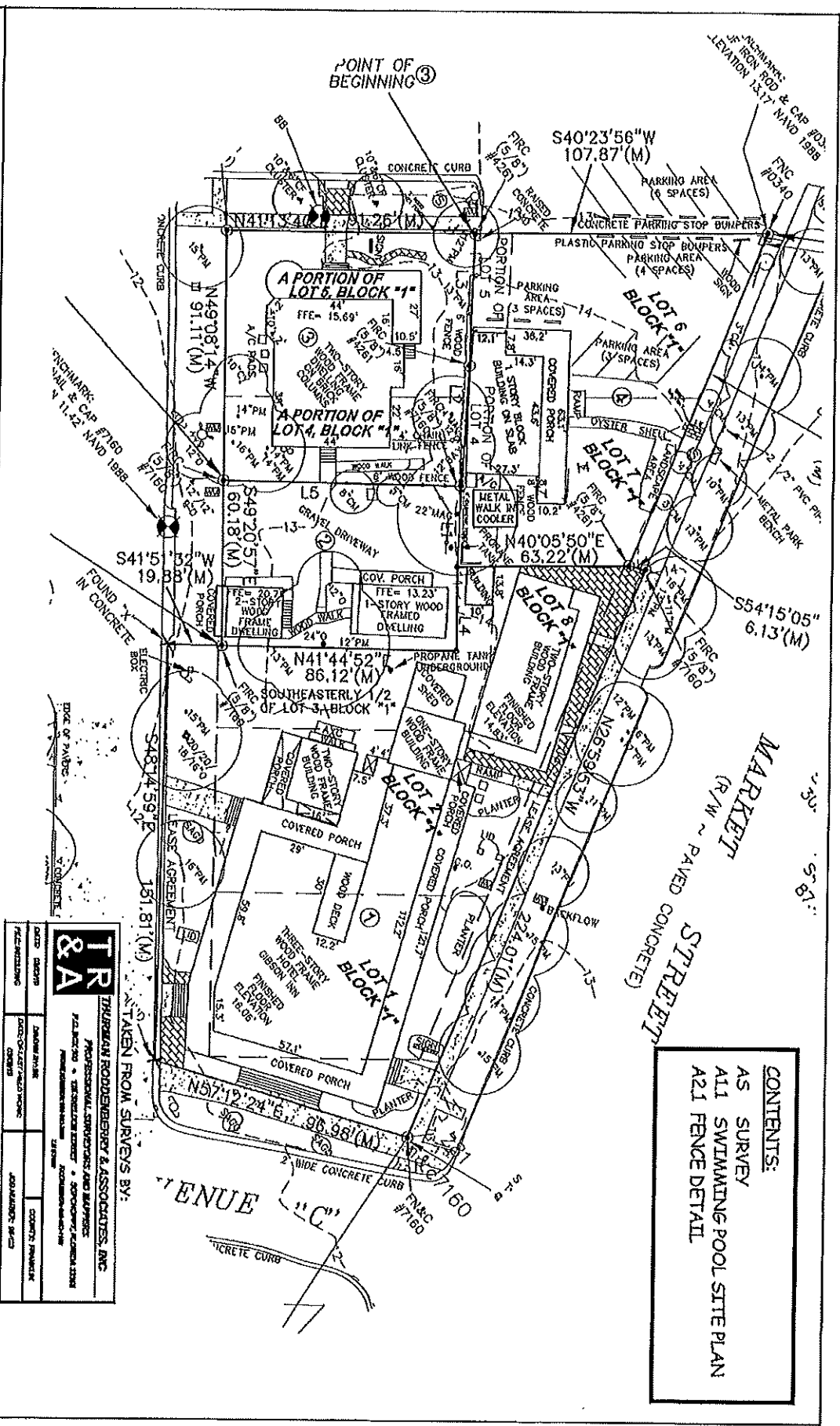
TR & A
THEODOR RODDENBERRY & ASSOCIATES, INC.
 PROFESSIONAL SURVEYORS AND ENGINEERS
 LICENSE NO. 38548 SURVEYING • 38000 ENGINEERING
 11111 W. 11TH AVENUE, SUITE 100, DENVER, CO 80233
 TEL: 303.751.1111 FAX: 303.751.1112
 WWW.TROA.COM

TAKEN FROM SURVEYS BY:

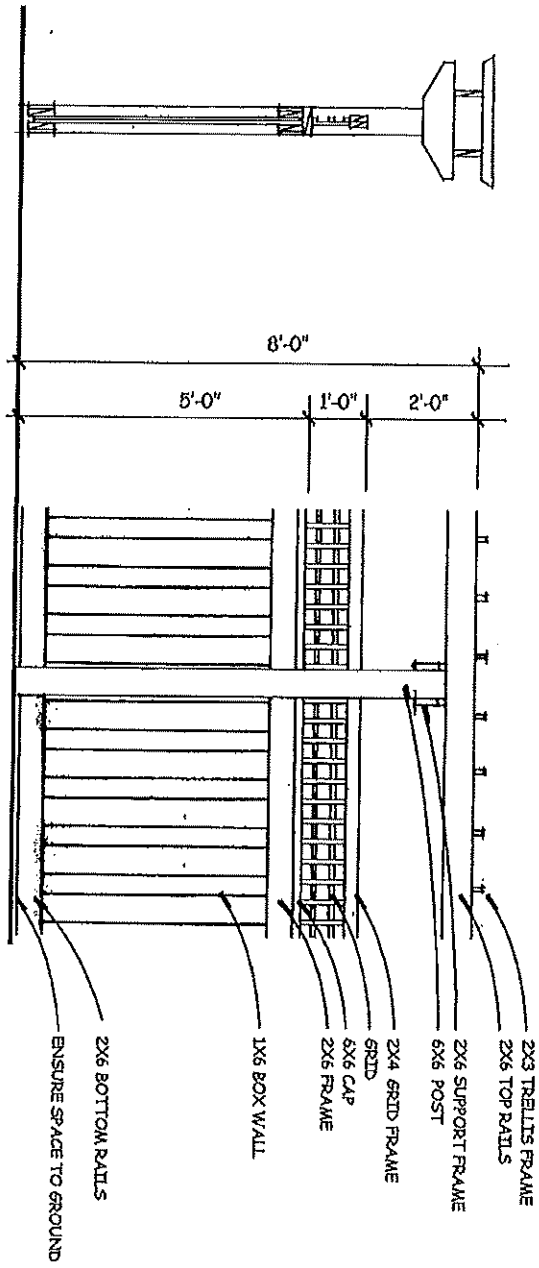
| DATE | DESIGNER | APPROVED BY |
|------|----------|-------------|
| | | |

ITUCAS
 Professional Swimming Pools
 ARCHITECTS

AS
 ARCHITECT



CONTENTS:
 AS SURVEY
 ALL SWIMMING POOL SITE PLAN
 A21 FENCE DETAIL



TRELLIS TOPPED WOOD FENCE
SCALE: 1/2"


NOTE:
ALL FENCE WOOD TO BE KDAT,
TO BE STAINED IF DIRECTED BY
OWNER/DESIGNER.

THIS FENCE SURROUNDS THE HARD
SCAPE OF THE POOL.
IT DOES NOT EXTEND TO THE PROPERTY
LINE.


GIBSON SWIMMING POOL / FENCE DETAIL

SCALES: AS SHOWN

AUGUST 2020



 ARCHITECTS
 PLANNING
 ASSOCIATES
 ARCHITECTS



 SOURCE

A2.1