

**CITY OF APALACHICOLA**  
**PLANNING & ZONING BOARD**  
**REGULAR MEETING**  
**MONDAY, SEPTEMBER 9, 2019**  
**Community Center/City Hall - 1 Bay Avenue**  
**AGENDA**

**Regular Meeting - 6:00 P.M.**

1. Approval of August 12<sup>th</sup>, 2019 Regular Meeting Minutes.
2. Review, Discussion and Decision for 12x24 **(Historic District)(C-1)** @ 34 4<sup>th</sup> Street, Block(s) 11, Lot(s) 4 & 5, For - Shuler Limited Partnership, Contractor - Owner.
3. Review, Discussion and Decision for a 6' Chain Link Fence, Driveway, & Removal of 2 Trees **(Historic District)(C-1)** @ 4<sup>th</sup> Street between Avenue E & D (Physical Address Unknown) Block 2, Lot(s) 7 (15' & 5' of) & 8 (10' of), For- Jerry & Beverly Hall, Contractor - Poloronis Construction, Inc.
4. Review, Discussion and Decision for a Screened in Porch on Existing Deck **(Historic District)(R-1)** @ 133 Avenue C, Block 43, Lot 90, For Lynn Wilder, Contractor - R. Wayne Thomas, R.W. Thomas Construction, Inc.
5. Review, Discussion and Decision for a Radio Broadcast Antenna **(Historic District)(R-1)** @ 85 Bay Avenue Block 26, Lots 9 & 10, For- James Elias, Contractor- Owner.
6. Review, Discussion and Decision for 90 square feet Stage **(RF)** @ Mill Basin (Address unknown), Block(s) and Lot(s) defined as City of Apalachicola 190 Acres, For - City of Apalachicola Farmers Market - Contractors, Multiple Volunteers.
7. Review, Discussion and Decision for New Construction and Tree Removal **(R-2)** @ 137 Bay Colony Way, Block(s) Bay Colony, Lot(s) 19, For - Michael & Rebecca Barlament, Contractor - Bryce Ward, 1<sup>st</sup> Choice Builders.
8. Review, Discussion and Decision for 2 Accessory Structures, Boat House & Garage **(Historic District)(R-1)** @ 126 17<sup>th</sup> Street, For - Doug Schemske, Block(s) 116, Lot(s) 5 and 40x100 of lot 4, Contractor - Bryce Ward, 1<sup>st</sup> Choice Builders.
9. Review, Discussion and Decision for 8x10 Storage Shed **(Historic District)(O/R)** @ 108 11<sup>th</sup> Street, Block(s) 78, Lot(s) 2, For - Russell Cumbie, Contractor - Owner.
10. Review, Discussion and Decision for Utility Pole w/ Antenna @ SE Ave F North of E 12<sup>th</sup> Street (Physical Address Unknown), For - Verizon Wireless, Block(s) 77, Lot(s) 6 and 7, Contractor - Tilson Technology Management.

11. Review, Discussion and Decision for New single family residence with Front porch and screened in back porch **(R-1)** @ 225 Avenue D, For – Andrew and Joanna Young, Block(s) 4 Neels Addition, Lot(s) W ½ of 13 & 14, Contractor – Ulrich Construction.

**Board approval is not a building permit. After Board approval, the applicant or Contractor must contact the City of Apalachicola Building Department and request for permit submittal.**

In our continuing effort to keep the citizens of Apalachicola informed, this agenda is posted on our website at [www.cityofapalachicola.com](http://www.cityofapalachicola.com) prior to the scheduled meeting for public review. Additional information such as the City's Land Development Code and Zoning related maps, along with other development information is also available on the site for your convenience. Please direct any questions concerning items on this agenda or the Apalachicola Building Department to Cortni Bankston, (850)653-1522, [cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)



**CITY OF APALACHICOLA**  
**PLANNING & ZONING BOARD**  
**REGULAR MEETING**  
**MONDAY, AUGUST 12<sup>TH</sup>, 2019**  
**Community Center/City Hall - 1 Bay Avenue**  
**AGENDA**

**Regular Meeting – 6:00 P.M.**

1. Approval of June 10<sup>th</sup>, 2019 Regular Meeting Minutes. **Motion to approve: Jim Bachrach, second Constance Peck. Motion Carried.**
  
2. Review, Discussion and Decision for 14x30 Storage Shed **(Historic District)(C-2)** @ 186 8<sup>th</sup> Street, Block(s) 167, Lot(s) 1, For – Willie & Barbara McNair, Contractor – Owner. **Motion to table (no show and no pictures) by Jim Bachrach, second by Constance Peck. Motion Carried.**
  
3. Review, Discussion and Decision for New Fencing, Repair of Existing Fencing, New Concrete Sidewalk & Ramp for ADA Compliance **(R-1)** @ 98 12<sup>th</sup> Street, Block(s) 83, 84, 87, 88, Lot(s) 1&10 and parts of lots 2 & 9, lots 5&6 and part of 4 and 7 through 10, lots 4 through 7 and parts of 2, 3, and 8, lots 1, 9&10 and parts of 2,3 & 8, For – Apalachicola Bay Charter School, Contractor – TBD, Multiple Contractors. **Jim Bachrach recused himself as a Board Member of ABC School. Motion to approve made by Constance Peck with second by Joe Taylor. Motion carried.**
  
4. Review, Discussion and Decision for Porch and Addition **(R-2)** @ 267 US Hwy 98, Block(s) 3, Lot(s) 1 Philaco Shores, For – Charles and Georgia Leonard, Contractor – Owner. **Motion to approve made by Constance Peck with second by Jim Bachrach. Uta Hardy opposed. Motion carried.**
  
5. Review, Discussion and Decision for Accessory Structure Demolition and New Construction **(Historic District)(R-1)** @ 139 Bay Avenue, Block(s) 46, Lot(s) 1 through 5, For – Thorpe McKenzie, Contractor – Byrd's Construction. **Motion to table (no show) by Jim Bachrach, second by Uta Hardy. Motion carried.**
  
6. Review, Discussion and Decision for 9x19 Accessory Structure **(Historic District)(R-1)** @ 203 9<sup>th</sup> Street, For – Peter Gallant & Pam Richardson, Block(s) 166, Lot(s) 7 through 9, Contractor – Owner. **Motion to approve made by Jim Bachrach, second by Constance Peck. Motion carried.**
  
7. Review, Discussion and Decision for 12x12 Shed **(Historic District)(R-1)** @ 151 13<sup>th</sup> Street, For – Alex Skovaronsky, Block(s) 81, Lot(s) 8, Contractor – Owner/TBD. **Motion to approve made by Jim Bachrach with second by Constance Peck. Motion carried.**

8. Review, Discussion and Decision for New single family residence with Front porch and screened in back porch **(R-1)** @ 225 Avenue D, For – Andrew and Joanna Young, Block(s) 4 Neels Addition, Lot(s) W ½ of 13 & 14, Contractor – Ulrich Construction. **Motion to table (no show) by Jim Bachrach, second by Constance Peck. Motion carried.**

**Motion to Adjourn: Jim Bachrach, second by Constance Peck. Motion carried.**

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Tom Daly, Chairperson



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Shuler Limited Partnership, a Florida limited partnership

ADDRESS: 34 4th street

CITY, STATE & ZIP CODE: Apalachicola, FL PHONE # 850-653-5166  
850-653-1757

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): same

ADDRESS: same

CITY, STATE & ZIP CODE: same PHONE # same

CONTRACTOR'S NAME: N/A

ADDRESS: N/A

CITY, STATE & ZIP CODE: N/A PHONE # N/A

STATE LICENSE NUMBER: N/A COMPETENCY CARD # N/A

ADDRESS OF PROJECT: 34 4th street

PROPOSED USE OF SITE: temp. 12' x 24' storage

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 01-095-08W-8330-0011-0040

LEGAL DESCRIPTION OF PROPERTY: Lot 4+5, Block 11, City Apalachicola, FL

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: N/A

ADDRESS: N/A CITY, STATE & ZIP: N/A

ARCHITECT(S)/ENGINEER(S) NAME: N/A

ADDRESS: N/A CITY, STATE & ZIP: N/A

MORTGAGE LENDER(S) NAME: N/A

ADDRESS: N/A CITY, STATE & ZIP: N/A

WATER SYSTEM PROVIDER: City SEWER SYSTEM PROVIDER: City

PRIVATE WATER WELL: N/A SEPTIC TANK PERMIT NUMBER: N/A

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other (Prefab metal temp. storage bld. 12x24')  
 Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
 R. Side \_\_\_\_\_  
 Cost of Construction \$ less \$5k      Square Footage 288  
 EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
 Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
 Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.**

**NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.**

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

by: Shuler Ltd. Partnership  
Shannon M. Shuler, General Partner  
 Signature of Owner or Agent

\_\_\_\_\_  
Signature of Contractor

Date: 8-22-19

Date: \_\_\_\_\_

\_\_\_\_\_  
Notary as to Owner or Agent

\_\_\_\_\_  
Notary as to Contractor

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

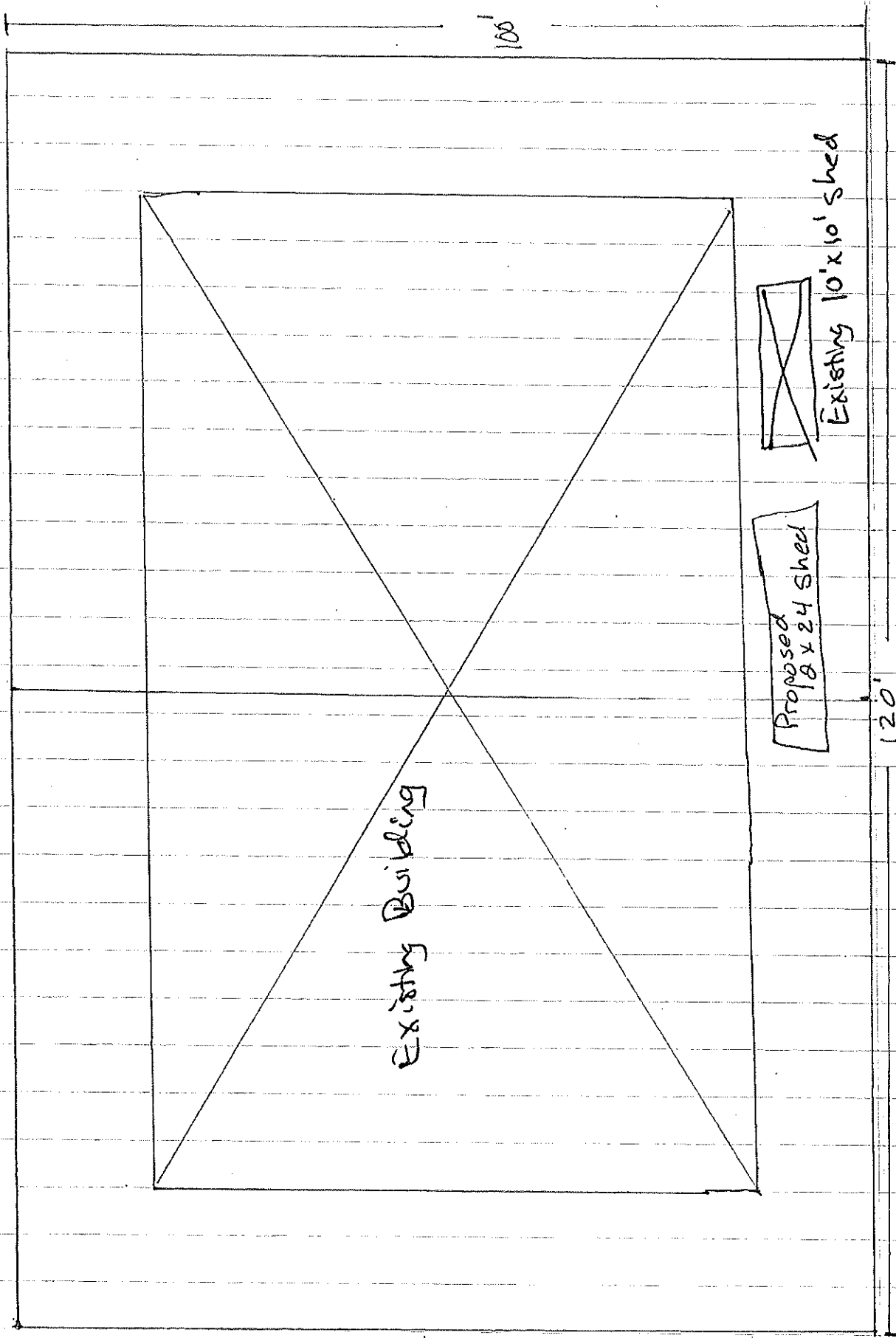
APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.



4th Street

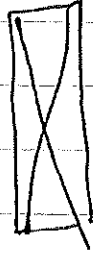
Not to Scale

Ave C



Existing Building

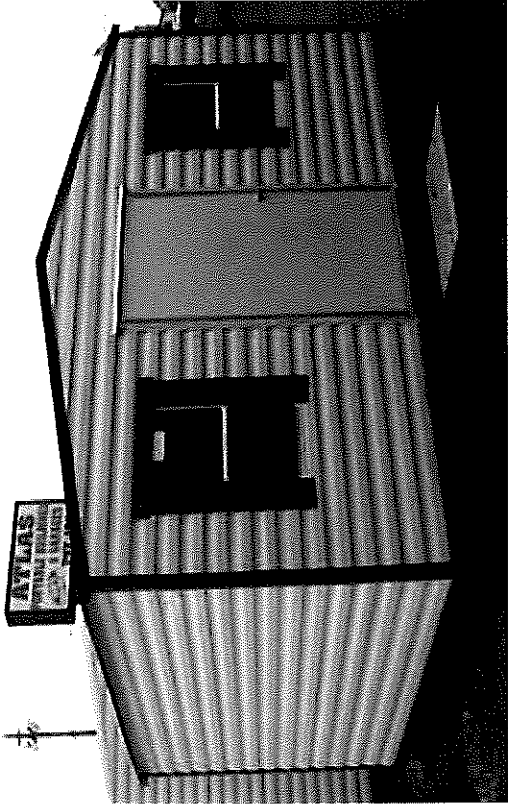
Proposed  
18 x 24 Shed



Existing 10 x 10 shed

120'  
Alley

Not to Scale





### Parcel Summary

Parcel ID 01-09S-08W-8330-0011-0040  
 Location Address 34 4TH STREET  
 DODD TITLE  
 Brief Tax Description\* BL 11 LOTS 4-5 CTY APALACH OR 232/243 582/464  
 \*The Description above is not to be used on legal documents.  
 Property Use Code OFFICE BUI (001700)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

View Map

### Owner Information

Primary Owner  
 Shuler Limited Partnership  
 P O Box 850  
 Apalachicola, FL 32320

Code	Land Use	Number of Units	Frontage	Depth
001000	COMMERCIAL	120.00	0	0

### Residential Buildings

Building 1  
 Type OFFICE LOW  
 Total Area 4,299  
 Heated Area 4,299  
 Exterior Walls CONC BLOCK; FACE BRICK  
 Roof Cover BUILT-UP  
 Interior Walls DRYWALL  
 Frame Type MASONARY  
 Floor Cover ASPH TILE  
 Heat AIR DUCTED  
 Air Conditioning ENG CENTRL  
 Bathrooms 2  
 Bedrooms 0  
 Stories 1  
 Effective Year Built 1963

### Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0320	CONCRETE	1	0x0x0	321	UT	1999

### Sales

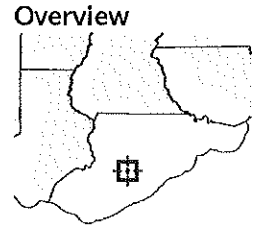
Multi Parcel	Sale Date	Sale Price
N	08/25/1997	\$257,000

### Valuation

	2019 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$71,444	\$71,444	\$71,444	\$71,444
Extra Features Value	\$549	\$549	\$549	\$549
Land Value	\$134,400	\$38,400	\$48,000	\$57,600
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0
Just (Market) Value	\$206,393	\$110,393	\$119,993	\$129,593
Assessed Value	\$121,432	\$110,393	\$119,993	\$129,593
Exempt Value	\$0	\$0	\$0	\$0
Taxable Value	\$121,432	\$110,393	\$119,993	\$129,593
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

### Sketches



- Legend**
- Parcels
  - Roads
  - City Labels

Parcel ID	01-09S-08W-8330-0011-0040	Alternate ID	08W09S01833000110040	Owner Address	SHULER LIMITED PARTNERSHIP
Sec/Twp/Rng	1-9S-8W	Class	OFFICE BUI		P O BOX 850
Property Address	34 4TH STREET	Acreage	n/a		APALACHICOLA, FL 32320
	DODD TITLE				
District	3				
Brief Tax Description	BL 11 LOTS 4-5				
	(Note: Not to be used on legal documents)				

Date created: 8/29/2019  
 Last Data Uploaded: 8/29/2019 7:07:27 AM

Developed by  **Schneider**  
 GEOSPATIAL



**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

**-HISTORIC DISTRICT-**

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

**OWNER INFORMATION**

**CONTRACTOR INFORMATION**

Owner Jerome Hall  
Address \_\_\_\_\_  
City Apalachicola State FL Zip 32320  
Phone (850) 370 6360

State License # CB C037976  
City License # 85-133 County License # \_\_\_\_\_  
Email Address wplaronis@gmail.com  
Phone (850) 653-8167

Approval Type:     Staff Approval    Date: \_\_\_\_\_     Board Approval     Board Denial    Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

**PROJECT TYPE**

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: concrete entrance driveway

**PROPERTY INFORMATION:**

Street Address: 4<sup>th</sup> street between Aves E + D City & State Apalachicola, FL Zip 32320

Historic District     Non-Historic District    Zoning District \_\_\_\_\_

Parcel #: \_\_\_\_\_ Block(s) \_\_\_\_\_ Lot(s) \_\_\_\_\_

FEMA Flood Zone/Panel #: \_\_\_\_\_  
(For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

**Setback requirement of Property:**

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

\*This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

6' chain link fence on side and front

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Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing	Bracewell	6' chain link - galv.	
Driveways/Sidewalks	Polaris/white	Broom finish radius curbs to match existing curbs on street.	
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of my association rule or regulation.

DATE

8/19/2019

SIGNATURE OF APPLICANT





**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Jerry Hall & Beverly A

ADDRESS: Partial Lots 7 & 8 of Block 2, 4<sup>th</sup> st. & between Ave E & D

CITY, STATE & ZIP CODE: Apalachicola PHONE # 850-370-6360

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Polosonis Const, Inc

ADDRESS: 29 Ave F

CITY, STATE & ZIP CODE: Apalachicola, FL PHONE # 850-653-8167

STATE LICENSE NUMBER: CB C039976 COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: Lots 7 & 8 of Block 2 (4<sup>th</sup> st. between Ave E & D

PROPOSED USE OF SITE: Access to adjoining Businesses.

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # City of Apalachicola Block 2 - 15' and 5' of Lot 7  
North 10' of Lot 8

LEGAL DESCRIPTION OF PROPERTY: OR/277/163 886/539 866/541 and 963/163

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING: To maintain access to adjoining property in same block.

Single Family       Townhouse       Commercial       Industrial

Duplex       Swimming Pool       Storage       Sign

Multi-Family       Demolition       Other 6' Chain Link fence and drive entrance

Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front -0-      Rear -0-      L. Side -0-

R. Side -0-      \$17,000      Square Footage \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_      EPI \_\_\_\_\_      Flood Zone \_\_\_\_\_      Lowest Floor Elevation \_\_\_\_\_

Area Heated/Cooled: \_\_\_\_\_      # Of Stories \_\_\_\_\_      # Of Units \_\_\_\_\_

Type of Roof \_\_\_\_\_      Type of Walls \_\_\_\_\_      Type of Floor \_\_\_\_\_

Extreme Dimensions of: Length \_\_\_\_\_      Height \_\_\_\_\_      Width \_\_\_\_\_

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit of the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.**

**NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.**

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

\_\_\_\_\_  
Signature of Owner or Agent

J. William Parker  
Signature of Contractor

Date: \_\_\_\_\_

Date: 8/19/2019

\_\_\_\_\_  
Notary as to Owner or Agent

\_\_\_\_\_  
Notary as to Contractor

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

**CITY OF APALACHICOLA  
TREE APPLICATION  
REMOVAL OR ALTERATION OF PROTECTED TREE**

Applicants Name: Polaronis Const, Inc. Vernon W. Polaronis (Please print)  
 Property Owners Name: Jesome Hall Phone: 850-370-6360  
 Property Address: \_\_\_\_\_ City, State, Zip: Apalachicola, FL 32320  
 General Contractor/Tree Contractor: Polaronis Const, Inc. Phone: 850-653-8167  
 Applicants Signature/Date [Signature] 1

1. Protected trees - Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4" to 16"	Greater than 16" to less than 35"	35" and larger (Patriarch Tree)
Bald & Pond Cypress			
Eastern & Southern Red Cedar			
Live Oak			
Longleaf Pine			
Pecan			
Sabal Palm	2		
Slash Pine			
Southern Magnolia			
Sycamore			
Water Oak			
<b>Total</b>			
Size is measured at breast height (4.5 feet above ground surface)			

2. Reason(s) for removal or alteration (Mark all that apply with "X")

<b>Owner's Private Property</b>	
Removal: New Construction	Alteration: New Construction
<input type="checkbox"/> Tree located within or too close to footprint of proposed new building or addition	<input type="checkbox"/> Limbs and branches encroaching where structure is to be built
Removal: No New Construction	Alteration: No New Construction
<input type="checkbox"/> Tree roots damaging building foundation or underground utilities	<input type="checkbox"/> Limbs and branches rubbing on side or roof of building
<input type="checkbox"/> Imminent hazard to property or human safety	<input type="checkbox"/> Imminent hazard to property or human safety
<input type="checkbox"/> Diseased or pest-infested tree	<input type="checkbox"/> Diseased or pest-infested tree
<input type="checkbox"/> Storm damaged tree (other than City declared emergency; e.g., lightning)	<input type="checkbox"/> Storm-damaged tree (other than during City declared emergency; e.g., lightning)
<input type="checkbox"/> Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
<b>City Property (City street right-of-ways adjacent to private property)</b>	
Removal: Requested by Private Property Owner	Alteration: Requested by Private Property Owner (Significant cutting of limbs & branches)
<input checked="" type="checkbox"/> Tree located where access to private property is proposed (driveway, etc.)	<input type="checkbox"/> Imminent hazard to property or human safety
<input type="checkbox"/> Imminent hazard to property or human safety	
<input type="checkbox"/> Diseased or pest-infested tree	
<input type="checkbox"/> Storm damaged tree (other than City declared emergency; e.g., lightning)	
<b>Requested by City Department</b>	
<input type="checkbox"/> Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard)	<input type="checkbox"/> Growth encroaching on street or alley

3. Please attach a map with the following drawn to scale:

a. Locations of the following:

1. Lot boundaries
2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
3. Types & Sizes of protected trees (measured at breast height in inches)
4. Protected trees that are proposed to be removed or altered

**OFFICE USE ONLY**

<b>Permit Processing Fee (\$50.00 or \$100.00)</b>	
<b>Reforestation Fund</b>	
Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)	2
Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)	
Non Patriarch Tree Total (\$250.00 Max)	
Number of Trees 35" and larger x \$1,000.00	
Reforestation Fund Total	

**Planning and Zoning Board (When Development plan is submitted):**

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
Chairperson, Planning and Zoning Board                      Date

**Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)**

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
Code Enforcement Officer or Designee                      Date

\_\_\_\_\_  
City Manager or Designee    Date





**Parcel Summary**

Parcel ID 01-09S-08W-8330-0002-0071  
 Location Address -  
 32320  
 Brief Tax Description\* BLOCK 2 15' OF LOT 7 CITY OF APALACHICOLA OR/277/163 866/539 866/541 ALSO S 5' OF LOT 7 AND THE NORTH 10' OF LOT 8 963/163  
 \*The Description above is not to be used on legal documents.  
 Property Use Code VACANT (000000)  
 Sec/Twp/Rng --  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Hall Jerome R & Beverly A  
 Hewitt  
 100 Market Street  
 Apalachicola, FL 32320

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	08/17/2005	\$125,000	WD	866	541	Qualified (Q)	Vacant	APALACHICOLA OYSTER WORKS	HALL/ HEWITT
N	08/17/2005	\$100	CD	866	539	Unqualified (U)	Vacant	NEWTON	APALACHICOLA OYSTER WORKS

**Valuation**

	2019 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$30,000	\$25,500	\$25,500	\$25,500	\$30,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$30,000	\$25,500	\$25,500	\$25,500	\$30,000
Assessed Value	\$23,756	\$21,596	\$19,633	\$17,848	\$16,225
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$23,756	\$21,596	\$19,633	\$17,848	\$16,225
Maximum Save Our Homes Portability	\$0	\$3,904	\$5,867	\$7,652	\$13,775

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

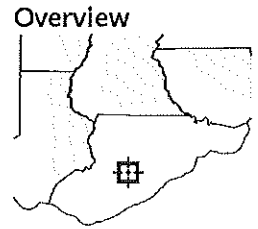
No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.  
[User Privacy Policy](#)  
[GDPR Privacy Notice](#)



Last Data Upload: 8/27/2019, 7:09:09 AM

Version 2.3.1



- Legend**
- Parcels
  - Roads
  - City Labels

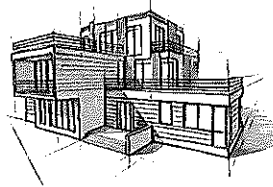
Parcel ID	01-09S-08W-8330-0002-0071	Alternate ID	08W09S01833000020071	Owner Address	HALL JEROME R & BEVERLY A
Sec/Twp/Rng	--	Class	VACANT		HEWITT
Property Address	-	Acreage	n/a		100 MARKET STREET
					APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BLOCK 2 15' OF LOT 7				
	(Note: Not to be used on legal documents)				

Date created: 8/27/2019  
 Last Data Uploaded: 8/27/2019 7:09:09 AM

Developed by  **Schneider**  
 GEOSPATIAL

# Poloronis Construction, Inc.

**CB-C037976**



## Owner Information

Name Jerry Hall  
Address Vacant Parking Lot  
City, State ZIP Apalachicola, FL  
Phone Jerry Hall  
Email \_\_\_\_\_  
Project name Fence and Gate

## Contractor Information

Company Poloronis Construction, Inc.  
Name V. William Poloronis  
Address 29 Ave F  
City, State ZIP Apalachicola, FL 32320  
Phone 850-653-8167  
Email poloronisinc@fairpoint.net  
Completion date 30 days

## Scope of Work

Install 6' chainlink fence on two long sides of property (115' each side) and on the street side install two swinging gates for a total of 20'. This will require two 5' sections of 6' fence to complete the 30' side. Also, construct a new 6" thick driveway entrance of 4500 psi DOT type concrete. This slab will be 15' x21' with additional radii to allow for a continuation of curb and gutter to the street. ( See details of drawing). Slab to be cut as shown to minimize errant cracking. Broom Finish.  
Removal of two palm trees.

## Not Included

Survey fees if required. Lock for gates. Permit fees that exceed \$400.00 total for all fees required, including tree removal. No tree replacement allowance included.

Total cost to make the above repairs- **\$17,000.00**  
**Seventeen thousand** and no/100 dollars.

V. William Poloronis  
Submitted by (Company Representative)

8/3/2019  
Date

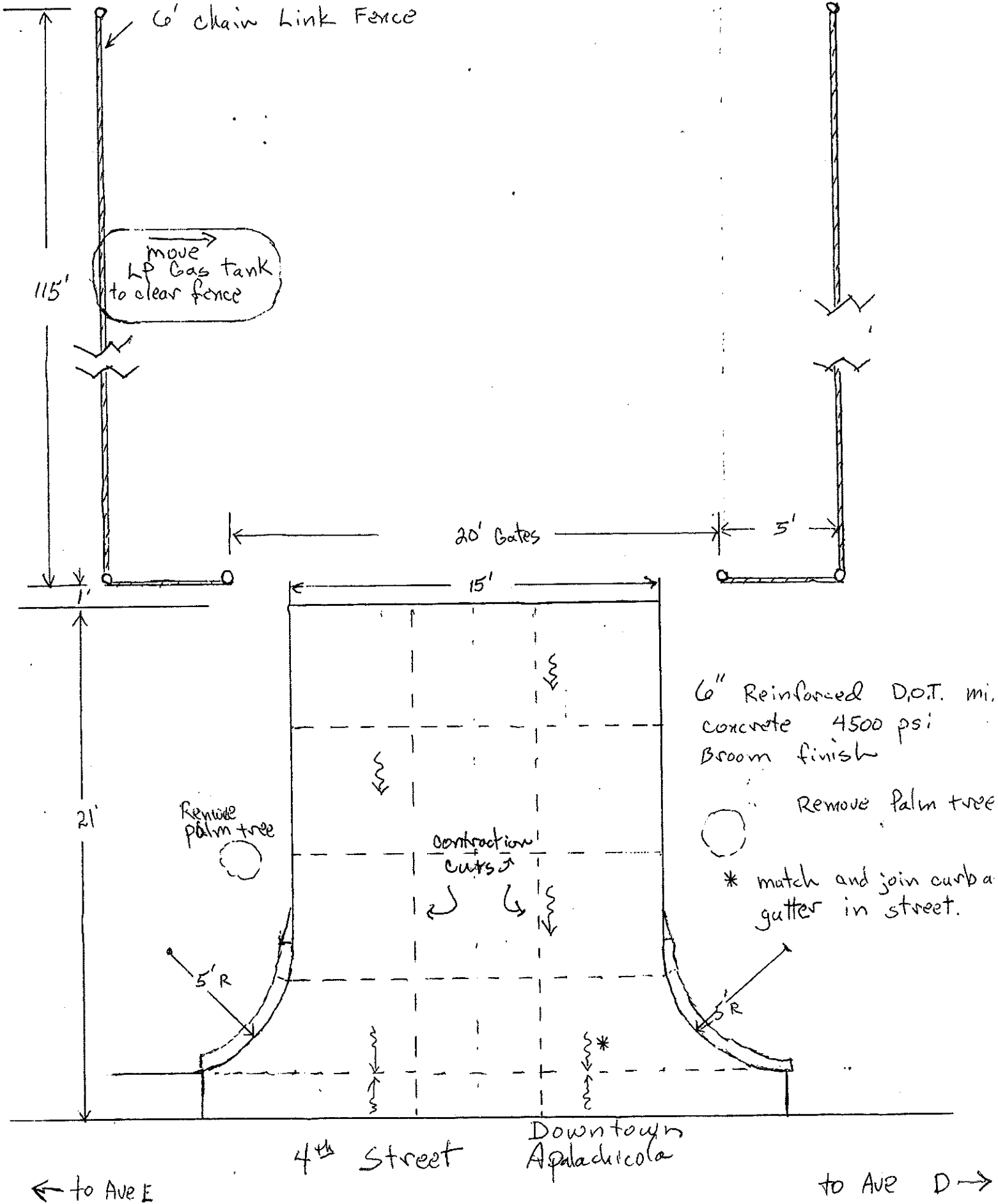
## Owner Acceptance

The Contractor will be responsible for all permits. Before work commences, the contractor will provide copies of Liability and Workers' Comp. insurance as well as current licenses. Payment made upon completion.

\_\_\_\_\_  
Submitted by authorized representative

\_\_\_\_\_  
Date





@ CAM112M01      CamaUSA Appraisal System  
 8/19/2019 10:29    Legal Desc Maintenance  
 Year T Property    \*current year      Sel  
 2019, R 01-09S-08W-8330-0002-0071 . . . . .

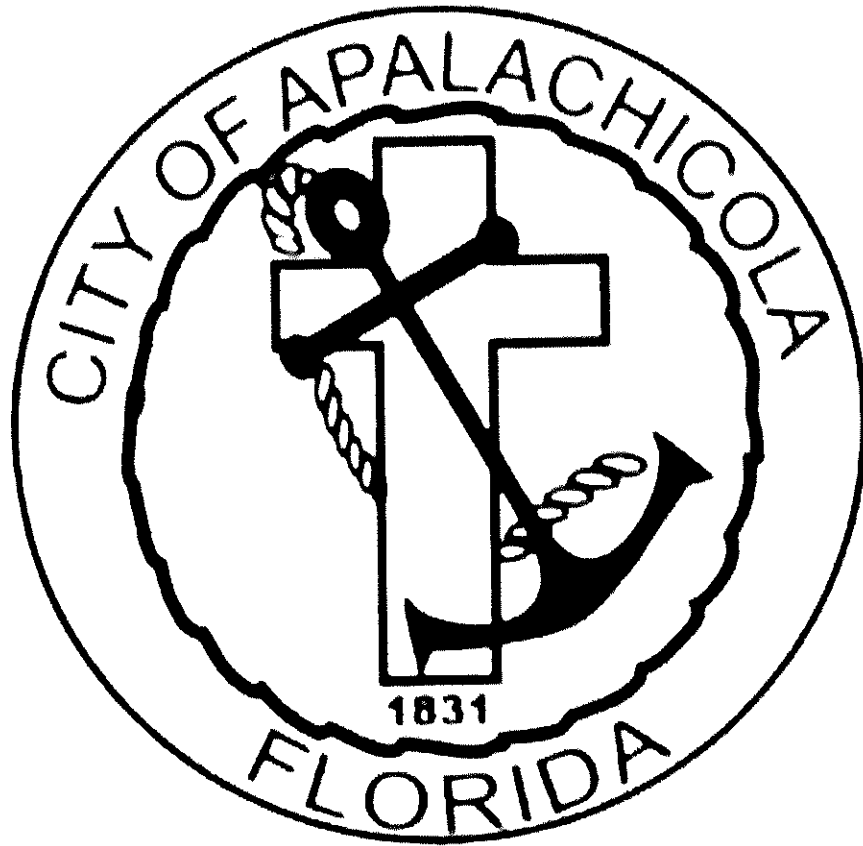
Franklin County  
 30,000 Land 001  
           AG 000  
           Bldg 000  
           Xfea 000  
 30,000 TOTAL            B

HALL JEROME R & BEVERLY A

1	BLOCK 2 15' OF LOT 7 . . . . .	CITY OF APALACHICOLA . . . . .	2
3	OR/277/163 . 866/539 . 866/541 . .	ALSO S 5' OF LOT 7 AND THE . . . .	4
5	NORTH 10' OF LOT 8 963/163 . . . . .		6
7			8
9			10
11			12
13			14
15			16
17			18
19			20
21			22
23			24
25			26
27			28

Mnt 1/14/2014 JOSEPH

F1=Task    F3=Exit    F4=Prompt    F10=GoTo    PgUp/PgDn    F24=More



CITY OF APALACHICOLA  
 CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
 City Representative \_\_\_\_\_  
 Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner LYNN WILDER  
 Address 133 11<sup>th</sup> & AVE C  
 City Apalachicola State FL Zip 32320  
 Phone (404) 353-1921

State License # R80067170  
 City License # \_\_\_\_\_ County License # \_\_\_\_\_  
 Email Address kwthomas85@hotmail.com  
 Phone (850) 899-1212

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance

Other: SCREEN IN PORCH  
ON EXISTING DECK

PROPERTY INFORMATION:

Street Address: 133 11<sup>th</sup> & AVE C City & State Apalachicola, FL Zip 32320

Historic District  Non-Historic District Zoning District \_\_\_\_\_

Parcel #: \_\_\_\_\_ Block(s) \_\_\_\_\_ Lot(s) \_\_\_\_\_

FEMA Flood Zone/Panel #: \_\_\_\_\_  
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCB.

Corini Bankston  
 Permitting and Development Coordinator  
 (850) 658-1522 (ext 205) Phone  
 (850) 658-5028 Cell  
[corinibankston@cityofapalachicola.com](mailto:corinibankston@cityofapalachicola.com)

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

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Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	N/A		
Doors	N/A		
Windows	N/A		
Roofing		Metal Like Existing	
Trim	wood	wood Like Existing	
Foundation	N/A		
Shutters	N/A		
Porch/Deck		EXISTING	
Fencing			
Driveways/Sidewalks			
Other			

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: LYNN ~~WILDER~~ WILDER

ADDRESS: 133<sup>th</sup> & AVE C

CITY, STATE & ZIP CODE: APALACHICOLA FL 32320 PHONE # 404-353-1921

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: 133<sup>th</sup> & AVE C

CITY, STATE & ZIP CODE: SAME PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: R W Thomas Construction, INC

ADDRESS: P.O. Box 555 EAST POINT, FL

CITY, STATE & ZIP CODE: 32328 PHONE # 850/899-1212

STATE LICENSE NUMBER: PRODOT10 COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: SAME AS ABOVE

PROPOSED USE OF SITE: \_\_\_\_\_

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  NO  YES

PROPERTY PARCEL ID # \_\_\_\_\_

LEGAL DESCRIPTION OF PROPERTY: \_\_\_\_\_

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
 R. Side \_\_\_\_\_  
 Cost of Construction \$ \_\_\_\_\_ Square Footage \_\_\_\_\_  
 EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
 Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
 Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPC: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

\_\_\_\_\_  
Signature of Owner or Agent

\_\_\_\_\_  
Signature of Contractor

Date: \_\_\_\_\_

Date: \_\_\_\_\_

\_\_\_\_\_  
Notary as to Owner or Agent

\_\_\_\_\_  
Notary as to Contractor

My Commission expires: \_\_\_\_\_

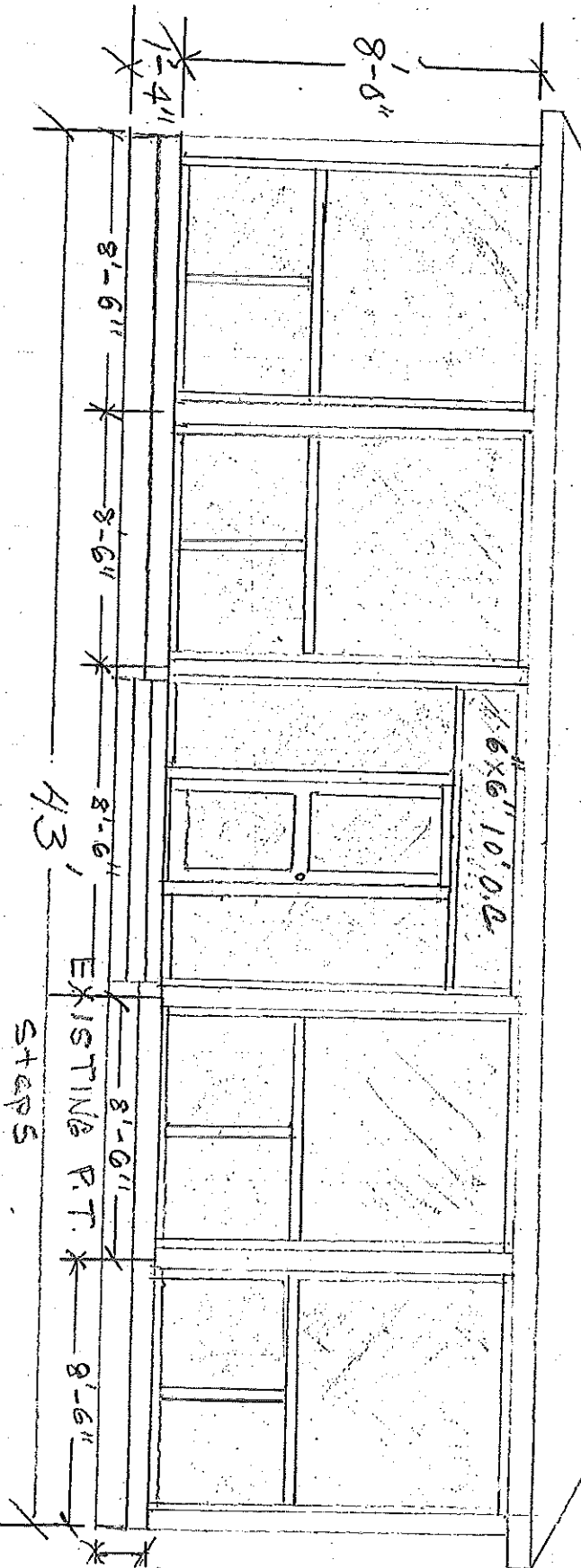
My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

NEW SCREENED  
PORCH

133 11th Ave E

EXISTING  
METAL  
ROOF



2x6 P.T.  
FASCIA  
6x6 P.T.  
Post  
8-0 O.C.

EXISTING  
DECK  
16"

Steps

EXISTING P.T.

Pressure Treated  
2x4 Framing  
on 6x6 Post

RD THOMAS CONSTRUCTION, INC.  
RB0067170



EXISTING  
METAL  
ROOF

EXISTING  
HOUSE

EXISTING HARDY  
BOARD SIDING

MATCH EXISTING  
PAINT COLORS

MATCH EXISTING  
METAL ROOF  
COVERING

1331<sup>th</sup> & AVE C  
APALACHICOLA

2" x 6" - 16" O.C.  
1/2" Plywood SHEATHING  
#3016 Felt Paper

12" overhang

6X6 P.T. POST.

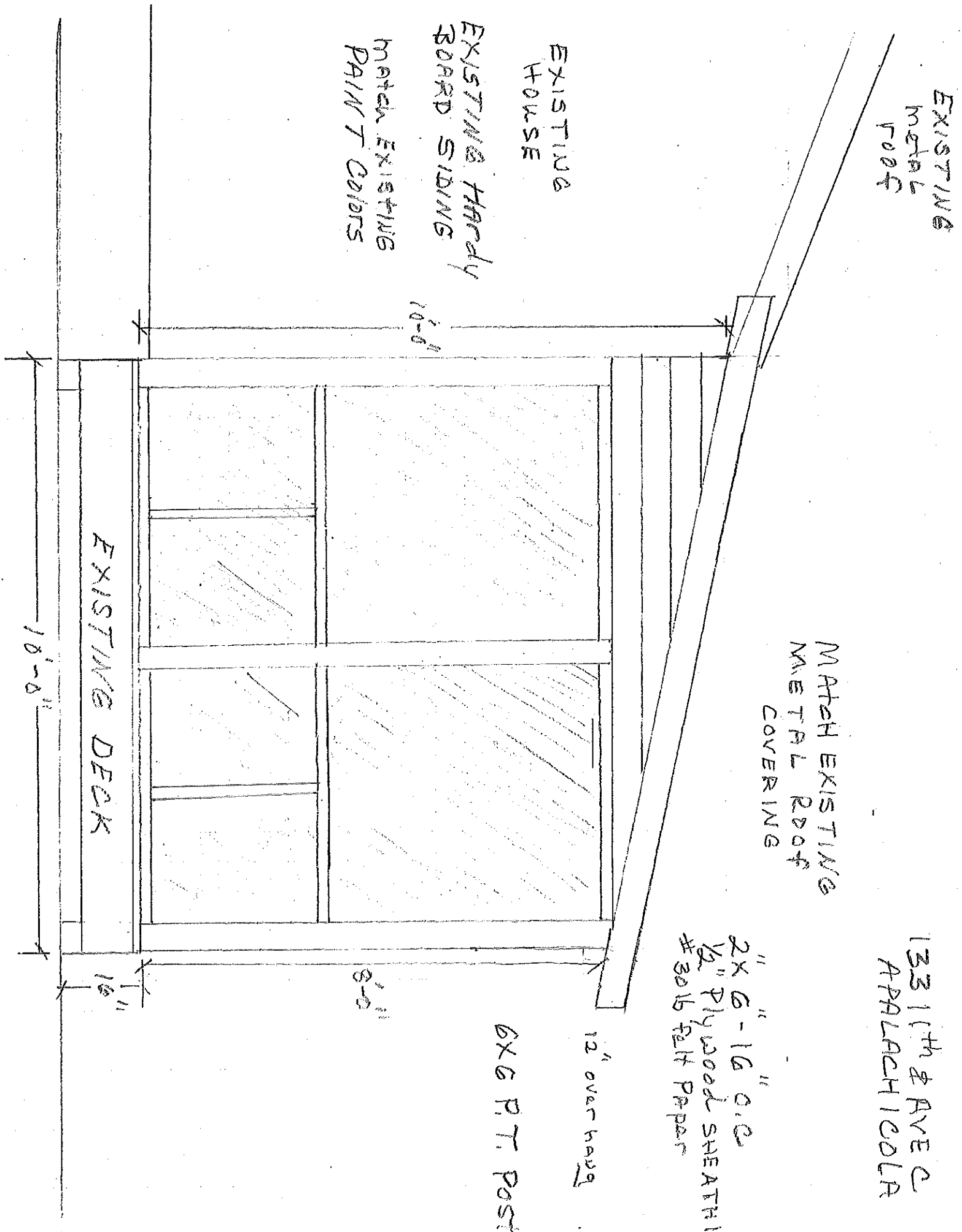
10'-0"

8'-0"

EXISTING DECK

18'-0"

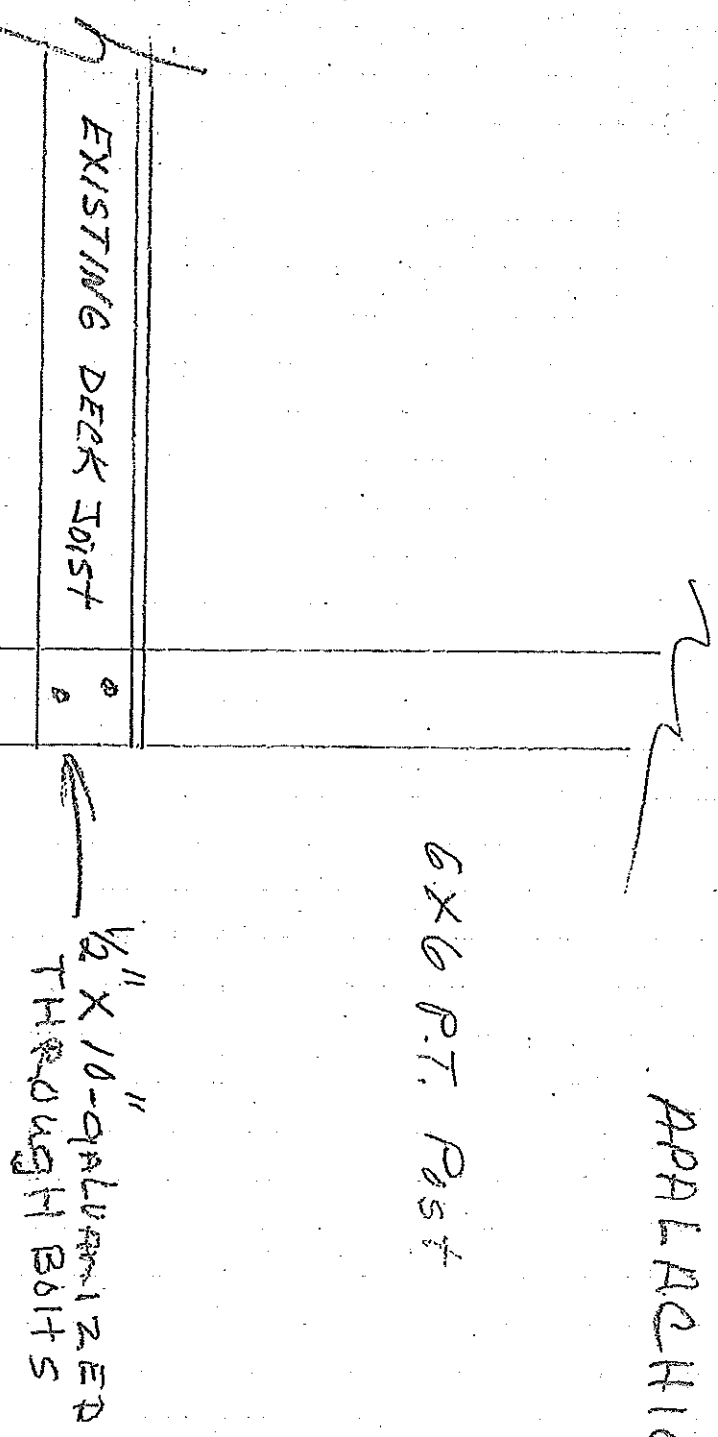
16"



133 11<sup>th</sup> AVE

APRALACHICHA

6x6 P.T. Post



1/2" X 10" GALVANIZED THROUGH BOLTS

6" 6x6 Post @ 3ft deep

5/8" rebar through 6x6 - 10" (2) SIDES

(CONCRETE)

12" X 24" X 24"

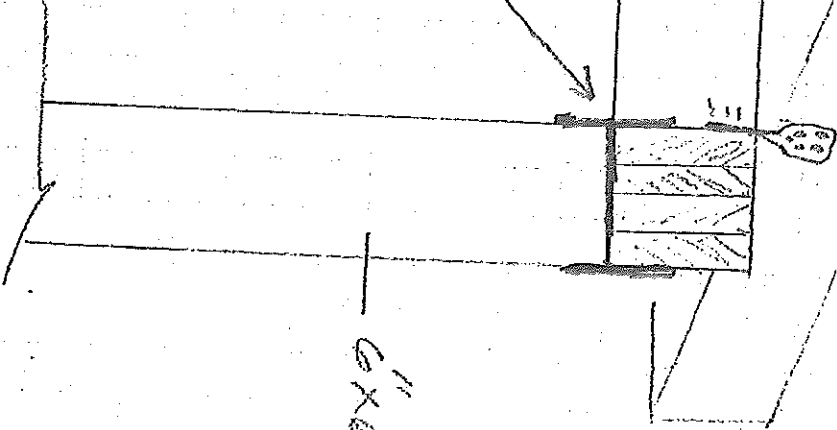
All 6x6 P.T. Post

1/2" Plywood  
30 lb felt paper  
Metal Roof  
to MATCH EXISTING

2x6 Rafters

P.T. 2x6" Beam

SIMPSON BCG ON TOP  
of ALL 6x6 Post-Nailed  
to Post AND Header Beam  
WPLIFT-1,05016  
LATERAL - 2,000  
NAIL SIZE - 12d or 16d  
GALVANIZED FASTENERS



6x6" P.T. POST

6x6" P.T. BEAM  
(3) P.T. 2x6 AND  
1/2" P.T. Plywood  
Gilded AND Nailed

H-2.5A HURRICANE  
CLIPS  
ON EACH RAFTER w/# 10-d  
GALVANIZED NAILS

133 11th & AVE C  
APALACHICOLA



**Parcel Summary**

Parcel ID 01-095-08W-8330-0043-0090  
 Location Address 133 AVE C  
 32320  
 Brief Tax Description\* BLOCK 43 LOTS 9-10 CITY OF APALACHICOLA OR 279/272 OR/313/336 621/394 828/34  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead Y

[View Map](#)

**Owner Information**

Primary Owner  
 Wilder Lynn C  
 133 Ave C  
 Apalachicola, FL 32320

**Residential Buildings**

Building 1  
 Type SF APALACH  
 Total Area 2,665  
 Heated Area 1,717  
 Exterior Walls AVERAGE  
 Roof Cover COMP SHNGL  
 Interior Walls DRYWALL  
 Frame Type N/A  
 Floor Cover SHT VINYL; CARPET  
 Heat FORCED AIR  
 Air Conditioning CENTRAL  
 Bathrooms 2  
 Bedrooms 3  
 Stories 1  
 Effective Year Built 1991

**Extra Features**

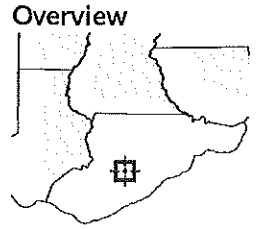
Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0140	C L FENCE 6	1	0 x 0 x 0	114	UT	0
0320	CONCRETE	1	0 x 0 x 0	60	UT	0
0060	CARPORT F	1	0 x 0 x 0	540	UT	0
0320	CONCRETE	1	0 x 0 x 0	120	UT	0
0410	WD FENCE	1	0 x 0 x 0	120	UT	0
0570	CON WALK	1	0 x 0 x 0	15	UT	0

**Sales**




Multi Parcel	Sale Date	Sale Price
N	01/06/2005	\$450,000
N	07/15/1999	\$239,000
N	03/12/1990	\$19,550

**Valuation**

	2019 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$104,152	\$91,006	\$90,105	\$91,822
Extra Features Value	\$4,415	\$4,415	\$4,415	\$4,415
Land Value	\$180,000	\$153,000	\$153,000	\$144,000
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0
Just (Market) Value	\$288,567	\$248,421	\$247,520	\$240,237
Assessed Value	\$179,432	\$176,086	\$172,464	\$168,917
Exempt Value	\$50,000	\$50,000	\$50,000	\$50,000
Taxable Value	\$129,432	\$126,086	\$122,464	\$118,917
Maximum Save Our Homes Portability	\$109,135	\$72,335	\$75,056	\$71,320



**Legend**

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0043-0090	Alternate ID	08W09S01833000430090	Owner Address	WILDER LYNN C
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		133 AVE C
Property Address	133 AVE C	Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BLOCK 43 LOTS 9-10 (Note: Not to be used on legal documents)				

Date created: 8/27/2019  
 Last Data Uploaded: 8/27/2019 7:09:09 AM

Developed by  **Schneider**  
 GEOSPATIAL



**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

**-HISTORIC DISTRICT ONLY-**

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

**OWNER INFORMATION**

**CONTRACTOR INFORMATION**

Owner James E. Elias  
Address 85 Bay Avenue  
City Apalachicola State FL Zip 32320  
Phone (307) 640-2929

Contractors Name: N/A  
State License # \_\_\_\_\_ City License # \_\_\_\_\_  
Email Address \_\_\_\_\_  
Phone ( )

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

**PROJECT TYPE**

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: Amateur Radio Antenna

**PROPERTY INFORMATION:**

Street Address: 85 Bay Avenue City & State Apalachicola, FL Zip 32320

Historic District  Non-Historic District Zoning District \_\_\_\_\_

Parcel #: \_\_\_\_\_ Block(s) \_\_\_\_\_ Lot(s) \_\_\_\_\_

FEEMA Flood Zone/Panel #: \_\_\_\_\_  
(For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

**Setback requirement of Property:**

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

**Certificate of Appropriateness Approval:**

\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCL.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

**Describe The Proposed Project and Materials.** Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s). **Amateur Radio Antenna**

Tower: Rohn 25G tower bracketed to the rear corner of house. Antenna: K4KIO Hexbeam with a windload of 5.1 square feet. Bracketed tower capable of handling a windload in excess of 7 square feet at 105 MPH.

NOTE: Applicant is an FCC licensed amateur radio operator with call sign AJ0IM. (Copy of license attached.) This is not a commercial installation. Applicant is a member of several amateur radio organizations and provides emergency communication through ARES (Amateur Radio Emergency Service) and RACES (Radio Amateur Civil Emergency Service). These services are activated during emergency events when other forms of communication are lost e.g hurricanes and other community emergencies.

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Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			



Driveways/Sidewalks			
Other			

### CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

September 3, 2019

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DATE

*James E. Elias*

---

SIGNATURE OF APPLICANT

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

DATE: <u>8.1.19</u>	Official Use Only	Permit # _____	Permit Fee _____
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OWNER'S NAME: James ELIAS

ADDRESS: 85 Bay Ave

CITY, STATE & ZIP CODE: Apalachicola FL PHONE # 307-640-2929

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Self

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: \_\_\_\_\_

PROPOSED USE OF SITE: \_\_\_\_\_

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # \_\_\_\_\_

LEGAL DESCRIPTION OF PROPERTY: 1/2 of lot 9 all of lot 10 Block 26 of the City

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_



Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

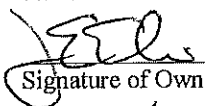
Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other **ANTENNA/TOWER 28'**  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
R. Side \_\_\_\_\_  
Cost of Construction \$ \_\_\_\_\_ Square Footage \_\_\_\_\_  
EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

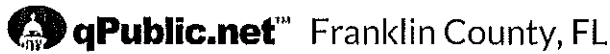
**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.**

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

 _____ Signature of Owner or Agent	_____ Signature of Contractor
Date: <u>8/20/2019</u>	Date: _____
_____ Notary as to Owner or Agent	_____ Notary as to Contractor
My Commission expires: _____	My Commission expires: _____

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.



**Parcel Summary**

Parcel ID 01-095-08W-8330-0026-0090  
 Location Address 85 BAY AVE  
 32320  
 Brief Tax Description\* BLOCK 26 SE 1/2 LOT 9 & ALL LOT 10 CITY OF APALACHICOLA OR124/404 147/480 193/254 335/237 1241/777  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng --  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead Y

[View Map](#)

**Owner Information**

Primary Owner  
 Elfas James E &  
 Kelley Kathleen E  
 85 Bay Ave  
 Apalachicola, FL 323201936

**Land Information**

Code	Land Use	Number of Units	Frontage	Depth
000000	VAC RES	60.00	0	0
000000	VAC RES	30.00	0	0

**Residential Buildings**

Building 1  
 Type SF APALACH  
 Total Area 2,330  
 Heated Area 1,848  
 Exterior Walls AL SIDING  
 Roof Cover COMP SHINGL  
 Interior Walls DRYWALL  
 Frame Type N/A  
 Floor Cover HARDWOOD  
 Heat AIRDUCTED  
 Air Conditioning CENTRAL  
 Bathrooms 2  
 Bedrooms 3  
 Stories 2  
 Effective Year Built 1993

**Extra Features**

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0310	WD WALK	1	0x0x0	40	UT	0
0300	STEPS	1	0x0x0	85	UT	1993
0300	STEPS	1	0x0x0	300	UT	1993

**Sales**

Multi Parcel	Sale Date	Sale Price
N	05/16/2019	\$355,000
N	01/15/1991	\$44,200

**Valuation**

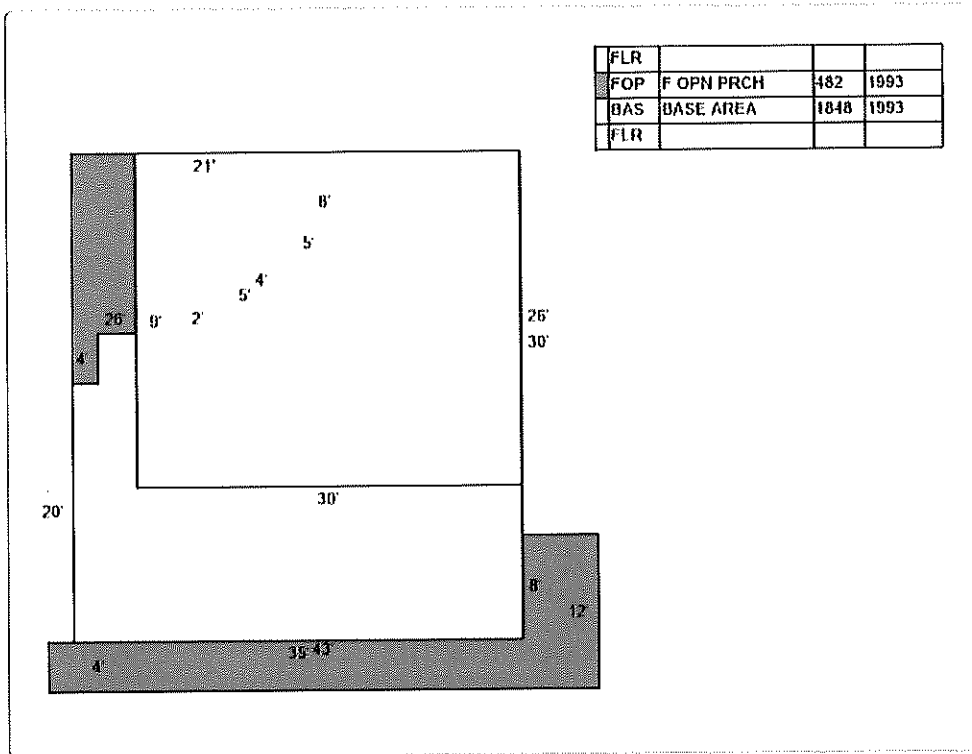
	2019 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$164,576	\$143,752	\$142,409	\$145,071
Extra Features Value	\$2,125	\$2,125	\$2,125	\$2,125
Land Value	\$198,000	\$114,000	\$114,000	\$114,000
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0
Just (Market) Value	\$364,701	\$259,877	\$258,534	\$261,196
Assessed Value	\$159,613	\$156,637	\$153,415	\$150,260
Exempt Value	\$50,000	\$50,000	\$50,000	\$50,000
Taxable Value	\$109,613	\$106,637	\$103,415	\$100,260
Maximum Save Our Homes Portability	\$205,088	\$103,240	\$105,119	\$110,936

\*Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notices

2019 TRIM Notice

Sketches



No data available for the following modules: Commercial Buildings.

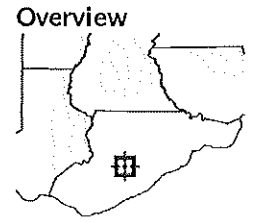
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

User Privacy Policy  
GDPR Privacy Notice




Last Data Upload: 9/5/2019 7:15:12 AM



Version 2.3.3



**Legend**

-  Parcels
-  Roads
-  City Labels

<b>Parcel ID</b>	01-09S-08W-8330-0026-0090	<b>Alternate ID</b>	08W09S01833000260090	<b>Owner Address</b>	ELIAS JAMES E &
<b>Sec/Twp/Rng</b>	--	<b>Class</b>	SINGLE FAM		KELLEY KATHLEEN E
<b>Property Address</b>	85 BAY AVE	<b>Acreage</b>	n/a		85 BAY AVE
					APALACHICOLA, FL 32320-1936
<b>District</b>	3				
<b>Brief Tax Description</b>	BLOCK 26 SE 1/2 LOT 9 & ALL				
	(Note: Not to be used on legal documents)				

Date created: 9/5/2019  
 Last Data Uploaded: 9/5/2019 7:15:12 AM

Developed by  Schneider  
 GEOSPATIAL

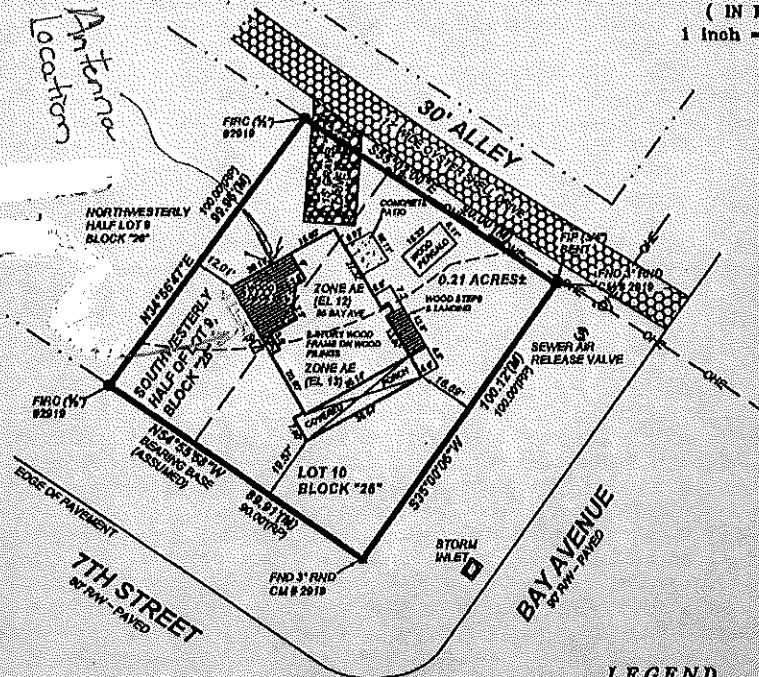
**PLAT OF BOUNDARY SURVEY CERTIFIED TO:**  
**JAMES E. ELIAS AND KATHLEEN KELLEY,**  
**DODD TITLE COMPANY, INC.,**  
**FIRST AMERICAN TITLE INSURANCE COMPANY**

**GRAPHIC SCALE**



( IN FEET )  
 1 inch = 40 ft.

*Location*



**LEGEND**

M	MEASURED
RP	RECORD PLAT
FIRC	FOUND (6/8") IRON ROD AND CAP
SIRC	SET (5/8") IRON ROD AND CAP #7160
FCM	FOUND CONCRETE MONUMENT
RW	RIGHT-OF-WAY
---	NOT TO SCALE
△	POINT NOT SET OR FOUND

**LEGAL DESCRIPTION:**

Southwesterly half of Lot 9 and all of Lot 10, Block "28" of THE CITY OF APALACHICOLA, according to the map or plat thereof in common use on file at the Clerk of the Circuit Court of Franklin County, Florida.

**NOTES:**

1. **SURVEY SOURCE:** Record plat and a field survey performed by the undersigned surveyor.
2. **BEARING REFERENCE:** Northeastery right-of-way boundary of 7th Street having an assumed bearing of North 54 degrees 55 minutes 58 seconds West
3. **NO IMPROVEMENTS** have been located in this survey other than shown hereon.
4. There are **NO VISIBLE ENCROACHMENTS** other than those shown hereon.
5. This survey is dependent upon **EXISTING MONUMENTATION.**
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

*The limits of said flood zones are shown hereon. They are shown in approximate locations only as transposed from said F.I.R.M. and were not field located by field survey methods.*

**FLOOD ZONE INFORMATION:**

Subject property is located in Zone AE (12 & 13) as per Flood Insurance Rate Map Community Panel No: 120089 0526F Index date: February 5, 2014, Franklin County, Florida.

I hereby certify that this was performed under my responsible direction and supervision and the plat and distribution are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 61-17.001(4)(a)).

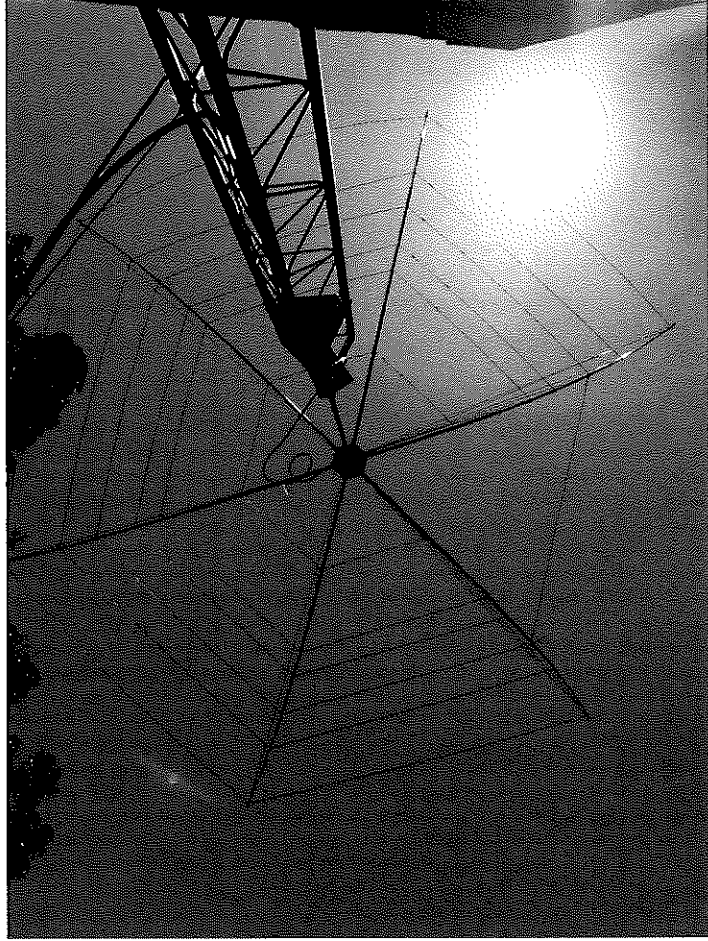
The undersigned surveyor has not been provided a current title opinion or abstract of title for the site or boundary to the subject property. It is possible there are recorded records, unrecorded deeds, easements or other instruments which may affect the boundary.

*James Y. Roddenberry*  
 JAMES Y. RODDENBERRY  
 Surveyor and Mapper  
 Florida Certificate No: 4281



<b>TR &amp; A</b>	<b>THURMAN RODDENBERRY &amp; ASSOCIATES, INC.</b>		
	PROFESSIONAL SURVEYORS AND MAPPERS		
P.O. BOX 119 • 117 BILDSON STREET • SOPCHOPPY, FLORIDA 32085			
PHONE NUMBER: 904-862-2222 FAX NUMBER: 904-862-2121			
LE 11/14			
DATE: 05/15/18	DRAWN BY: LD	PL: 616 PG 34	COUNTY: FRANKLIN
FILE: 18318DWO	DATE OF LAST FIELD WORK: 05/14/18	JOB NUMBER: 18-318	





**REFERENCE COPY**

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.

Cut Along This Line

Cut Along This Line

Cut Along This Line

*Licensee: This is your radio authorization in sizes suitable for your wallet and for framing. Carefully cut the documents along the lines as indicated and sign immediately upon receipt. They are not valid until signed.*

*The Commission suggests that the wallet size version be laminated (or another similar document protection process) after signing. The Commission has found under certain circumstances, laser print is subject to displacement.*

<b>UNITED STATES OF AMERICA FEDERAL COMMUNICATIONS COMMISSION</b> 			
<b>AMATEUR RADIO LICENSE</b>  <b>AJOIM</b>			
ATTN: JAMES E ELIAS ELIAS, JAMES E 85 BAY AVENUE PO BOX 772 APALACHICOLA, FL 32320			
FCC Registration Number (FRN): 0003109147			
<b>Special Conditions / Endorsements</b>			
NONE			
<b>Grant Date</b>	<b>Effective Date</b>	<b>Print Date</b>	<b>Expiration Date</b>
07-30-2013	06-11-2019	06-11-2019	07-30-2023
<b>File Number</b>	<b>Operator Privileges</b>	<b>Station Privileges</b>	
0008684226	Amateur Extra	PRIMARY	
THIS LICENSE IS NOT TRANSFERABLE  <hr style="width: 50%; margin: auto;"/> (Licensee's Signature)			
FCC 660 - May 2007			

Cut Along This Line

Cut Along This Line

Cut Along This Line

Cut Along This Line

<b>Call Sign / Number</b>	<b>Grant Date</b>	<b>Expiration Date</b>	<b>File Number</b>	<b>Print Date</b>	<b>Effective Date</b>
AJOIM	07-30-2013	07-30-2023	0008684226	06-11-2019	06-11-2019
<b>Operator Privileges</b>	<b>Station Privileges</b>	THIS LICENSE IS NOT TRANSFERABLE Special Conditions / Endorsements: NONE			
Amateur Extra	PRIMARY				
ATTN: JAMES E ELIAS ELIAS, JAMES E 85 BAY AVENUE PO BOX 772 APALACHICOLA, FL 32320					
<b>AMATEUR RADIO LICENSE</b> FCC Registration Number (FRN): 0003109147					
FCC 660 - May 2007			(Licensee's Signature) FEDERAL COMMUNICATIONS COMMISSION		

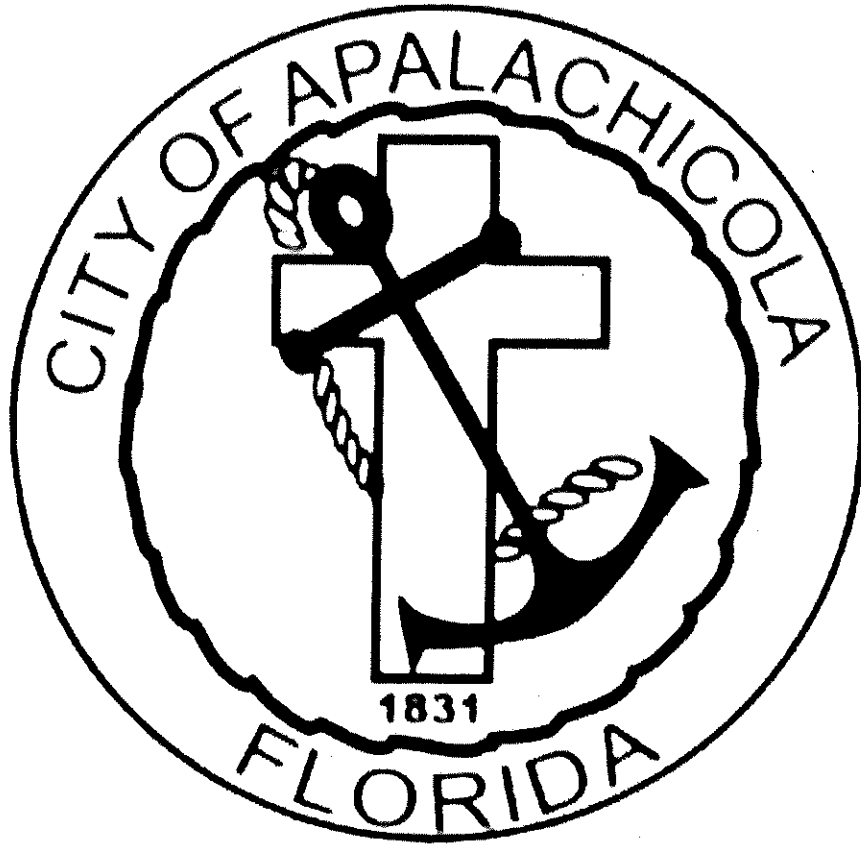
Cut Along This Line

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: 7/31/2019 Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: CITY OF APALACHICOLA

ADDRESS: MILL BASIN

CITY, STATE & ZIP CODE: APALACHICOLA PHONE # \_\_\_\_\_

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: VOLENTIERS

ADDRESS: APALACHICOLA FARMERS MARKET

CITY, STATE & ZIP CODE: APALACHICOLA PHONE # 413 717 0936

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: MILL BASIN

PROPOSED USE OF SITE: STAGE

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? X YES  
\_\_\_\_ NO

PROPERTY PARCEL ID # 01 - 095 - 08W - 8371 - 0000 - 0020

LEGAL DESCRIPTION OF PROPERTY: \_\_\_\_\_

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building. Stage

Distance from property lines: Front 110'      Rear 200'      L. Side 600'  
R. Side 500  
Cost of Construction \$ 1,000      Square Footage 90 sq ft  
EPI \_\_\_\_\_      Flood Zone VE13      Lowest Floor Elevation \_\_\_\_\_  
Area Heated/Cooled NONE      # Of Stories 1      # Of Units \_\_\_\_\_  
Type of Roof galvalume      Type of Walls open      Type of Floor PT WOOD  
Extreme Dimensions of: Length 9      Height 9      Width 10

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

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**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

*[Signature]*  
Signature of Owner or Agent

Date: 7/31/2019

Notary as to Owner or Agent

My Commission expires: \_\_\_\_\_

\_\_\_\_\_  
Signature of Contractor

Date: \_\_\_\_\_

Notary as to Contractor





My Commission expires: \_\_\_\_\_

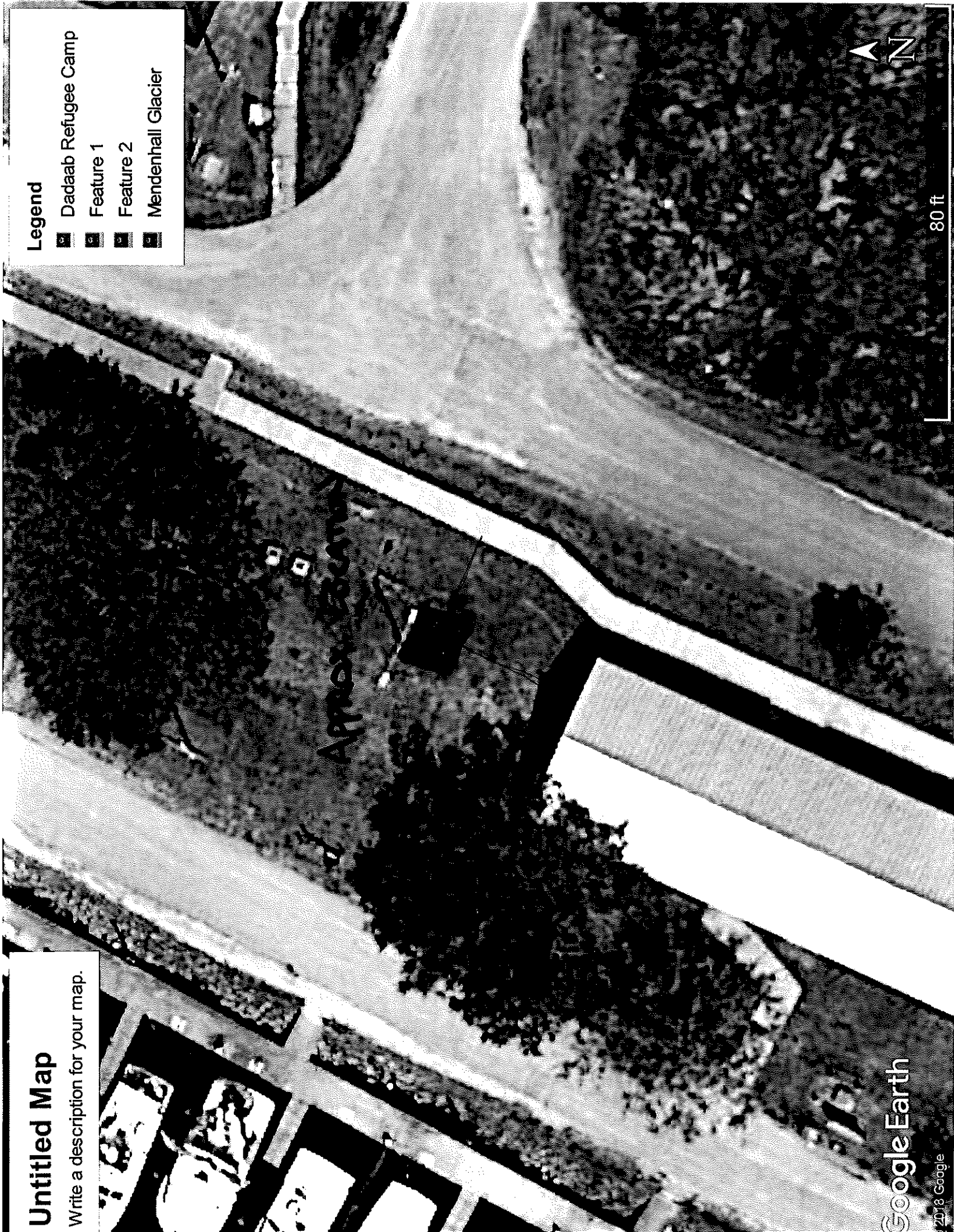
APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

# Untitled Map

Write a description for your map.

## Legend

-  Dadaab Refugee Camp
-  Feature 1
-  Feature 2
-  Mendenhall Glacier



80 ft



**Parcel Summary**

Parcel ID 01-09S-08W-8371-0000-0020  
 Location Address 32320  
 Brief Tax Description\* 36.85 8W 190 ACRES FROM CYPRESS LBR CO TO J H SHEIP OR Z/470 111/2 APALACH UNPLATTED  
 \*The Description above is not to be used on legal documents.  
 Property Use Code MUNICIPAL (008900)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Apalachicola City Of  
 1 Bay Ave  
 Apalachicola, FL 32320

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
001000	COMMERCIAL	1,400.00	UT	0	0
009500	SUBMERGED	160.00	UT	0	0
000110	SFR RURAL	25.00	UT	0	0

**Valuation**

	2018 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$1,779,000	\$1,866,500	\$1,779,000	\$1,779,000	\$1,779,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
<b>Just (Market) Value</b>	<b>\$1,779,000</b>	<b>\$1,866,500</b>	<b>\$1,779,000</b>	<b>\$1,779,000</b>	<b>\$1,779,000</b>
Assessed Value	\$782,676	\$860,944	\$711,524	\$646,840	\$588,036
Exempt Value	\$782,676	\$860,944	\$711,524	\$646,840	\$588,036
Taxable Value	\$0	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$996,324	\$0	\$1,067,476	\$1,132,160	\$1,190,964

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sales, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.  
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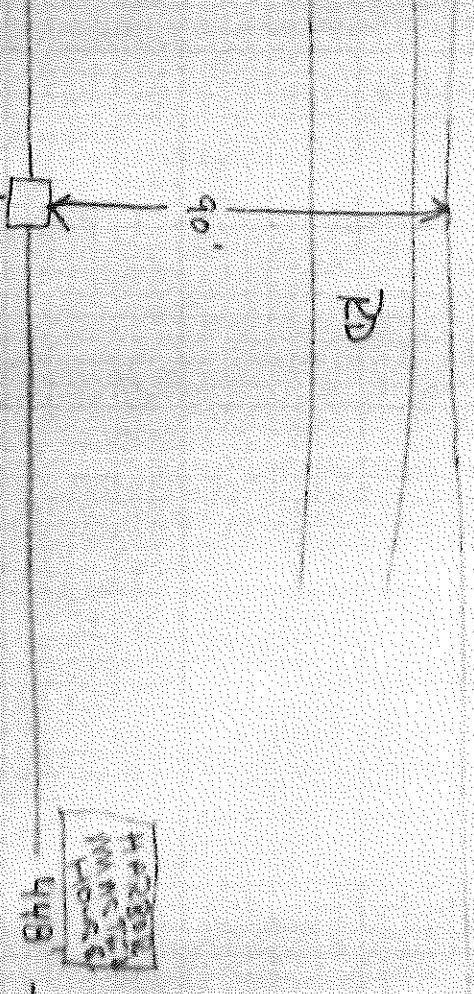
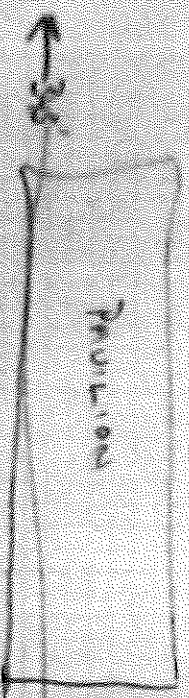
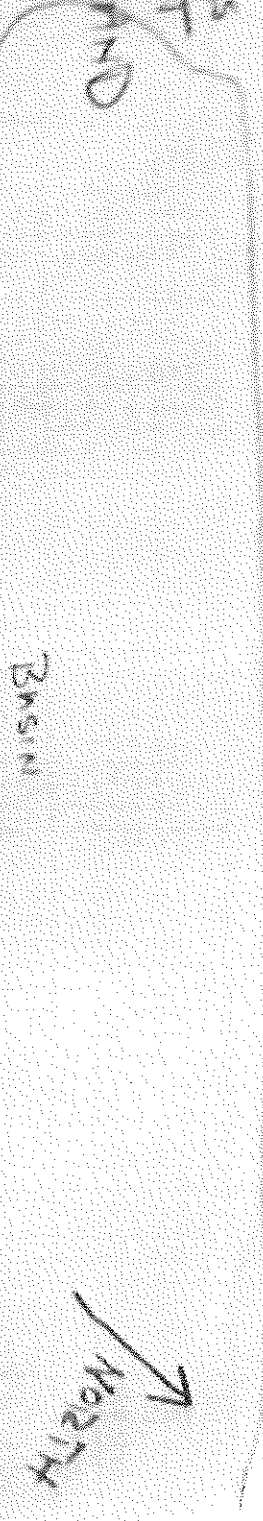


Version 2.2.35



FARMERS  
MARKET  
BRAND STAND

CECILIAN  
EDMON  
413 717 0936



253'

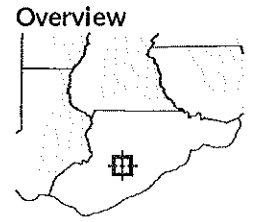
RD

RD

BASIN

448'

4000  
1000



- Legend**
-  Parcels
  -  Roads
  -  City Labels

<b>Parcel ID</b>	01-09S-08W-8371-0000-0020	<b>Alternate ID</b>	08W09S01837100000020	<b>Owner Address</b>	APALACHICOLA CITY OF
<b>Sec/Twp/Rng</b>	1-9S-8W	<b>Class</b>	MUNICIPAL		1 BAY AVE
<b>Property Address</b>		<b>Acreage</b>	n/a		APALACHICOLA, FL 32320
<b>District</b>	3				
<b>Brief Tax Description</b>	36 8S 8W 190 ACRES FROM (Note: Not to be used on legal documents)				

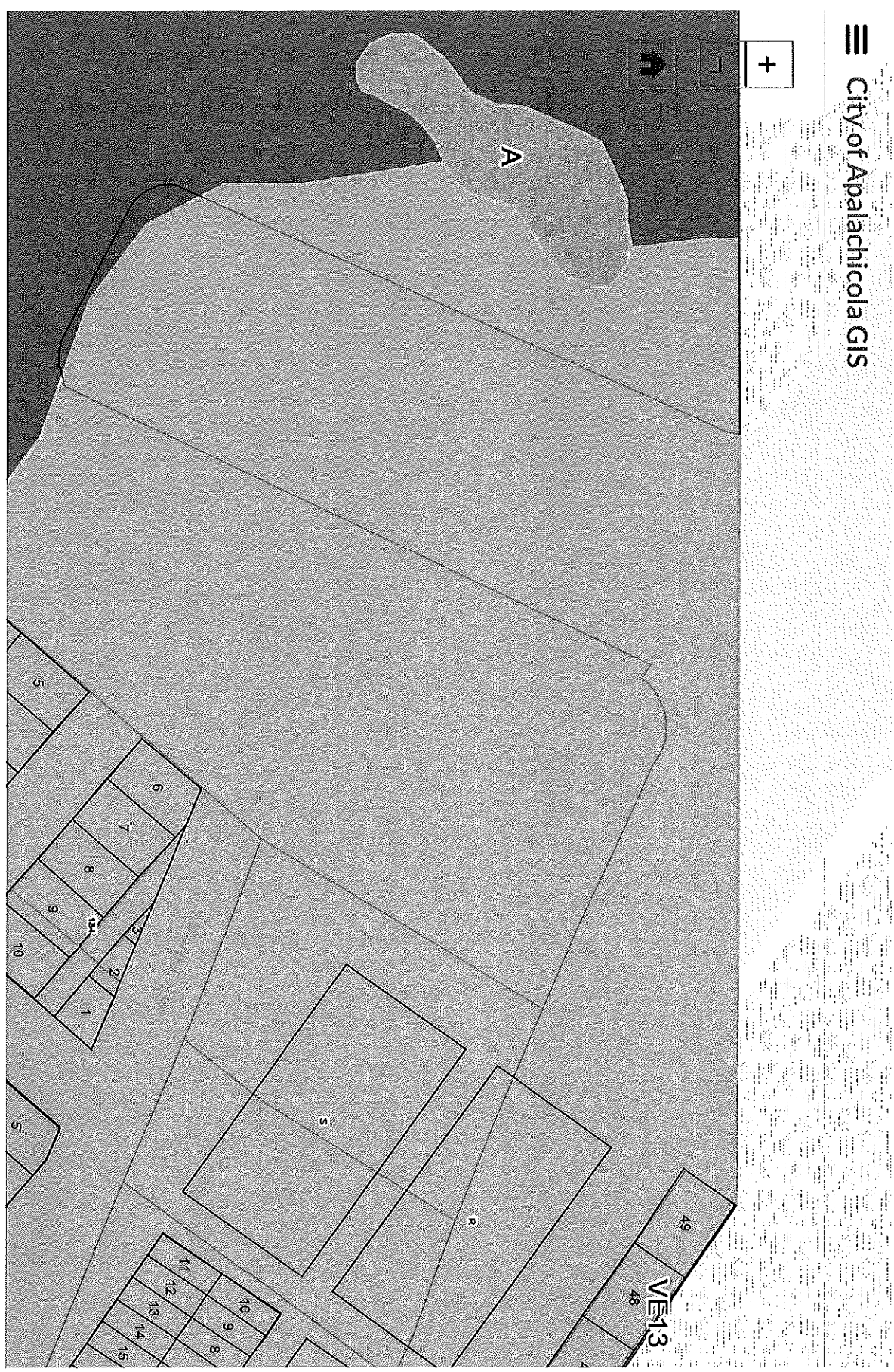
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 GEOSPATIAL

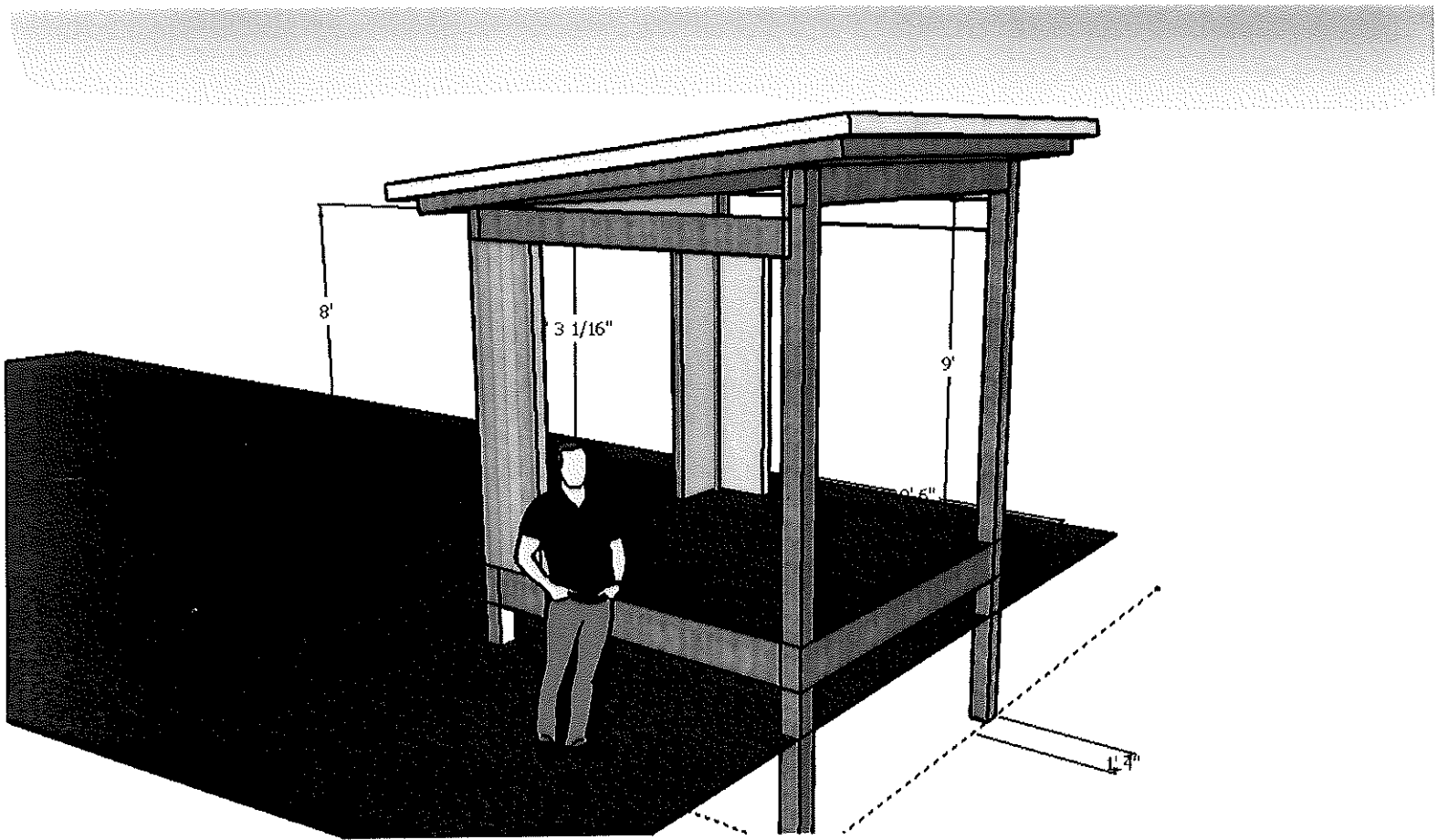
### Comprehensive GIS Zoning, Land Use and FEMA flood zone map

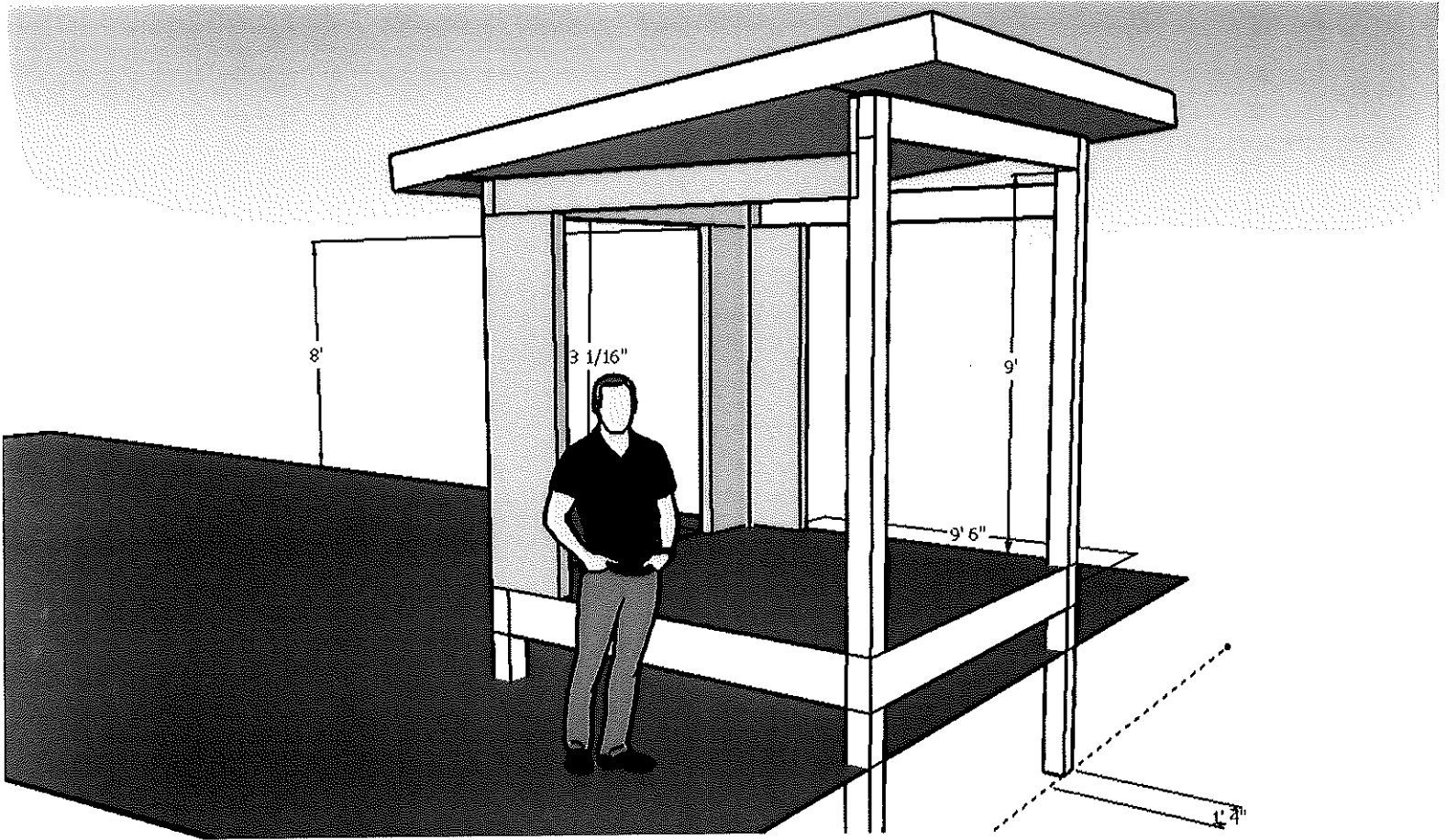
The map below incorporates each of the City's parcels into one GIS overlay map with individual attribute layers which may be clicked on and off for a comprehensive look at each lot as it relates to zoning, land use and FEMA flood zones.

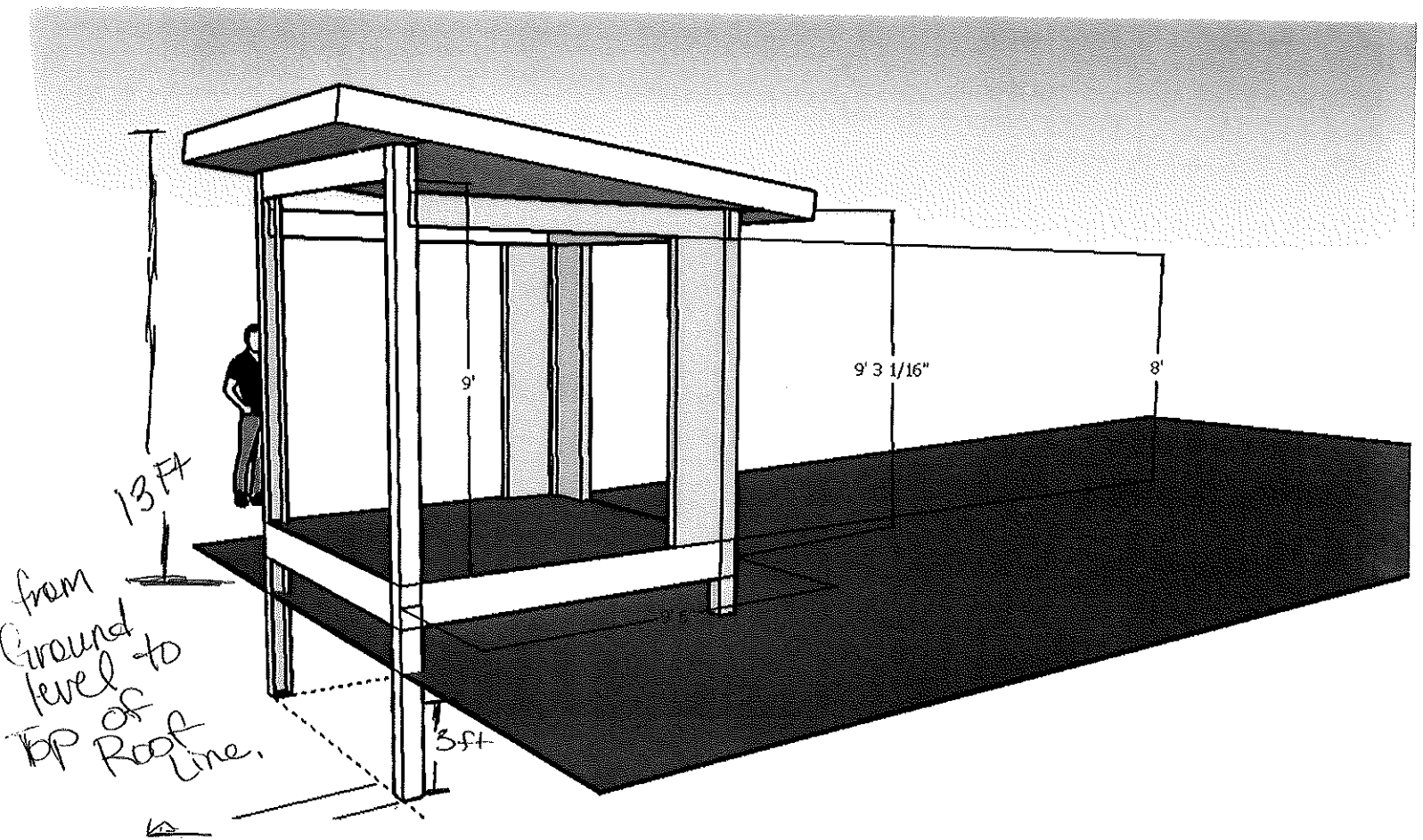
### City of Apalachicola GIS

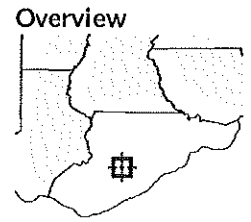


STAGE FOR FARMERS MARKET  
CRIGTON 413 717 0936









- Legend**
- Parcels
  - Roads
  - City Labels

Parcel ID	01-09S-08W-8371-0000-0020	Alternate ID	08W09S01837100000020	Owner Address	APALACHICOLA CITY OF
Sec/Twp/Rng	1-9S-8W	Class	MUNICIPAL		1 BAY AVE
Property Address		Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	36 8S 8W 190 ACRES FROM (Note: Not to be used on legal documents)				

Date created: 7/31/2019  
 Last Data Uploaded: 7/31/2019 7:09:26 AM

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**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

**OWNER INFORMATION**

**CONTRACTOR INFORMATION**

Owner Michael & Rebecca Barlament  
Address 137 Bay Colony Way  
City Apalachicola State FL Zip 32320  
Phone (404) 312-1700

State License # RB00066825  
City License # 97-228 County License # 201857  
Email Address BHLE @ 1ST CHOICE Builders. IV RT  
Phone (850) 653-7777

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

**PROJECT TYPE**

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: \_\_\_\_\_

**PROPERTY INFORMATION:**

Street Address: 137 Bay Colony Way City & State Apalachicola FL Zip 32320  
 Historic District  Non-Historic District Zoning District \_\_\_\_\_  
Parcel #: 12-095-08W-1000-0000-0190 Bay Colony subdivision Block(s) \_\_\_\_\_ Lot(s) 19  
FEMA Flood Zone/Panel #: AE II - SEE SURVEY -  
(For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

Setback requirement of Property:  
Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_  
Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:  
\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 658-1522 (ext 205) Phone  
(850)658-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

New single family home - meeting all  
NECESSARY ~~SET~~ SET BACKS

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		HARDI SIDING	
Doors		FIBERGLASS	
Windows		Ply Gem Vinyl -	
Roofing		METAL GALVALUME STAND + SEAM	
Trim		HARDI	
Foundation		CONCRETE footer + PIERS - CONCRETE	
Shutters		—	
Porch/Deck		AZEK Composite	Decks
Fencing		—	
Driveways/Sidewalks		LIME ROCK - # ROAD BASE # 89 ROCK	
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no change for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of my association rule or regulation.

8-5-19-  
DATE

Bryce Ward  
SIGNATURE OF APPLICANT

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Michael & Rebecca Barlam ENT

ADDRESS: 137 Bay Colony way

CITY, STATE & ZIP CODE: Apalachicola, FL PHONE # 404-312-1700

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): —

ADDRESS: —

CITY, STATE & ZIP CODE: — PHONE # —

CONTRACTOR'S NAME: 1ST CHOICE Bldg. — Bryce Ward

ADDRESS: 332 Paradise Lane

CITY, STATE & ZIP CODE: Apalachicola, FL PHONE # 850-653-7777

STATE LICENSE NUMBER: RB0066825 COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 137 Bay Colony way - Apalachicola, FL

PROPOSED USE OF SITE: SINGLE FAMILY RESIDENCE

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 12-095-08W-1000-0000-0190

LEGAL DESCRIPTION OF PROPERTY: Lot 19 - Bay Colony subdivision

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

~~BONDING COMPANY: \_\_\_\_\_~~

~~ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_~~

~~ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_~~

~~ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_~~

~~MORTGAGE LENDER'S NAME: \_\_\_\_\_~~

~~ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_~~

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building: \_\_\_\_\_

Distance from property lines: <sup>to R</sup> Front 64'      Rear 62'5"      L. Side 43'6"      *see attached site plan*  
R. Side 10'  
Cost of Construction \$ 354,100      Square Footage ~~2017~~ 2017 *under Roof*  
EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
Area Heated/Cooled: 1687      # Of Stories 2      # Of Units Single Family  
Type of Roof Gable      Type of Walls 2x6 wood      Type of Floor 2x12 PT & ADVANTEC  
Extreme Dimensions of:      Length 67'1"      Height 26'      Width 47'

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPC: The EPC/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Bryce Ward  
Signature of Owner or Agent  
Date: 8-6-19

Bryce Ward  
Signature of Contractor  
Date: 8-6-19

Notary as to Owner or Agent  
My Commission expires: \_\_\_\_\_

Notary as to Contractor  
My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

**CITY OF APALACHICOLA  
TREE APPLICATION  
REMOVAL OR ALTERATION OF PROTECTED TREE**

Applicants Name: 1ST CHOICE BUILDERS - Bryce Ward (Please print)  
 Property Owners Name: MIKE & Rebecca Barlament Phone: 404-312-1700  
 Property Address: 137 Bay Colony City, State, Zip: Apalachicola, FL 32320  
 General Contractor/Tree Contractor: Coastline Const. Phone: 899-2981  
 Applicants Signature/Date: Bryce Ward / 8-6-19

1. Protected trees - Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4" to 16"	Greater than 16" to less than 35"	35" and larger (Patriarch Tree)
Bald & Pond Cypress		—	—
Eastern & Southern Red Cedar			
Live Oak		<del>X</del>	<del>X</del>
Longleaf Pine	<u>#3 - 12" pines</u>	<u>see site plan</u>	
Pecan		<del>X</del>	<del>X</del>
Sabal Palm			
Slash Pine		<del>X</del>	<del>X</del>
Southern Magnolia			
Sycamore			
Water Oak			
<b>Total</b>			

Size is measured at breast height (4.5 feet above ground surface)

2. Reason(s) for removal or alteration (Mark all that apply with "X")

Owner's Private Property	
<input checked="" type="checkbox"/> <b>Removal: New Construction</b> Tree located within or too close to footprint of proposed new building or addition	<input checked="" type="checkbox"/> <b>Alteration: New Construction</b> Limbs and branches encroaching where structure is to be built
<input type="checkbox"/> <b>Removal: No New Construction</b> Tree roots damaging building foundation or underground utilities	<input type="checkbox"/> <b>Alteration: No New Construction</b> Limbs and branches rubbing on side or roof of building
<input type="checkbox"/> Imminent hazard to property or human safety	<input type="checkbox"/> Imminent hazard to property or human safety
<input type="checkbox"/> Diseased or pest-infested tree	<input type="checkbox"/> Diseased or pest-infested tree
<input type="checkbox"/> Storm damaged tree (other than City declared emergency; e.g., lightning)	<input type="checkbox"/> Storm-damaged tree (other than during City declared emergency; e.g., lightning)
<input type="checkbox"/> Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
City Property (City street right-of-ways adjacent to private property)	
<input type="checkbox"/> <b>Removal: Requested by Private Property Owner</b> Tree located where access to private property is proposed (driveway, etc.)	<input type="checkbox"/> <b>Alteration: Requested by Private Property Owner (Significant cutting of limbs &amp; branches)</b> Imminent hazard to property or human safety
<input type="checkbox"/> Imminent hazard to property or human safety	
<input type="checkbox"/> Diseased or pest-infested tree	
<input type="checkbox"/> Storm damaged tree (other than City declared emergency; e.g., lightning)	
Requested by City Department	
<input type="checkbox"/> Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard)	<input type="checkbox"/> Growth encroaching on street or alley

3. Please attach a map with the following drawn to scale:

- a. Locations of the following:
1. Lot boundaries
  2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
  3. Types & Sizes of protected trees (measured at breast height in inches)
  4. Protected trees that are proposed to be removed or altered

**OFFICE USE ONLY**

<b>Permit Processing Fee (\$50.00 or \$100.00)</b>	
<b>Reforestation Fund</b>	
Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)	
Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)	
Non Patriarch Tree Total (\$250.00 Max)	
Number of Trees 35" and larger x \$1,000.00	
Reforestation Fund Total	

Planning and Zoning Board (When Development plan is submitted):

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied  
 \_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
 Chairperson, Planning and Zoning Board                      Date

Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied  
 \_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
 Code Enforcement Officer or Designee                      Date

\_\_\_\_\_  
 City Manager or Designee                                      Date

FLOOD PLAIN MANAGEMENT  
PERMIT APPLICATION REVIEW

DATE: \_\_\_\_\_

PERMIT #: \_\_\_\_\_

NAME: Michael & Rebecca Barlament / 1st Choice Bldgs. Bryce Ward  
MAILING ADDRESS: 137 Bay Colony Way CITY/STATE/ZIP: Apalachicola, FL 32320  
PHONE: 404-312-1700 Bryce Ward 653-7777

Parcel #  
Legal

STREET ADDRESS: 137 Bay Colony Way - Apalachicola, FL

LEGAL DESCRIPTION: 12-095-08W-1000-0000-0190

PARCEL ID #: LOT 19 - Bay Colony Subdivision

DESCRIBE DEVELOPMENT: Single Family Dwelling  
within all setbacks

RESIDENTIAL:  COMMERCIAL: \_\_\_\_\_ NEW STRUCTURE: \_\_\_\_\_ SUBSTANTIAL IMPROVEMENT: \_\_\_\_\_

FLOOD ZONE INFORMATION: SEE Attached top

PANEL NO.: \_\_\_\_\_ FIRM ZONE: \_\_\_\_\_ BFE: \_\_\_\_\_ GRADE ELEVATION: \_\_\_\_\_

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE: \_\_\_\_\_  
AND/OR TOP OF THE BOTTOM FLOOR \_\_\_\_\_ (PER PLANS)

SQUARE FEET OF ENCLOSURE BELOW BFE: \_\_\_\_\_ (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, Bryce Ward - owner Agent, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014; my/our property may be adversely affected by these changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: 137 Bay Colony Way PARCEL ID #: 12-095-08W-1000-0000-0190  
EFFECTIVE FLOOD ZONE: AE II PRELIMINARY FLOOD ZONE: \_\_\_\_\_

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel.

Bryce Ward

Signature of owner or developer

8-8-19

Date



Dang - X-0.2% -



**Parcel Summary**

Parcel ID 12-09S-08W-1000-0000-0190  
 Location Address 137 BAY COLONY WAY  
 APALACHICOLA 32320  
 Brief Tax Description\* BAY COLONY SUB LOT 19 PB 8/5 772/579 1230/513  
 \*The Description above is not to be used on legal documents.  
 Property Use Code VACANT (000000)  
 Sec/Twp/Rng --  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Barlament Michael L & Rebecca  
 2206 Hosea L Williams Drive NE  
 Atlanta, GA 30317

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	1.00	UT	0	0

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	10/26/2018	\$45,000	WD	1230	513	Qualified (Q)	Vacant	R & D STARKE	BARLAMENT
N	01/23/2004	\$113,000	WD	772	579	Unqualified (U)	Vacant	FIGHTING	R & D STARKE

**Valuation**

	2019 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$38,000	\$38,000	\$38,000	\$35,000	\$35,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$38,000	\$38,000	\$38,000	\$35,000	\$35,000
Assessed Value	\$38,000	\$38,000	\$38,000	\$35,000	\$33,275
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$38,000	\$38,000	\$38,000	\$35,000	\$33,275
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$1,725

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

**TRIM Notices**

2019 TRIM Notice

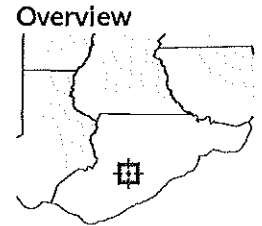
No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.



Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.  
[User Privacy Policy](#)  
[GDPR Privacy Notice](#)



Last Data Upload: 9/5/2019, 7:15:12 AM

Version 2.3.3



- Legend**
-  Parcels
  -  Roads
  -  City Labels

Parcel ID	12-09S-08W-1000-0000-0190	Alternate ID	08W09S12100000000190	Owner Address	BARLAMENT MICHAEL L & REBECCA
Sec/Twp/Rng	--	Class	VACANT		2206 HOSEA L WILLIAMS DRIVE NE
Property Address	137 BAY COLONY WAY	Acreage	n/a		ATLANTA, GA 30317
	APALACHICOLA				
District	3				
Brief Tax Description	BAY COLONY SUB LOT 19 PB 8/5				
	(Note: Not to be used on legal documents)				

Date created: 9/5/2019  
 Last Data Uploaded: 9/5/2019 7:15:12 AM

Developed by  Schneider  
 GEOSPATIAL

# BARLAMENT RESIDENCE

137 BAY COLONY WAY, APALACHICOLA, FL 32320

## DRAWING INDEX:

- A-1 SITE PLAN
- A-2 1ST FLOOR PLAN
- A-3 2ND FLOOR PLAN
- A-4 ELEVATIONS
- A-5 FOUNDATION/ 1ST FLOOR FRAMING
- A-6 2ND FLOOR FRAMING
- A-7 LOWER ROOF FRAMING
- A-8 UPPER ROOF FRAMING
- A-9 SECTION

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Zachary Ward dan Ward Drafting is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

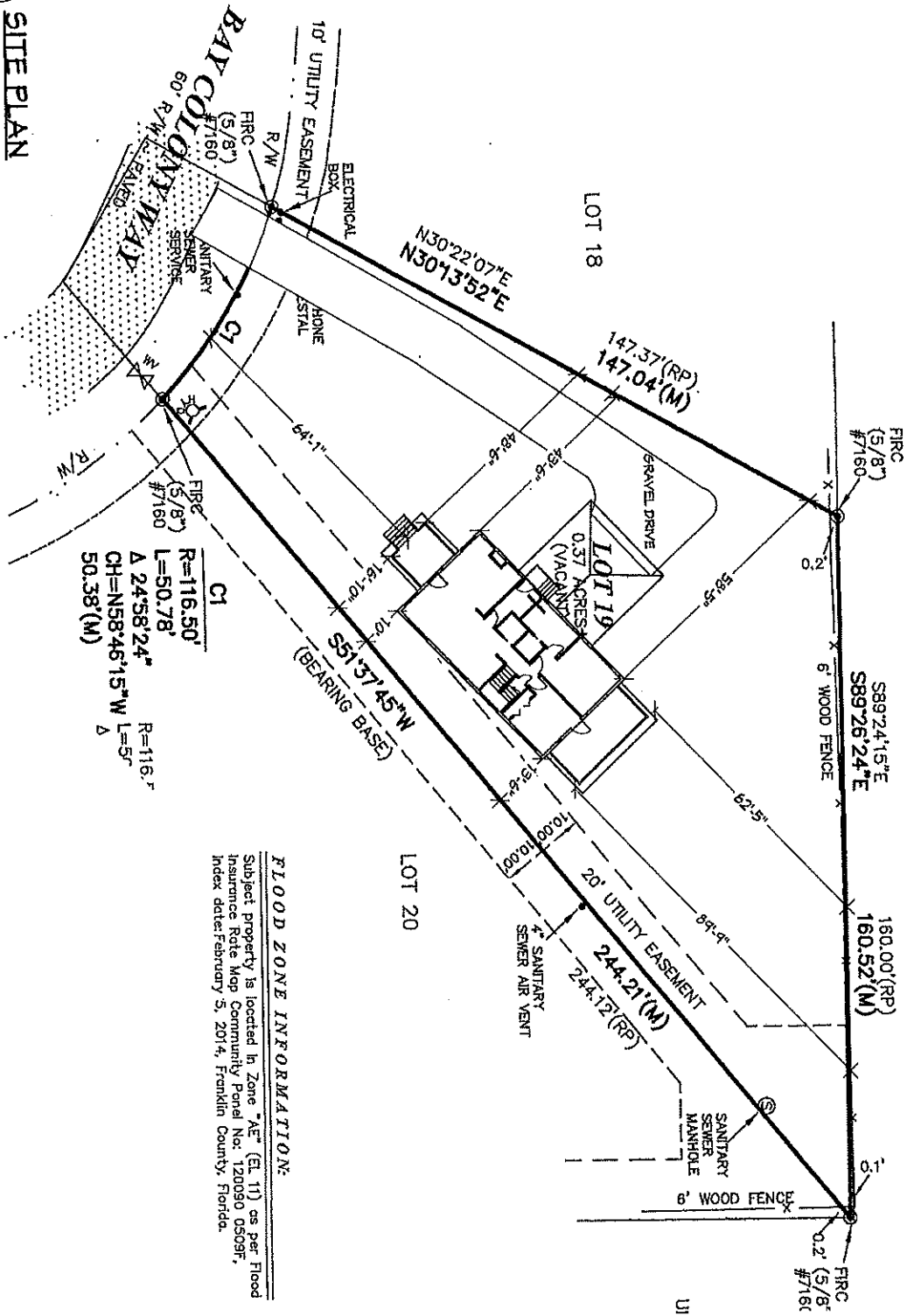


date	07/31/2019
rev	1
drawn	ZACH WARD

plans@zwdan.com

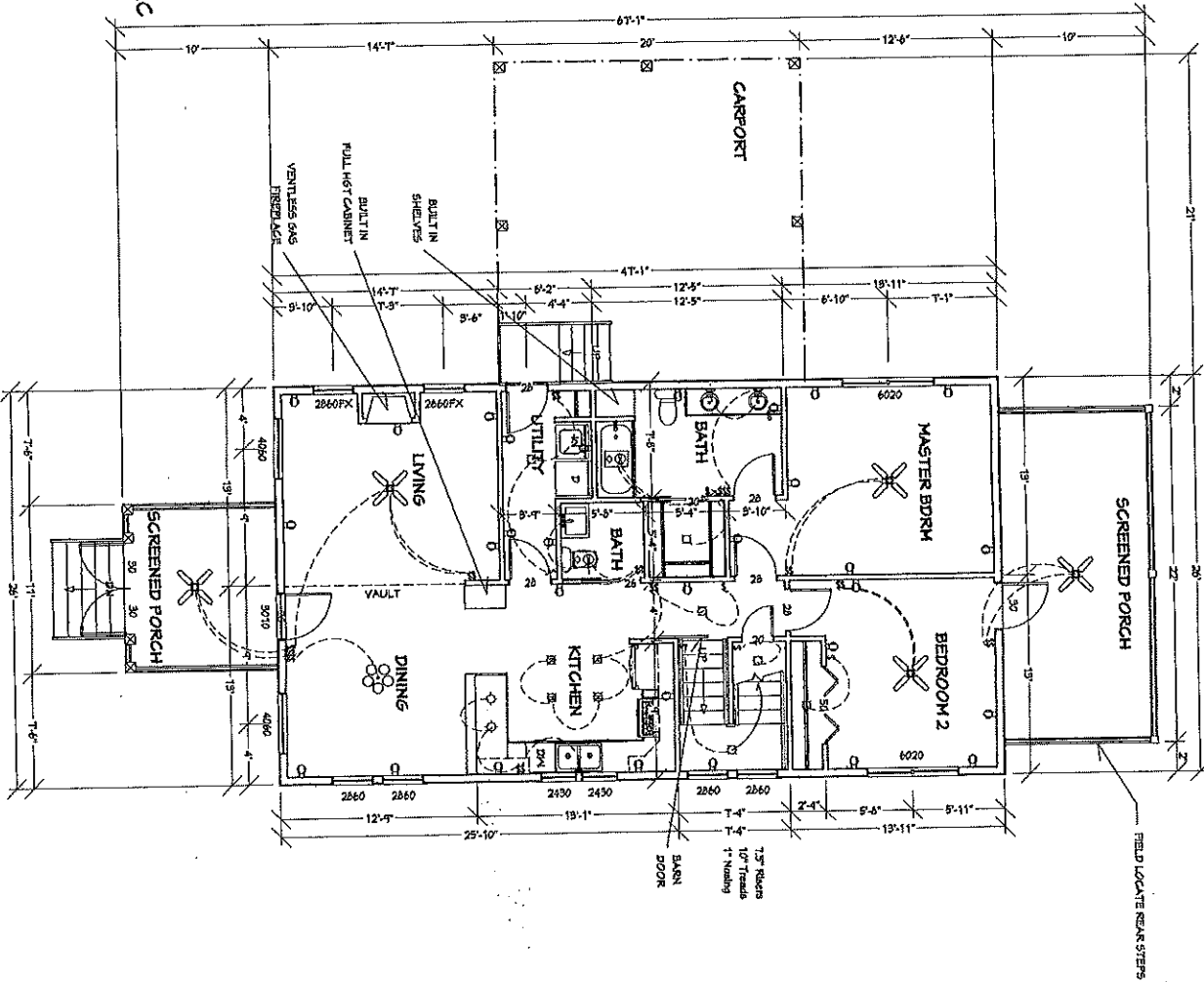


**SITE PLAN**  
1" = 25'



**FLOOD ZONE INFORMATION:**  
 Subject property is located in Zone "AE" (El. 11) as per Flood Insurance Rate Map Community Panel No. 120090 0509F, Index date: February 5, 2014, Franklin County, Florida.

**1ST FLOOR**  
 1/8" = 1'  
 1,221 SF H&C

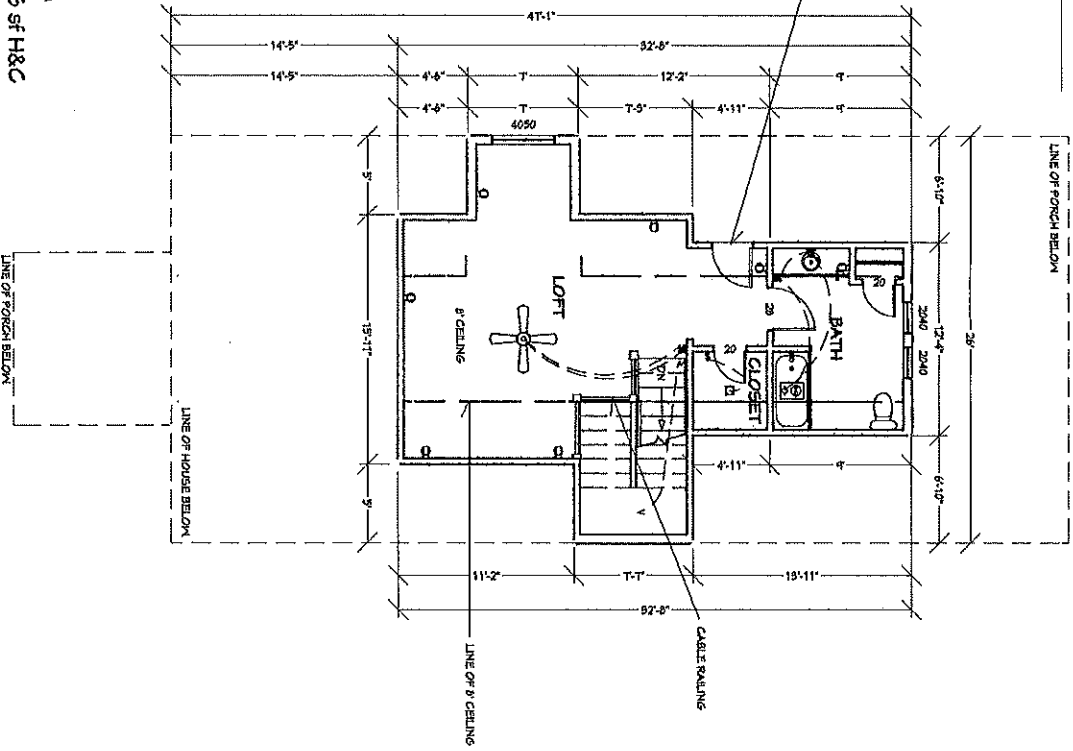


CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING ANY WORK.

ELECTRICAL PLAN IS SUPPLEMENTARY CONSULT OWNER FOR RIVAL PLACEMENT AND QUANTITIES

3/4\"

**2ND FLOOR**  
 1/8" = 1'  
 466 sf H&C

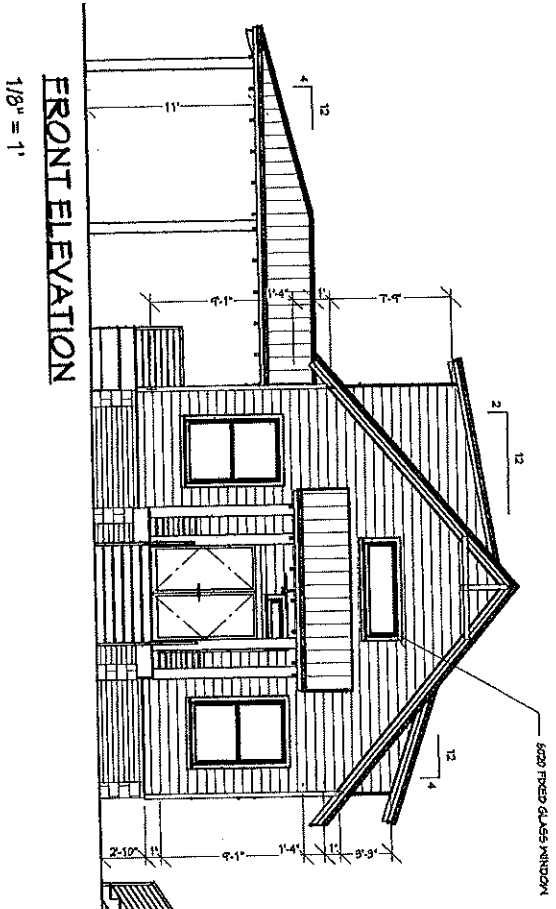


CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING ANY WORK.

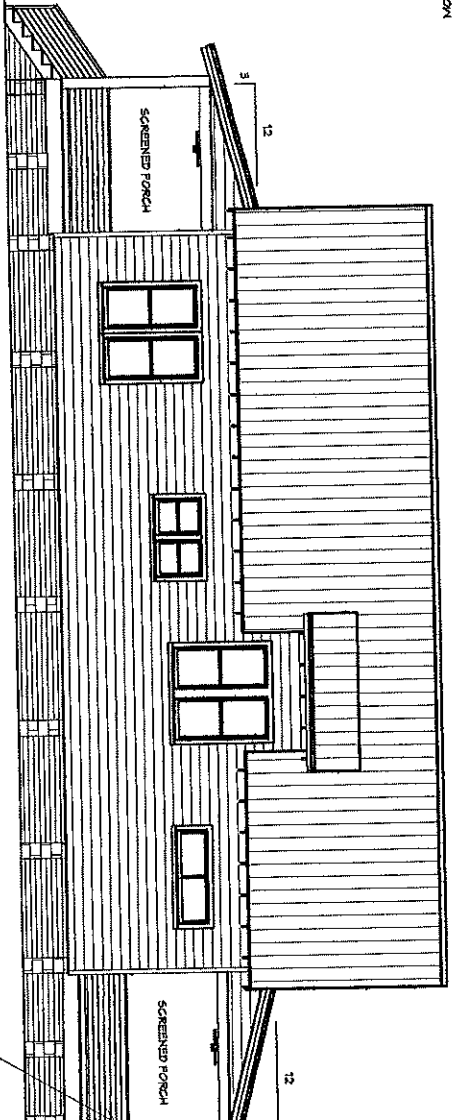
ELECTRICAL PLAN IS SCHEMATIC CONSULT OWNER FOR FINAL PLACEMENT AND QUANTITIES

HVAC IN ATTIC

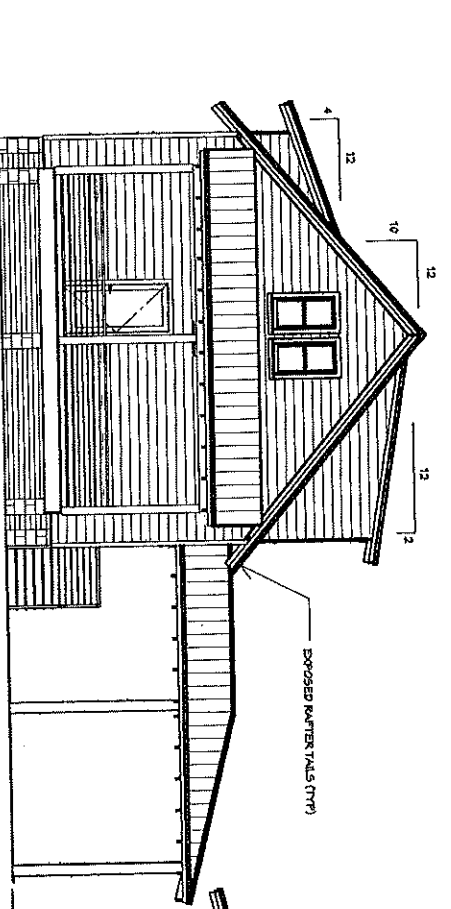
2x6 STUD @ 16" OC EXTERIOR WALLS  
 2x6 STUD @ 16" OC INTERIOR WALLS  
 8" MAX CEILING HEIGHT



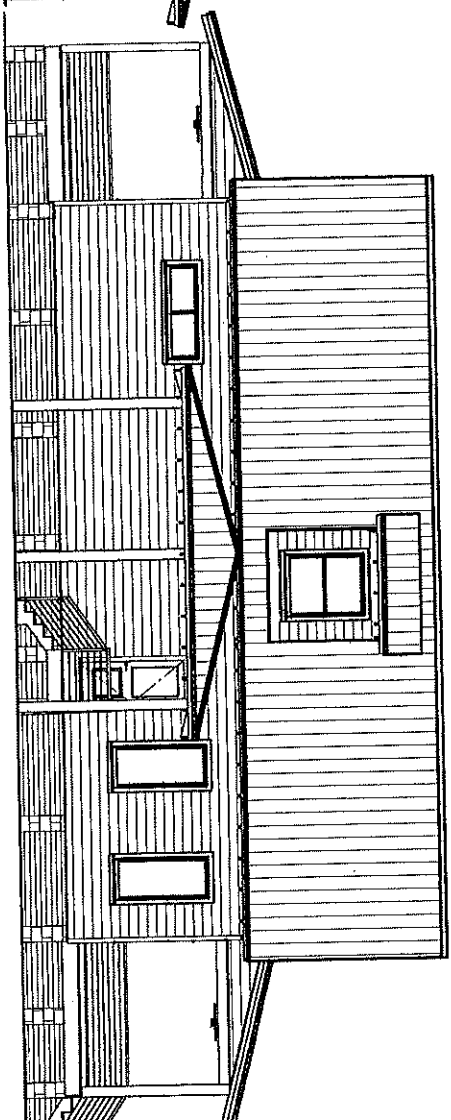
**FRONT ELEVATION**  
1/8" = 1'



**RIGHT ELEVATION**  
1/8" = 1'



**REAR ELEVATION**  
1/8" = 1'

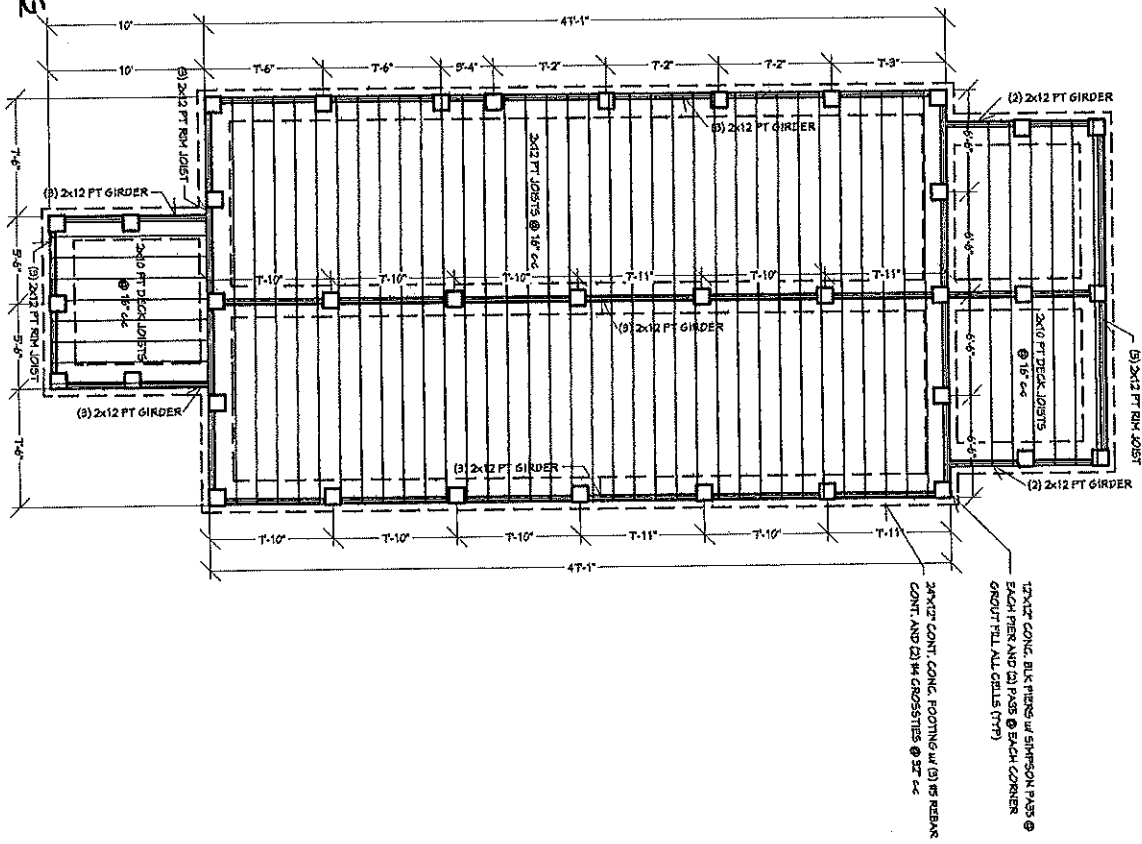


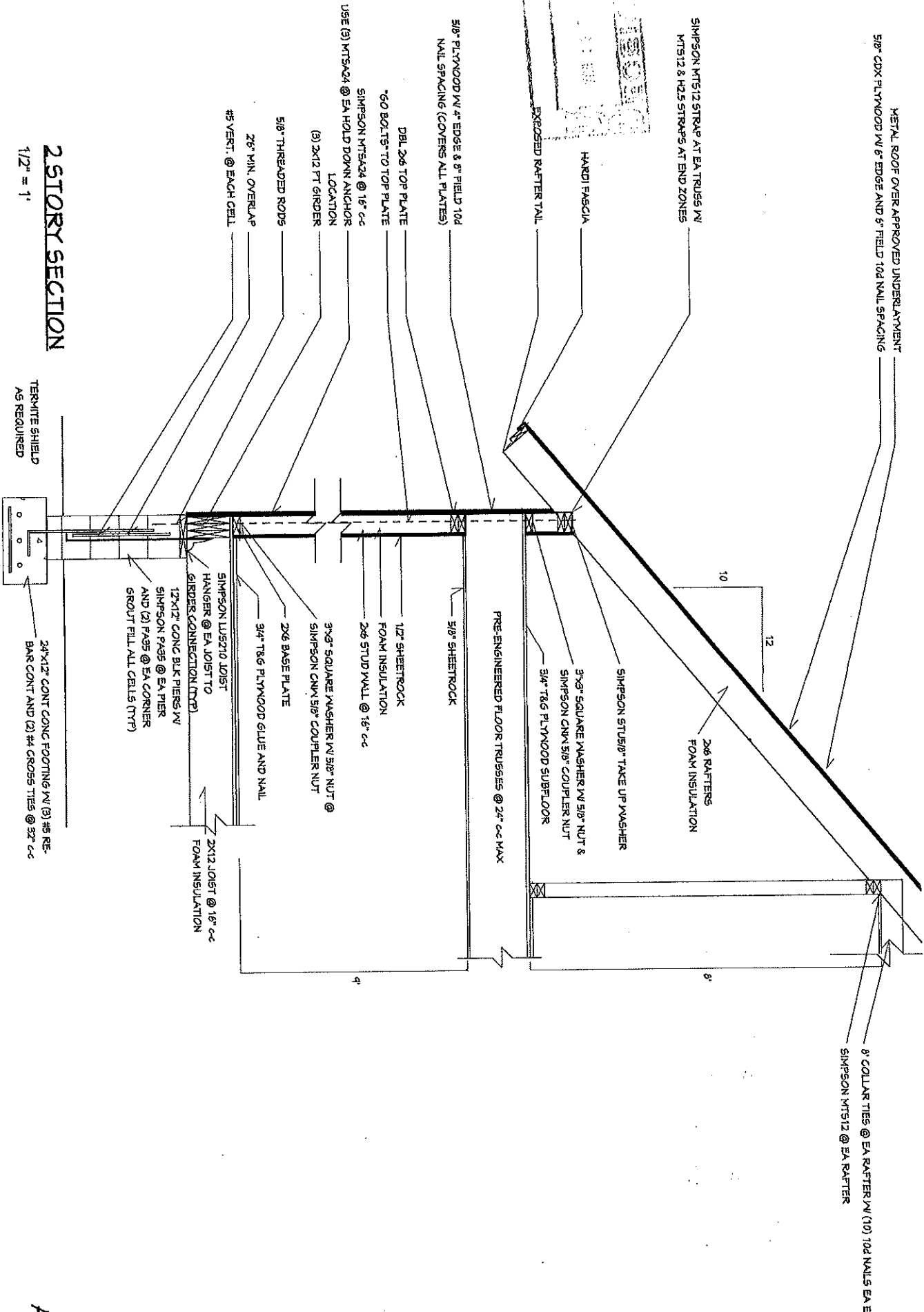
**LEFT ELEVATION**  
1/8" = 1'



**FOUNDATION/1ST FLOOR FRAMING**

1/8" = 1'





**2 STORY SECTION**

1/2" = 1'



Total Lot Coverage Incl. original House 16% -

CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION

Official Use Only

-HISTORIC DISTRICT-

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner: Doug Schemske  
Address: 126-17th street  
City: Apalachicola State: FL Zip: 32320  
Phone: 517 525-3330

State License # RB0066825  
City License # 97-228 County License # 201857  
Email Address: Bryce@1STchoiceBuilders.net  
Phone: 850 653-7777

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: \_\_\_\_\_

PROPERTY INFORMATION:

Street Address: 126-17th st. City & State: Apalachicola, FL Zip: 32320

Historic District  Non-Historic District Zoning District \_\_\_\_\_

Parcel #: 01-095-08W-8330-0116-0005 Block(s) 116 Lot(s) 5

FEMA Flood Zone/Panel #: X Flood Zone  
(For AE, AO, AH or VE Please complete attached Flood Application) SEE survey

OFFICIAL USE ONLY

Setback requirement of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC3.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850)653-5023 Cell  
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Accessory Buildings - BOAT HOUSE

Accessory Building - Garage

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	HARDI	Siding	
Doors	Fiberglass		
Windows	Vinyl		
Roofing	mill finish	GALVALUME	
Trim	HARDI		
Foundation	CONCRETE	FOOTER & SLAB	
Shutters	—		
Porch/Deck	—		
Fencing	—		
Driveways/Sidewalks	crushed	57 ROCK	
Other			

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Douglas Schemske

ADDRESS: 126-17th St.

CITY, STATE & ZIP CODE: Apalachicola, FL PHONE # 517-525-3330

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: 1ST Choice Bldg. - Bryce Ward

ADDRESS: 332 PARADISE LANE

CITY, STATE & ZIP CODE: Apalachicola, FL PHONE # 850-653-7777

STATE LICENSE NUMBER: 12B0066825 COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 126-17th street Apalachicola FL

PROPOSED USE OF SITE: Enclosed Boat Storage & Garage

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 01-095-08W-8330-0116-0050

LEGAL DESCRIPTION OF PROPERTY: Blk 116 Lot 5 & 40' of Lot 4

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family     Townhouse     Commercial     Industrial

Duplex     Swimming Pool     Storage     Sign

Multi-Family     Demolition     Other

Addition, Alteration or Renovation to building:

**ENCLOSED BOAT SHED**  
**ENCLOSED GARAGE**

**SEE Detailed Survey -**

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
R. Side \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_ Square Footage **1211** - **total of ALL 26% Lot coverage**  
EPJ \_\_\_\_\_ Flood Zone **X-X-0.2%** Lowest Floor Elevation **12' above grade**

Area Heated/Cooled **255** # Of Stories **1** # Of Units \_\_\_\_\_

Type of Roof **metal** Type of Walls **Wood-HARDI** Type of Floor **concrete**

Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_  
**SEE SITE PLAN**

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.**

**NOTICE: EPCB: The EPCB/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.**

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

*Bryce Ward*  
\_\_\_\_\_  
Signature of Owner or Agent

Date: **8-6-19**

*Bryce Ward*  
\_\_\_\_\_  
Signature of Contractor

Date: **8-6-19**

Notary as to Owner or Agent \_\_\_\_\_

Notary as to Contractor \_\_\_\_\_

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

**CITY OF APALACHICOLA  
TREE APPLICATION  
REMOVAL OR ALTERATION OF PROTECTED TREE**

*Bryce Ward*

Applicants Name: ~~Douglas Schemske~~ - *1ST Choice Bldgs.* (Please print)  
 Property Owners Name: Douglas Schemske Phone: 9517-525-3330  
 Property Address: 126-17<sup>th</sup> St. City, State, Zip: Apalachicola, FL  
 General Contractor/Tree Contractor: COASTLINE Phone: 899-2981  
 Applicants Signature/Date: *Bryce Ward* 1-8-6-19

1. Protected trees – Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4" to 16"	Greater than 16" to less than 35"	35" and larger (Patriarch Tree)			
Bald & Pond Cypress						
Eastern & Southern Red Cedar						
Live Oak	<i>WE ARE REMOVING NO TREES -</i>					
Longleaf Pine						
Pecan						
Sabal Palm						
Slash Pine						
Southern Magnolia						
Sycamore						
Water Oak						
<b>Total</b>						
<i>Size is measured at breast height (4.5 Feet above ground surface)</i>						

2. Reason(s) for removal or alteration (Mark all that apply with "X")

<b>Owner's Private Property</b>	
<b>Removal: New Construction</b>	<b>Alteration: New Construction</b>
Tree located within or too close to footprint of proposed new building or addition	Limbs and branches encroaching where structure is to be built
<b>Removal: No New Construction</b>	<b>Alteration: No New Construction</b>
Tree roots damaging building foundation or underground utilities	Limbs and branches rubbing on side or roof of building
Imminent hazard to property or human safety	Imminent hazard to property or human safety
Diseased or pest-infested tree	Diseased or pest-infested tree
Storm damaged tree (other than City declared emergency; e.g., lightning)	Storm-damaged tree (other than during City declared emergency; e.g., lightning)
Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
<b>City Property (City street right of ways adjacent to private property)</b>	
<b>Removal: Requested by Private Property Owner</b>	<b>Alteration: Requested by Private Property Owner (Significant cutting of limbs &amp; branches)</b>
Tree located where access to private property is proposed (driveway, etc.)	Imminent hazard to property or human safety
Imminent hazard to property or human safety	
Diseased or pest-infested tree	
Storm damaged tree (other than City declared emergency; e.g., lightning)	
<b>Requested by City Department</b>	
Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard)	Growth encroaching on street or alley



3. Please attach a map with the following drawn to scale:

- a. Locations of the following:
  - 1. Lot boundaries
  - 2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
  - 3. Types & Sizes of protected trees (measured at breast height in inches)
  - 4. Protected trees that are proposed to be removed or altered

**OFFICE USE ONLY**

<b>Permit Processing Fee (\$50.00 or \$100.00)</b>	
<b>Reforestation Fund</b>	
Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)	
Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)	
Non Patriarch Tree Total (\$250.00 Max)	
Number of Trees 35" and larger x \$1,000.00	
Reforestation Fund Total	

Planning and Zoning Board (When Development plan is submitted):

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
Chairperson, Planning and Zoning Board

\_\_\_\_\_  
Date

Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
Code Enforcement Officer or Designee

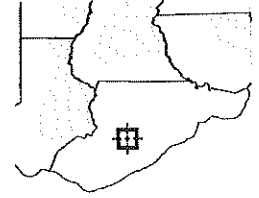
\_\_\_\_\_  
Date

\_\_\_\_\_  
City Manager or Designee




\_\_\_\_\_  
Date



Overview



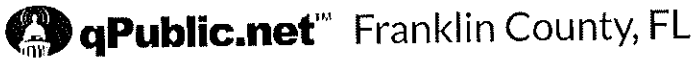
Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0116-0050	Alternate ID	08W09S01833001160050	Owner Address	SCHEMSKE DOUGLAS WAS TRUSTEE
Sec/Twp/Rng	1-9S-8W	Class	SINGLEFAM		506 E CALLENDER ST
Property	126 17TH ST	Acreage	n/a		LIVINGSTON, MT 59047-2717
Address	APALACHICOLA				
District	3				
Brief Tax Description	BL 116 ALL OF LOT 5 AND ALSO (Note: Not to be used on legal documents)				

Date created: 9/5/2019  
 Last Data Uploaded: 9/5/2019 7:15:12 AM

Developed by  Schneider  
 GEOSPATIAL



**Parcel Summary**

Parcel ID 01-09S-08W-8330-0116-0050  
 Location Address 126 17TH ST  
 APALACHICOLA 32320  
 Brief Tax Description\* BL 116 ALL OF LOT 5 AND ALSO 40' X 100' OF LOT 4 147/173 230/143 236/129 703/189 807/218 1051/748 1065/300 1122/70 1122/329  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Schemske Douglas W As Trustee  
 506 E Callender St  
 Livingston, MT 590472717

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000188	SFR CHAPMAN/APALACH	60.00	FF	0	0
000000	VAC RES	40.00	FF	0	0

**Residential Buildings**

Building 1  
 Type SF APALACH  
 Total Area 1,362  
 Heated Area 1,034  
 Exterior Walls AVERAGE  
 Roof Cover MODULAR MT  
 Interior Walls WALL BD/WD  
 Frame Type N/A  
 Floor Cover PINE WOOD  
 Heat AIR DUCTED  
 Air Conditioning CENTRAL  
 Bathrooms 0  
 Bedrooms 0  
 Stories 0  
 Effective Year Built 1986

**Extra Features**

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0120	C L FENCE 4	1	0 x 0 x 0	150	LF	1980
0610	SHED WD	1	12 x 12 x 0	144	SF	1980

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	06/06/2014	\$27,900	WD	1122	70	Qualified (Q)	Improved	MCLAUGHLIN JR	SCHEMSKE
N	04/02/2014	\$100	WD	1122	329	Unqualified (U)	Improved	SCHEMSKE	SCHEMSKE AS TRUSTEE
N	05/11/2012	\$105,000	WD	1065	300	Unqualified (U)	Improved	THE BANK OF NEW YORK	SCHEMSKE
N	12/26/2011	\$100	CT	1051	748	Unqualified (U)	Improved	DONAHOE	THE BANK OF NEW YORK
N	08/18/2004	\$166,900	WD	807	218	Qualified (Q)	Improved	TINDALL/BARRINGER	DONAHOE
N	06/28/2002	\$70,000	WD	703	189	Qualified (Q)	Improved	HARRIS	TINDALL/BARRINGER
N	01/19/1970	\$3,970	WD	89	299	Qualified (Q)	Improved		
N	00/01/1969	\$3,800	WD	89	299	Qualified (Q)	Improved		

# SCHEMSKE BOAT HOUSE

126 17TH STREET, APALACHICOLA, FL 32320

## DRAWING INDEX:

- A-1 SITE PLAN
- A-2 FLOOR PLAN
- A-3 ELEVATIONS
- A-4 ELEVATIONS
- A-5 FOUNDATION AND ROOF FRAMING
- A-6 SECTION

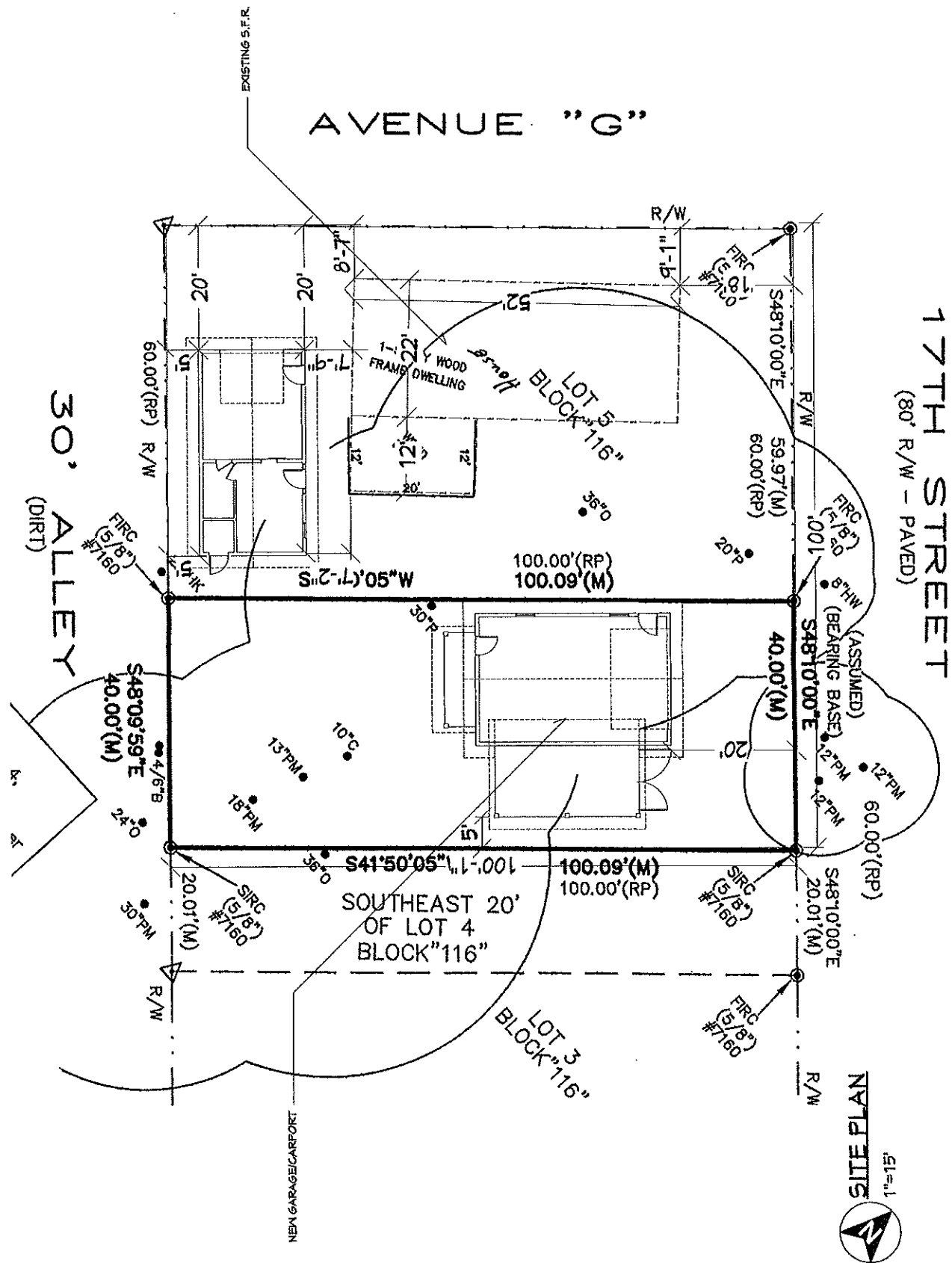


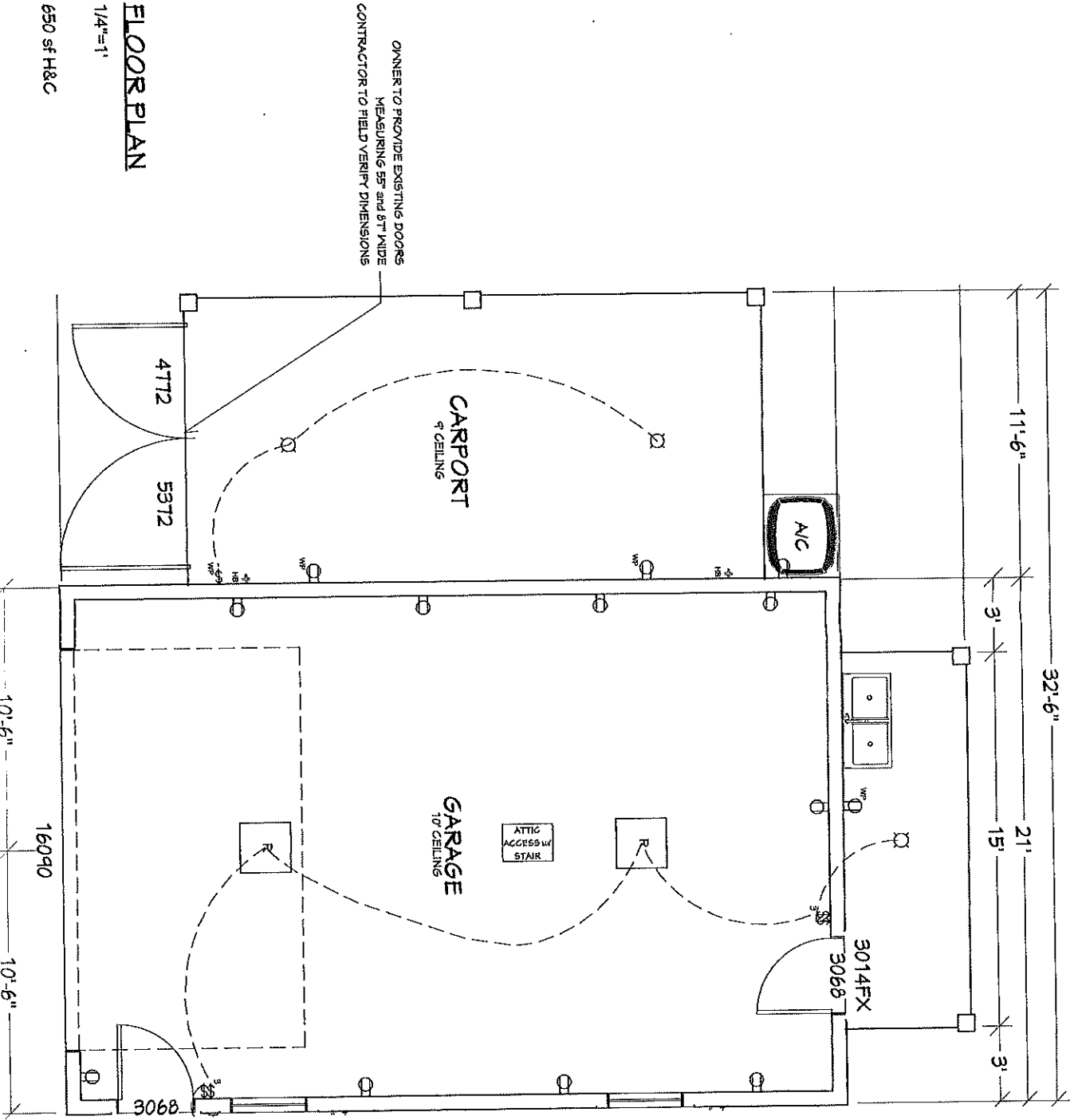
date	08/10/2014
rev	6
drawn	ZACH WARD

plan:\schemske\yachtskemke\egz\egz

177TH STREET  
(80' R/W - PAVED)

AVENUE "G"



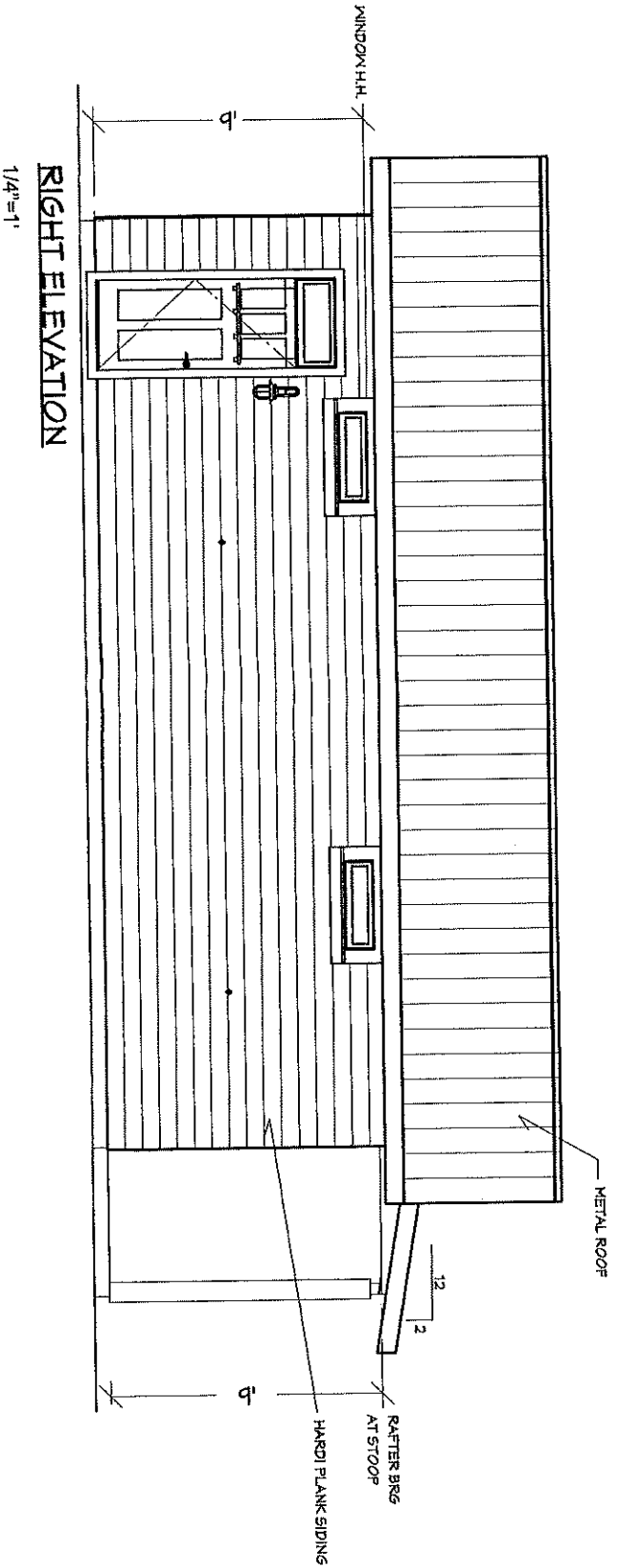
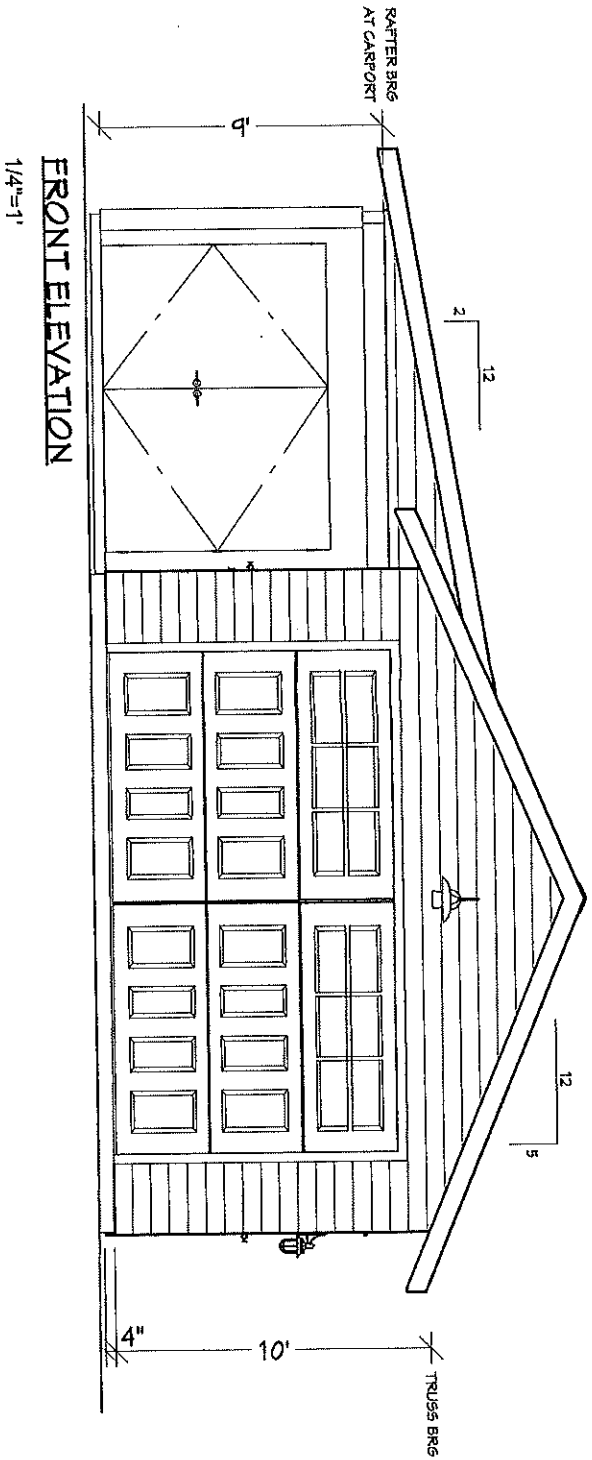


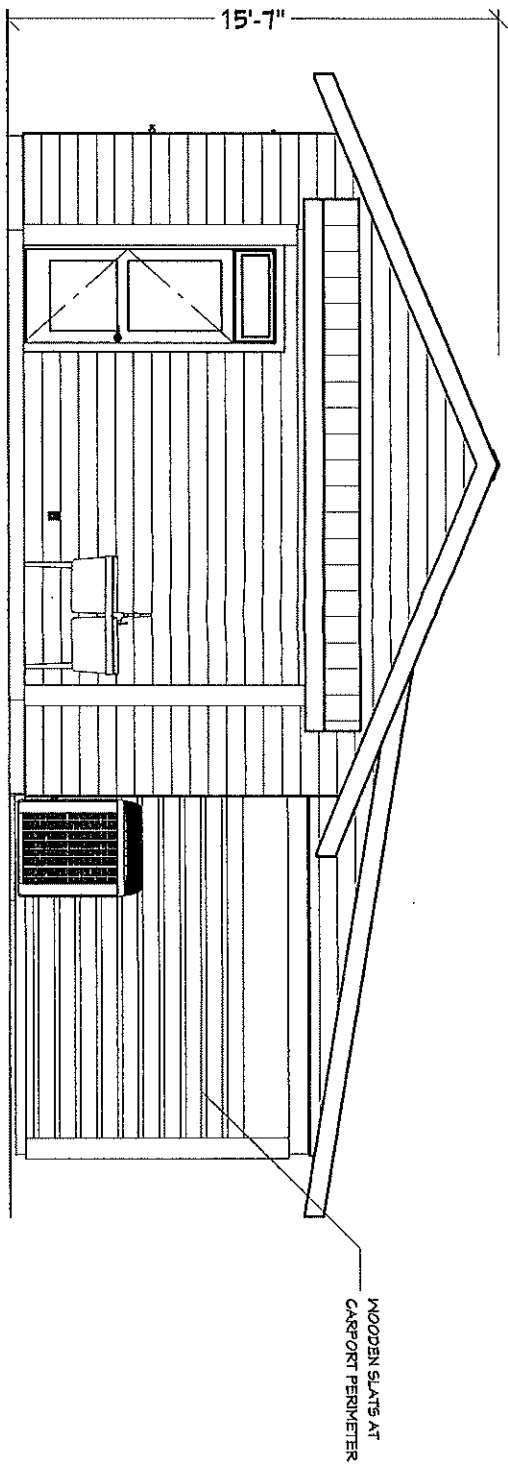
**FLOOR PLAN**

1/4"=1'

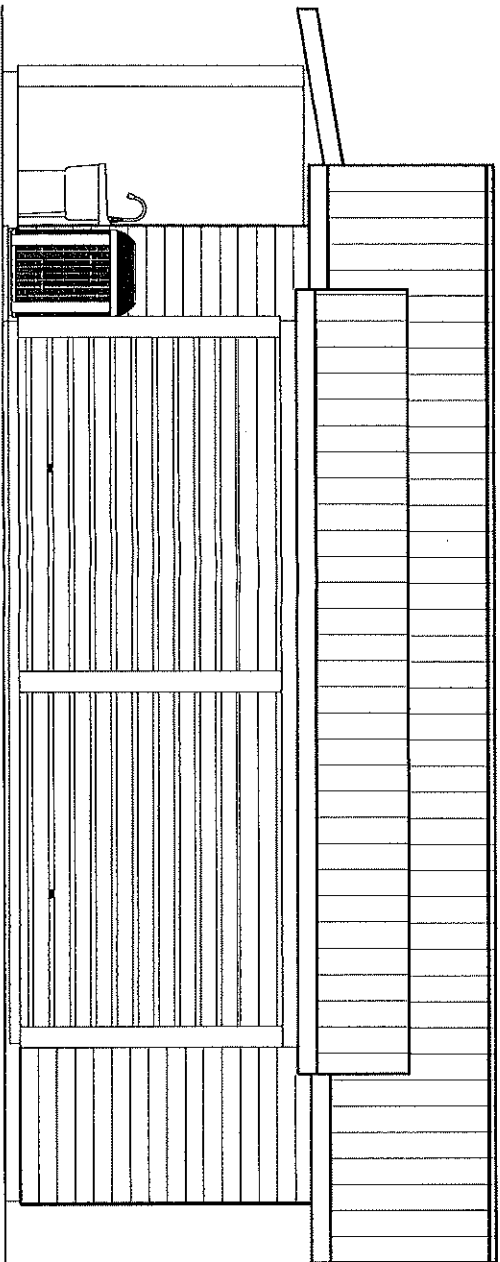
650 sf H&C

ELECTRICAL PLAN IS SCHEMATIC  
 CONSULT OWNER FOR FINAL  
 PLACEMENT AND QUANTITIES  
 NOTE: HVAC IN ATTIC



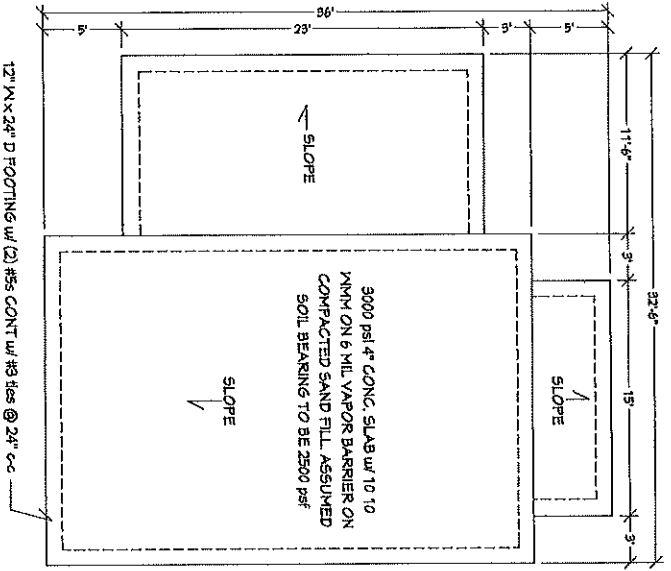


REAR ELEVATION  
1/4"=1'



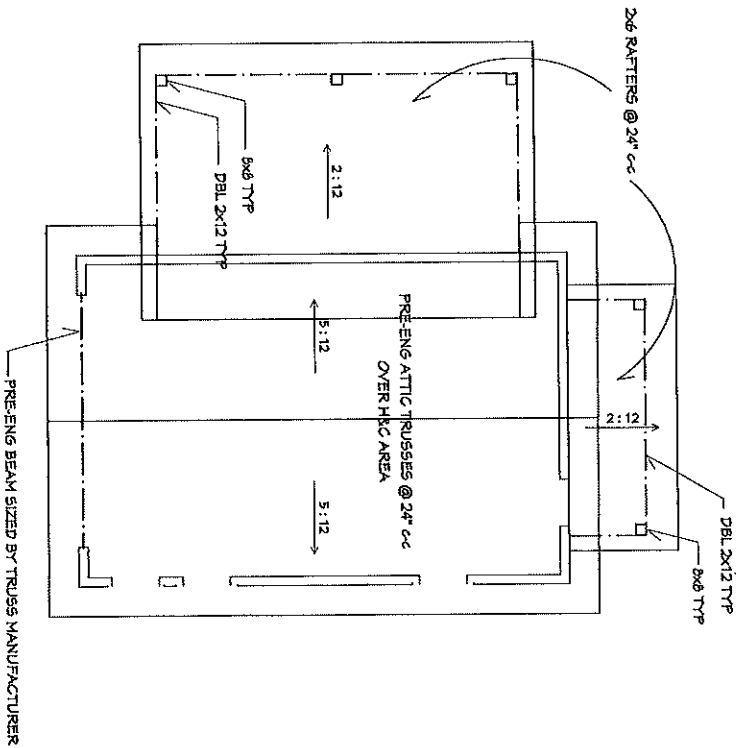
LEFT ELEVATION  
1/4"=1'





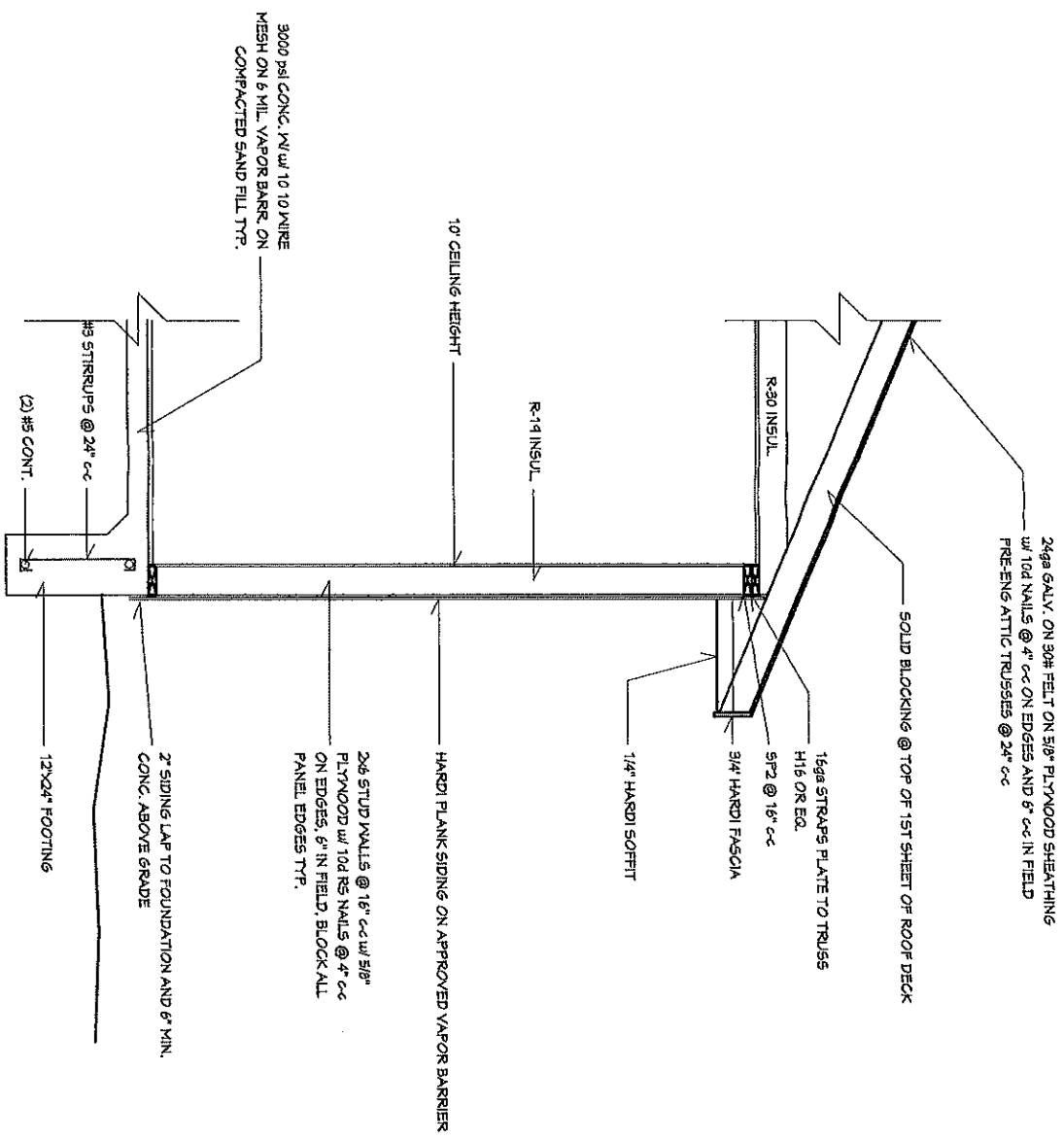
**FOUNDATION PLAN**

1/8"=1'



**ROOF PLAN**

1/8"=1'



24ga GALV. ON 30# FELT ON 5/8" PLYWOOD SHEATHING  
w/ 10d NAILS @ 4" OC ON EDGES AND 6" OC IN FIELD  
PRE-ENG ATTIC TRUSSES @ 24" C-C

SOLID BLOCKING @ TOP OF 1ST SHEET OF ROOF DECK

16ga STRAPS PLATE TO TRUSS  
H16 OR EQ.

5/2 @ 18" C-C

3/4" HARDI FASCIA

1/4" HARDI SOFFIT

R-30 INSUL.

10' CEILING HEIGHT

HARDI PLANK SIDING ON APPROVED VAPOR BARRIER

2x6 STUD WALLS @ 16" C-C w/ 5/8"  
PLYWOOD w/ 10d RS. NAILS @ 4" C-C  
ON EDGES, 6" IN FIELD. BLOCK ALL  
PANEL EDGES TYP.

3000 PSI CONC. w/ w/ 10 10 WIRE  
MESH ON 6 MIL. VAPOR BARR. ON  
COMPACTED SAND FILL TYP.

2" SIDING LAP TO FOUNDATION AND 6" MIN.  
CONC. ABOVE GRADE

#3 STRUTUPS @ 24" C-C  
(2) #3 CONT.

12"x24" FOOTING

**SECTION**

1/2"=1'



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

DATE: <u>8-6-19</u>	Official Use Only	Permit # _____	Permit Fee _____
---------------------	-------------------	----------------	------------------

OWNER'S NAME: Russell Cumbie

ADDRESS: 108 11<sup>th</sup> Street

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # 850-510-3719

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): N/A

ADDRESS: N/A

CITY, STATE & ZIP CODE: N/A PHONE # N/A

CONTRACTOR'S NAME: N/A

ADDRESS: N/A

CITY, STATE & ZIP CODE: N/A PHONE # N/A

STATE LICENSE NUMBER: N/A COMPETENCY CARD # N/A

ADDRESS OF PROJECT: 108 11<sup>th</sup> Street Apalachicola, FL

PROPOSED USE OF SITE: Storage shed

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # \_\_\_\_\_

LEGAL DESCRIPTION OF PROPERTY: Lot 2 Block 78

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front 25' + Rear 10' L. Side 8'  
 R. Side \_\_\_\_\_  
 Cost of Construction \$ 1500<sup>00</sup> Square Footage 160'  
 EPI \_\_\_\_\_ Flood Zone X Lowest Floor Elevation 1'  
 Area Heated/Cooled 0 # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
 Type of Roof metal Type of Walls wood Type of Floor wood  
 Extreme Dimensions of: Length 20' Height 12' Width 8'

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Ronald Collins  
Signature of Owner or Agent

Ronald Collins  
Signature of Contractor

Date: 8-6-19

Date: 8-6-19

Notary as to Owner or Agent

Notary as to Contractor

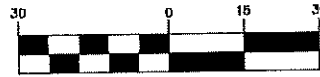
My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

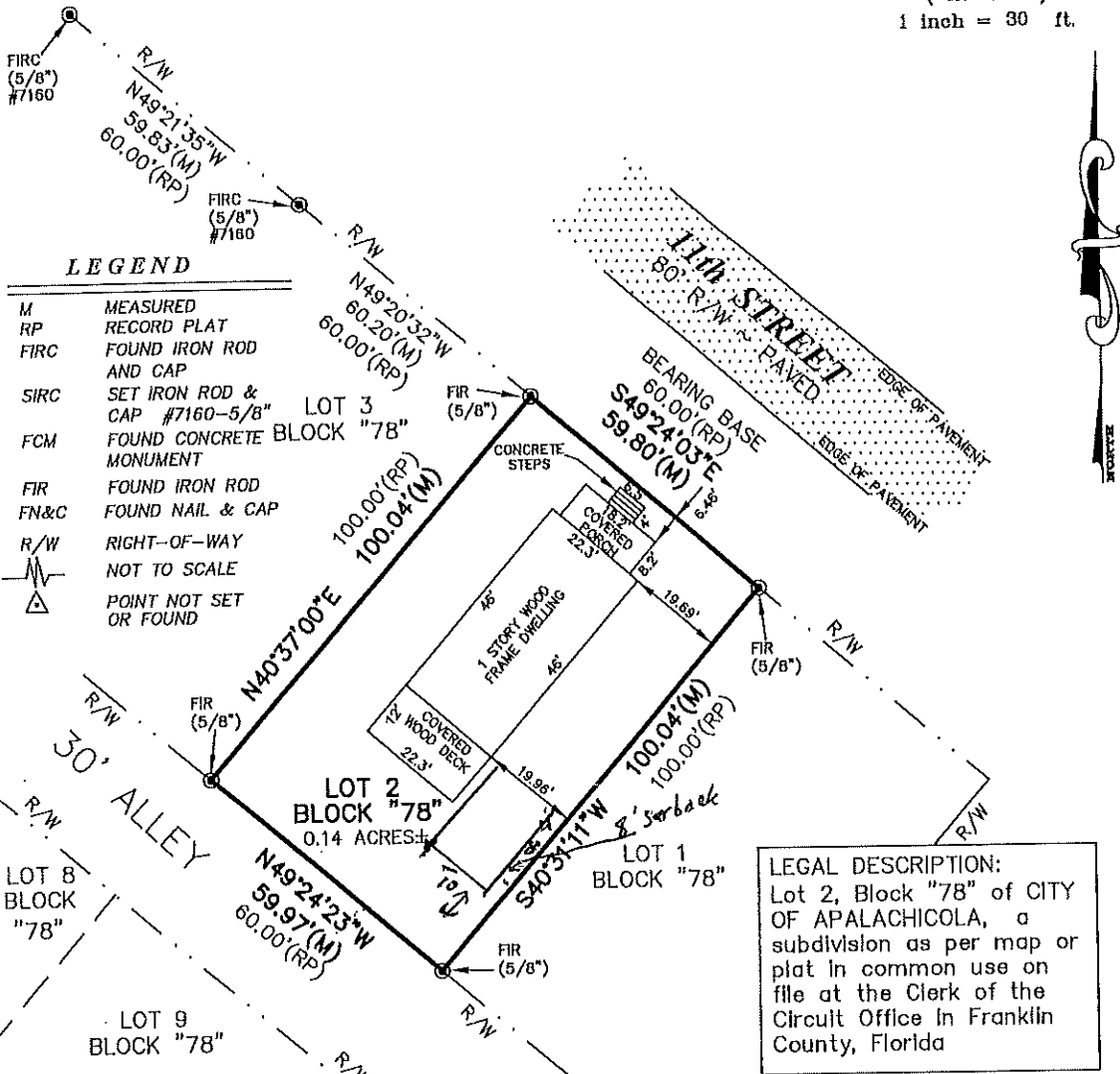
APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
 RUSSELL CUMBIE and MELISSA CUMBIE

GRAPHIC SCALE



( IN FEET )  
 1 inch = 30 ft.



LEGEND

- M MEASURED
- RP RECORD PLAT
- FIRC FOUND IRON ROD AND CAP
- SIRC SET IRON ROD & CAP #7160-5/8"
- FCM FOUND CONCRETE BLOCK "78" MONUMENT
- FIR FOUND IRON ROD
- FN&C FOUND NAIL & CAP
- R/W RIGHT-OF-WAY
- NOT TO SCALE
- POINT NOT SET OR FOUND

LEGAL DESCRIPTION:  
 Lot 2, Block "78" of CITY OF APALACHICOLA, a subdivision as per map or plat in common use on file at the Clerk of the Circuit Office in Franklin County, Florida

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwesterly right-of-way boundary of 11th Street having an assumed bearing of South 49 degrees 24 minutes 03 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel Number: 120088 0526F, Index Date: February 05, 2014, Franklin County, Florida.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

*James T. Roddenberry*  
 JAMES T. RODDENBERRY  
 Surveyor and Mapper  
 Florida Certificate No: 4261



**Thurman Roddenberry & Associates, Inc.**  
 PROFESSIONAL SURVEYORS AND MAPPERS  
 P.O. BOX 100 • 125 SHILDON STREET • SOPCHOPPY, FLORIDA 32358  
 PHONE NUMBER: 850-942-2338 FAX NUMBER: 850-942-1161  
 L.H. # 7160

DATE: 07/03/19	DRAWN BY: BB	N.B. PER PLAT	COUNTY: Franklin
FILE: 19427.DWG	DATE OF LAST FIELD WORK: 07/02/19	JOB NUMBER: 19-427	

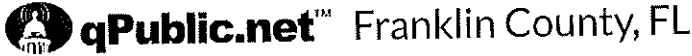


Russell Cumbie

(850) 510-3719







**Parcel Summary**

Parcel ID 01-09S-08W-8330-0078-0020  
 Location Address 108 11TH ST  
 32320  
 Brief Tax Description\* BL 78 LOT 2 ORB 200 PAGE 355 654/615 1169/127  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead Y

[View Map](#)

**Owner Information**

Primary Owner  
 Bloodworth C Barbara &  
 Cumbie E Russell & Christopher  
 With Right Of Survivorship  
 417 River Rd  
 Carrabelle, FL 32328

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000188	SFR CHAPMAN/APALACH	60.00	FF	0	0

**Residential Buildings**

Building 1  
 Type SF APALACH  
 Total Area 1,156  
 Heated Area 1,012  
 Exterior Walls MINIMUM  
 Roof Cover COMP SHNGL  
 Interior Walls WALL BD/WD  
 Frame Type WOOD FRAME  
 Floor Cover PINE WOOD  
 Heat AIR DUCTED  
 Air Conditioning CENTRAL  
 Bathrooms 1  
 Bedrooms 0  
 Stories 1  
 Effective Year Built 1935

**Extra Features**

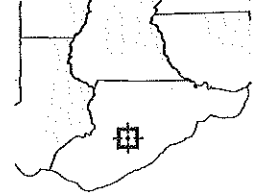
Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0060	CARPORT F	1	0 x 0 x 0	240	UT	0
0080	DECK	1	0 x 0 x 0	264	UT	0

**Sales**




Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	05/19/2016	\$100	QC	1169	127	Unqualified (U)	Improved	BLOODWORTH,CUMBIE	BLOODWORTH/CUMBIE
N	12/22/2000	\$50,000	WD	654	615	Qualified (Q)	Improved	CUMBIE	BLOODWORTH & CUMBIE



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0078-0020	Alternate ID	08W09S01833000780020	Owner Address	BLOODWORTH C BARBARA & CUMBIE E RUSSELL & CHRISTOPHER WITH RIGHT OF SURVIVORSHIP 417 RIVER RD CARRABELLE, FL 32328
Sec/Twp/Rng	1-9S-8W	Class	SINGLEFAM		
Property Address	108 11TH ST	Acreage	n/a		
District	3				
Brief Tax Description	BL 78 LOT 2				
	(Note: Not to be used on legal documents)				

Date created: 9/5/2019  
Last Data Uploaded: 9/5/2019 7:15:12 AM



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Cellco Partnership, successor in interest to Verizon Wireless - Lessee (Verizon Wireless Site # 523534)

ADDRESS: 7701 Telecom Parkway

CITY, STATE & ZIP CODE: Tampa, FL 33637 PHONE # 770-853-1223 Hugh Reilly/Agent

PRE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): City of Apalachicola Right-of-Way

ADDRESS: 192 Coach Wagoner Blvd.

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 FL PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Tilson Technology Management Joshua Broder-Qualifier

ADDRESS: 16 Middle Street, 4th Floor

CITY, STATE & ZIP CODE: Portland, ME 04101 PHONE # (207) 591-6427

STATE LICENSE NUMBER: SCC131151515 COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: ROW on SE Avenue F, North of E 12th Street, Apalachicola 32320

PROPOSED USE OF SITE: New utility pole with small-cell antenna installation.

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # Closest Parcel ID#: 01-09S-08W-8330-0077-0060

LEGAL DESCRIPTION OF PROPERTY: BL 77 LOTS 6-7 Book 187 / Page 192

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: N/A

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: Hugh Reilly / CBVR Telecom Design

ADDRESS: 5113 Memorial Highway CITY, STATE & ZIP: Tampa, FL 33634

MORTGAGE LENDER'S NAME: N/A

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

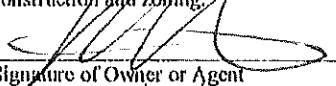
Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other New utility pole with small-cell antenna installation.  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
 R. Side \_\_\_\_\_  
 Cost of Construction \$ 21,000 \_\_\_\_\_ Square Footage \_\_\_\_\_  
 BPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
 Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
 Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

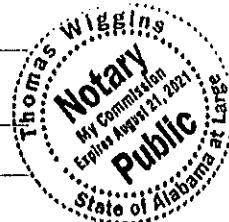
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**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

  
 Signature of Owner or Agent \_\_\_\_\_  
 Date: 5/30/19 \_\_\_\_\_  
 Notary as to Owner or Agent \_\_\_\_\_  
 My Commission expires: \_\_\_\_\_

5221  
 Signature of Contractor \_\_\_\_\_  
 Date: 5.30.2019 \_\_\_\_\_  
  
 Notary as to Contractor \_\_\_\_\_  
 My Commission expires: 08/21/2021



APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.



March 2018

Emergency Operations Centers  
Network Hardening and Densification

**RE: Small Wireless Facility – Permit Submittal Cover Letter**

EOC Construction Drawing Permit Submittal  
Verizon Wireless Project: EOC Hardening & Densification  
CBVR project number: VZW.052.18

To Whom it May Concern,

Verizon Wireless is enhancing their wireless communications network specifically for the purpose of increasing coverage and capacity in the locations of Emergency Operations Centers (EOC’s) used during hurricanes, natural disasters, and other times of emergency.

This letter is being submitted along with the additional permit submittal materials with the intent of explaining the project and expediting the approval of permits where at all possible.

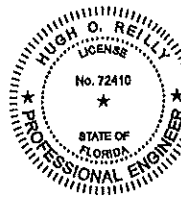
Verizon Wireless is proposing to install a utility-type pole with cellular antennas and radio equipment in the public right-of way, as shown in the provided Construction Drawings. All state mandated requirements will be followed in the design and installation of this small wireless facility.

The goal of Verizon Wireless is to have this communications equipment installed and providing service to the critical EOC locations prior to the next hurricane season. Any efforts to expedite the permit approval process are greatly appreciated.

If you should have any questions regarding this letter, or if any additional information is needed at this time, please do not hesitate to contact us.

Sincerely,

CBVR Telecom Design Group  
Hugh O. Reilly, FL P.E. #72410  
[hugh.reilly@cbvrtelecom.com](mailto:hugh.reilly@cbvrtelecom.com)  
(770) 853-1233



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY HUGH O. REILLY PE USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Digitally signed  
by Hugh Reilly  
Date: 2019.03.14  
09:37:44 -04'00'



Date: March 19, 2019

Mr. Adam Oliver  
Verizon Wireless  
7701 E Telecom Pkwy  
Temple Terrace, FL 33637

CBVR Telecom Design Group  
5113 Memorial Hwy  
Tampa, FL 33634

**Subject:** Structural Analysis Report

**Carrier Designation:** Verizon Wireless  
**Node Name:** Apalachicola Police Department  
**Location Code:** 523534  
  
**CBVR Project Number:** VZW.052.18  
**CBVR Eng. File Number:** 19-00005

**Location Data:** 83 12<sup>th</sup> Street, Apalachicola  
Franklin County, FL 32320  
Lat: 29° 43' 21.68"; Long: -84° 59' 28.88"  
45' Class 1 Wood Pole with 12' Embedment (33' AGL)

Dear Mr. Oliver

CBVR Telecom Design Group is pleased to submit this "Structural Analysis Report" to determine the structural integrity of the above-mentioned structure. The purpose of this analysis is to determine whether the proposed pole can support the proposed appurtenance configuration. This analysis has been performed in accordance with TIA-222-G, ASCE 7-10, 3rd Edition, and the 2017 Florida Building Code, 6th Edition, based on a nominal wind speed of 101 MPH.

The analysis indicates that the proposed pole and its embedment are adequate for supporting the proposed loading configuration.

<b>Results:</b>	<b>Pole Capacity:</b>	45.2%	Pass
	<b>Foundation Capacity:</b>	85.2%	Pass

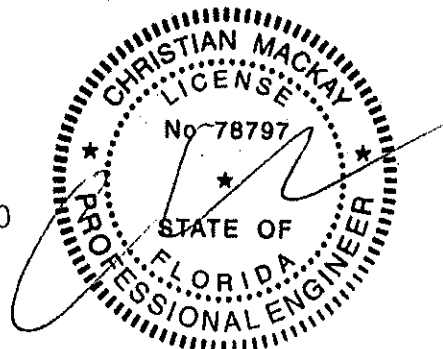
Please do not hesitate to call with any comments or concerns.

Sincerely,



THIS FILE HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY HUGH O. REILLY P.E. USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT GUARANTEED TO BE SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Digitally signed  
by Hugh Reilly  
Date: 2019.03.20  
10:09:40 -04'00'



Christian Mackay, P.E.  
Florida P.E. No. 78797

03/19/2019

**1) INTRODUCTION**

The proposed 45-ft wood pole with 12-ft embedment for a 33' AGL is to be located in Franklin County, FL. The pole is to be a Class 1 Southern Yellow Pine tapered pole.

**2) ANALYSIS CRITERIA**

This analysis has been performed in accordance with TIA-222-G, ASCE 7-10 3<sup>rd</sup> Edition, and the 2017 Florida Building Code, 6<sup>th</sup> Edition for the following requirements.

Nominal Wind Speed <sup>1</sup> :	101 MPH 3-sec gust
Wind Speed with Ice:	30 MPH
Ice Thickness:	0"
Service Wind Speed:	60 MPH 3-sec gust
Risk Category:	II
Exposure Category:	D
Topographic Category:	1

- 1) Equivalent to a 131 MPH ultimate wind speed based on conversion from Section 1609.3.1 of the 2017 FBC.

**Table 1 - Proposed Equipment and Cable Information**

Mounting Level (ft)	Center Line Level (ft)	Quantity	Equipment Manufacturer	Equipment Model	Number of Feed Lines	Feed Line Size (in)	Note
33	37	1	JMA Wireless	CX04OMI536-1C Antenna	4 1 3 1	½" AISG DC 3" Conduit	1
33	34.5	1	-	SC-BKT-SA Mount			
31	31	3	-	20"x8"x5" Antenna			
		1	Connect-it	Collar Mount			
29	29	3	-	LAA Antenna			
10	10	1	Ericsson	RRU 8843			2
		1	Kaelus	DBC0129F1V1-1 Diplexer			
		1	Verizon Wireless	Cabinet			
4.5	4.5	1	-	Meter			
		1	-	Disconnect			
		1	-	Nema 3R Panel			

**Notes:**

- 1) The proposed feedlines are to be installed inside the conduit and strapped to the side of the pole.
- 2) The proposed equipment is to be installed inside the cabinet and will not be exposed to the wind.



### 3) ANALYSIS PROCEDURE

**Table 2 – Supporting Documents**

Document	Remarks	Source
RFDS	Verizon Wireless RFDS Project ID: 1429327 dated: 01/04/2019	Verizon Wireless
Geotechnical Report	BJ Rock Geoengineering Project #: 18-322 dated: 02/20/2019	Verizon Wireless

#### 3.1) Assumptions

This engineering analysis is based upon the theoretical capacity of the structure. It is not a condition assessment of the pole and its foundation. It has been compiled from information supplied, and therefore, its results are based on and are as accurate as that supplied data. CBVR Telecom Design Group has made no independent determination of its accuracy.

- 1) The pole structure is free from defects.
- 2) The pole structure has not been damaged during installation.
- 3) The configuration of the equipment proposed are as specified in Table 1 above.
- 4) The embedded pole section has been protected from moisture and insects in accordance with the pole supplier's specifications.

If any of these assumptions are not valid or have been made in error, this analysis may be affected, and CBVR should be allowed to review any new information to determine its effect on the structural integrity of the pole.

### 4) ANALYSIS RESULTS

**Table 4 - Section Capacity (Summary)**

Notes	Elevation (ft)	Component Type	Size	% Capacity	Pass / Fail
1	33 - 0	Tapered Pole	8.6" O.D x 14.1" O.D.	44.4	Pass

**Table 5 – Embedment Requirements**

Notes		Provided	Required	% Capacity	Pass / Fail
1	Depth (ft)	12.0	10.23	85.2	Pass
Structure Rating (max from all components) =					85.2%

Notes:

- 1) See attached Additional Calculations for determination of the structural capacity reported.

#### **4.1) Recommendations**

The pole and its embedment are adequate to carry the proposed loads.

## Disclaimer of Warranties

CBVR has not performed a site visit to the structure to verify the member sizes or antenna/coax loading unless noted otherwise. If the existing conditions are not as represented in this report, we should be contacted immediately to evaluate the significance of the discrepancy. This is not a condition assessment of the structure or foundation. This report does not replace a full structure inspection. The structure, foundations, and mounting systems are assumed to have been properly fabricated, erected, maintained, in good condition, twist free, and plumb.

The engineering services rendered by CBVR in connection with this Structural Analysis are limited to a computer analysis of the structure and theoretical capacity of its main structural members. No allowance was made for any damaged, bent, missing, loose, or rusted members (above and below ground). No allowance was made for loose bolts or cracked welds.

CBVR does not analyze the fabrication of the structure (including welding). It is not possible to have all the very detailed information needed to perform a thorough analysis of every structural sub-component and connection of an existing structure. CBVR provides a limited scope of service in that we cannot verify the adequacy of every weld, plate connection detail, etc. The purpose of this report is to assess the feasibility of adding appurtenances usually accompanied by transmission lines to the structure.

It is the owner's responsibility to determine the amount of ice accumulation in excess of the code specified amount, if any, that should be considered in the structural analysis.

The attached sketches are a schematic representation of the analyzed structure. If any material is fabricated from these sketches, the contractor shall be responsible for field verifying the existing conditions, proper fit, and clearance in the field. Any mention of structural modifications are reasonable estimates and should not be used as a precise construction document. Precise modification drawings are obtainable from CBVR, but are beyond the scope of this report.

Miscellaneous items such as antenna mounts, etc., have not been designed or detailed as a part of our work. We recommend that material of adequate size and strength be purchased from a reputable tower manufacturer.

CBVR makes no warranties, expressed and/or implied, in connection with this report and disclaims any liability arising from material, fabrication, and erection of this structure. CBVR will not be responsible whatsoever, for or on account of, consequential or incidental damages sustained by any person, firm, or organization as a result of any data or conclusions contained in this report. The maximum liability of CBVR pursuant to this report will be limited to the total fee received for preparation of this report.

## **APPENDIX A**

### **Calculations**

Apalachicola PD  
 523534  
 CMM  
 19-00005  
 03/19/19

Site Name:  
 Site Number:  
 Engineer:  
 Engineering Number:  
 Date:

**Design Criteria:**

Code Input: TIA-222-G  
 Design Windspeed: 101 mph  
 G<sub>H</sub>: 1.10  
 Height of Crest: 0  
 Ice Windspeed: 0 mph  
 Radial Ice: 0.00 in  
 Operational Windspeed: 60 mph  
 W Load Factor: 1.0  
 W<sub>i</sub> Load Factor: 0.7  
 Weight of Ice: 56 pcf

Seismic Analysis Method: 0.95  
 K<sub>p</sub>: 1  
 Topo. Category: II  
 Structure Class: D  
 Exposure: D  
 D Load Factor 1: 1.0  
 D Load Factor 2: 0.6  
 E Load Factor: 0.7  
 D<sub>j</sub> Load Factor: 0.7

Equivalent Lateral Force Procedure  
 Site Class: B  
 Weight of Wood: 55  
 Wind Importance: 1.00  
 Wind with Ice Importance: 1.00  
 Ice Thickness Importance: 1.00  
 Earthquake Importance: 1.00  
 S<sub>s</sub>: 0.040  
 S<sub>1</sub>: 0.040

**Tower Geometry Input:**

Top Diameter: 8.60 in  
 Groundline Diameter: 14.00 in  
 Tower Height: 33 ft  
 Type of Wood: Southern Pine (Grouped) Table 6B, 2012 NDS  
 E: 1500000 psi - Table 6B, 2012 NDS  
 F<sub>b</sub>: 1950 psi - Table 6B, 2012 NDS  
 F<sub>c</sub>: 1250 psi - Table 6B, 2012 NDS  
 F<sub>v</sub>: 160 psi - Table 6B, 2012 NDS  
 F<sub>cp</sub>: 440 psi - Table 6B, 2012 NDS  
 E<sub>min</sub>: 600000 psi - Table 6B, 2012 NDS

Load Duration Factor (C<sub>D</sub>): 1.60 Table 2.3.2, 2012 NDS  
 Temperature Factor (C<sub>T</sub>): 1.00 Table 2.3.3, 2012 NDS  
 Untreated Factor (C<sub>u</sub>): 1.00 Table 6.3.5, 2012 NDS  
 Critical Section Factor (C<sub>es</sub>): 1.00 Section 6.3.9, 2012 NDS  
 Buckling Length Coefficient (K<sub>s</sub>): 0.10 Appendix G, Table G1, 2012 NDS



Site Name: Apalachicola PD  
 Site Number: 523534  
 Engineer: CMM  
 Engineering Number: 19-00005  
 Date: 03/19/19

**Tower Section Properties, Linear Appearance Loading**

Tower (from-to) (ft)	Base Width (in)	Top Width (in)	P.W. (in)	P.W. F / R	W <sub>Coax</sub> (lb/ft)	Quantity	R <sub>s</sub>	Inertia (in <sup>4</sup> )	Area (in <sup>2</sup> )	S (in <sup>3</sup> )
1.10	14.00	13.82	3.000	R	0.82	1.0	0.216	1886	153.9	269
2.20	13.82	13.64	3.000	R	0.82	1.0	0.218	1791	150.0	259
3.30	13.64	13.46	3.000	R	0.82	1.0	0.221	1699	146.1	249
4.40	13.46	13.28	3.000	R	0.82	1.0	0.224	1611	142.3	239
5.50	13.28	13.10	3.000	R	0.82	1.0	0.227	1527	138.5	230
6.60	13.10	12.92	3.000	R	0.82	1.0	0.231	1446	134.8	221
7.70	12.92	12.74	3.000	R	0.82	1.0	0.234	1368	131.1	212
8.80	12.74	12.56	3.000	R	0.82	1.0	0.237	1293	127.5	203
9.90	12.56	12.38	3.000	R	0.82	1.0	0.241	1222	123.9	195
11.00	12.38	12.20	3.000	R	0.82	1.0	0.244	1153	120.4	186
12.10	12.20	12.02	3.000	R	0.82	1.0	0.248	1087	116.9	178
13.20	12.02	11.84	3.000	R	0.82	1.0	0.251	1025	113.5	170
14.30	11.84	11.66	3.000	R	0.82	1.0	0.255	965	110.1	163
15.40	11.66	11.48	3.000	R	0.82	1.0	0.259	907	106.8	156
16.50	11.48	11.30	3.000	R	0.82	1.0	0.263	853	103.5	149
17.60	11.30	11.12	3.000	R	0.82	1.0	0.268	800	100.3	142
18.70	11.12	10.94	3.000	R	0.82	1.0	0.272	751	97.1	135
19.80	10.94	10.76	3.000	R	0.82	1.0	0.276	703	94.0	129
20.90	10.76	10.58	3.000	R	0.82	1.0	0.281	658	90.9	122
22.00	10.58	10.40	3.000	R	0.82	1.0	0.286	615	87.9	116
23.10	10.40	10.22	3.000	R	0.82	1.0	0.291	574	84.9	110
24.20	10.22	10.04	3.000	R	0.82	1.0	0.296	536	82.0	105
25.30	10.04	9.86	3.000	R	0.82	1.0	0.302	499	79.2	99
26.40	9.86	9.68	3.000	R	0.82	1.0	0.307	464	76.4	94
27.50	9.68	9.50	3.000	R	0.82	1.0	0.313	431	73.6	89
28.60	9.50	9.32	3.000	R	0.82	1.0	0.319	400	70.9	84
29.70	9.32	9.14	3.000	R	0.82	1.0	0.325	370	68.2	79
30.80	9.14	8.96	3.000	R	0.82	1.0	0.331	343	65.6	75
31.90	8.96	8.78	3.000	R	0.82	1.0	0.338	316	63.1	71
33.00	8.78	8.60	0.000	R	0.00	0.0	0.000	292	60.5	66

Site Name: Apalachicola PD  
 Site Number: 523534  
 Engineer: CMM  
 Engineering Number: 19-00005  
 Date: 03/19/19

Shaft Wind, Ice and Dead Design Loads, Loading on Tower Shaft

Elevation (Top of Section) (ft)	Average Width (in)	K <sub>z</sub>	K <sub>xt</sub>	t <sub>iz</sub> (in)	Shaft EPA (ft <sup>2</sup> )	Q <sub>z</sub> Bare (psf)	Q <sub>z</sub> Ice (psf)	F <sub>ST</sub> Bare (lb)	F <sub>ST</sub> Ice (lb)	Wt. Bare (lb)	Wt. Ice (lb)
1.10	13.91	1.03	1.00	0.00	1.28	25.56	0.00	52.30	0.00	66	66
2.20	13.73	1.03	1.00	0.00	1.26	25.56	0.00	51.74	0.00	64	64
3.30	13.55	1.03	1.00	0.00	1.24	25.56	0.00	51.18	0.00	62	62
4.40	13.37	1.03	1.00	0.00	1.23	25.56	0.00	50.63	0.00	61	61
5.50	13.19	1.03	1.00	0.00	1.21	25.56	0.00	50.07	0.00	59	59
6.60	13.01	1.03	1.00	0.00	1.19	25.56	0.00	49.51	0.00	58	58
7.70	12.83	1.03	1.00	0.00	1.18	25.56	0.00	48.96	0.00	56	56
8.80	12.65	1.03	1.00	0.00	1.16	25.56	0.00	48.40	0.00	54	54
9.90	12.47	1.03	1.00	0.00	1.14	25.56	0.00	47.84	0.00	53	53
11.00	12.29	1.03	1.00	0.00	1.13	25.56	0.00	47.29	0.00	51	51
12.10	12.11	1.03	1.00	0.00	1.11	25.56	0.00	46.73	0.00	50	50
13.20	11.93	1.03	1.00	0.00	1.09	25.56	0.00	46.17	0.00	49	49
14.30	11.75	1.03	1.00	0.00	1.08	25.56	0.00	45.62	0.00	47	47
15.40	11.57	1.03	1.00	0.00	1.06	25.56	0.00	45.06	0.00	46	46
16.50	11.39	1.04	1.00	0.00	1.04	25.83	0.00	44.98	0.00	44	44
17.60	11.21	1.05	1.00	0.00	1.03	26.13	0.00	44.94	0.00	43	43
18.70	11.03	1.06	1.00	0.00	1.01	26.42	0.00	44.85	0.00	42	42
19.80	10.85	1.08	1.00	0.00	0.99	26.69	0.00	44.73	0.00	40	40
20.90	10.67	1.09	1.00	0.00	0.98	26.95	0.00	44.58	0.00	39	39
22.00	10.49	1.10	1.00	0.00	0.96	27.20	0.00	44.40	0.00	38	38
23.10	10.31	1.11	1.00	0.00	0.95	27.44	0.00	44.19	0.00	37	37
24.20	10.13	1.12	1.00	0.00	0.93	27.66	0.00	43.95	0.00	35	35
25.30	9.95	1.12	1.00	0.00	0.91	27.88	0.00	43.69	0.00	34	34
26.40	9.77	1.13	1.00	0.00	0.90	28.10	0.00	43.41	0.00	33	33
27.50	9.59	1.14	1.00	0.00	0.88	28.30	0.00	43.11	0.00	32	32
28.60	9.41	1.15	1.00	0.00	0.86	28.50	0.00	42.79	0.00	31	31
29.70	9.23	1.16	1.00	0.00	0.85	28.69	0.00	42.46	0.00	30	30
30.80	9.05	1.16	1.00	0.00	0.83	28.87	0.00	42.10	0.00	28	28
31.90	8.87	1.17	1.00	0.00	0.81	29.05	0.00	41.73	0.00	27	27
33.00	8.69	1.18	1.00	0.00	0.80	29.23	0.00	41.37	0.00	25	25



Site Name: Apalachicola PD  
 Site Number: 523534  
 Engineer: CIMM  
 Engineering Number: 19-00005  
 Date: 03/19/19

CBVR Telecom Group

**Shaft and Appurtenance Seismic Design Loads**

Elevation (Top of Section) (ft)	Weight Section (lb)	Σ Weight Appurt. (lb)	Vertical Force Dist.	Lateral Seismic Force (lb)
1.10	66	0	0.00	0
2.20	64	0	0.00	0
3.30	62	0	0.00	0
4.40	91	30	0.00	0
5.50	59	0	0.00	0
6.60	58	0	0.00	0
7.70	56	0	0.01	0
8.80	54	0	0.01	0
9.90	353	300	0.05	2
11.00	51	0	0.01	0
12.10	50	0	0.01	0
13.20	49	0	0.01	0
14.30	47	0	0.01	0
15.40	46	0	0.02	1
16.50	44	0	0.02	1
17.60	43	0	0.02	1
18.70	42	0	0.02	1
19.80	40	0	0.02	1
20.90	39	0	0.03	1
22.00	38	0	0.03	1
23.10	37	0	0.03	1
24.20	35	0	0.03	1
25.30	34	0	0.03	1
26.40	33	0	0.04	1
27.50	32	0	0.04	1
28.60	121	90	0.15	5
29.70	30	0	0.04	1
30.80	98	70	0.14	5
31.90	27	0	0.04	1
33.00	105	80	0.18	6

$F_a$ : 1.00  
 $F_v$ : 1.00  
 $S_{ps}$ : 0.03  
 $S_{p1}$ : 0.03  
 $f_1$ : 1.10 HZ  
 $R$ : 1.50

$S_A / k_g$ : 2.00  
 $W_u$ : 240  
 $W_L$ : 1664  
 $V_S$ : 33.85675

\*\*\*\*\*  
 \* CAISSON - Pier Foundations Analysis and Design - Copyright Power Line Systems, Inc. 1993-2010 \*  
 \*\*\*\*\*

Project Title: Apalachicola PD  
 Project Notes:

Calculation Method: Full 8CD

\*\*\*\*\* INPUT DATA

Pier Properties

Diameter (ft)	Distance of Top of Pier above Ground (ft)	Concrete Strength (ksi)	Steel Yield Strength (ksi)
1.23	0.00		

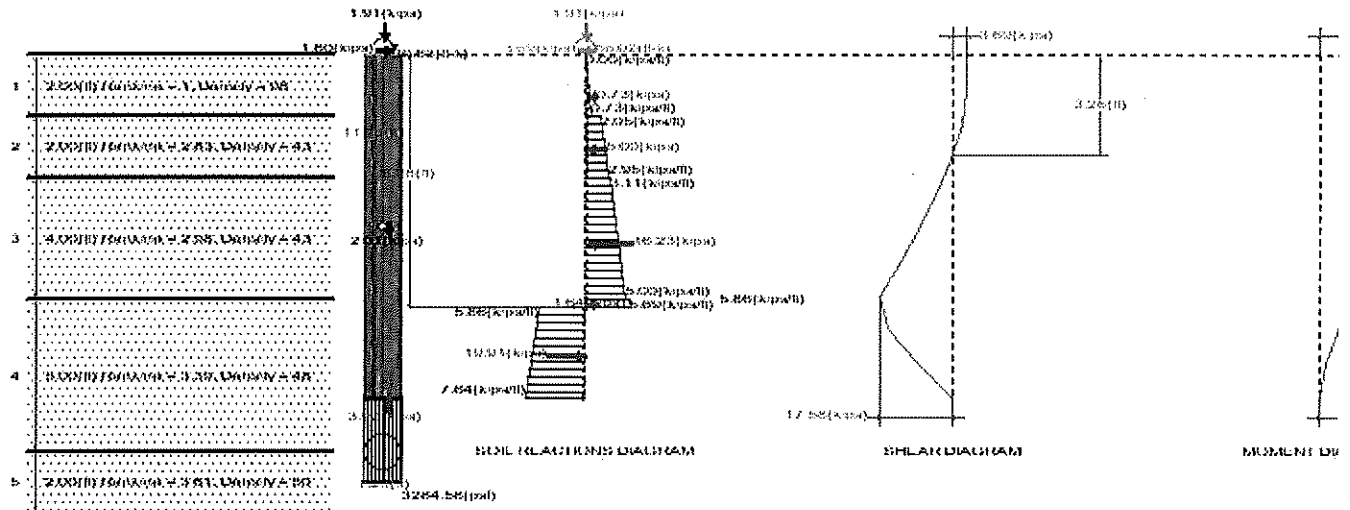
Soil Properties

Layer	Type	Thickness (ft)	Depth at Top of Layer (ft)	Density (lbs/ft^3)	CU (psf)	KP	PHI (deg)
1	Sand	2.00	0.00	98.0		1.000	
2	Sand	2.00	2.00	43.0		2.830	28.54
3	Sand	4.00	4.00	43.0		2.980	29.83
4	Sand	5.00	8.00	48.0		3.390	32.98
5	Sand	2.00	13.00	50.0		3.610	34.48

Design (Factored) Loads at Top of Pier

Moment (ft-k)	Axial Load (kips)	Shear Load (kips)	Additional Safety Factor Against Soil Failure
30.6	1.9	1.80	2.00

\*\*\*\*\* RESULTS



Calculated Pier Properties

Length (ft)	Weight (kips)	Pressure Due To Axial Load (psf)	Pressure Due To Weight (psf)	Total End-Bearing Pressure (psf)
11.233	2.012	1599.6	1685.0	3284.6

Ultimate Resisting Forces Along Pier

Type	Distance of Top of Layer to Top of Pier (ft)	Thickness (ft)	Density (lbs/ft <sup>3</sup> )	CU (psf)	KP	Force (kips)	Arm (ft)
Sand	0.00	2.00	98.0		1.000	0.73	1.33
Sand	2.00	2.00	43.0		2.830	5.00	3.06
Sand	4.00	4.00	43.0		2.980	16.23	6.16
Sand	8.00	0.28	48.0		3.390	1.64	8.14
Sand	8.28	2.95	48.0		3.390	-19.91	9.82

Shear and Moments Along Pier

Distance below Top of Pier (ft)	Shear (with Safety Factor) (kips)	Moment (with Safety Factor) (ft-k)	Shear (without Safety Factor) (kips)	Moment (without Safety Factor) (ft-k)
0.00	3.7	66.0	1.8	33.0
1.12	3.5	70.1	1.7	35.0
2.25	2.4	73.6	1.2	36.8
3.37	-0.3	74.9	-0.1	37.4
4.49	-3.6	72.7	-1.8	36.4
5.62	-7.7	66.5	-3.8	33.2
6.74	-12.3	55.3	-6.2	27.6
7.86	-17.6	38.5	-8.8	19.3
8.99	-15.6	18.1	-7.8	9.1
10.11	-8.2	4.7	-4.1	2.3
11.23	-0.0	0.0	-0.0	0.0

**APPENDIX B**

**RFDS**

**EAST > South East > Florida > Jacksonville > APALACHICOLA PD - A**

- Cruz, Jaime - jaime.cruz2@verizonwireless.com - 01/04/2019 14:35:51

Project Detail		Location Information	
Site Type	NODE	Siterra Site ID#	APALACHICOLA PD - A
Carrier Aggregation	false	Site Name	
MPT Id	1406504	Siterra SR#	
eCIP-0	false	E-NodeB ID#	
Project Name	Capacity NODE	PSLC#	523534
RFDS Project ID	1429327	Switch Name	
Project ID	15354137	Tower Owner	Other
Site Traker Project ID		Tower Type	127 Avenue East
RFDS Project Scope		Street Address	Apalachicola
		City	FL
		State	32320
		Zip Code	Franklin
		County	29.722687 / 29° 43' 21.67" N
		Latitude	-84.99138 / 84° 59' 28.96" W
		Longitude	

## Antenna Summary

Added Antennas													
700 LTE	850 CDM A	1900 CDM A	1900 LTE	2100 LTE	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	QTY
			YES	YES	JMA WIRELESS	CX040MI536-1C	37	39.8	80(D1)	true	true	PHYSICAL	1
Removed Antennas													
700 LTE	850 CDM A	1900 CDM A	1900 LTE	2100 LTE	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	QTY
Retained Antennas													
700 LTE	850 CDM A	1900 CDM A	1900 LTE	2100 LTE	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	QTY

Added: 1      Removed: 0      Retained: 0



# Services

2100 MHz LTE	
	Proposed Version:
Sector	D1
Azimuth	80
Cell/ENode B ID	994137
Antenna Model	CX04OM1536-1C 2100MHZ 2DT_PORT1 VTP (1550183)
Antenna Make	JMA WIRELESS
Centerline(Ft)	37
Mechanical DT(Deg.)	0
Electrical DT	2
Tip Height	39.8
TMA make	
TMA model	
RRU make	Ericsson
RRU model	8843
# of Tx, Rx Lines	4.4
Position	



1900\_MHZ\_LTE

		Proposed Version:
		0002
Sector	D1	
Azimuth	80	
Cell/ENode B ID	994137	
Antenna Model	CX040MIS36- TC_1900MHZ_2DT_PORT1 VIP(1550154)	
Antenna Make	JMA WIRELESS	
Centerline(Ft)	37	
Mechanical DT(Deg.)	0	
Electrical DT	2	
Tip Height	39.8	
TMA make		
TMA model		
RRU make	Ericsson	
RRU model	8843	
# of Tx, Rx Lines	4.4	
Position		

Current Version:

**Service Comments**

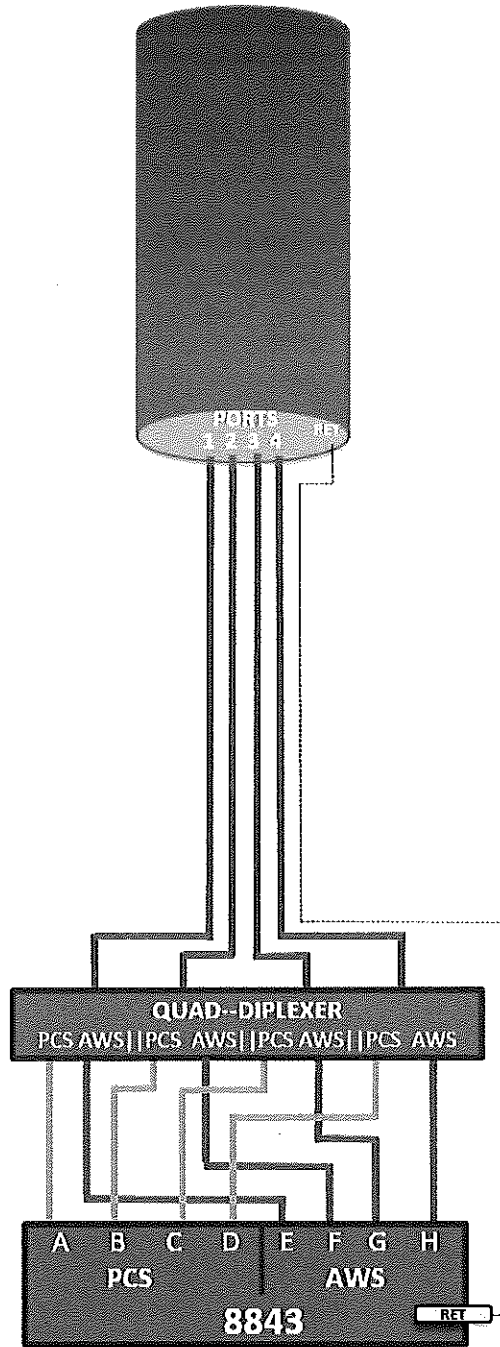
### Callsigns Per Antenna - Proposed

Sector	Make	Model	Centerline	Tip Height	Azimuth (Tilt/N)	Elect. Tilt	Mech. Tilt	Gain	Horiz. BW	Regulatory Power	700 Callsigns	850 Callsigns	1900 Callsigns	2100 Callsigns	28 GHz Callsigns	31 GHz Callsigns	39 GHz Callsigns	
D1	JMA WIRELESS	CX040MI536-IC 1900MHZ 2DIP PORT1 V IP (1550154)	37ft/11.28m	39.8ft/12.13m	80	2	0	9.6	58.75	35.21			KNLF274					
D1	JMA WIRELESS	CX040MI536-IC 2100MHZ 2DIP PORT1 V IP (1550183)	37ft/11.28m	39.8ft/12.13m	80	2	0	10.3	59.5	31.03				WQGA930,WQGT871				

## Callsigns

Callsigns	Market	Radio Code	Market Number	Block	State	County	Licensee Name	Wholly Owned	Total MHz	Freq Range 1	Freq Range 2	Freq Range 3	Freq Range 4	Regulatory Power	Threshold (W)	POPs/ Sq Mi	Status	Project Action
KNKN584	Florida 9 - Calhoun	CL	CMA3 68	B	FL	Franklin	Alltel Communication S, LLC	Yes	25.000	835.000-845.000	880.000-890.000	846.500-849.000	891.500-894.000		1000	21.6	Active	
KNLF274	Jacksonville	CW	MTA0 37	B	FL	Franklin	Verizon Wireless Personal Communications LP	Yes	30.000	1870.000-1885.000	1950.000-1965.000	.000-.000	.000-.000	35.21	3280	21.6	Active	Added
WPOH902	Tallahassee, FL	LD	BTA43 9	B	FL	Franklin	Straight Path Spectrum, LLC	Yes	150.000	31000.000-31075.000	31225.000-31300.000	.000-.000	.000-.000			21.6	Active	
WQGA930	Tallahassee, FL-GA	AW	BEA0 35	B	FL	Franklin	Celco Partnership	Yes	20.000	1720.000-1730.000	2120.000-2130.000	.000-.000	.000-.000	31.03	3280	21.6	Active	Added
WQGT871	Florida 9 - Calhoun	AW	CMA3 68	A	FL	Franklin	Celco Partnership	Yes	20.000	1710.000-1720.000	2110.000-2120.000	.000-.000	.000-.000	31.03	3280	21.6	Active	Added
WQIQ690	Southeast	WU	REA00 2	C	FL	Franklin	Celco Partnership	Yes	22.000	746.000-757.000	776.000-787.000	.000-.000	.000-.000		2000	21.6	Active	
WRBD770	Tallahassee, FL	UU	PEA07 2	3-A	FL	Franklin	Straight Path Spectrum, LLC	Yes	50.000	3870.000-3875.000	.000-.000	.000-.000	.000-.000			.0	Active	
WRBD771	Tallahassee, FL	UU	PEA07 2	3-B	FL	Franklin	Straight Path Spectrum, LLC	Yes	50.000	3940.000-3945.000	.000-.000	.000-.000	.000-.000			.0	Active	

WRBE242	Tallahassee, FL	UU	PEA07 2	4-A	FL	Franklin	Straight Path Spectrum, LLC	Yes	50.000	38750.000-38800.000	.000-.000	.000-.000	.000-.000	.0	Active
WRBE243	Tallahassee, FL	UU	PEA07 2	4-B	FL	Franklin	Straight Path Spectrum, LLC	Yes	50.000	39450.000-39500.000	.000-.000	.000-.000	.000-.000	.0	Active
WRBH576	Tallahassee, FL	UU	PEA07 2	8-A	FL	Franklin	Straight Path Spectrum, LLC	Yes	.000	.000-.000	.000-.000	.000-.000	.000-.000	.0	Active
WRBH577	Tallahassee, FL	UU	PEA07 2	8-B	FL	Franklin	Straight Path Spectrum, LLC	Yes	.000	.000-.000	.000-.000	.000-.000	.000-.000	.0	Active
WRBH864	Tallahassee, FL	UU	PEA07 2	1-A	FL	Franklin	Straight Path Spectrum, LLC	Yes	50.000	38600.000-38650.000	.000-.000	.000-.000	.000-.000	.0	Active
WRBH865	Tallahassee, FL	UU	PEA07 2	1-B	FL	Franklin	Straight Path Spectrum, LLC	Yes	50.000	39300.000-39350.000	.000-.000	.000-.000	.000-.000	.0	Active
WRBH944	Tallahassee, FL	UU	PEA07 2	10-A	FL	Franklin	Straight Path Spectrum, LLC	Yes	.000	.000-.000	.000-.000	.000-.000	.000-.000	.0	Active
WRBH945	Tallahassee, FL	UU	PEA07 2	10-B	FL	Franklin	Straight Path Spectrum, LLC	Yes	.000	.000-.000	.000-.000	.000-.000	.000-.000	.0	Active



# verizon

**SITE NAME:** APALACHICOLA POLICE DEPARTMENT  
**SITE NUMBER:** 523534

**ADDRESS:** ROW ON SOUTH EAST OF AVE F, JUST NORTH EAST OF 12TH ST  
 APALACHICOLA, FL 32320  
 FRANKLIN COUNTY

Digitally signed by Hugh Reilly  
 Date: 2019.03.20 09:42:03  
 -04'00'



PREPARED BY  
**CBVR**  
 TELECOM DESIGN GROUP  
 5113 MEMORIAL HWY.  
 TAMPA, FLORIDA 33634  
 (813) 985-2323  
 (7) CA # 13192

THIS DRAWING IS THE PROPERTY OF CBVR. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CBVR. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

PROFESSIONAL SEAL  
**HUGH O. REILLY**  
 LICENSE NO. 72410  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

PREPARED FOR  
**verizon**  
 7701 E TELECOM PKWY  
 TEMPLE TERRACE, FL 33887

PROJECT INFORMATION  
 523534  
 APALACHICOLA POLICE DEPARTMENT  
 ROW ON SOUTH EAST OF AVE F, JUST NORTH EAST OF 12TH ST  
 APALACHICOLA, FL 32320  
 CBVR PROJECT #: VZM.052.16

DATE: 03.15.19  
 FOR PERMIT/CONSTRUCTION

**TITLE SHEET**  
 SHEET NUMBER: T-1

**LIST OF DRAWINGS**

SITE GENERAL ARRANGEMENT PLANS
T-1 TITLE SHEET
M-1 NOTES
S-1 SURVEY
ARCHITECTURAL/GENERAL PLANS
C-1 SITE PLAN W/ AERIAL
C-2 ELECTRICAL & EQUIPMENT PLAN
C-3 DETAILS (1 OF 2)
C-3-3 DETAILS (2 OF 2)
ELECTRICAL PLANS
E-1 ELECTRICAL NOTES
E-2 UTILITY ROUTING ONE-LINE DIAGRAM/PANEL SCHEDULE
E-3 GROUNDING PLAN & NOTES
E-4 GROUNDING DETAILS
M-1 MOUNT DETAILS

**SITE INFORMATION**

JURISDICTION: FRANKLIN COUNTY  
 PARTIAL ID #: N/A (6.0 M)  
 LATITUDE: 29° 43' 21.88" N  
 LONGITUDE: 84° 58' 28.88" W

**SCOPE OF WORK**

INSTALLATION OF PROPOSED SMALL CELL EQUIPMENT ON WOOD POLE.  
 A. INSTALLATION OF (1) ANTENNA  
 B. INSTALLATION OF (1) ENCLOSURE CABINET

**APPLICABLE CODES**

BUILDING CODE: FLORIDA BUILDING CODE (FBC), 8TH EDITION (2017)  
 NATIONAL ELECTRICAL SAFETY CODE: 2017 EDITION  
 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70  
 MECHANICAL CODE: MECHANICAL CODE, 5TH EDITION  
 SAFETY CODE: NFPA-701-2012  
 DEPARTMENT OF TRANSPORTATION ADA STANDARDS FOR TRANSPORTATION FACILITIES  
 AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO)  
 ASCE 74-10, 3RD EDITION

THE FOLLOWING DESIGN CRITERIA APPLY:  
 WIND SPEED: 131 MPH (ULTIMATE WIND SPEED 131 MPH)  
 RISK CATEGORY: II  
 EXPOSURE CATEGORY: C  
 TOPOGRAPHIC CATEGORY: 1

**CONTACT INFORMATION**

APPLICANT:  
 VERIZON WIRELESS  
 7701 E TELECOM PKWY  
 TEMPLE TERRACE, FL 33887

ARCHITECT/ENGINEER:  
 CBVR/HUGH O. REILLY, PE  
 5113 MEMORIAL HWY.  
 TAMPA, FLORIDA 33634

TOWER OWNER:  
 VERIZON WIRELESS  
 7701 E TELECOM PKWY  
 TEMPLE TERRACE, FL 33887

**CONSTRUCTION NOTES**

ANY CONSTRUCTION AT THE SITE WILL USE BEST MANAGEMENT PRACTICES INCLUDING SOIL EROSION CONTROL MEASURES, AS ALSO REQUIRED BY LOCAL JURISDICTION, AND NOTED ON THE CONSTRUCTION DRAWING.

NOTES:  
 \* CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION.  
 \* ALL WORK TO BE PERFORMED PER LATEST ROW STANDARDS & SPECIFICATIONS

**APPROVALS**

PROPERTY OWNER: \_\_\_\_\_  
 IF ENGINEER: \_\_\_\_\_  
 CONSTRUCTION: \_\_\_\_\_  
 SITE ACQUISITION: \_\_\_\_\_  
 ZONING: \_\_\_\_\_  
 UTILITIES: \_\_\_\_\_  
 OPERATING: \_\_\_\_\_

**LOCATION SKETCH**

**SITE DIRECTIONS**

From US 90 to E. 52nd St. (E. 52nd St. is on the right side of the road)  
 1. Head south on US 90 for 1.7 miles  
 2. Right turn onto US 90 to the right  
 3. Turn right onto US 90 to the right  
 4. Turn left onto Avenue F (E. 52nd St.)  
 5. Turn right onto Row F (E. 52nd St.)  
 6. Destination will be on the right



## GENERAL NOTES

1. FOR THE PURPOSES OF THESE CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:  
ENGINEER - CBVR TELECOM DESIGN GROUP  
CONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)
2. PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL VISIT THE JOB SITE IN ORDER TO (1) VERIFY ALL EXISTING CONDITIONS, (2) VERIFY ALL DIMENSIONS AND (3) CONFIRM WHETHER THE WORK MAY BE ACCOMPLISHED AS SHOWN. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER.
3. A 4-FOOT (MIN) HORIZONTAL CLEARANCE DISTANCE SHALL BE MAINTAINED FROM ALL EXISTING POWER LINES.
4. THE CONSTRUCTION STAGING AREA SHALL BE COORDINATED WITH THE OWNER WELL IN ADVANCE OF THE CONSTRUCTION START DATE.
5. LABOR, MATERIAL, TOOLS, EQUIPMENT, TRANSPORTATION AND TEMPORARY POWER SERVICES NECESSARY FOR AND INCIDENTAL TO THE CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND INCIDENTAL TO A COMPLETE INSTALLATION, WHETHER OR NOT SPECIFICALLY INDICATED ON THE PLANS.
6. FOR TASKS REQUIRED TO BE PERFORMED BUT NOT CLEARLY IDENTIFIED BY THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL START WORK ON SUCH TASKS WITHOUT HAVING RECEIVED WRITTEN AUTHORIZATION FROM THE CONSTRUCTION MANAGER TO PROCEED.
7. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND EQUIPMENT UNLESS OTHERWISE INDICATED BY DIMENSIONS OR DETAILS. EXCEPT AS SHOWN ON THESE DRAWINGS, CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE ENGINEER AND THE CONSTRUCTION MANAGER.
8. THE CONTRACTOR SHALL OBTAIN, PAY FOR AND DELIVER ALL REQUIRED PERMITS, CERTIFICATES OF INSPECTION, INCLUDING UTILITY CONNECTION FEES, ETC. REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND SHALL DELIVER SUCH DOCUMENTS TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE WORK.
9. THE CONTRACTOR'S OPERATIONS SHALL BE CONFINED TO AREAS OF NEW CONSTRUCTION.
10. ALL NECESSARY PROVISIONS SHALL BE MADE TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, GALVANIZED SURFACES, ETC. AND DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER UPON COMPLETION OF ALL WORK TO THE SATISFACTION OF THE CONSTRUCTION MANAGER.
11. THE FOLLOWING CLEANUP TASKS SHALL BE PERFORMED AS FOLLOWS: (1) ON A DAILY BASIS, KEEP THE GENERAL AREA CLEAN AND HAZARD FREE. REMOVE ALL WASTE, DEBRIS AND TRASH FROM THE SITE AND DISPOSING OF SAME IN A LEGAL MANNER. (2) UPON COMPLETION, LEAVE THE PREMISES IN A CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
12. ALL EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICALLY INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
13. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL OBTAIN JURISDICTION OVER THE PERFORMANCE OF THE WORK, MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AS WELL AS LOCAL AND STATE CODES, ORDINANCES AND APPLICABLE REGULATIONS.
14. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AT ALL TIMES, USING THE BEST SKILLS AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK, INCLUDING CONTACT AND COORDINATION WITH THE CONSTRUCTION MANAGER AND WITH THE OWNERS AUTHORIZED REPRESENTATIVE.
15. WITHIN TEN (10) WORKING DAYS AFTER PROJECT COMPLETION, THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT SYSTEMS SHALL BE COMPLETELY ASSEMBLED, TESTED, ADJUSTED AND DEMONSTRATED TO BE READY FOR OPERATION PRIOR TO THE OWNER'S ACCEPTANCE.
16. THE PROPOSED INSTALLATION WILL NOT:  
INTERFERE WITH EXISTING UTILITIES, TRAFFIC CONTROL EQUIPMENT, PEDESTRIANS, OR PUBLIC SAFETY PURPOSES.  
INTERFERE WITH SIGHT LINES OR CLEAR ZONES FOR TRANSPORTATION, PEDESTRIANS, OR PUBLIC SAFETY PURPOSES.  
INTERFERE WITH COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT OR SIMILAR FEDERAL OR STATE STANDARDS.  
VERIZON WIRELESS MEETS ALL FCC'S PLANNING IN REGARDS TO FREQUENCY AND POWER ASSIGNMENTS. THIS MEANS THAT PUBLIC SAFETY AS WELL AS COMMERCIAL DEVICES OPERATING WITHIN THE SAME FREQUENCY BANDS WITH INTERFERENCE ARE VERY RARE BY DESIGN AND VERIZON WIRELESS AGREES, TO ESTABLISHED FCC PROCEDURES SHOULD ANYTHING ARISE.

## SITE WORK NOTES

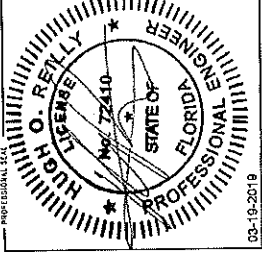
1. THE APPROPRIATE UTILITY LOCATING SERVICES SHALL BE CONTACTED PRIOR TO THE START OF CONSTRUCTION IN ORDER TO VERIFY THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES.
2. THE INSTALLATION OF NEW UTILITIES SHALL BE COORDINATED WITH LOCAL AUTHORITIES.
3. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, AND SHALL BE PROTECTED AS DIRECTED BY THE CONSTRUCTION MANAGER. EXTREME CAUTION SHALL BE USED WHEN EXCAVATING OR DRILLING PIERIS AROUND OR NEAR UTILITIES.
4. RUBBISH, STUMPS, DEBRIS, STAKES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES THAT INTERFERE WITH THE EXECUTION OF THE WORK SHALL BE REMOVED AND DISCONTINUED AT POINTS THAT WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE LANDLORD AND/OR LOCAL UTILITIES.
6. DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION SHALL BE MINIMIZED.
7. ANY AREAS OF THE CONSTRUCTION SITE DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY SHALL BE GRADED TO A UNIFORM SLOPE. SUCH GRADING SHALL CAUSE SURFACE WATER TO FLOW AWAY FROM ANY EQUIPMENT AND POLE AREAS AND THE SOIL SHALL BE STABILIZED TO PREVENT EROSION. EROSION CONTROL MEASURES REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LOCAL ORDINANCES FOR EROSION AND SEDIMENT CONTROL.
8. THE SUB-GRADE SHALL BE COMPACTED AND BROUGHT TO A UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
9. BACKFILL SHALL CONSIST OF CLEAN SAND FILL APPROVED FOR USE BY THE ENGINEER. NO UNAPPROVED MATERIAL WILL BE ALLOWED. CLEAN SAND FILL SHALL BE FREE OF ALL ROOTS, BOULDERS, OR OTHER DELETERIOUS MATERIAL.
10. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EQUAL TO OR BETTER CONDITION THAN ORIGINAL.
11. SITE SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS FOR SUCH SIGNAGE AS MAY BE CONTAINED IN THESE DRAWINGS.

## STRUCTURAL STEEL NOTES

1. MATERIAL:  
A. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE LATEST EDITION OF THE AISC STEEL CONSTRUCTION MANUAL.  
B. ALL STRUCTURAL STEEL WF BEAMS SHALL BE ASTM A992 AND "HOT DIPPED" GALVANIZED IN ACCORDANCE WITH ASTM A123 AND ASTM A123 AND ASTM A153 STANDARDS.  
C. ALL STRUCTURAL PLATES, ANGLES, AND CHANNELS SHALL BE ASTM A36 AND "HOT DIPPED" GALVANIZED IN ACCORDANCE WITH ASTM A123 AND ASTM A153 STANDARDS.  
D. ALL TS MEMBERS SHALL BE ASTM A500 GRADE B (F<sub>y</sub>=49ksi), AND "HOT DIPPED" GALVANIZED IN ACCORDANCE WITH ASTM A123 AND ASTM A153 STANDARDS.  
E. ALL TS MEMBERS SHALL BE ASTM A500 GRADE B (F<sub>y</sub>=49ksi), AND "HOT DIPPED" GALVANIZED IN ACCORDANCE WITH ASTM A123 AND ASTM A153 STANDARDS.  
F. ALL NON-STRUCTURAL PIPE MEMBERS SHALL BE ASTM A53 GRADE B, AND "HOT DIPPED" GALVANIZED IN ACCORDANCE WITH ASTM A123 AND ASTM A153 STANDARDS.
2. DESIGN, FABRICATION, AND CONSTRUCTION OF ALL CONNECTIONS SHALL CONFORM TO AISC STEEL CONSTRUCTION MANUAL.
3. WELDING:  
A. ALL WELDS, WELDERS, AND WELD INSPECTIONS SHALL CONFORM TO THE REQUIREMENTS OF AWS D 1.1, LATEST EDITION.  
B. ALL WELDS SHALL BE FULL PENETRATION WELDS.  
C. ALL STEEL SHALL BE SPRA GALVANIZED AFTER WELDING.
4. ALL BOLTS SHALL BE GALVANIZED 3/4" DIAMETER, A325N, UNLESS NOTED OTHERWISE AND TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED BY AISC. SECURE NUT WITH LOCKING WASHER.
5. ANCHOR BOLTS SHALL CONFORM TO ASTM A307, UNLESS NOTED OTHERWISE.
6. THE CONTRACTOR/STEEL FABRICATOR SHALL LOCATE ANY REINFORCEMENT IN THE STRUCTURAL MEMBERS IN SUCH A MANNER SO THAT THERE WILL NOT BE CONFLICT WITH THE REINFORCEMENT WHEN INSTALLING ANCHORS. THE ANCHORS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTION.
7. THE CONTRACTOR/STEEL FABRICATOR SHALL CONFORM TO THE MINIMUM EDGE DISTANCE REQUIREMENTS IN ACCORDANCE WITH THE AISC MANUAL OF STEEL CONSTRUCTION.
8. ALL STRUCTURAL STEEL SHALL BE FABRICATED TO FIT AT BOLTED CONNECTIONS WITHIN 1/16" INCH TOLERANCE. STRUCTURAL STEEL SHALL NOT BE FLAME CUT UNDER ANY CIRCUMSTANCES WITHOUT APPROVAL OF THE ENGINEER.
9. THE CONTRACTOR/STEEL FABRICATOR SHALL CAP OR SEAL ALL PIPES AS REQUIRED TO PREVENT RAINWATER INTRUSION.
10. THE CONTRACTOR/STEEL FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ANY STEEL FABRICATION. AT THE CONTRACTOR'S OPTION, FIELD SPICES MAY BE USED FOR ERECTION PURPOSES, IF FIELD SPICES ARE USED, THE SHOP DRAWINGS SHALL INCLUDE ALL DETAILS FOR THE PROPOSED FIELD SPICES.
11. AT THE CONTRACTOR'S OPTION, SHOP WELDS MAY BE USED INSTEAD OF FIELD WELDS.
12. SUBMIT ORIGINAL SHOP DRAWINGS, INCLUDING COMPLETE DETAILS, SCHEDULES OF FABRICATION AND ASSEMBLY PROCEDURES, AND DIAGRAMS, INCLUDE DETAILS OF CUTS, CONNECTIONS, CAMBER, HOLE, AND OTHER PERTINENT DATA. INDICATE WELDS BY STANDARDING A2.1 AND A2.4 SYMBOLS, AND SHOW SIZE, LENGTH, AND TYPE OF WELD. PROVIDE SECTION, AND DIRECTIONS FOR INSTALLATION OF ANCHOR BOLTS AND OTHER ANCHORAGES TO BE INSTALLED AS PART OF OTHERS' SECTIONS.

PREPARED BY  
**CBVR**  
TELECOM DESIGN GROUP  
5113 MEMORIAL HWY.  
TAMPA, FLORIDA 33634  
(772) 853-1233  
FL. C.A. # 21814

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PREPARED FOR  
**verizon**  
7721 E TELECOM PKWY  
TEMPLE TERRACE, FL 33607

PROJECT INFORMATION  
523534  
APALACHICOLA POLICE  
DEPARTMENT  
ROW ON SOUTH EAST OF AVE F, JUST  
NORTH EAST OF 12TH ST  
APALACHICOLA, FL 32320  
CBVR PROJECT #: VZW.052.18

ISSUE DATE	NO. IN 12
1	FOR PERMIT CONSTRUCTION

NOTES  
SHEET NUMBER  
N-1



SHEET 1 OF 1  
 PROJECT NO. 14-0000-0000  
 DATE: 01/24/2018  
 DRAWN BY: J. BROWN  
 CHECKED BY: J. BROWN  
 APPROVED BY: J. BROWN  
 PROJECT: 14-0000-0000  
 CLIENT: SUNSHINE 811  
 ADDRESS: 3015 15TH STREET, ATLANTA, GA 30309  
**GEOLINE SURVEYING, INC.**  
 1400 N. 14TH STREET, SUITE 100  
 ATLANTA, GA 30309  
 (404) 525-1400  
 www.geoline.com

PROFESSIONAL SEAL AND SIGNATURE OF SURVEYOR  
 JAMES B. BROWN  
 LICENSE NO. 12000  
 EXPIRES 12/31/2022  
 STATE OF GEORGIA  
 SURVEYING BOARD

**SURVEYOR'S NOTES**

1. REMAINS HEREON ARE REFERRED TO AND TO BE CONSIDERED AS PART OF THIS SURVEY.
2. THE SPECIAL PURPOSE SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS DATED JANUARY 24, 2018.
3. REPRODUCTIONS OF THIS SECTION ARE NOT VALID WITHOUT THE ORIGINAL SURVEYOR AND THE ORIGINAL RECORD BOOK.
4. THE SURVEYOR HAS REVIEWED THE RECORD BOOK AND HAS FOUND IT TO BE COMPLETE AND CORRECT.
5. THE SURVEYOR HAS REVIEWED THE RECORD BOOK AND HAS FOUND IT TO BE COMPLETE AND CORRECT.
6. THE SURVEYOR HAS REVIEWED THE RECORD BOOK AND HAS FOUND IT TO BE COMPLETE AND CORRECT.
7. ELEVATIONS ON THIS SURVEY ARE REFERRED TO THE NAVD83 DATUM.
8. SYMBOLS SHOWN HEREON ARE NOT TO SCALE.

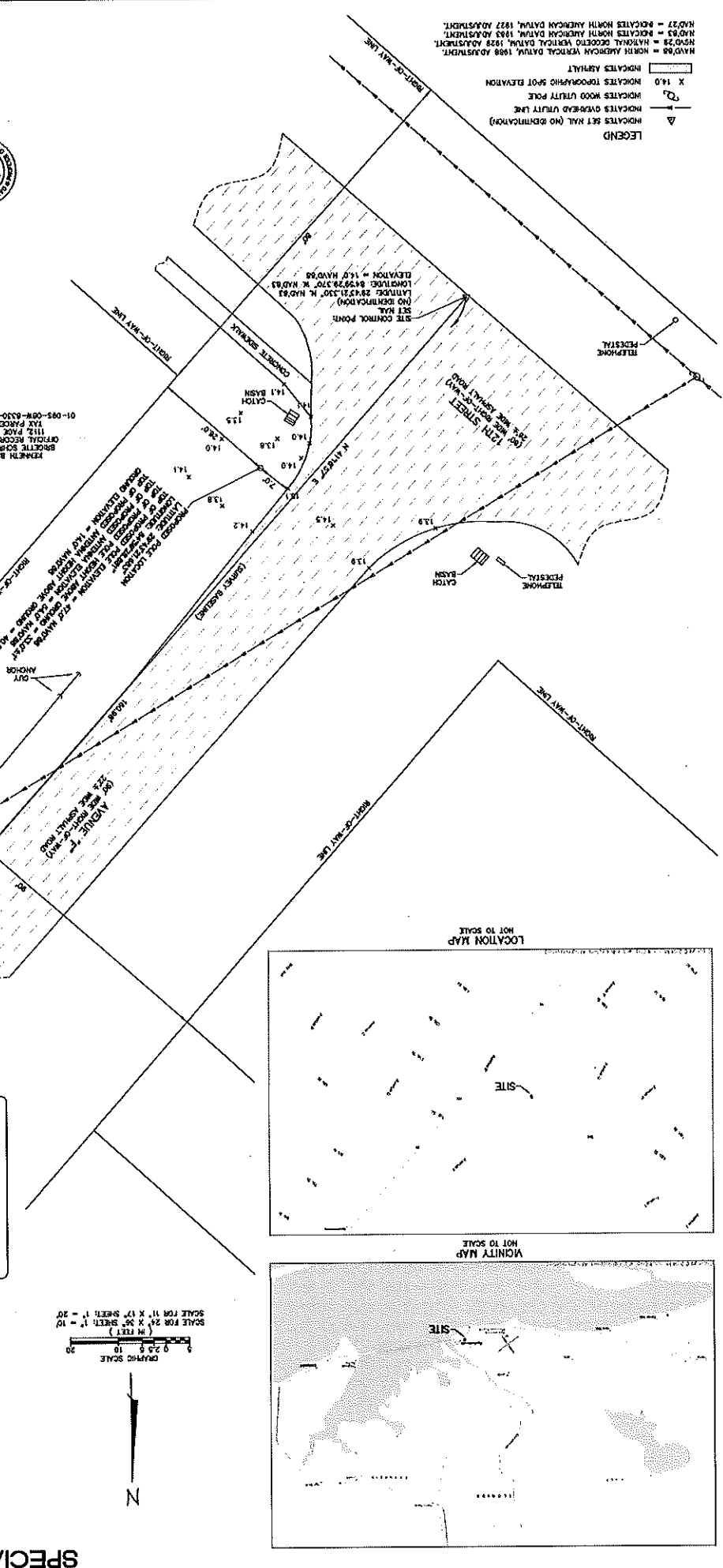
**FLOOD NOTE**

ACCORDING TO THE INFORMATION OF THE ATLANTA REGIONAL WATER TREATMENT PLANT, THE FLOOD HAZARD ZONE MAP (FHM) FOR THE CITY OF ATLANTA, FRANKLIN COUNTY, GEORGIA, DATED 2/2/2011, THE SUBJECT PROPERTY IS IN FLOOD ZONE "X". THE FLOOD HAZARD ZONE MAP (FHM) FOR THE CITY OF ATLANTA, FRANKLIN COUNTY, GEORGIA, DATED 2/2/2011, THE SUBJECT PROPERTY IS IN FLOOD ZONE "X". THE FLOOD HAZARD ZONE MAP (FHM) FOR THE CITY OF ATLANTA, FRANKLIN COUNTY, GEORGIA, DATED 2/2/2011, THE SUBJECT PROPERTY IS IN FLOOD ZONE "X".

**PROPOSED POLE LOCATION INFORMATION**

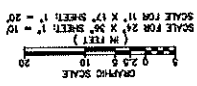
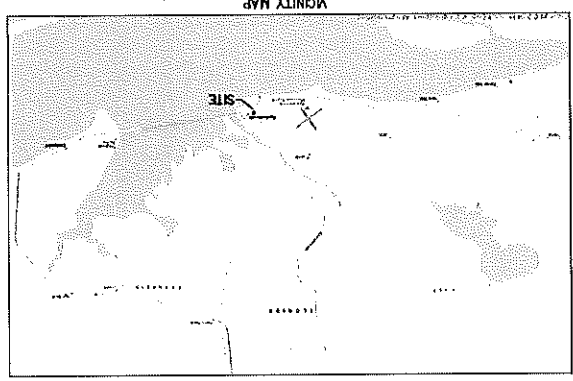
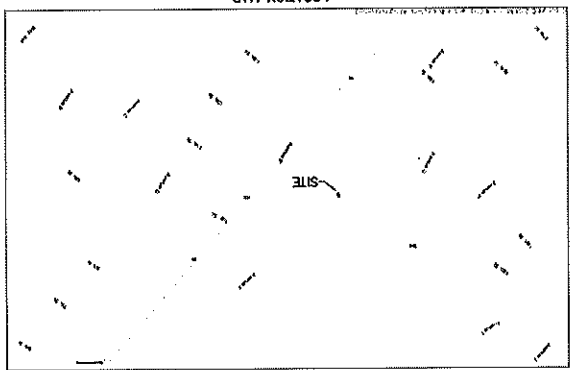
POLE NO. 1	ELEVATION = 47.67' NAVD83
POLE NO. 2	ELEVATION = 47.67' NAVD83
POLE NO. 3	ELEVATION = 47.67' NAVD83
POLE NO. 4	ELEVATION = 47.67' NAVD83
POLE NO. 5	ELEVATION = 47.67' NAVD83
POLE NO. 6	ELEVATION = 47.67' NAVD83
POLE NO. 7	ELEVATION = 47.67' NAVD83
POLE NO. 8	ELEVATION = 47.67' NAVD83
POLE NO. 9	ELEVATION = 47.67' NAVD83
POLE NO. 10	ELEVATION = 47.67' NAVD83

SUNSHINE 811  
 FOR CITY  
 SECTION 1, TOWNSHIP 9 SOUTH, RANGE 8 WEST  
 FRANKLIN COUNTY, GEORGIA  
 SPECIAL PURPOSE SURVEY



**LEGEND**

- INDICATES SET NAIL (NO IDENTIFICATION)
- INDICATES OVERHEAD UTILITY LINE
- INDICATES WOOD UTILITY POLE
- INDICATES TOPOGRAPHIC SPOT ELEVATION
- X 14.0
- INDICATES ASPHALT




PREPARED BY:



**TELECOM DESIGN GROUP**  
 5143 MEMORIAL BLVD.  
 TAMPA, FLORIDA 33634  
 (774) 853-1233  
 FL CA # 31014

PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO. 72440  
 HUGH O. REFFLY

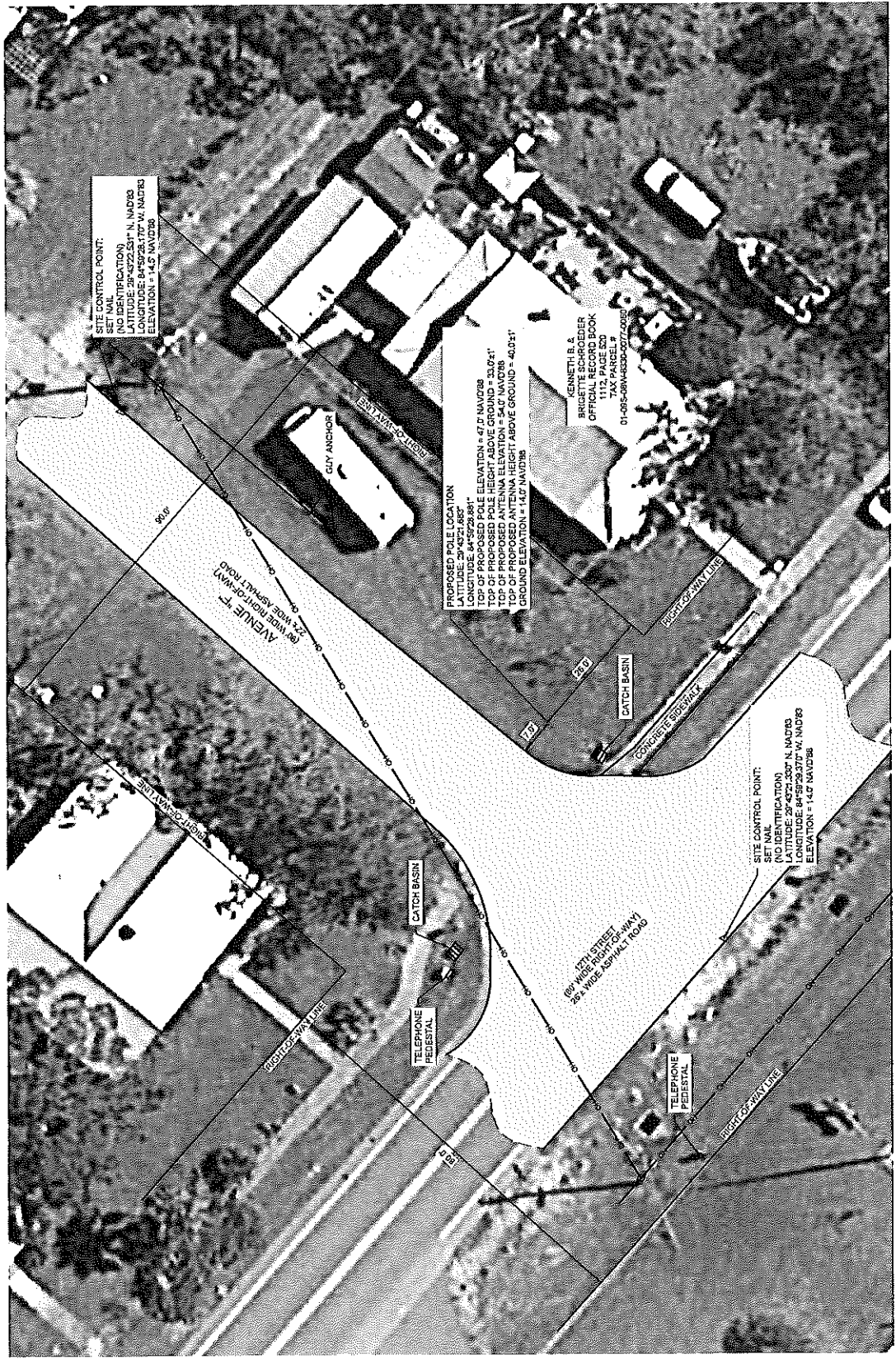


7701 E TELECOM PKWY  
 TEMPLE TERRACE, FL 33537

PROJECT INFORMATION  
 523534  
 APALACHICOLA POLICE DEPARTMENT  
 ROW ON SOUTH EAST OF AVE F, JUST NORTH EAST OF 12TH ST  
 APALACHICOLA, FL 32320  
 CBVR PROJECT #: VZM-052.18

BILLED DATES	03.19.19
FOR PERMIT CONSTRUCTION	

SHEET NAME	SITE PLAN W/ AERIAL
SHEET NUMBER	C-1




SITE PLAN W/ AERIAL  
 GRAPHIC SCALE  
 0' 10' 20'  
 (SCALE IN FEET)  
 TRIT SCALE T-90



**CONSTRUCTION NOTE:**  
 ANY CONSTRUCTION AT THE SITE WILL USE BEST MANAGEMENT PRACTICES INCLUDING CONSTRUCTION CONTROL MEASURES AS ALSO REQUIRED BY LOCAL JURISDICTION, AND NOTED ON THE CONSTRUCTION DRAWING.

**NOTES:**  
 • CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION TO ORIGINAL OR BETTER CONDITION  
 • ALL NEW WORK TO BE PERFORMED PER LATEST VERIZON WIRELESS STANDARDS & SPECIFICATIONS

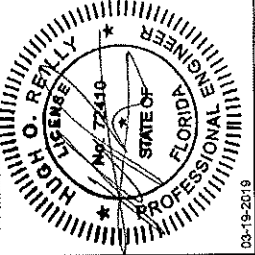
PREPARED BY



**CBVR**  
TELECOM DESIGN GROUP  
5113 MEMORIAL HWY.  
TAMPA, FLORIDA 33634  
(772) 885-2323  
FL C.E. 31974

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PROFESSIONAL SEAL



HUGH O. REILLY  
LICENSE NO. 72440  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

03-19-2019  
PREPARED FOR



7701 E TELECOM PKWY  
TEMPLE TERRACE, FL 33577

PROJECT INFORMATION

523534  
APALACHICOLA POLICE  
DEPARTMENT  
ROW ON SOUTH EAST OF AVE F, JUST  
NORTH EAST OF 12TH ST  
APALACHICOLA, FL 32320

CBVR PROJECT #: VZM.052.18

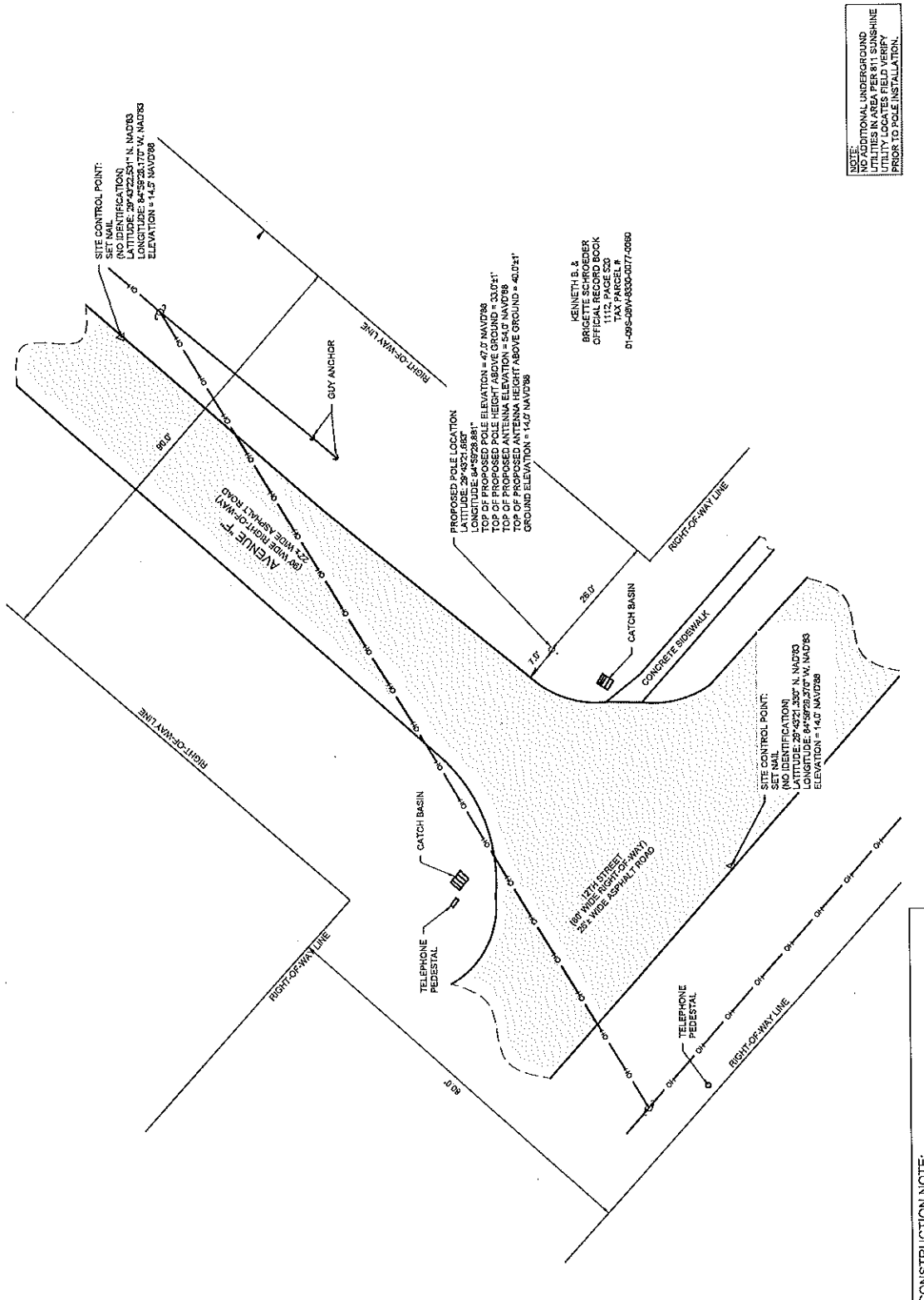
ISSUE DATES	DESCRIPTION
0	FOR PERMIT CONSTRUCTION

SHEET NAME

**SITE PLAN**

SHEET NUMBER

**C-2**



NOTE:  
ADDITIONAL UNDERGROUND UTILITIES IN AREA PER 811 SUNSHINE UTILITY LOCATES FIELD VERIFY PRIOR TO POLE INSTALLATION.



**CONSTRUCTION NOTE:**

ANY CONSTRUCTION AT THE SITE WILL USE BEST MANAGEMENT PRACTICES INCLUDING SOIL EROSION CONTROL MEASURES, AS ALSO REQUIRED BY LOCAL JURISDICTION, AND NOTED ON THE CONSTRUCTION DRAWING.

**NOTES:**

- CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION TO ORIGINAL OR BETTER CONDITION
- ALL NEW WORK TO BE PERFORMED PER LATEST VERIZON WIRELESS STANDARDS & SPECIFICATIONS

PREPARED BY

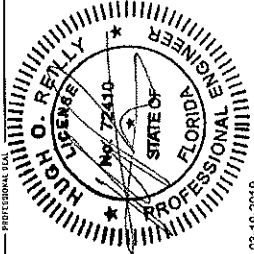


**CBVR**  
TELECOM DESIGN GROUP

5113 MEMORIAL HWY.  
TAMPA, FLORIDA 33634  
(774) 851-1223  
FL CX 131014

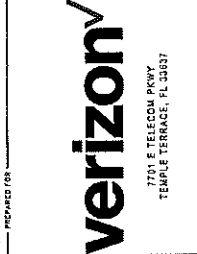
2010 PROFESSIONAL ENGINEERING STATUTE, CHAPTER 481, PART 10, F.S. (PROFESSIONAL ENGINEERING) AND CHAPTER 481, PART 11, F.S. (PROFESSIONAL SURVEYING) REQUIRE THE DESIGNER TO BE A LICENSED PROFESSIONAL ENGINEER OR SURVEYOR IN THE STATE OF FLORIDA. THE DESIGNER'S LICENSE NUMBER IS 12440. THE DESIGNER'S EXPIRATION DATE IS 12/31/2018. THE DESIGNER'S BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS IS THE FLORIDA BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS. THE DESIGNER'S BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS IS THE FLORIDA BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS.

PROFESSIONAL SEAL



HUGH O. REILLY  
LICENSE NO. 12440  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

03-19-2018 PREPARED FOR



7701 E TELECOM PKWY  
TEMPLE TERRACE, FL 33057

PROJECT INFORMATION

523534  
APALACHICOLA POLICE  
DEPARTMENT  
ROW ON SOUTH EAST OF AVE F, JUST  
NORTH EAST OF 12TH ST  
APALACHICOLA, FL 32230

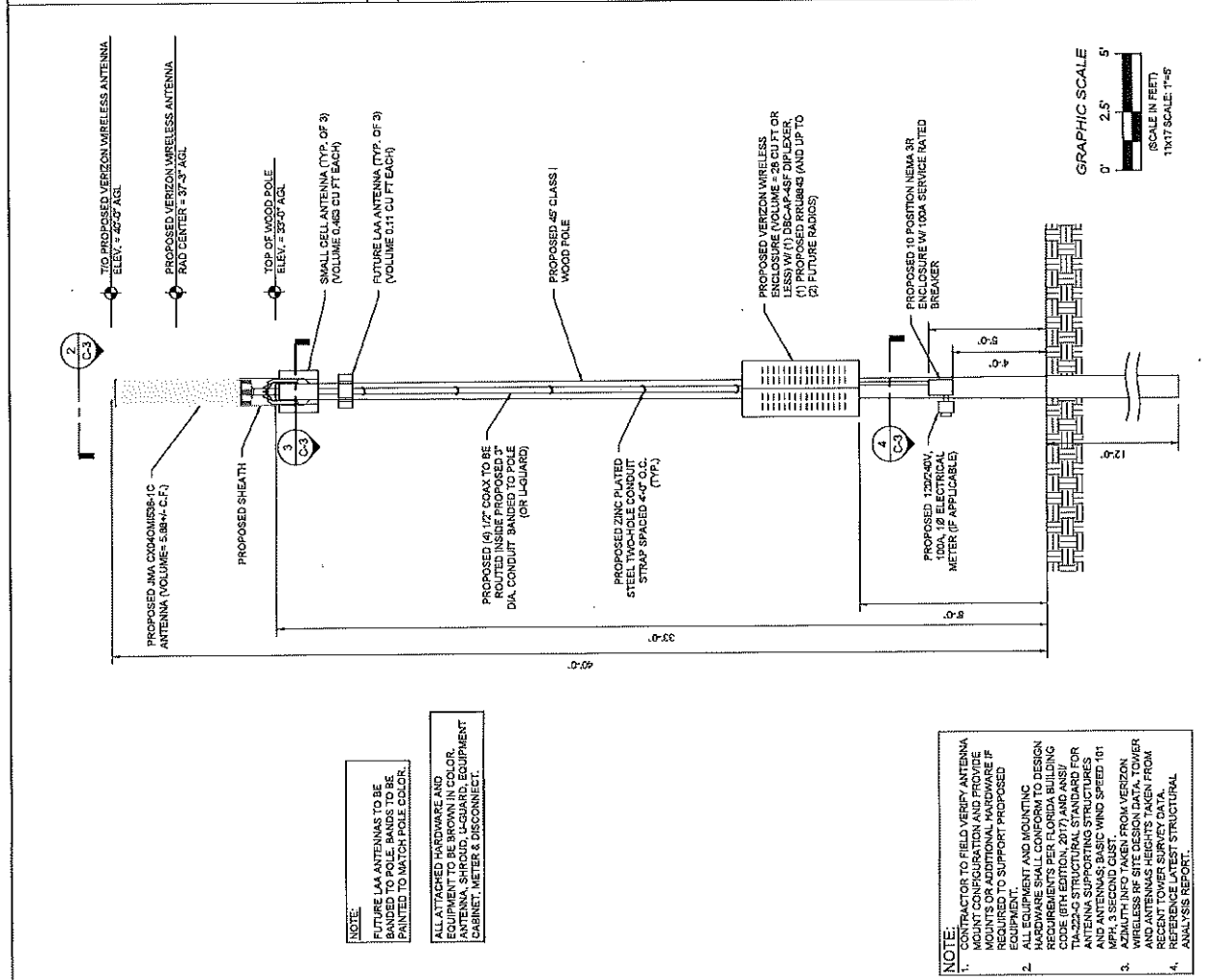
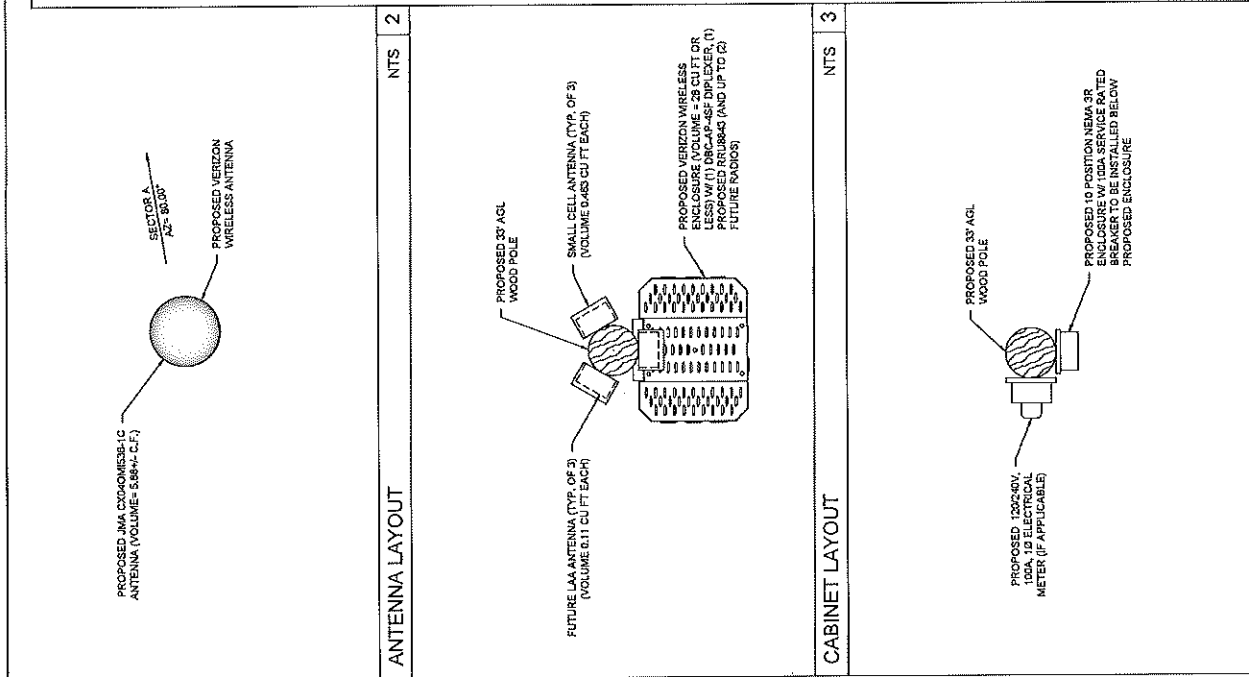
CBVR PROJECT #: YZM-052.18

NO.	REVISION	DATE
1	FOR PERMIT CONSTRUCTION	03.19.18

INLET MANHOLE

**ELEVATION & EQUIPMENT PLAN**

INLET NUMBER: C-3



NOTE:  
FUTURE LAA ANTENNAS TO BE BANDED TO POLE. BANDS TO BE PAINTED TO MATCH POLE COLOR.

ALL ATTACHED HARDWARE AND EQUIPMENT TO BE BROWN IN COLOR. ANTENNA, SHROUD, U-GUARD, EQUIPMENT CABINET, METER & DISCONNECT.

NOTE:  
1. CONTRACTOR TO FIELD VERIFY ANTENNA MOUNTS OR ADDITIONAL HARDWARE IF REQUIRED TO SUPPORT PROPOSED EQUIPMENT.  
2. HARDWARE SHALL CONFORM TO DESIGN REQUIREMENTS PER FLORIDA BUILDING CODE (8TH EDITION, 2017), AND ANSI/TIA-222-G STRUCTURAL STANDARDS FOR TOWER AND ANTENNA MOUNTING AND ANTENNAS. BASIC WIND SPEED: 101 MPH, 3 SECOND GUST.  
3. AZIMUTH INFO TAKEN FROM VERIZON ANTENNA SURVEY REPORT. HUBER AND ANTENNA HEIGHTS TAKEN FROM RECENT TOWER SURVEY DATA. REFERENCE LATEST STRUCTURAL ANALYSIS REPORT.

PREPARED BY  
**CBVR**  
 TELECOM DESIGN GROUP  
 5113 MEMORIAL HWY.  
 TAMPA, FLORIDA 33634  
 (772) 855-1233  
 FL CA # 21014

ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

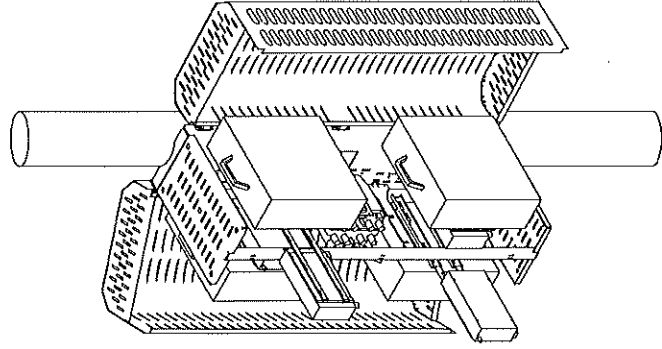
PROFESSIONAL SEAL  
**HIGH O. REXLEY**  
 LICENSE  
 No. 72410  
 STATE OF  
 FLORIDA  
 PROFESSIONAL ENGINEER  
 03-19-2018  
 PREPARED FOR

**verizon**  
 7701 E TELECOM PKWY.  
 TEMPLE TERRACE, FL 33517

PROJECT INFORMATION  
 523534  
 APALACHICOLA POLICE  
 DEPARTMENT  
 ROW ON SOUTH EAST OF AVE F, JUST  
 NORTH EAST OF 12TH ST  
 APALACHICOLA, FL 32320  
 CBVR PROJECT #: VZW.052.18

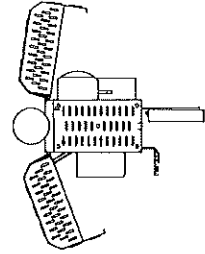
ISSUED DATE	05.19.18
FOR PERMIT CONSTRUCTION	

SHEET NAME  
**DETAILS (1 OF 2)**  
 SHEET NUMBER  
**C-4**

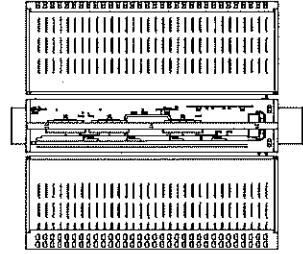


HB887 - DEFINED CABINET BELOW OR SIMILAR  
 NOT TO EXCEED 28 CUBIC FEET.

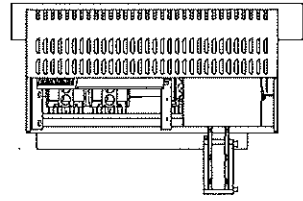
ENCLOSURE:  
 DIMENSIONS (HxWxD)  
 60"x28.64"x21.75"  
 21 CU FT  
 SEE STRUCTURAL  
 WEIGHT  
 ANALYSIS BY  
 MANUFACTURER



TOP VIEW



FRONT VIEW



SIDE VIEW

NTS 2

ENCLOSURE SPECIFICATIONS

NTS 1

NOT USED

**HB687 - DEFINES ANTENNA NOT TO EXCEED 6 CUBIC FEET.**

**CONTRACTOR TO SUPPLY ANTENNA MOUNT.  
CONTRACTOR TO COORDINATE WITH ANTENNA MANUFACTURER.**



**Product Specifications**  
**CX040MI536-1C**

NWAV™ X-Pol Quasi-omni Cantenna | 4-Port | 5.5 ft | 360°

**Four-Port 5.5 ft 360° Cantenna with RET-controlled HB  
(4) 1695-2180 MHz**

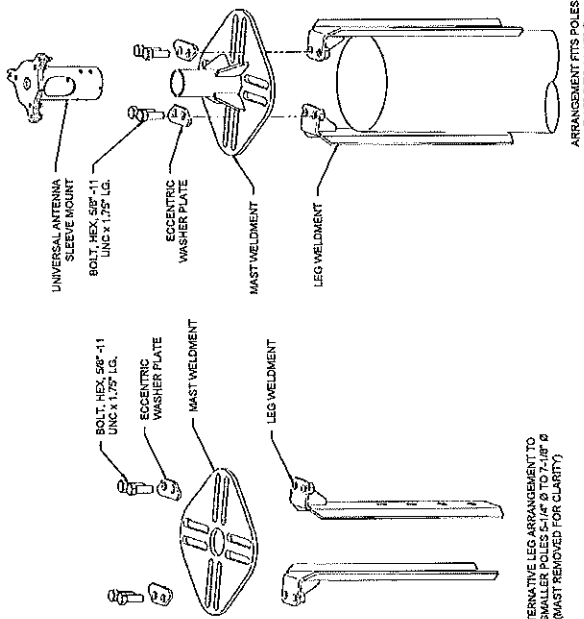
- Small cell 4-port Quasi-omni antenna
- Suitable for pole or building mount
- 4x4 MIMO high-band
- Internal beam forming
- RET control
- Suitable for LTE/UMTS/CDMA/GSM technologies



Ports 1,2,3,4	
Frequency bands, MHz	1695-1880   1890-1990   1920-2100
Polarization	±45°
Average gain over all lobe, dB	11.8   11.9   12.2
Horizontal beamwidth (HBW), degrees	360°
Vertical beamwidth (VBW), degrees	7.7°   7.2°   7.0°
Electrical downtilt (EDT) range, degrees	2-8° (RET)
Typical cross polar isolation, port-to-port	25   25   25
VSWR/return loss, dB	1.5:1-14.0
Maximum passive intermodulation (PIM), 2x 20W carrier, dBc	-153
Maximum input power per any port, watts	125

Mechanical specifications	
Dimensions height/diameter, inches (mm)	66.0(1,676) x 11.1(282)
No. of RF input ports, connector type & location	4 x 4.5-10 female, bottom
Volume in cubic feet	5.88
RF connector torque	58.06 in (10.85 N m or 8 lbf ft)
Net antenna weight, lb (kg)	88.0 (26.3)
Rated wind survival speed, mph (km/h)	150 (241)
Frontal wind loading @ 160 km/h, kN (N)	135.4 (602.3)
Equivalent flat plate @ 100 mph and Cox=2, sq. ft	2.73

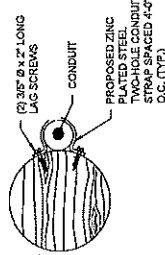
**JMA CX040MI536-1C ANTENNA SPECIFICATIONS**



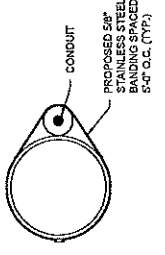
**ANTENNA MOUNTING BRACKET DETAIL**

NTS 2

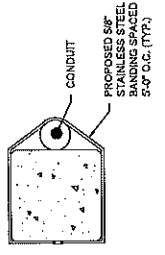
**WOOD POLE APPLICATION**



**METAL POLE APPLICATION**



**CONCRETE POLE APPLICATION**



**CONDUIT ATTACHMENT DETAIL**

NTS 3

PREPARED BY  
**CBVR**  
TELECOM DESIGN GROUP  
5113 MEMORIAL HWY.  
TAMPA, FLORIDA 33634  
(770) 853-1333  
FL CA F 31214

REGISTERED PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
No. 72410  
DATE OF EXPIRATION: 12/31/2019

PROFESSIONAL SEAL  
**HIGH O. REYNOLDS**  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
No. 72410  
DATE OF EXPIRATION: 12/31/2019

**verizon**  
7701 E TELECOM PKWY  
TEMPLE TERRACE, FL 33607

PROJECT INFORMATION  
523534  
APALACHICOLA POLICE DEPARTMENT  
ROW ON SOUTH EAST OF AVE F, JUST NORTH EAST OF 12TH ST  
APALACHICOLA, FL 32320  
CBVR PROJECT #: VZW/052.18

NO.	REVISION	DATE
1	ISSUED BIDS	05/16/14
2	FOR PERMITS/CONSTRUCTION	05/16/14

SHEET NAME: **DETAILS (2 OF 2)**  
SHEET NUMBER: **C-5**

**GENERAL**

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE (EDITION ADOPTED BY LOCAL JURISDICTION) AND APPLICABLE LOCAL CODES.
2. GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRIC CODE.
3. ALL ELECTRICAL EQUIPMENT AND ACCESSORIES SHALL BE UL APPROVED OR LISTED.
4. ALL POWER WIRING SHALL BE STRANDED COPPER, TYPE THHN/THWN, AND 90 DEGREE C RATED.
5. GROUNDING ELECTRODE CONDUCTORS SHALL BE BARE, TIN COATED COPPER AND EQUIPMENT GROUND CONDUCTORS SHALL BE GREEN INSULATED, UNLESS OTHERWISE NOTED.
6. ALL POWER WIRING SHALL BE INSTALLED IN GALVANIZED RIGID STEEL CONDUIT, PVC, OR FLEXIBLE LIQUIDTIGHT CONDUIT, AS INDICATED.
7. CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY PERMIT FEES, AND SCHEDULE INSPECTIONS.
8. CONTRACTOR SHALL APPLY FOR ELECTRICAL SERVICE AS SOON AS POSSIBLE AND COORDINATE REQUIREMENTS, SERVICE ROUTING, AND METER SOCKET TYPE WITH LOCAL POWER COMPANY.
9. CONTRACTOR SHALL APPLY FOR TELEPHONE SERVICE AS SOON AS POSSIBLE AND COORDINATE REQUIREMENTS AND SERVICE ROUTING WITH TELEPHONE COMPANY.
10. PROVIDE ALL LABOR AND MATERIAL DESCRIBED ON THIS DRAWING, AND ALL ITEMS INCIDENTAL TO COMPLETING AND PRESENTING THIS PROJECT AS FULLY OPERATIONAL.
11. WHERE LONG POWER CABLE RUNS PREVAIL, CONTRACTOR SHALL CALCULATE THE VOLTAGE DROP AND SIZE WIRES AND CONDUIT ACCORDINGLY.
12. WHERE TRANSFORMER IS REQUIRED FOR ELECTRICAL SERVICE, TRANSFORMER SECONDARY SHALL BE GROUNDED PER N.E.C., ARTICLE 250-35.
13. REFER TO SITE SPECIFIC DRAWINGS FOR ELEVATIONS.
14. ALL ELECTRICAL DEVICES EXPOSED TO WEATHER SHALL BE OF RAINPROOF CONSTRUCTION AND SHALL REQUIRE WATER TIGHT CONDUIT HUBS, NEMA 3R TYPICAL.
15. CONTRACTOR SHALL COIL CABLES AT HANDHOLE WITH LENGTHS AS REQUIRED BY ELECTRICAL UTILITY FOR CONNECTION.
16. ALL UNDERGROUND SERVICE ENTRANCE POWER CABLES SHALL BE TYPE FOR SUCH USE. CONTRACTOR SHALL CALCULATE VOLTAGE DROP AND RE-SIZE CABLES PER NEP REQUIREMENTS FOR CABLE RUNS EXCEEDING 250 FEET.

**POWER CABLE AND SERVICE**

1. CONTRACTOR SHALL PROVIDE CONDUIT AND WIRING TO BITS AND VERIFY EXACT CONDUIT ROUTING, RACEWAY SYSTEM MATERIALS AND DEVICES FURNISHED SHALL BE IN ACCORDANCE WITH APPLICABLE STANDARDS OF ANSI, NEMA, AND UL RACEWAY SYSTEM COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE N.E.C.
2. CONTRACTOR SHALL SEAL AROUND ALL CONDUIT PENETRATIONS THROUGH WALLS, FLOORS AND ROOFS TO PREVENT MOISTURE PENETRATION OR VERMIN INFESTATION.
3. CONDUCTORS RUNNING ALONG HORIZONTAL SURFACES (ROOF TOP OR SLAB) SHALL BE INSTALLED IN RIGID CONDUIT SUPPORTED ON ELECTRICAL CONDUIT SUPPORT.
4. ALL VERTICAL RUNS OF POWER CABLE EXCEEDING 90 FEET IN LENGTH SHALL BE SUPPORTED PER N.E.C. ARTICLE 300 USING HELIENS GRIPS OR ACCEPTABLE EQUAL CABLE SUPPORT SYSTEM.
5. WHERE A SEPARATE ELECTRICAL SERVICE DROP IS ADDED, CONTRACTOR SHALL INSTALL PERMANENT SERVICE DISCONNECT OR GROUPING THEREOF, DEMONSTRATING ALL OTHER SERVICE ENTRANCES, LOCATION OF EACH AND THE AREAS SERVED BY EACH.
6. WHERE ELECTRICAL POWER IS TO BE SUB-FED FROM AN EXISTING DISTRIBUTION SYSTEM, THE FOLLOWING SHALL APPLY:
  - A. CONTRACTOR SHALL PERFORM LOAD TESTING TO DETERMINE MAXIMUM FEEDER DEMAND PER N.E.C. ARTICLE 220-30.
  - B. EACH BRANCH CIRCUIT PROTECTIVE DEVICE SHALL HAVE SAME INTERRUPTING RATING AS EQUIPMENT SUPPLYING IT.
  - C. PREFERRED MEANS OF SUPPLY SHALL BE A BRANCH CIRCUIT PROTECTIVE DEVICE LOCATED IN EXISTING PANEL.
  - D. IF A BRANCH CIRCUIT PROTECTIVE DEVICE CANNOT BE OBTAINED OR SPACE IS NOT AVAILABLE, A BRANCH CIRCUIT MAY BE TAPPED FROM EXISTING FEEDER CONDUCTORS USING AN INSTALLED 20-POLE FUSED DISCONNECT AND METER BASE PER N.E.C. ARTICLE 240-21.
  - E. ALL TAP CONDUCTORS, FUSED DISCONNECT SHALL BE LISTED SAME OR BETTER INTERRUPTING RATING AS EXISTING SOURCE OF SUPPLY.

**RF (COAX) AND LOW VOLTAGE CABLE**

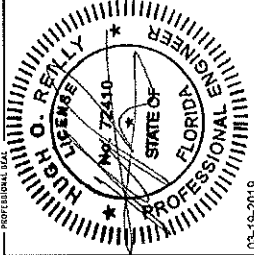
1. RF CABLES AND LOW VOLTAGE CABLING BETWEEN RATS, LMS, OR TMA AND ANTENNA SHALL BE SUPPORTED USING ANDREW'S SNAP-RAP HANGERS OR ACCEPTABLE EQUAL.


**IDENTIFICATION**

1. LOCATE, NAMEPLATE, MARKING, OR OTHER IDENTIFICATION MEANS ON OUTSIDE EQUIPMENT OR BOX FRONT COVERS.
2. PROVIDE NAMEPLATE ENGRAVED WITH EQUIPMENT DESIGNATION FOR EACH SAFETY SWITCH AND ALL OTHER ELECTRICAL CABINETS, ETC.
3. DURING TRENCH BACK-FILLING FOR EACH UNDERGROUND ELECTRICAL, TELEPHONE, SIGNAL AND COMMUNICATIONS LINE, PROVIDE A CONTINUOUS UNDERGROUND WARNING TAPE TWELVE INCHES BELOW FINISHED GRADE.

PREPARED BY  
  
**TELECOM DESIGN GROUP**  
 5113 MEMORIAL HWY.  
 TAMPA, FLORIDA 33634  
 (772) 553-1233  
 FL CA P 31014

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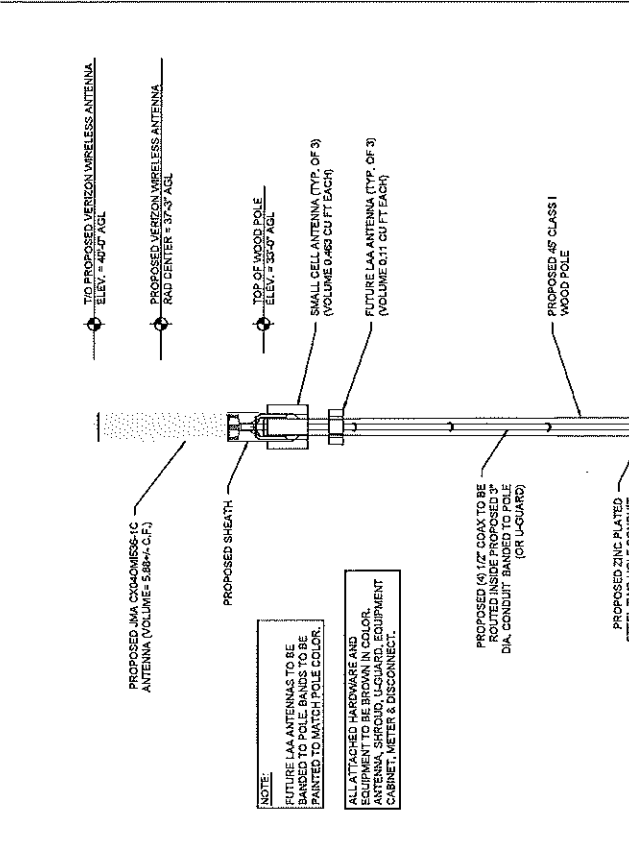
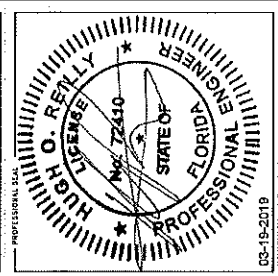
PROFESSIONAL SEAL  
  
 03-19-2019  
 REPAIRED FOR

  
 7701 E TELECOM PKWY  
 TEMPLE TERRACE, FL 33617

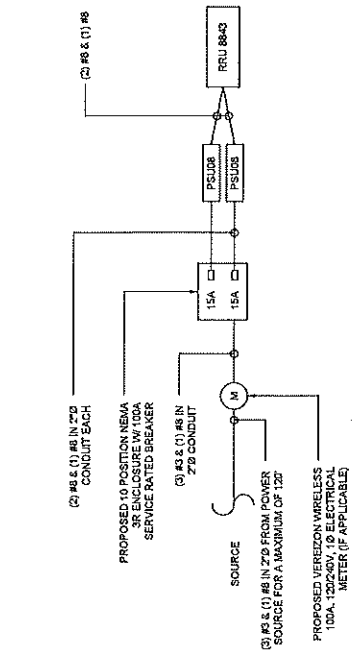
PROJECT INFORMATION  
 523534  
 APALACHICOLA POLICE  
 DEPARTMENT  
 ROW ON SOUTH EAST OF AVE F, JUST  
 NORTH EAST OF 12TH ST  
 APALACHICOLA, FL 32320  
 CBVR PROJECT #: YZW.052.18

ISSUED DATE	NO.	DESCRIPTION
03-19-18	0	FOR PERMIT CONSTRUCTION

SHEET NAME  
**ELECTRICAL NOTES**  
 SHEET NUMBER  
**E-1**



ONE-LINE DIAGRAM



PANEL NAME: VERIZON WIRELESS						PANEL RATING			
LOCATION: APALACHICOLA POLICE DEPARTMENT -						100 AMPS			
WIRE	CCT NO.	DESCRIPTION	MARR LUG ONLY						
			A	B	POLE	WIRE	GND	COND.	
1		PSUB3	4.0	-	15/1	#8	#8	#8	1"
2		SPACE	-	-	-	-	-	-	-
3		SPACE	-	-	-	-	-	-	-
4		SPACE	-	-	-	-	-	-	-
5		SPACE	-	-	-	-	-	-	-
6		SPACE	-	-	-	-	-	-	-
SUB TOTAL KVA (NON-CONT)			0 0						
SUB TOTAL KVA (NON-CONT)			4 4						
TOTAL 10A			8.0						
NON-CONT * 125% CONT.									
TOTAL AMPS			30.4						

PANEL SCHEDULE

UTILITY ROUTING



## GENERAL

1. INSTALLATION OF GROUNDING ELECTRODE SYSTEM SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRIC CODE AND WITH ALL BUILDING CODE OF AUTHORITIES HAVING JURISDICTION.
2. GROUNDING CONDUCTORS SHALL BE 2" AND THINED SOLID BARE COPPER BELOW AND ABOVE GRADE, UNLESS OTHERWISE NOTED AND SHALL BE ROUTED IN A DOWNWARD PATH TOWARDS GROUND BARS.
3. GROUNDING CONDUCTORS SHALL BE KEPT AS SHORT AND DIRECT AS POSSIBLE WITH MINIMUM BEND RADIUS OF 12 INCHES.
4. ALL BELOW GRADE CONNECTIONS SHALL BE CASHWELDED TYPE CONNECTIONS AND ALL CONNECTIONS TO EQUIPMENT AND GROUND BARS SHALL BE 2-HOLE BRONZE COMPRESSION CONNECTIONS UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL INSTALL NEW GROUNDING SYSTEM PER SPECIFICATIONS AND INTERCONNECT NEW SYSTEMS TO ANY EXISTING GROUNDING SYSTEMS AS REQUIRED BY NFPA 70 AND 780 (THIS APPLIES TO ELECTRICAL POWER DISTRIBUTION GROUNDING SYSTEM, LIGHTNING PROTECTION GROUNDING SYSTEM, COAX CABLE GROUNDING SYSTEM AND ANY OTHER EXISTING GROUNDING SYSTEMS).
6. GROUNDING CONDUCTORS SHALL BE BONDED TO ANTENNA FRAME, AND ANY SUPPORT FRAMES OR RACKS USING CADWELDED OR MECHANICAL CONNECTIONS.
7. CONTRACTOR SHALL PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. STAINLESS STEEL HARDWARE SHALL BE USED THROUGHOUT.
8. GROUNDING CONDUCTORS EMBEDDED IN CONCRETE OR PENETRATING WALLS AND FLOORS SHALL BE ENCASED IN PVC CONDUIT. NO METALLIC CONDUIT SHALL BE USED FOR GROUNDING CONDUCTORS UNLESS REQUIRED BY LOCAL CODES OR OTHERWISE INDICATED ON DRAWINGS. CONDUIT SHALL SEAL AROUND ALL CONDUIT PENETRATIONS TO PREVENT MOISTURE PENETRATION AND VERMIN INFESTATION.
9. CONTRACTOR SHALL BOND GROUNDING SYSTEM VIA THE MASTER GROUND BAR TO ALL METAL OBJECTS WITHIN 12 FEET OF EQUIPMENT, CONDUIT AND CABLES.
10. BONDING OF GROUNDED CONDUCTOR (NEUTRAL) AND GROUNDING CONDUCTOR SHALL BE AT SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250-28.
11. CONTRACTOR SHALL VERIFY EXACT CONDUIT ROUTING FOR GROUNDING CONDUCTORS WHERE APPLICABLE.
12. CONNECTIONS TO GCB SHALL BE ARRANGED IN THE FOLLOWING THREE GROUPS:
  - SURGE PRODUCERS (COAXIAL CABLE GROUND KITS, TELCO CABINET AND POWER PEDESTAL GROUND).
  - SURGE ABSORBERS (GROUNDING ELECTRODE RING OR BUILDING STEEL), CONDUCTORS
  - NON-SURGING OBJECTS (EGGS GROUND IN BVS).
13. DOUBLING OR STACKING OF ANY GROUNDING CONNECTIONS IS NOT ACCEPTABLE.
14. ALL GROUND BARS SHALL BE INSTALLED WITH STAND OFF INSULATORS.

## PREPARATION

1. SURFACES: ALL CONNECTIONS SHALL BE MADE TO BARE METAL ALL PAINTED SURFACES SHALL BE FIELD INSPECTED TO ENSURE PROPER CONTACT. ALL GALVANIZED SURFACES ON WHICH GALVANIZING HAS BEEN REMOVED BY CUTTING, DRILLING, OR ANY OTHER OPERATION SHALL BE RE-GALVANIZED IN ACCORDANCE WITH ASTM A780 USING ZINC RICH COATING AS MANUFACTURED BY ZINC CHEMICAL PRODUCTS COMPANY. GALVANIZING SHALL BE APPLIED TO ALL SURFACES THAT WILL BE IN CONTACT WITH THE GROUNDING SYSTEM. ALL GROUNDING CONNECTIONS ARE TO HAVE A NON-OXIDIZING AGENT (COPPER SHIELD) APPLIED PRIOR TO INSTALLATION.
2. GROUND BAR: ALL COPPER GROUND BARS SHALL BE CLEANED, POLISHED AND A NON-OXIDIZING AGENT (COPPER SHIELD) APPLIED. NO FINGER PRINTS OR DISCOLORED COPPER SHALL BE PERMITTED.

## LAND BUILDS AND CO-LOCATE

1. THE GROUND ELECTRODE SYSTEM SHALL CONSIST OF DRIVEN GROUND RODS UNIFORMLY SPACED AROUND THE EQUIPMENT FOUNDATION AND AROUND THE PERIMETER OF THE TOWER FOUNDATION. THE GROUND RODS SHALL BE 95" X 19-0" COPPER CLAD STEEL WITH 2" DIAMETER AND 2' SPACING. ALL GROUNDING CONDUCTORS TO FORM A GROUND RING AT A DEPTH OF 30 INCHES BELOW THE SURFACE OF THE EXISTING GRADE SHALL BE INTERCONNECTED WITH TWO GROUNDING CONDUCTORS OF EQUAL LENGTH AND MATERIALS.
2. GROUND RODS SHALL BE BONDED TO GROUND RINGS AND INTERCONNECTING CONDUCTORS AT EQUAL INTERVALS OF APPROXIMATELY 10 FEET.
3. GROUND BARS SHALL BE BONDED TO GROUND RING WITH SINGLE GROUNDING CONDUCTOR.
4. THOSE BELOW GRADE SHALL BE EXOTHERMIC TYPE (CADWELDED), ALL OTHER BONDINGS SHALL BE BRONZE ZHOLE COMPRESSION FITTINGS UNLESS OTHERWISE NOTED.
5. GROUNDING CONDUCTORS MAKING A TRANSITION FROM ABOVE TO BELOW GRADE SHALL BE INSULATED FROM EARTH CONTACT BY PASSING THROUGH PVC CONDUIT. THE CONDUIT SHALL EXTEND AT LEAST 6 INCHES ABOVE AND 12 INCHES BELOW GRADE LEVEL.

## GROUNDING REQUIREMENTS

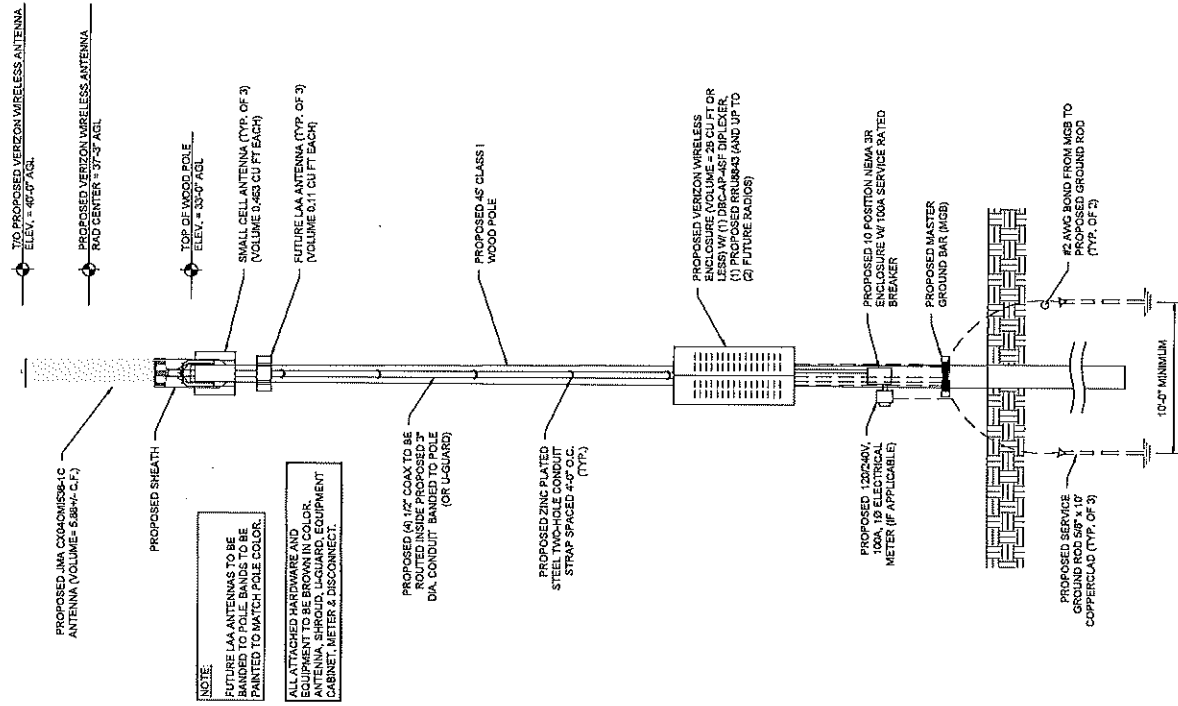
1. CONTRACTOR SHALL INSPECT AND TEST ANY NEW OR EXISTING VERIZON WIRELESS GROUNDING SYSTEM WITH A BIDDLE-MEGER TESTER UTILIZING THE FALL OF POTENTIAL METHOD AND CONTACT CONSTRUCTION MANAGER IF RESISTANCE EXCEEDS 5 OHMS AND SHALL FIELD BONDING SYSTEMS NECESSARY TO ACHIEVE COMPLIANCE. TEST RESULTS AND CONCLUSIONS SHALL BE RECORDED FOR PROJECT CLOSE-OUT DOCUMENTATION.
2. COAX CABLE OUTER CONDUCTORS (SHIELDS) SHALL BE GROUNDED USING COAX GROUNDING KITS AT A MINIMUM OF TWO POINTS, INCLUDING AT ANTENNA AND AT MASTER GROUND BAR. THE COAXIAL CABLE SHALL NOT EXCEED 100 FEET BETWEEN GROUNDING KITS.

## GROUNDING NOTES

NTS 1

## GROUNDING PLAN

NTS 2



PREPARED BY  
**CBVR**  
 TELECOM DESIGN GROUP  
 5415 BELMONTA BLVD NW  
 TAMPA, FLORIDA 33624  
 (773) 852-1333  
 FL CA # 31814

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PROFESSIONAL SEAL  
 HUGH O. REILLY  
 No. 72410  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 05-19-2019  
 PREPARED FOR

**verizon**  
 7701 E TELECOM PKWY  
 TEMPLE TERRACE, FL 33617

PROJECT INFORMATION  
 523534  
 APALACHICOLA POLICE DEPARTMENT  
 ROW ON SOUTH EAST OF AVE F, JUST NORTH EAST OF 12TH ST  
 APALACHICOLA, FL 32320  
 CBVR PROJECT #: VZW.052.18

DATE	DESCRIPTION
05.18.19	FOR PERMIT CONSTRUCTION

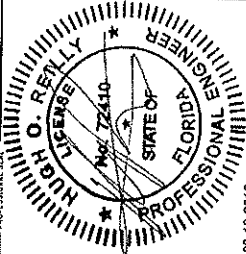
PROJECT NUMBER  
**GROUNDING PLAN & NOTES**  
 E-3

PREPARED BY

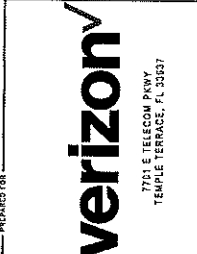


**TELECOM DESIGN GROUP**  
 4515 HENRIE BLVD  
 TAMPA, FLORIDA 33634  
 (770) 853-1323  
 FL CA # 21914

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O. REILLY  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 License No. 72410  
 03-19-2019



PREPARED FOR

7701 E TELECOM PKWY  
 TEMPLE TERRACE, FL 33637

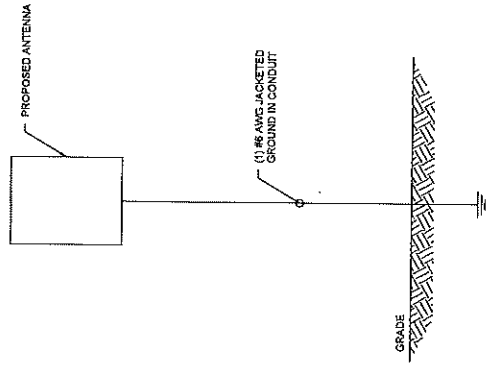
PROJECT INFORMATION

5235534  
 APALACHICOLA POLICE  
 DEPARTMENT  
 ROW ON SOUTH EAST OF AVE F - JUST  
 NORTH EAST OF 17TH ST  
 APALACHICOLA, FL 32320  
 CBVR PROJECT #: V2W.052.18

BUILD DATE	FOR PERMIT CONSTRUCTION	03.19.19

SHEET NAME  
**GROUNDING  
 DETAILS**

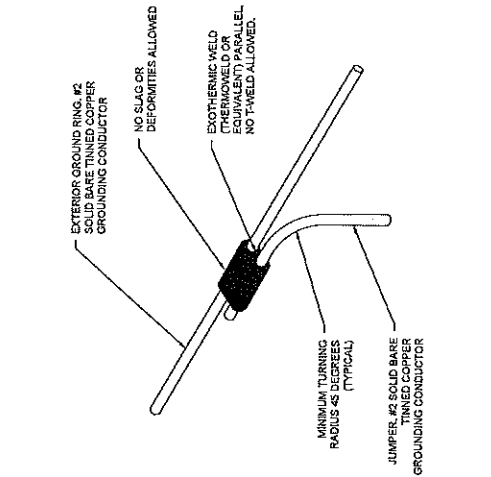
SHEET NUMBER  
**E-4**



3 ANTENNA GROUNDING DIAGRAM

NTS

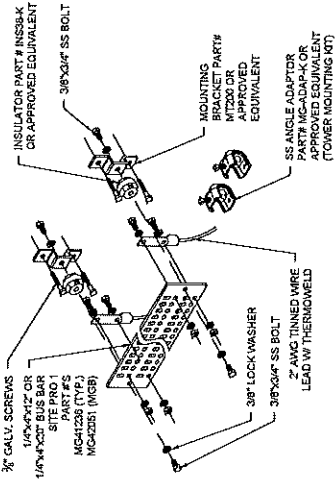
3



2 WELD CONNECTION DETAIL

NTS

5



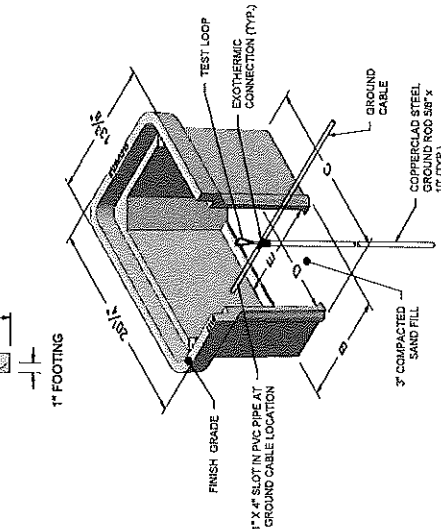
NOTE:  
 CONTRACTOR TO APPLY  
 COPPERSHIELD OR MOOR.

6 TYPICAL GROUND BAR DETAIL

NTS

6

- NOTE:
- CONTRACTOR SHALL PROVIDE PRE-CAST CONCRETE INSPECTION WELL WITH CAST IN 1" X 4" SLOTTED LID WHEN WELL WILL BE IN 1" X 4" SLOT IN PVC PIPE AT GROUND CABLE LOCATION
  - ALL WORK SHALL CONFORM TO THE LOCAL BUILDING CODES. DEPTH MAY VARY

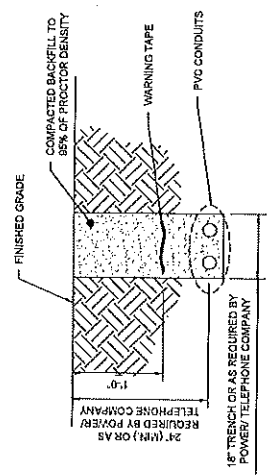


A	B	C	D	E
11-18-12	12	11-5/16	16-1/8	16-7/16
11-18-18	18	11-1/8	17-5/16	18-3/16

1 HAND HOLE DETAILS

NTS

4



4 TRENCH DETAILS

NTS

4

5 CONDUCTOR CABLE CONNECTOR ISOMETRIC

NTS

5

6 TYPICAL GROUND BAR DETAIL

NTS

6

To be setup in accordance with Standard Plans Index 102-602

**Table 1**  
**Device Spacing**

Speed (mph)	Max. Distance Between Devices (ft.)			
	Cones or Tubular Markers	Type I or Type II Barricades or Vertical Panels or Drums	Taper	Tangent
25	25	50	25	50
30 to 45	25	50	30	50

**DISTANCE BETWEEN SIGNS**

Speed	Spacing (ft.)		
	A	B	C
40 mph or less	200	200	200
45 mph	350	350	350



**CBVR**  
TELECOM DESIGN GROUP  
5113 MEMORIAL HWY.  
TAMPA, FLORIDA 33624  
(774) 863-3333  
FL CA # 31074

PROFESSIONAL SEAL  
HIGH O. R. REILLY  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
No. 72440  
05-16-2019

**verizon**  
7781 E TELECOM PKWY  
TEMPLE TERRACE, FL 33617

PROJECT INFORMATION  
523634  
APALACHICOLA POLICE DEPARTMENT  
ROW ON SOUTH EAST OF AVE F, JUST NORTH EAST OF 12TH ST  
APALACHICOLA, FL 32320  
CBVR PROJECT #: VZW.052.18

ISSUED DATE:	03.16.19
FOR PERMIT CONSTRUCTION	

DIST NO. 1  
**MOT DETAILS**  
SHEET NUMBER  
**MOT-1**

MOT Plans  
631 NE 45 Street  
Gulf Bldg, FL 33614

102-602

12th St

Orange St

Ave B

12th St

12th St

12th St

12th St

12th St

12th St

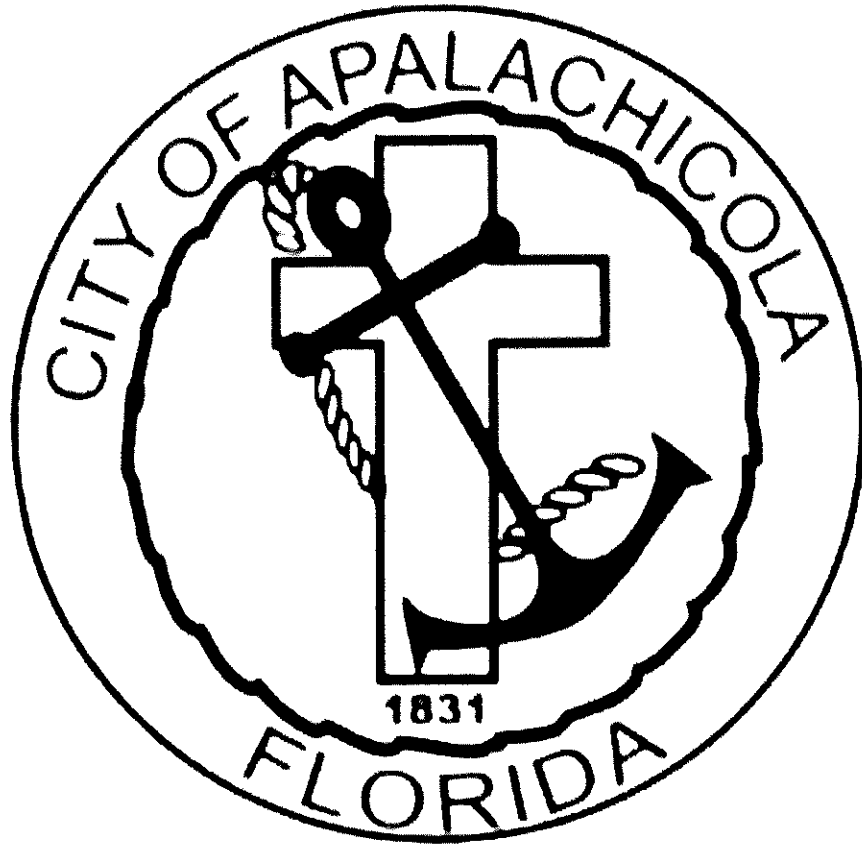
12th St

12th St

12th St

**ATSSA**  
3103 STATE HWY 1701  
TAMPA, FL 33613  
813-944-1179  
15000 N. Dale Mabry Hwy. #900  
Tampa, FL 33618  
www.atssa.com

**PDOT**  
The Connecticut  
Department of Transportation  
600 Silas Deane Blvd., Suite 200  
Hartford, CT 06103  
Tel: 860-418-3100  
Fax: 860-418-3101  
www.ct.gov/transportation



**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

-HISTORIC DISTRICT-

Official Use Only

Application # 1  
 City Representative CB  
 Date Received 7/8/19

**OWNER INFORMATION**

**CONTRACTOR INFORMATION**

Owner Andrew & Joanna Young  
 Address P.O. Box 4195  
 City GETTYSBURG State PA Zip \_\_\_\_\_  
 Phone (\_\_\_\_) \_\_\_\_\_

State License # \_\_\_\_\_  
 City License # \_\_\_\_\_ County License # \_\_\_\_\_  
 Email Address \_\_\_\_\_  
 Phone (\_\_\_\_) \_\_\_\_\_

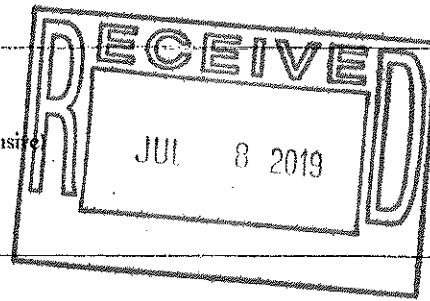
Approval Type: [ ] Staff Approval Date: \_\_\_\_\_ [ ] Board Approval [ ] Board Denial Date \_\_\_\_\_

\*Reason for Denial

**PROJECT TYPE**

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: \_\_\_\_\_



**PROPERTY INFORMATION:**

Street Address: 225 AVE. D City & State APALACHICOLA Zip 32720  
 [ ] Historic District [x] Non-Historic District Zoning District R-1  
 Parcel #: 01-095-03W-8360-0004-0130 Block(s) BL4W Lot(s) 1/2/13-14  
 FEMA Flood Zone/Panel #: X  
 (For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

**Setback requirement of Property:**

Front 22.7' Rear: 25.9' Side: 5' Lot Coverage: 29%

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston  
 Permitting and Development Coordinator  
 (850) 653-1522 (ext 205) Phone  
 (850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

1492 sq feet Single Family Residence w/ 291  
 (154' Front Porch) & (137' Back Screened Porch)

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	JAMES HARDI		
Doors	THEMA-TRU		
Windows	JELD-WEN		
Roofing	METAL		
Trim	JAME HARDI		
Foundation	CONC.		
Shutters	N/A		
Porch/Deck	CONC.		
Fencing	NA		
Driveways/Sidewalks	HGT LIME ROCK	Filter Fabric Base	
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

7-9-19

SIGNATURE OF APPLICANT



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: ANDREW & JOHANNA YOUNG

ADDRESS: P.O. Box 4195, GETTYSBURG PA.

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: GARY UELICH

ADDRESS: P.O. Box 534

CITY, STATE & ZIP CODE: APALACHICOLA PHONE # 850-566-2078

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 225 AVE. D. APALACHICOLA

PROPOSED USE OF SITE: RESIDENTIAL NEW / CONSTRUCTION

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 01-098-08W-8360-0004-0130

LEGAL DESCRIPTION OF PROPERTY: BL 4W 1/2 OF LOTS 13 & 14

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_



Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family      \_\_\_ Townhouse      \_\_\_ Commercial      \_\_\_ Industrial  
 \_\_\_ Duplex      \_\_\_ Swimming Pool      \_\_\_ Storage      \_\_\_ Sign  
 \_\_\_ Multi-Family      \_\_\_ Demolition      \_\_\_ Other

\_\_\_ Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front SEE SITE PLAN Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
 R. Side \_\_\_\_\_

Cost of Construction \$ 180,000 Square Footage 1783 sq ft  
 EPI \_\_\_\_\_ Flood Zone X Lowest Floor Elevation 1  
 Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
 Type of Roof Metal Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
 Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

[Signature]  
 Signature of Owner or Agent

[Signature]  
 Signature of Contractor

Date: \_\_\_\_\_

Date: 7-9-19

Notary as to Owner or Agent

Notary as to Contractor

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.



**Parcel Summary**

Parcel ID 01-09S-08W-8360-0004-0130  
 Location Address 32320  
 Brief Tax Description\* BL 4 W 1/2 OF LOTS 13 & 14 NEELS ADDITION TO CITY OF APALACHICOLA OR 99/418-20 135/236 1138/476 1163/33 1235/239  
\*The Description above is not to be used on legal documents.  
 Property Use Code VACANT (000000)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Young Andrew & Joanna M  
 P.O. Box 4195  
 Gettysburg, PA 17325

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	75.00	FF	0	0

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	02/08/2019	\$69,500	WD	1235	239	Qualified (Q)	Vacant	ALBER	YOUNG
N	02/25/2016	\$62,500	WD	1163	33	Qualified (Q)	Vacant	PIERCE	ALBER
N	02/19/2015	\$90,000	WD	1138	476	Qualified (Q)	Improved	TURNER/BUTLER	PIERCE

**Valuation**

	2018 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$43,500	\$43,500	\$43,500	\$33,750	\$33,750
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$43,500	\$43,500	\$43,500	\$33,750	\$33,750
Assessed Value	\$43,500	\$43,500	\$43,500	\$33,750	\$33,750
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$43,500	\$43,500	\$43,500	\$33,750	\$33,750
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

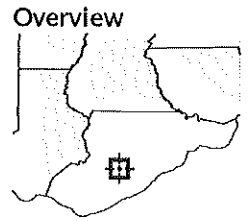
No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.




Last Data Upload: 7/9/2019 7:10:19 AM

Version 2.2.29





**Legend**

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8360-0004-0130	Alternate ID	08W09S01836000040130	Owner Address	YOUNG ANDREW & JOANNA M
Sec/Twp/Rng	1-9S-8W	Class	VACANT		P.O. BOX 4195
Property Address		Acreage	n/a		GETTYSBURG, PA 17325
District	3				
Brief Tax Description	BL 4 W 1/2 OF LOTS 13 & 14 (Note: Not to be used on legal documents)				

Date created: 7/9/2019  
Last Data Uploaded: 7/9/2019 7:10:19 AM

Developed by  **Schneider**  
GEOSPATIAL

CITY OF APALACHICOLA  
TREE APPLICATION  
REMOVAL OR ALTERATION OF PROTECTED TREE

N/A

Applicant's Name: Greg Ulrich (Please print)  
 Property Owner's Name: ANDREW i JOANNA Phone: \_\_\_\_\_  
 Property Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_  
 General Contractor/Tree Contractor: Greg Ulrich Phone: \_\_\_\_\_  
 Applicants Signature/Date: [Signature] / \_\_\_\_\_

NO TREES

1. Protected trees – Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4" to 16"	Greater than 16" to less than 35"	35" and larger (Patriarch Tree)
Bald & Pond Cypress			
Eastern & Southern Red Cedar			
Live Oak			
Longleaf Pine			
Pecan			
Sabal Palm			
Slash Pine			
Southern Magnolia			
Sycamore			
Water Oak			
<b>Total</b>			
Size is measured at breast height (4.5 Feet above ground surface)			

2. Reason(s) for removal or alteration (Mark all that apply with "X")

Owner's Private Property	
Removal: New Construction	Alteration: New Construction
Tree located within or too close to footprint of proposed new building or addition	Limbs and branches encroaching where structure is to be built
Removal: No New Construction	Alteration: No New Construction
Tree roots damaging building foundation or underground utilities	Limbs and branches rubbing on side or roof of building
Imminent hazard to property or human safety	Imminent hazard to property or human safety
Diseased or pest-infested tree	Diseased or pest-infested tree
Storm damaged tree (other than City declared emergency; e.g., lightning)	Storm-damaged tree (other than during City declared emergency; e.g., lightning)
Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
City Property (City street right-of-ways adjacent to private property)	
Removal: Requested by Private Property Owner	Alteration: Requested by Private Property Owner (Significant cutting of limbs & branches)
Tree located where access to private property is proposed (driveway, etc.)	Imminent hazard to property or human safety
Imminent hazard to property or human safety	
Diseased or pest-infested tree	
Storm damaged tree (other than City declared emergency; e.g., lightning)	
Requested by City Department	
Interference with City utilities (e.g., water, sewer, stormwater) or Imminent Hazard	Growth encroaching on street or alley

3. Please provide photos of proposed trees
4. Please attach a map with the following drawn to scale:
  - a. Locations of the following:
    1. Lot boundaries
    2. Footprints of existing and proposed structures (principal structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
    3. Types & Diameters of protected trees (measured at breast height in inches)
    4. Protected trees that are proposed to be removed or altered

**OFFICE USE ONLY**

<b>Permit Processing Fee (\$50.00 or \$100.00)</b>	
<b>Reforestation Fund</b>	
Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)	
Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)	
Non Patriarch Tree Total (\$250.00 Max per lot)	
Number of Trees 35" and larger x \$1,000.00	
Reforestation Fund Total	

Planning and Zoning Board (When Development plan is submitted):

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

Reason for Denial: \_\_\_\_\_

\_\_\_\_\_  
Chairperson, Planning and Zoning Board                      Date

Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

Reason for Denial: \_\_\_\_\_

\_\_\_\_\_  
Code Enforcement Officer or Designee                      Date

\_\_\_\_\_  
City Manager or Designee                      Date

## TREE REMOVAL AND TRIMMING APPLICATIONS

The City of Apalachicola Tree Ordinance adopted in 2019, protects the following tree species on privately owned and City owned property: live oak, southern magnolia, sabal palm, slash pine, eastern and southern red cedar, longleaf pine, pecan, bald and pond cypress, sycamore, and water oak.

A copy of the new Ordinance and the tree removal and substantial alteration application is accessible through links on the Building Department webpage at [www.cityofapalachicola.com](http://www.cityofapalachicola.com)

If you have any questions about the new requirements or the new application form, please contact Wilbur Bellew, Code Enforcement Officer by e-mail at [wlbellew@cityofapalachicola.com](mailto:wlbellew@cityofapalachicola.com) and Cortni Bankston, Permitting and Development Coordinator by e-mail at [cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com) or by telephone at 850-653-1522.

## FEES AND FINES

1. Administrative Fee - The City of Apalachicola will collect a \$50.00 application and processing fee. However, if the application is submitted after the tree is removed and the application is approved at that time, there will be an additional \$50.00 application and processing fee (Total of \$100.00).
2. Fines - If a **Non-Patriarch** tree is removed or altered prior to application submission or if an after-the fact permit for removal or alteration is denied, the applicant, property owner, and/or contractor are subject to a fine of up to \$500.00 per tree. If a **Patriarch** tree is removed or altered without the required approval, the applicant, property owner, and/or contractor are subject to a fine of up to \$25,000.00 per tree.
3. Reforestation Fund – The City of Apalachicola also collects a fee of \$25 or \$35 depending on size for each protected, non-patriarch tree removed by permit, but not to exceed \$250.00 per lot. The City of Apalachicola collects a fee of \$1,000.00 for each patriarch tree removed by permit. The fees collected will be deposited into the Reforestation Fund for the establishment and maintenance of tree in city parks, squares, and public right-of-ways

# YOUNG RESIDENCE

225 AVENUE D

APALACHICOLA, FL 32320

LIST OF SHEETS:	
A-0	COVER
A-1	CONSTRUCTION NOTES
A-2	SITE PLAN
A-3	FLOOR PLAN
A-4	EXTERIOR ELEVATIONS
A-5	FOUNDATION
A-6	ROOF PLAN
A-7	ELECTRICAL
A-9	SECTION DETAILS

BUILDING AREA:	
HEATED AND COOLED	1,442 SF
COVERED PORCH	184 SF
SCREENED PORCH	137 SF
TOTAL AREA	1,763 SF



**WARD DRAFTING**

ZACHARY WARD  
 328 PARADISE LN  
 APALACHICOLA, FL 32320  
 850.653.6478  
 warddrafting@gmail.com

WEBSITE:  
 WARDDRAFTING.COM

BUILDER:  
 DIRLICH CONSTRUCTION  
 APALACHICOLA, FL

SINGLE FAMILY RESIDENCE FOR:  
**ANDREW AND JOANNA YOUNG**  
 225 AVENUE D  
 APALACHICOLA, FL 32320

**REVISIONS:**

DATE:	REV.
6/27/14	
6/28/14	

**COVER SHEET**

SHEET:	A-0
DATE:	06/16/2014
SCALE:	AS SHOWN



**WARD DRAFTING**

ZACHARY WARD  
320 PARADISE LN  
APALACHICOLA, FL 32320  
850-653-6470  
warddrafting@gmail.com

WEBSITE:  
WARDRAFTING.COM

BUILDER:  
ULRICH CONSTRUCTION  
APALACHICOLA, FL

SINGLE FAMILY RESIDENCE FOR:  
**ANDREW AND JOANNA YOUNG**  
225 AVENUE D  
APALACHICOLA, FL 32320

**REVISIONS:**

DATE	REV
02/19	
05/14	

**CONST. NOTES**

SHEET	1-1
DATE	06/16/2014
SCALE	AS SHOWN

**GENERAL ROOF NOTES:**

*(See Sheet A6)*

- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS, PITCH, OVERHANGS, PRIOR TO START
- PRE-ENGINEERED ROOF TRUSSES
- TRUSS SPACING SHALL BE NO MORE THAN 24" ON CENTER
- SEE ROOF PLAN FOR PITCH
- OVERHANG: 24"
- GALVALUME STANDING SEAM METAL ROOF

**GENERAL ELECTRICAL NOTES:**

*(See Sheet A7)*

- ELECTRICAL DESIGN & INSTALLATION TO BE BY FLORIDA LICENSED ELECTRICAL CONTRACTOR PER N.E.C. REQUIREMENTS/LOCAL CODES
- HVAC DESIGN & INSTALLATION TO BE BY FLORIDA LICENSED MECHANICAL CONTRACTOR AND BE IN ACCORDANCE WITH DCA ENERGY CODE REQUIREMENTS
- ELECTRICAL CONTRACTOR TO SIZE AND LOCATE ALL ELECTRICAL SERVICE PANELS, BREAKERS, AND/OR DISCONNECTS AS REQUIRED BY THE ELECTRICAL SYSTEM AND IOR CODE
- ELECTRICAL CONTRACTOR TO PROVIDE AND SIZE ELECTRICAL SERVICES FOR ALL EQUIPMENT PER MANUFACTURERS' REQUIREMENTS AND INSTALL IN COMPLIANCE WITH ALL GOVERNING CODES
- ELECTRICAL FINISHES PER OWNER/CONTRACTOR. MAY VARY FROM SHOWN.
- ARC-FAULT PROTECTION IS REQUIRED FOR BEDROOMS
- ALL SWITCHES MUST BE GROUNDED
- SMOKE ALARMS ARE REQUIRED IN EACH SLEEPING ROOM & OUTSIDE OF EACH SLEEPING AREA. IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOM. WHEN ONE OR MORE DEVICES ARE REQUIRED, THEY MUST BE INTERCONNECTED (IF ONE IS ACTIVATED, ALL SHALL ACTIVATE).
- CARBON MONOXIDE DETECTORS REQUIRED AS SHOWN IF THERE ARE ANY GAS APPLIANCES, WOOD OR GAS BURNING FIREPLACE, ATTACHED GARAGE. IF ONE OR MORE CARBON MONOXIDE DETECTORS ARE INSTALLED, THEY MUST BE INTERCONNECTED.
- DO NOT LOCATE DETECTORS WITHIN 3' OF AN AIR INTAKE OR EXHAUST.
- AN OUTLET IS REQUIRED WITHIN 25' OF ALL HVAC EQUIPMENT
- DISCONNECTS FOR ELECTRICAL PANELS MUST HAVE WORKING CLEARANCES.
- ALL DAMP AREA ELECTRICAL FIXTURES MUST BE UL WEATHER RELATED
- CEILING FANS MUST HAVE APPROVED SUPPORT
- WALL SWITCHES MOUNTED 48" AFF
- DUPLEX RECEPTACLES MOUNTED 12" AFF
- PRE-WIRE FOR PHONE SERVICE
- FURNISH CABLE TV OUTLETS WITH COAXIAL CONNECTION NIPPLE AND CABLE
- MECHANICAL EXHAUSTS MUST DISCHARGE TO EXTERIOR

**GENERAL NOTES:**

- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS, PITCHES, OVERHANGS, ETC PRIOR TO START
- ARCHITECTURAL FINISHES PER OWNER/CONTRACTOR MAY VARY FROM SHOWN.

**GENERAL FRAMING NOTES:**

*(See Sheet A-3)*

- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS PRIOR TO START
- ARCHITECTURAL FINISHES PER OWNER/CONTRACTOR. MAY VARY FROM SHOWN.
- STANDING SEAM METAL ROOF
- 2X6 STUD @ 16" C-C EXTERIOR WALLS
- 2X4 STUD @ 16" C-C INTERIOR WALLS
- PRE-ENGINEERED ROOF TRUSSES
- 4" CEILING HEIGHT
- HARDI-PLANK OR EQUIV. SIDING
- UNDERPINNING ON CEILINGS OF COVERED PORCHES: HARDI

- BEDROOMS ARE REQUIRED TO HAVE A DOOR OR WINDOW ON AN EXTERIOR WALLS TO MEET EMERGENCY EGRESS.

- BATHROOM & SHOWER WALLS, BATHTUB & SHOWER SPACES, BATHTUB & SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND INSIDE OF SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6' AFF

**WINDOW CODE FOR EGRESS:**

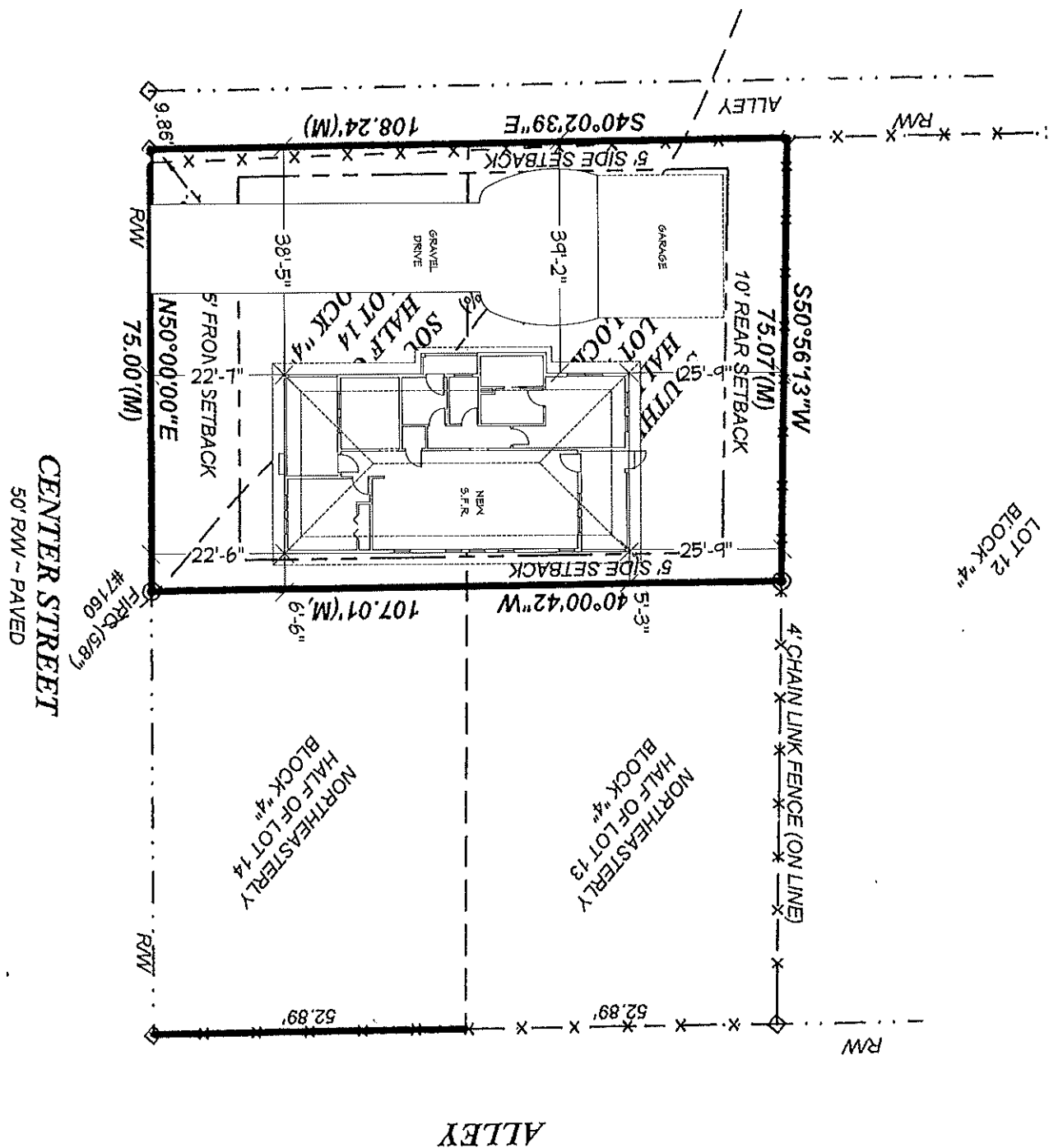
- LOWER PORTION OF WINDOW MAX. 44" AFF
- MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". THE MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQ FT
- GROUND FLOOR OPENINGS SHALL BE PERMITTED TO HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQ FT.
- VERIFY MANUFACTURERS SPECIFICATIONS TO ASSURE SIZE
- IF WINDOW IS MORE THAN 12" ABOVE FINISHED GRADE, OR OTHER SURFACE BELOW THE LOWEST PORTION OF CLEAR OPENING SHALL BE 24" ABOVE FINISHED FLOOR.

**GENERAL FOUNDATION NOTES:**

*(See Sheet A5)*

- INSPECTIONS AND TREATMENT REQUIRED BEFORE POURING
- FINISHED FLOOR ELEVATION TO BE 12" ABOVE ADJACENT STREETS, OR COMPLY WITH ENGINEERED DRAINAGE PLANS FOR THE SITE.
- ANY HOME IN A FLOOD ZONE MUST BE ELEVATED ABOVE THE BASE FLOOD ELEVATION
- HEIGHT OF FINISHED FLOOR TO BE DETERMINED ON SITE PER CONTRACTOR AND PER APPLICABLE CODE





**WARD DRAFTING**  
 ZACHARY WARD  
 325 PARADISE LN  
 APALACHICOLA, FL 32320  
 850-653-4478  
 warddrafting@gmail.com

PROJECT:  
 WARD DRAFTING.COM  
 BUILDER:  
 ULRICH CONSTRUCTION  
 APALACHICOLA, FL

SINGLE FAMILY RESIDENCE FOR:  
**ANDREW AND JOANNA YOUNG**  
 225 AVENUE D  
 APALACHICOLA, FL 32320

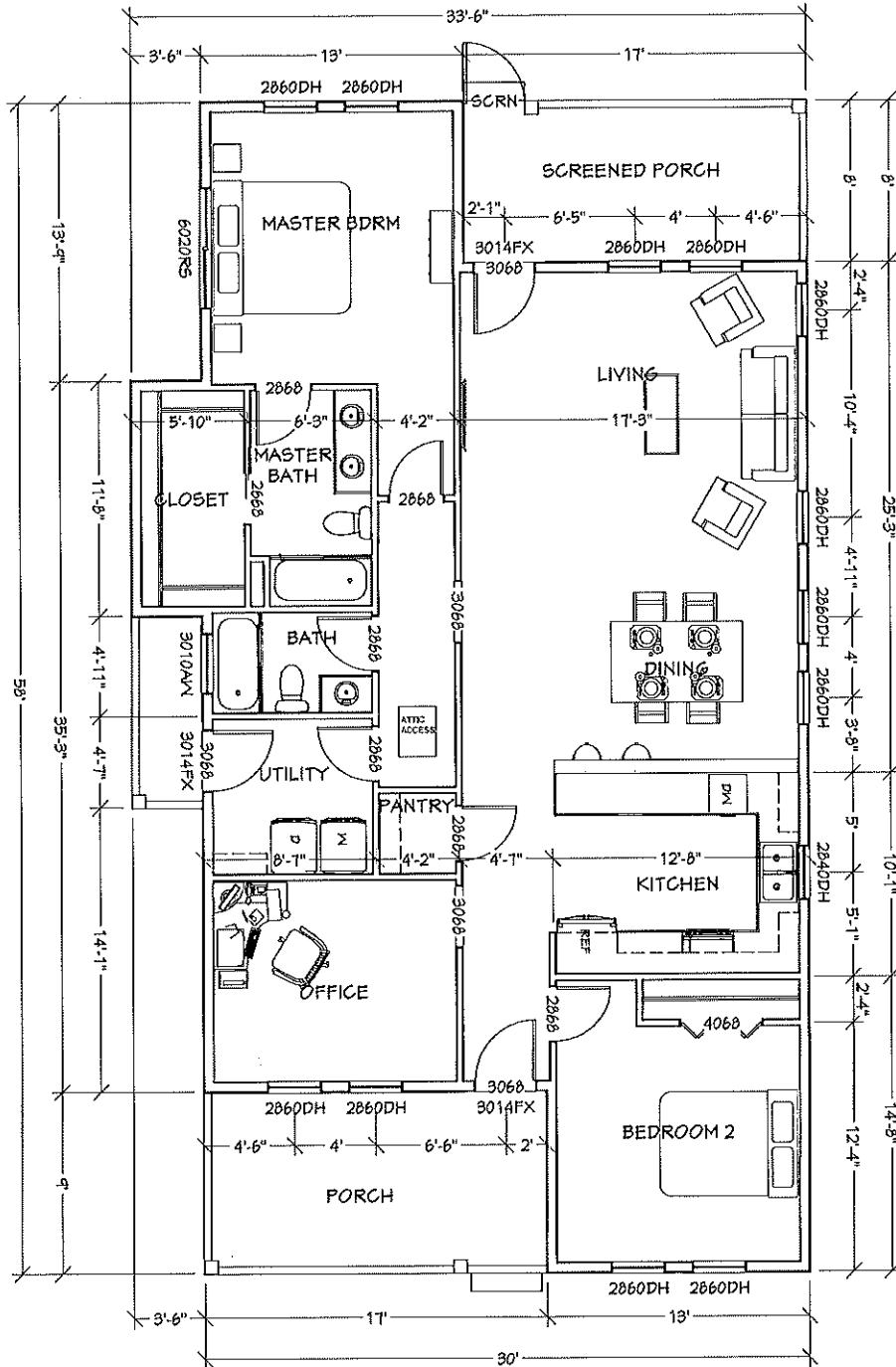
REVISIONS:


DATE	REV
6/27/14	
6/27/14	

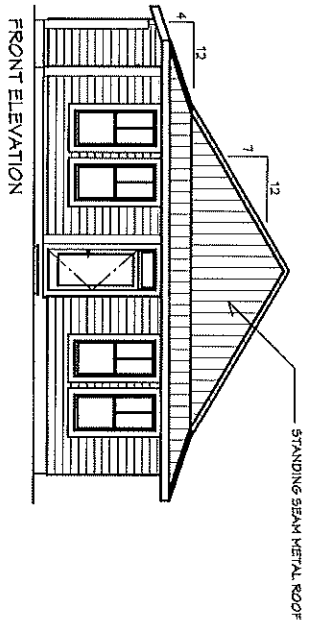


SITE PLAN

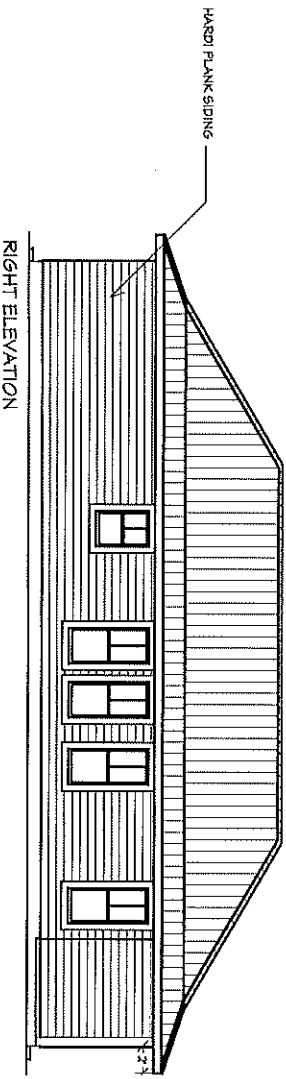
SHEET:	A-2
DATE:	06/16/2014
SCALE:	1" = 15'



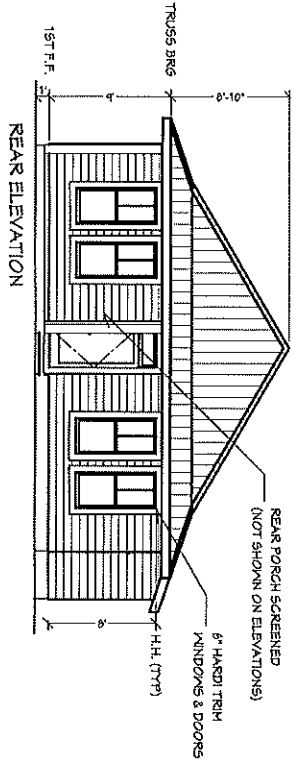
		<b>WARD DRAFTING</b> ZACHARY WARD 326 PARADISE LN APALACHICOLA, FL 32520 850-453-6478 warddrafting@gmail.com WEBSITE: WARDDRAFTING.COM	
BUILDER: ULRICH CONSTRUCTION APALACHICOLA, FL		SINGLE FAMILY RESIDENCE FOR: <b>ANDREW AND JOANNA YOUNG</b> 225 AVENUE D APALACHICOLA, FL 32520	
REVISIONS:			
DATE:	REV:	DATE:	REV:
6/21/14		6/21/14	
6/21/14			
FLOOR PLAN			
SHEET:	A-3		
DATE:	06/16/2014		
SCALE:	3/16" = 1'		



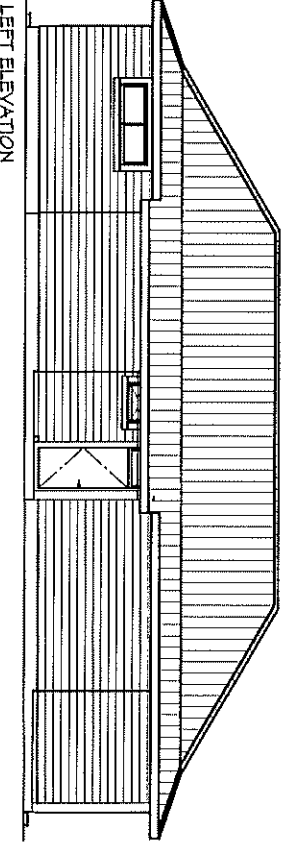
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



**WARD DRAFTING**  
 ZACHARY WARD  
 328 PARADISE LN  
 APALACHICOLA, FL 32320  
 850-859-4478  
 warddrafting@gmail.com  
 WEBSITE:  
 WARDDRAFTING.COM

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 LITRICH CONSTRUCTION  
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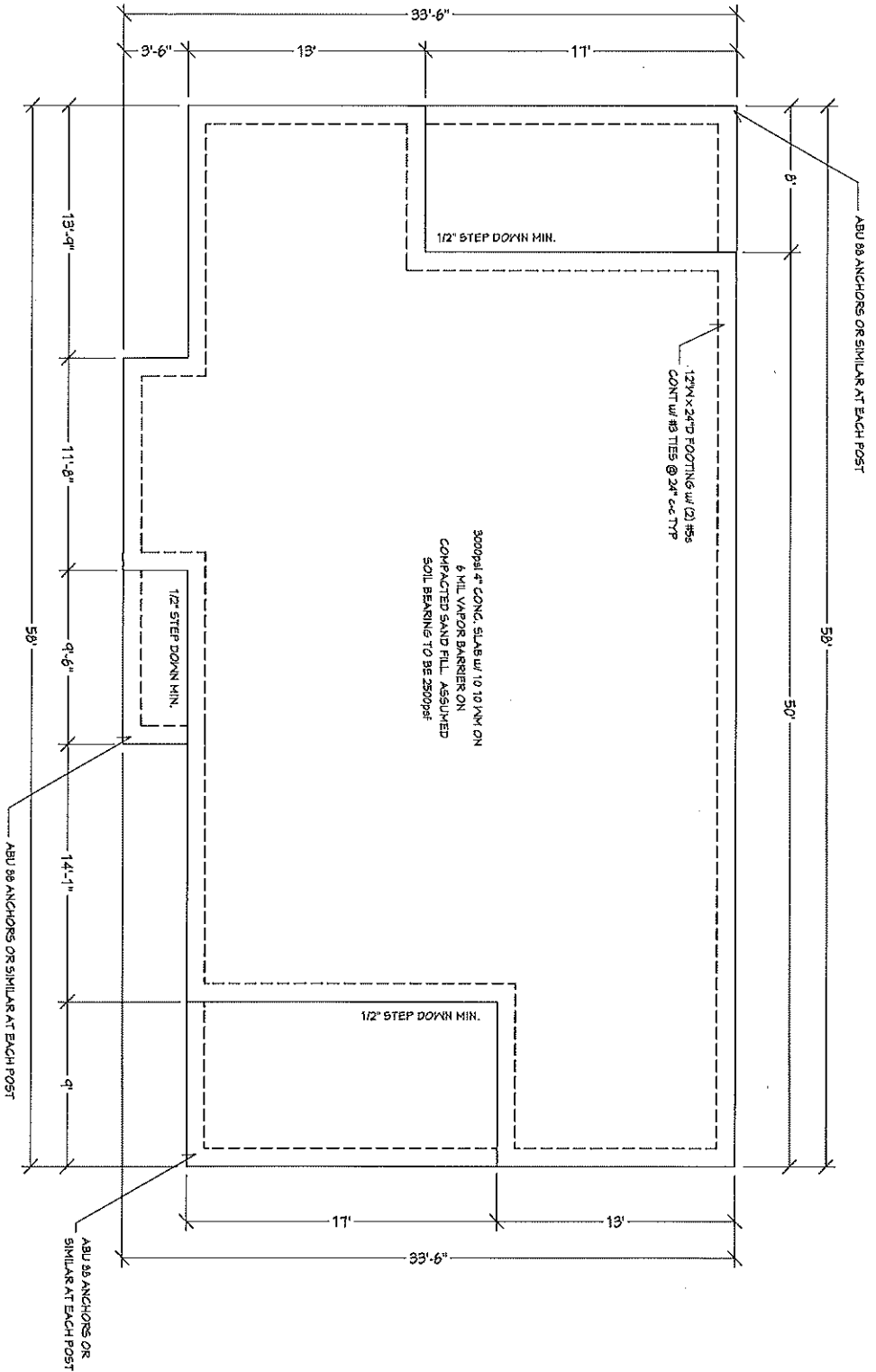
SINGLE FAMILY RESIDENCE FOR:  
**ANDREW AND JOANNA YOUNG**  
 225 AVENUE D  
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**REVISIONS:**

DATE	REV
6/27/19	
6/5/19	

**EXT. ELEVATIONS**

SHEET:	A-4
DATE:	06/16/2019
SCALE:	1/8" = 1'



3000psi #10 CONC. SLAB W/ 10 TO MIN ON  
6 MIL VAPOR BARRIER ON  
COMPACTED SAND FILL, ASSUMED  
SOIL BEARING TO BE 2500psf

12" X 24" FOOTING W/ 12# #5  
CONT W/ #3 TIES @ 24" C-C TYP

1/2" STEP DOWN MIN.

1/2" STEP DOWN MIN.

ABU 88 ANCHORS OR SIMILAR AT EACH POST

ABU 88 ANCHORS OR  
SIMILAR AT EACH POST



**WARD DRAFTING**  
ZACHARY WARD  
528 PARADISE LN  
APALACHICOLA, FL 32320  
352-659-9478  
warddrafting@gmail.com  
WEBSITE:  
WARDDRAWING.COM

**BUILDER:**  
LURICH CONSTRUCTION  
APALACHICOLA, FL

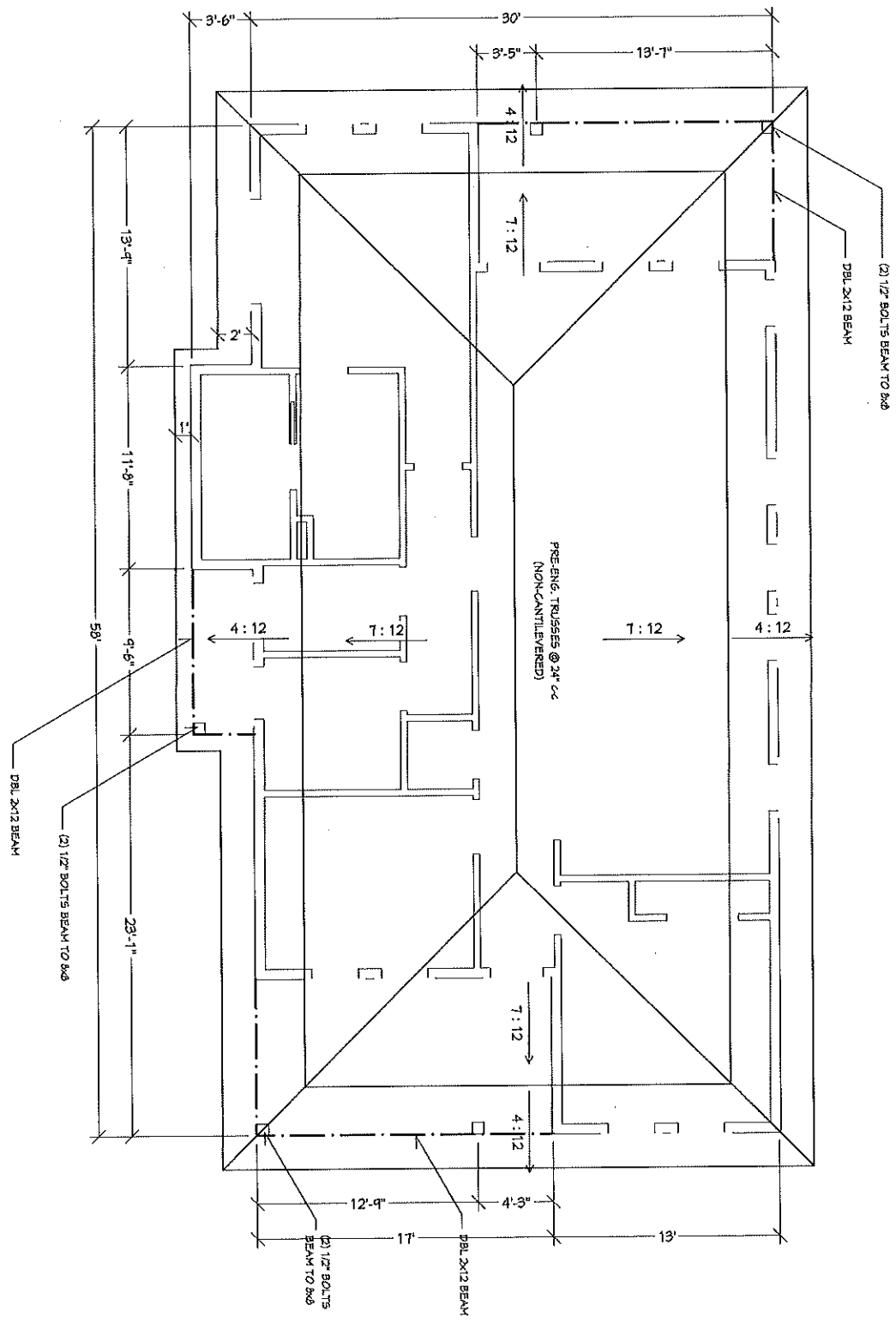
SINGLE FAMILY RESIDENCE FOR:  
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225 AVENUE D  
APALACHICOLA, FL 32320

**REVISIONS:**

DATE	REV.
6/27/14	
6/5/14	

**FOUNDATION**

SHEET:	A-5
DATE:	06/16/2014
SCALE:	3/16" = 1"



**WARD DRAFTING**

ZACHARY WARD  
 328 PARADISE LN  
 APALACHICOLA, FL 32320  
 850-653-6478  
 warddrafting@gmail.com

WEBSITE:  
 WARDSDRAFTING.COM

BUILDER:  
 BURCH CONSTRUCTION  
 APALACHICOLA, FL

SINGLE FAMILY RESIDENCE FOR:  
**ANDREW AND JOANNA YOUNG**  
 225 AVENUE D  
 APALACHICOLA, FL 32320

REVISIONS:

DATE	REV.
6/27/14	
6/5/15	

**ROOF PLAN**

SHEET	A-8
DATE	06/16/2014
SCALE	3/16" = 1'



**WARD DRAFTING**

ZACHARY WARD  
 329 PARADISE LN  
 APALACHICOLA, FL 32920  
 850-893-6478  
 warddrafting@gmail.com

WEBSITE:  
 WARDDRAWING.COM

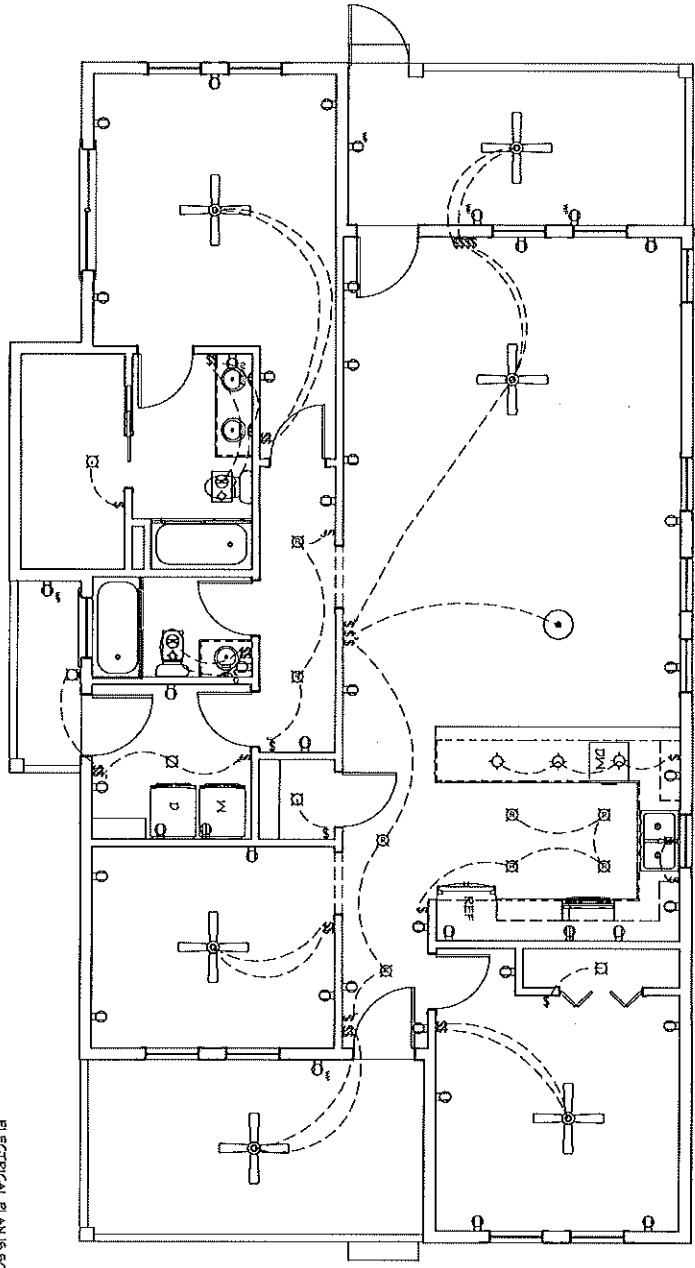
BUILDER:  
 BURCH CONSTRUCTION  
 APALACHICOLA, FL

SINGLE FAMILY RESIDENCE FOR:  
**ANDREW AND JOANNA YOUNG**  
 225 AVENUE D  
 APALACHICOLA, FL 32920

**REVISIONS:**

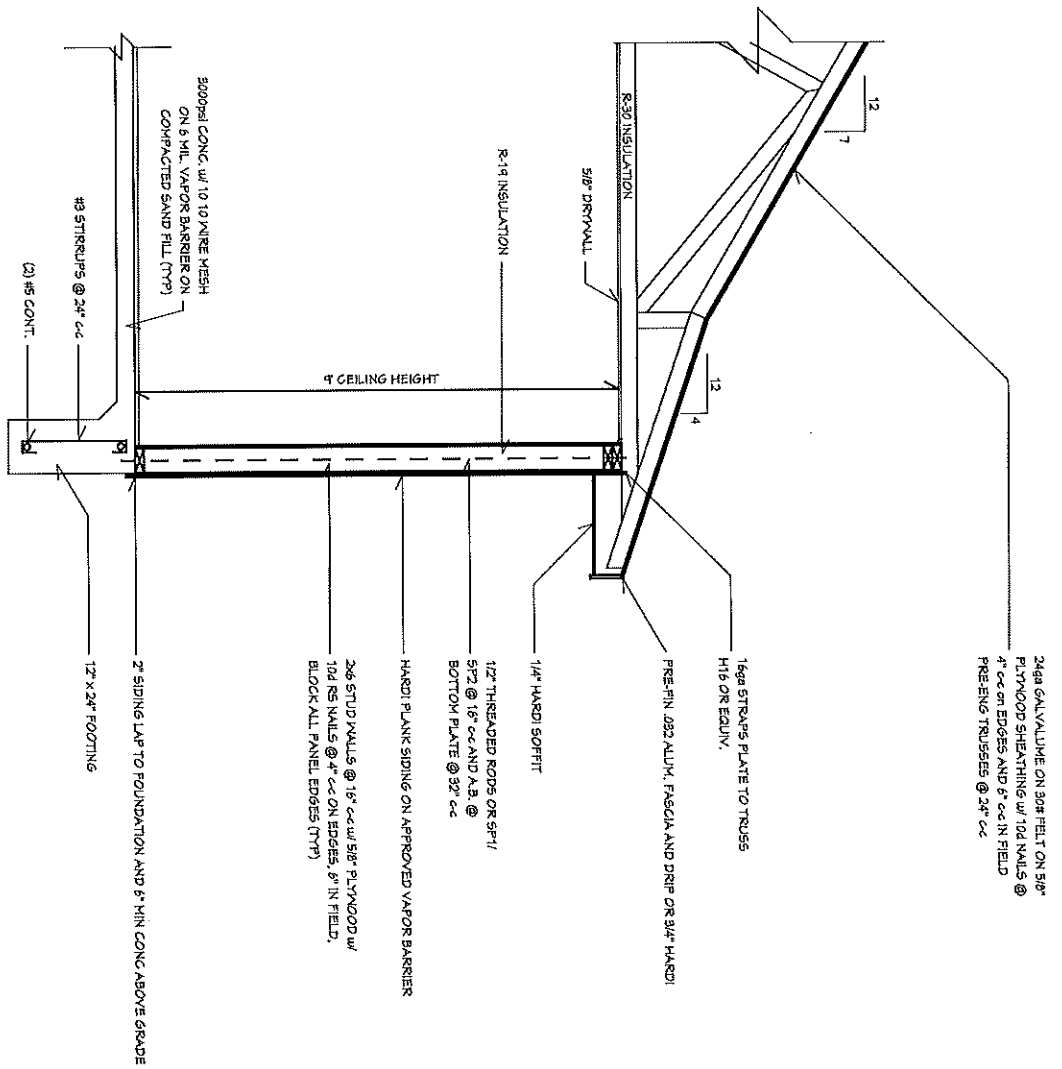
DATE	REV
8/27/19	
6/5/19	

ELECTRICAL PLAN IS SCHEMATIC  
 CONSULT OWNER FOR FINAL  
 PLACEMENT AND QUANTITIES  
 HVAC IN ATTIC



**ELECTRICAL**

SHEET:	A-1
DATE:	06/16/2019
SCALE:	3/16" = 1'



24ga GALVALUME ON 30# FELT ON 5/8" PLYWOOD SHEATHING W/ 10d NAILS @ 4" OC ON EDGES AND 6" OC IN FIELD. PRE-ENG TRUSSES @ 24" OC



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ZACHARY WARD  
328 PARADISE LN  
APALACHICOLA, FL 32320  
850-553-6478  
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WEBSITE:  
WARDDRAFTING.COM

BUILDER:  
ULRICH CONSTRUCTION  
APALACHICOLA, FL

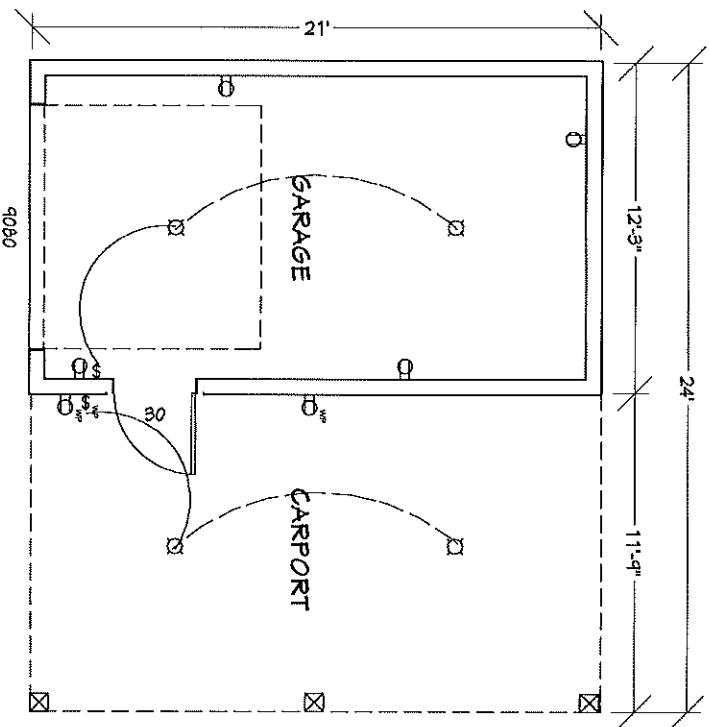
SINGLE FAMILY RESIDENCE FOR:  
**ANDREW AND JOANNA YOUNG**  
225 AVENUE D  
APALACHICOLA, FL 32320

REVISIONS:

DATE	REV.
6/27/19	
6/27/19	

SECTION DETAILS

SHEET:	A-3
DATE:	06/16/2019
SCALE:	1/2" = 1'



**GARAGE FLOOR PLAN**

1/4" = 1'

252 sf GARAGE  
256 sf CARPORT

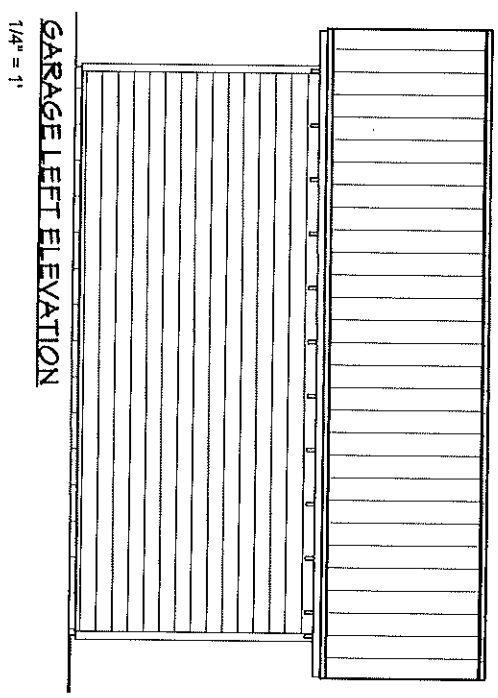
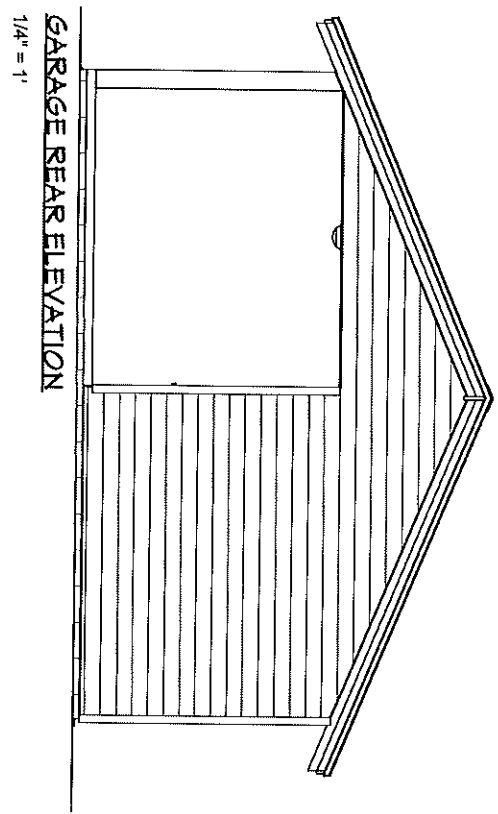
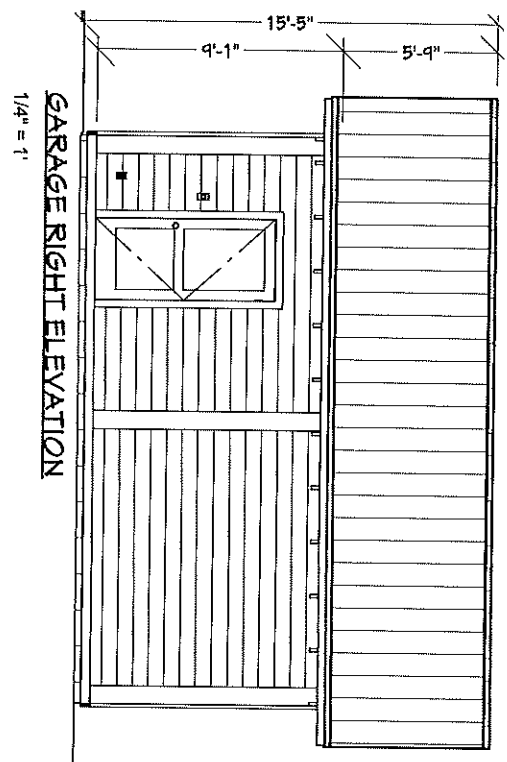
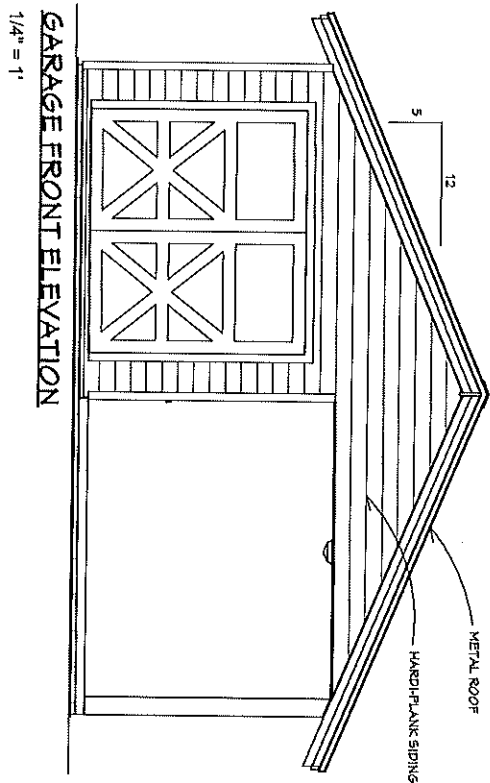
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DRAFTSMAN OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING ANY WORK.

ELECTRICAL PLAN IS SCHEMATIC CONSULT OWNER FOR FINAL PLACEMENT AND QUANTITIES

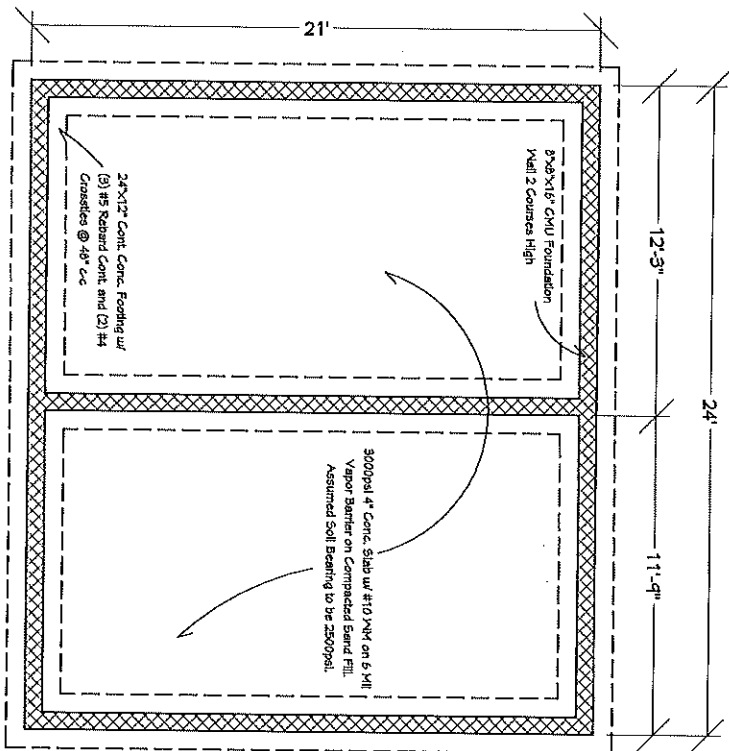
2x6 STUD @ 16" o.c. EXTERIOR WALLS  
4' CEILING HEIGHT  
INTERIOR WALLS UNFINISHED  
FLOOD VENTING PER CODE

**BID SET - NOT FOR CONSTRUCTION**

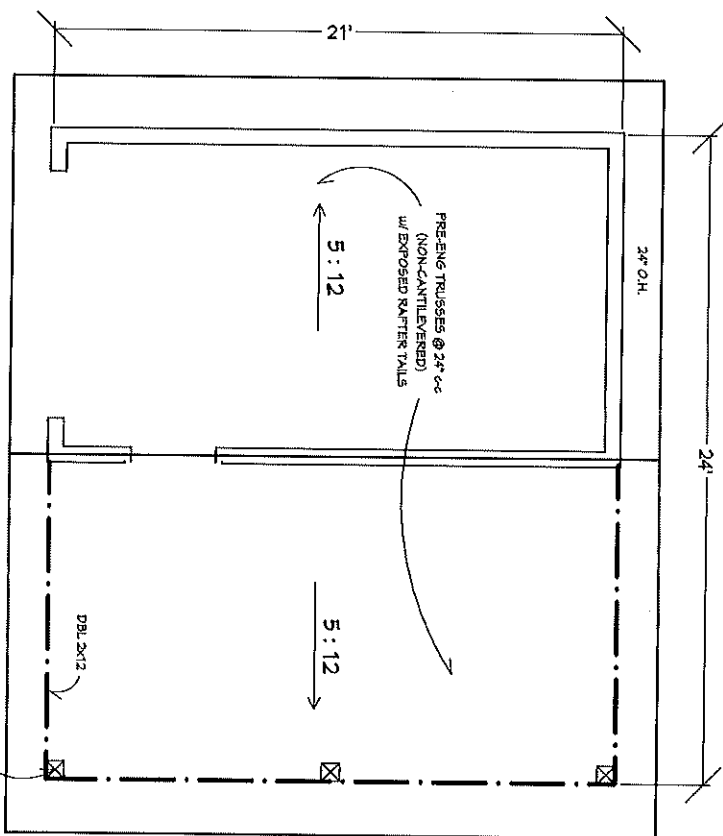




BID SET - NOT FOR CONSTRUCTION



**GARAGE FOUNDATION**  
1/4" = 1'



**GARAGE ROOF FRAMING**  
1/4" = 1'

**BID SET - NOT FOR CONSTRUCTION**