

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, March 19th, 2018
Community Center/City Hall – 1 Bay Avenue
AGENDA

Workshop – 5p.m.

Parking Mitigation – Application of Large Scale Development on Commercial (C-1, C-4) Districts

Regular Meeting – 6p.m.

- 1) Approval of February 12th, 2018 Regular Meeting Minutes.
- 2) Review, Discussion and Decision on Workshop item – Parking Mitigation – For Cindy Clark
- 3) Review, Discussion and Decision on permit issuance for a Fence @ 235 6th Street, Block(s) 182, Lot(s) 6, For – Patricia Murphy, Contractor – Owner/Self
- 4) Review, Discussion and Decision on permit issuance for replacement of current wood picket fence (**Historic District**) @ 79 6th Street, Block(s), 16, Lot(s) 6 thru 8, For – Trinity Church / Contractor – Owner/Self
- 5) Review, Discussion and Decision on permit issuance for a Fence @ 297 24th Street, Block 228, Lot(s) 19 and 20, For – Mark Cumbie, Contractor – Owner/Self
- 6) Review, Discussion and Decision on permit issuance for Tree Application for New Construction (**Historic District**) @ 90 17th Street, Block 115, Lot(s) NW 50' of Lot 3 and SE 30' of Lot 4, For – Shannon Lasseter, Contractor – Undecided
- 7) Review, Discussion and Decision on permit issuance for General Repair, Installation of Gutters, & Fence (**Historic District**) @ 77 Avenue B, Block 26, Lot(s) 6 & ½ of Lot 7, For – Clifford & Lisa Bristol, Contractor – Owner/Self
- 8) Review, Discussion and Decision on permit issuance for renovation of Historic Shotgun, rebuild of original rear addition & back porch, and rebuild of original front porch (**Historic District**) @ 156 N 6th Street, Block 64, Lot(s) 3, For – Ashley Willis, Contractor – Owner/Self
- 9) Review, Discussion and Decision on permit issuance for construction of 27x18 Hobby Workshop/Garage @ 167 21st Avenue, Block 246, Lot(s) 25 thru 27, For – Dennis Rogers and Linda White, Contractors – Morton Builders, Inc.
- 10) Review, Discussion and Decision on permit issuance for construction of a Dormer (**Historic District**) @ 147 5th Street, Block 61, Lot(s) 8, For – Thomas Grant, Contractor – Owner/Self
- 11) Review, Discussion and Decision on permit issuance for construction of a 10x12 storage shed @ 164 23rd Street, Block 243, Lot(s) 12 and 13, For – Federico Fuentes, Contractor – Tool Time Buildings
- 12) Review, Discussion and Decision on New Construction of a 58'8x32 New Single Family Residence (**Bay Colony**) @ 135 Bay Colony Way, Block **Bay Colony**, Lot(s) 20, For – Mark & Amy Dolan, Contractor – 1st Choice Builders
- 13) Review, Discussion and Decision on New Construction of a 59'6x60 New Single Family Residence @ “TBD” 13th Street, Block 147, Lot(s) ½ of Lot 6, All of Lot 7, For – Ella Speed (Oryan Speed), Contractor – America's Home Place
- 14) Review, Discussion and Decision on New Construction of 39'8 x 54 New Single Family Residence with 20x22 (2) Car Garage, and Tree Removal (**Historic District**) @ 131 Bay Avenue, Block 45, Lot(s) 10, For – Bill and Cindy Carrington, Contractor – Gary Ulrich.

In our continuing effort to keep the citizens of Apalachicola informed, this agenda is posted on our website at www.cityofapalachicola.com prior to the scheduled meeting for public review. Additional information such as the City's Land Development Code and zoning related maps, along with other development information is also available on the site for your convenience. Please direct any questions concerning items on this agenda or the Apalachicola Building Department to Cortni Bankston, (850)653-1522, cortnibankston@cityofapalachicola.com.

PAGE BREAK

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, February 12th, 2018
Community Center/City Hall – 1 Bay Avenue
AGENDA MINUTES

Present: Tom Daly, Chairperson. Fred Vogt. Geoff Hewell. Uta Hardy. Jim Bachrach. Lee Mathes, City Administrator. Cindy Clark, City Planner. Cortni Bankston, Permitting and Development Coordinator.

Workshop – 5p.m.

Parking Mitigation – **Discussion held.**

Regular Meeting – 6p.m.

- 1) Approval of January 22nd, 2018 Regular Meeting Minutes. **Motion to approve: Jim Bachrach, 2nd: Geoff Hewell. Motion Carried.**
- 2) Review, Discussion and Decision on Workshop item – Parking Mitigation – For Cindy Clark. **Motion to transmit to joint workshop: Jim Bachrach, 2nd: Geoff Hewell. Motion Carried.**
- 3) Review, Discussion and Decision on permit issuance for building a single family dock @ 252 Highway 98, 255x112 Neels Addition, For – Marc Wisniewski / Contractor – Better Built. **Motion to Approve: Jim Bachrach, 2nd: Geoff Hewell. Motion Carried.**
- 4) Review, Discussion and Decision on permit issuance for extension of a Privacy fence @ 190 11th Street, Block, 150, Lot(s) 2 and 3, For – Barbara McInturff / Contractor – Owner. **Motion to Approve: Jim Bachrach, 2nd: Fred Vogt. Motion Carried.**
- 5) Review, Discussion and Decision on permit issuance for installation of a 42 inch picket fence @ 8 Ellis Van Fleet Street, Block 264, Lot(s) U/A Property Dimensions 100 x 174, For – Jeanette Blawn, Contractor – Pete Adams. **Motion to Approve: Jim Bachrach, 2nd: Geoff Hewell. Motion Carried.**
- 6) Review, Discussion and Decision on permit issuance for 36x36 Single Family Residence on concrete piers w/ Screen Porch and Wood Fence, @ 217 Cottage Hill Road, Block U/A , Lot(s) U/A, For – James Frost, Contractor – Owner. **Motion to Approve contingent upon Tree Removal Application, tree removal site plan, and color photos submittal Jim Bachrach, 2nd: Geoff Hewell. Motion Carried.**
- 7) Review, Discussion and Decision on permit issuance for installation of a 12x21 Open Metal Carport @ 26 24th Street, Block 270, Lot(s) 1 & 2, For – Hugh & Angela Smith, Contractor – Carolina Carports. **Motion to Approve: Jim Bachrach, 2nd: Geoff Hewell. Motion Carried.**
- 8) Review, Discussion and Decision on permit issuance for enclosure of an 7x10 area of an existing screened porch @ 102 24th Avenue, Block(s) 260, Lot(s) S 9.50 Feet of 10 & All of 11 & 12, For – Jerome Polous / Contractor – Owner/Self. **Motion to Table due to no-show: Fred Vogt, 2nd: Geoff Hewell. Motion Carried.**

Motion to Adjourn: Geoff Hewell, 2nd: Fred Vogt. Motion Carried.

Chairperson

PAGE BREAK

<p>CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION</p>	<p>Official Use Only</p> <p>Application # _____</p> <p>City Representative <u>CB</u></p> <p>Date Received <u>2/26/2018</u></p>
---	--

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner <u>Patricia Murphy</u> Address <u>235 6th Street</u> City <u>Apalachicola</u> State <u>FL</u> Zip <u>32320</u> Phone <u>186566-1504</u>	State License # <u>owner/self</u> City License # _____ County License # _____ Email Address _____ Phone (____) _____

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE	
<input type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input type="checkbox"/> Other: _____ _____

PROPERTY INFORMATION:

Street Address: 235 6th Street City & State Apalachicola, FL Zip 32320

Historic District Non-Historic District Zoning District R-2

Parcel #: _____ Block(s) 182 Lot(s) 6

FEMA Flood Zone/Panel #: X
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY	
<p>Setback requirement of Property:</p> <p>Front: _____ Rear: _____ Side: _____ Lot Coverage: _____</p> <p>Water Available: _____ Sewer Available: _____ Taps Paid _____</p>	<p>This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.</p> <p>Certificate of Appropriateness Approval:</p> <p>_____ Chairperson, Apalachicola Planning & Zoning Board</p>

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston
 Permitting and Development Coordinator
 (850) 653-1522 (ext 205) Phone
 (850)653-5023 Cell
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Installation of a wood fence - 6 feet tall on partial of rear backyard, 7 foot picket in front yard

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing		to wood fence	
Driveways/Sidewalks			
Other			

CERTIFICATION

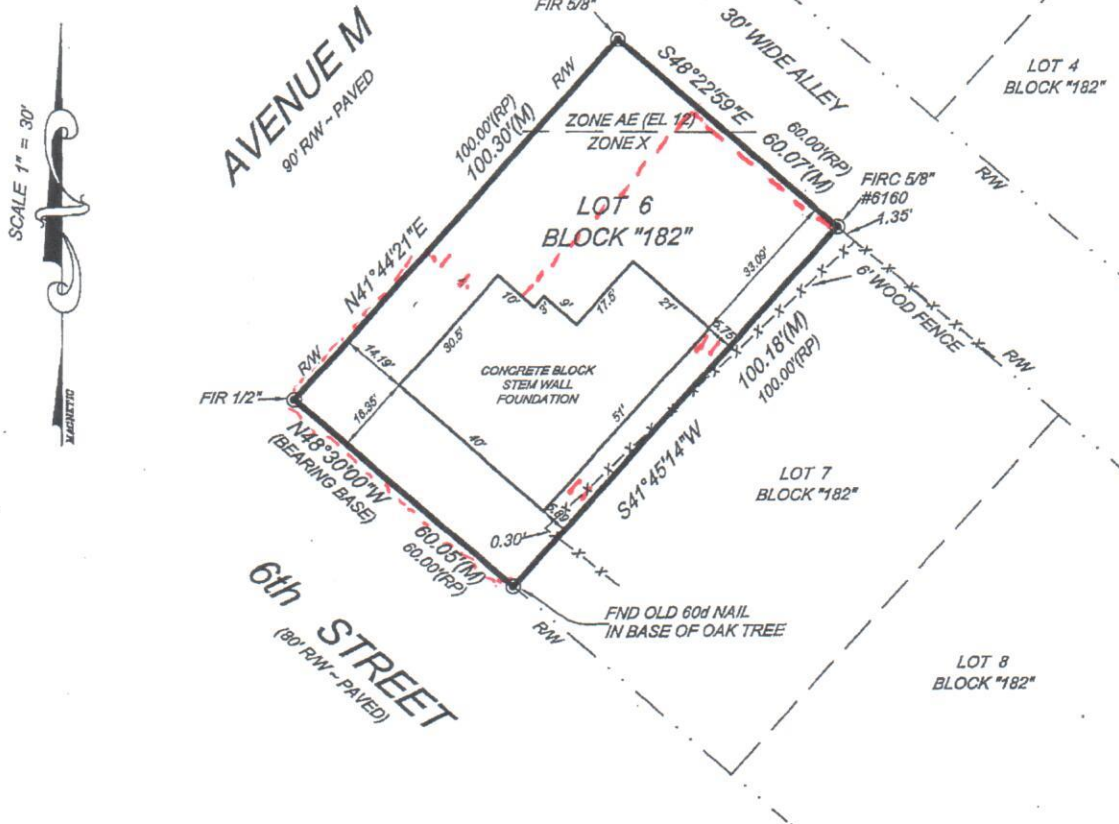
By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

2/26/18
DATE

Patricia Ann Murphy
SIGNATURE OF APPLICANT

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 PATRICIA ANN MURPHY
 CENTENNIAL BANK,
 AMERICA'S HOME PLACE,
 DODD TITLE COMPANY, INC.,
 FIRST AMERICAN TITLE INSURANCE CO.



SCALE 1" = 30'

LEGAL DESCRIPTION:
 Lot 6, Block "182" of the CITY OF APALACHICOLA,
 as per map or plat thereof in common use on file at
 the Clerk of the Circuit Office in Franklin County, Florida.

LEGEND

RW	RIGHT OF WAY
M	MEASURED
R.P.	RECORD PLAT
SIRC	SETS 5/8" IRON ROD AND CAP #7160
FIR	FOUND IRON ROD
FND	FOUND
FIRC	FOUND IRON ROD & CAP

- NOTES:**
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
 2. BEARING REFERENCE: Northeasterly right of way boundary of 6th Street having an assumed bearing of South 48 degrees 30 minutes 00 seconds East.
 3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
 4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
 5. This survey is dependent upon EXISTING MONUMENTATION.
 6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

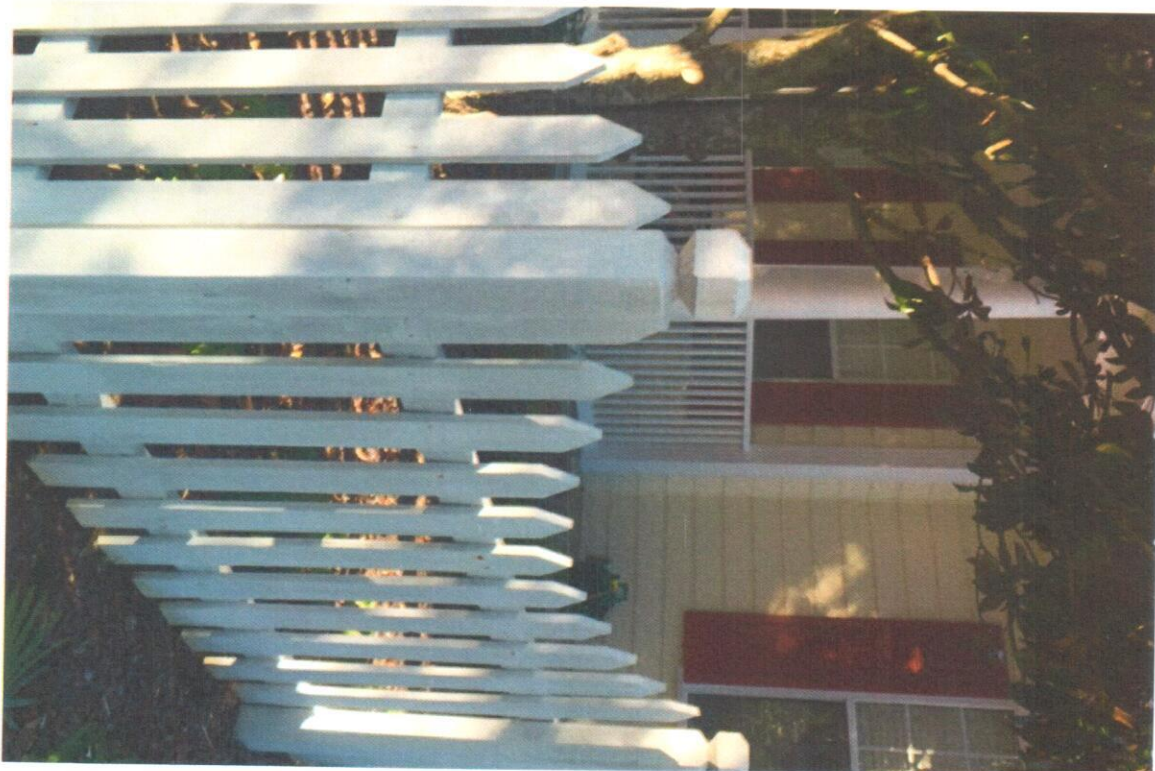
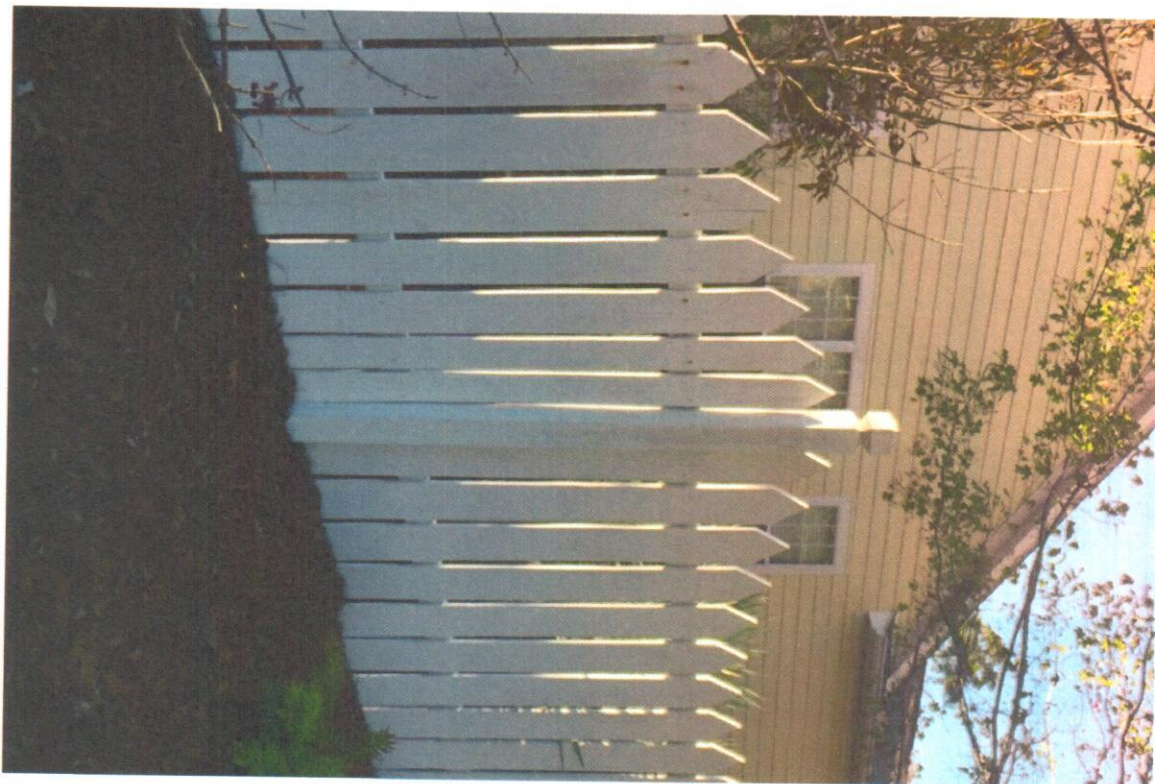
FLOOD ZONE INFORMATION:
 Subject property is located in Zone "X" and "AE" (EL12) as per Flood Insurance Rate Map Community Panel No: 120089 0526 F, index date: February 05, 2014, Franklin County, Florida.

I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 5J-17.051 Florida Administrative Code).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry
 JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4261

	THURMAN RODDENBERRY & ASSOCIATES, INC PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 850-962-2538 FAX NUMBER: 850-962-1103 LB # 7160		
	DATE: 10/17/17	DRAWN BY: BB	N.B. 593 PG. 65
FILE: 16311.DWG	DATE OF LAST FIELD WORK: 10/16/17	COUNTY: FRANKLIN	JOB NUMBER: 15-311



PAGE BREAK

CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION

Official Use Only

Application # _____
City Representative 3/5/18 CB
Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner TRINITY 79 6th ST.
Address P.O. BOX 667
City APALACHICOLA State FL Zip 32320
Phone (____) 653-9550

State License # _____
City License # _____ County License # _____
Email Address _____
Phone (____) _____

Approval Type: [] Staff Approval Date: _____ [] Board Approval [] Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

New Construction

Addition

Alteration/Renovation

Relocation

Demolition

Fence

Repair (Extensive)

Variance

Other: _____

REPLACE PICKET FENCE

PROPERTY INFORMATION:

Street Address: 79 6th ST. City & State APALACHICOLA, FL Zip 32320

[] Historic District [] Non-Historic District

Zoning District R-1

Parcel #: _____ Block(s) 16 Lot(s) 6-8

FEMA Flood Zone/Panel #: _____
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston
Permitting and Development Coordinator
(850) 653-1522 (ext 205) Phone
(850)653-5023 Cell
cortnibankston@cityofapalachicola.com

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the schedule Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

2-28-18
DATE


SIGNATURE OF APPLICANT

JR. WARDEN TRINITY CHURCH

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

WE ARE GOING TO REPLACE THE EXISTING PICKET FENCE WITH A NEW ONE (SAME DESIGN)

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing	SITE BUILT	WOOD PICKET FENCE	
Driveways/Sidewalks			
Other			



PAGE BREAK

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

Official Use Only

Application # _____
 City Representative CB
 Date Received 2/26/18

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Mark Cumbie
 Address 297 24th Street
 City Apalachicola State FL Zip 32320
 Phone (____) _____

State License # Owner / Self
 City License # _____ County License # _____
 Email Address _____
 Phone (____) _____

Approval Type: [] Staff Approval Date: _____ [] Board Approval [] Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: _____

PROPERTY INFORMATION:

Street Address: 297 24th Street City & State Apalachicola, FL Zip 32320
 [] Historic District [X] Non-Historic District Zoning District R3
 Parcel #: _____ Block(s) 228 Lot(s) 19420

FEMA Flood Zone/Panel #: _____
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston
 Permitting and Development Coordinator
 (850) 653-1522 (ext 205) Phone
 (850)653-5023 Cell
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Installation of 4ft wooden picket fence

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing		<i>Wood fence w/ wire</i>	
Driveways/Sidewalks			
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the schedule Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificates of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

SIGNATURE OF APPLICANT

**PLAT OF BOUNDARY SURVEY CERTIFIED TO:
RUSSELL CUMBIE**

* Submit To put up a
 4' fence in the front
 AND fence in a 24'x16' section in back yard
 for privacy
14TH STREET

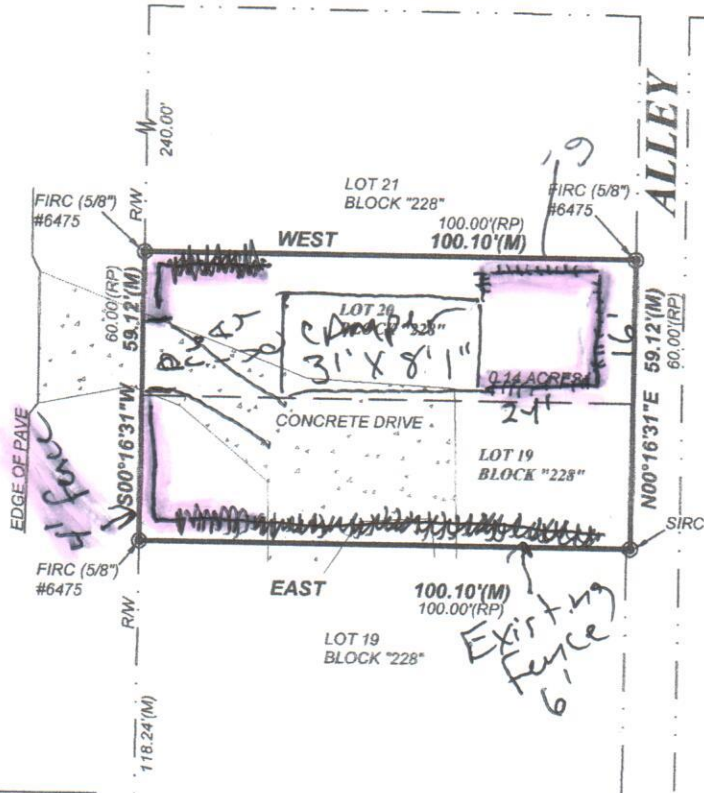
GRAPHIC SCALE



(IN FEET)

1 inch = 30 ft.

24TH AVENUE
60' RW - PAVED



LEGEND

- FCM FOUND CONCRETE MONUMENT
- R/W RIGHT-OF-WAY
- M MEASURED
- NOT TO SCALE
- POINT NOT SET OR FOUND
- SIRC SET (5/8") IRON ROD AND CAP #7160
- FIRC FOUND (5/8") IRON ROD AND CAP
- RP RECORD PLAT
- FND FOUND
- RND ROUND
- CM CONCRETE MONUMENT
- DOT DEPARTMENT OF TRANSPORTATION

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southerly boundary of subject parcel being East as per record plat.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

LEGAL DESCRIPTION:
 Lots 19 and 20, Block "228" of
 GREATER APALACHIOCLA, a
 subdivision as per map or plat
 in common use on file at the
 Clerk of the Circuit Office in
 Franklin County, Florida

FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0507F index date: February 5, 2014, Franklin County, Florida.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry
JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4261



TR & A Thurman Roddenberry & Associates, Inc.			
PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 300 • 125 SHELDON STREET • SUCCHOPPY, FLORIDA 32358 PHONE NUMBER: 850-942-2538 FAX NUMBER: 850-942-1183 LB # 7160			
DATE: 07/10/17	DRAWN BY: MMD	N.B. 576 PG 46	COUNTY: Franklin
FILE: 17250.DWG	DATE OF LAST FIELD WORK: 07/08/17	JOB NUMBER: 17-250	



PAGE BREAK

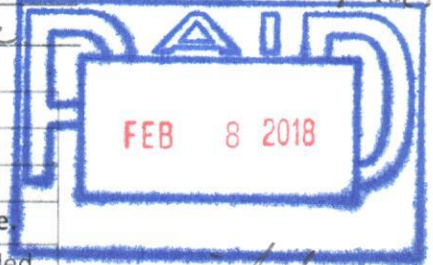
City of Apalachicola Tree Removal Application

Name: Shannon Turner Lassetter
 Address: Current 4498 Green Island Rd Valdosta Ga 31602
 Phone # 229-561-3492 or 229 200 7021 #90 17th St
 Contractor: undecided
 Contractor's Phone # 229-200 7021 (Shannon) 561-3492 (let) apalachicola
 Number of Trees: 2
 Type of Trees: 1 cedar 1 SweetGum Fla

*our
Call*

REQUESTED REASONS FOR REMOVAL; (MARK ONE OR MORE)

<input type="checkbox"/>	Trimming Limbs or Maintenance issues.
<input type="checkbox"/>	New Construction House or Building.
<input type="checkbox"/>	The tree has extensive decay throughout crown & main system.
<input type="checkbox"/>	Safety Issue, Leaning over house, In power lines, Foundation of house
<input type="checkbox"/>	Insurance company will not cover unless tree is removed, Letter included.
<input checked="" type="checkbox"/>	Interfering with, Underground utilities, Sidewalks, Driveways, Etc. Cedar tree interfering w/
<input checked="" type="checkbox"/>	Don't like tree or location on property, Will pay Mitigation of \$ <u> </u> .00 entry to house from ally man hole



SweetGum is undesirable tree

Applicant will provide all photos of trees and documentation that pertain to this application.

Applicant Signature: Shannon Lassetter Date: Jan 8 2018 Application Fee \$50.00

I understand a copy of the Ordinance is available on the City's website.

(www.cityofapalachicola.com)

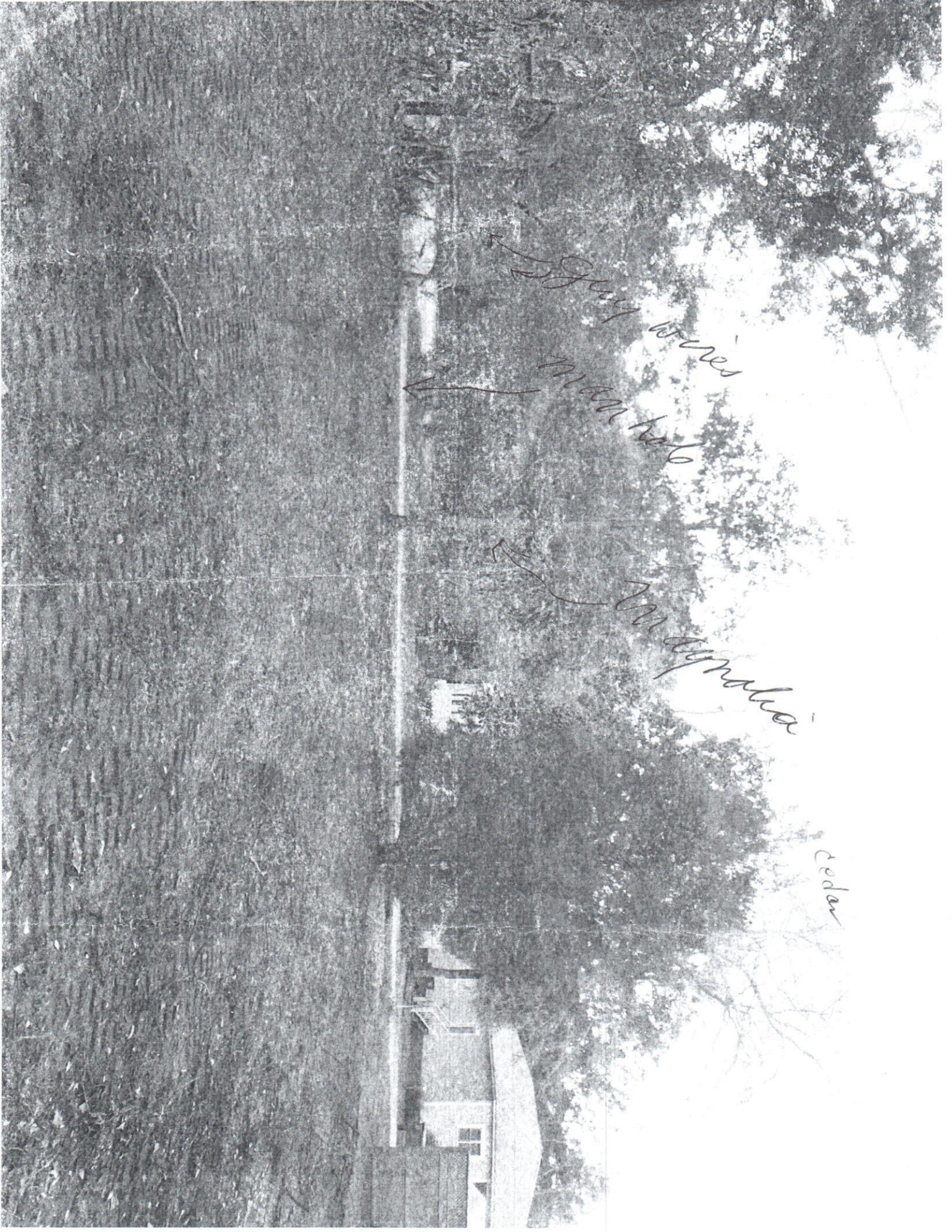
And at City Hall's Office for review _____ initial.

Magnolia tree electric Guide lines limited Access to our lot

NOTE: IF YOU ARE ADDRESSING A PROTECTED TREE (LIVE OAK, RED OAK, WHITE OAK, MAGNOLIA, SABLE/CABBAGE PALM, AND SLASH PINE) AN APPLICATION PROCESS AND P & Z APPROVAL ARE REQUIRED. SITE PLAN MUST BE SUBMITTED TO SHOW THE FOLLOWING INFORMATION AT A SCALE SUFFICIENT TO ENABLE THE DETERMINATION OF MATTERS REQUIRED UNDER ORDINANCE:

- _____ 1.) The shape and dimensions of the lot or parcel, together with the existing and/or proposed locations of structures and improvements, if any.
- _____ 2.) Location and dimensions of all existing trees which are subject to the protected tree provisions. Trees proposed to remain, to be re-located, or to be removed shall be so identified.
- _____ 3.) A statement showing how trees not proposed for removal are to be protected during land clearing and construction; i.e. a statement as to proposed protective barriers.
- _____ 4.) A statement as to grade changes proposed for the lot or parcel and how such changes will affect the matters regulated by Ordinance.

Date: _____		Approved: Yes _____ or No _____	
Reason not approved: _____			
Planning and Zoning's Recommendation is: Approved: _____ Denied: _____ Date: _____ Signature: _____	Approved By: City of Apalachicola		
	Code Enforcement Officer: _____		
	City Administrator: _____		
	Administrator's/Designee: _____		
	City Commission; Approved: _____ or Denied: _____		
Mayor, Van Johnson: _____			
Date: _____			



Gum trees
Magnolia

Magnolia

cedar



Shoof + Gum.



PLAT OF BOUNDARY SURVEY CERTIFIED TO:
JAMES ALLEN and SHANNON LASSETER,
SANDERS AND DUNCAN, P.A.,
CHICAGO TITLE INSURANCE COMPANY

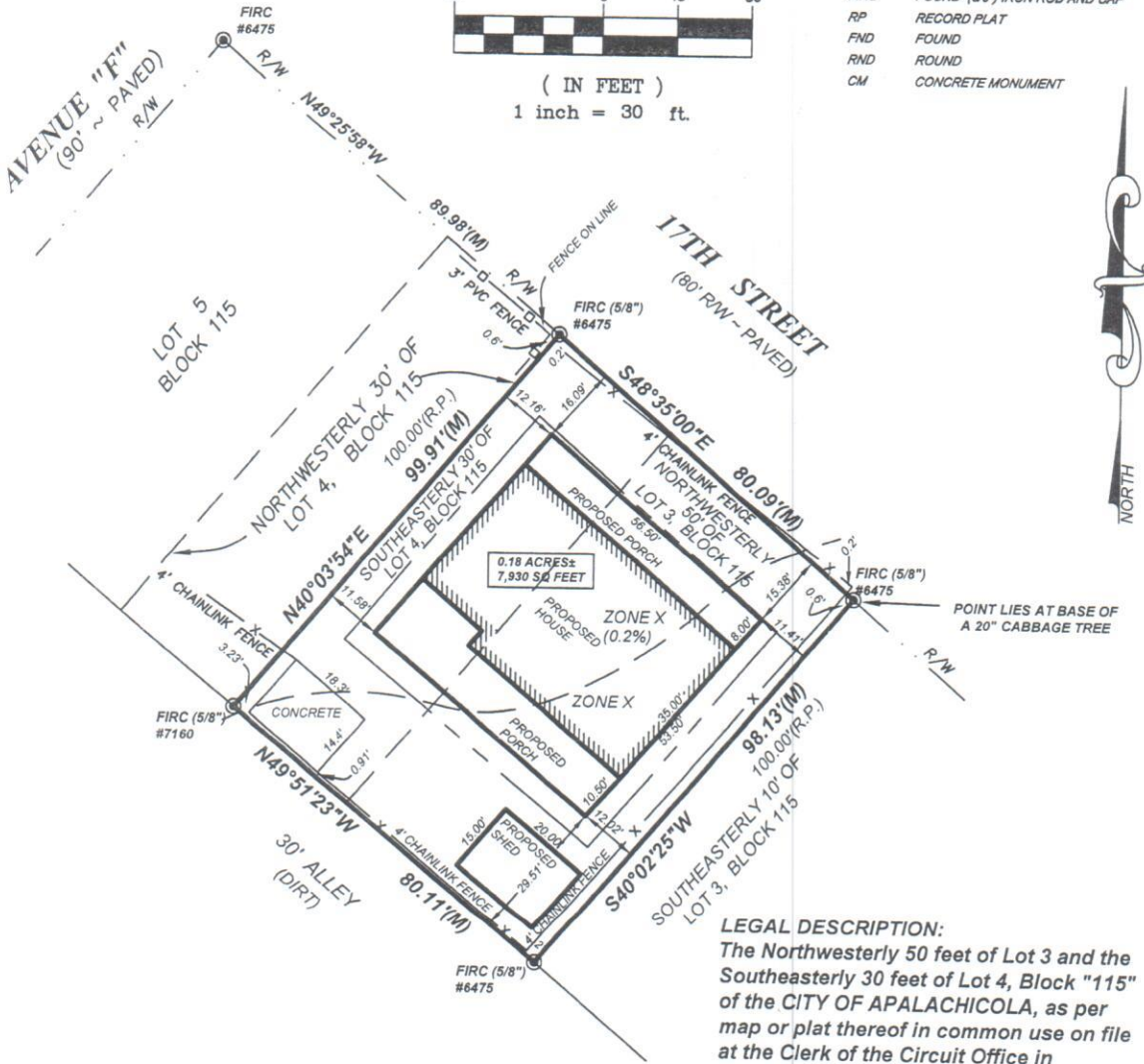
LEGEND

- FCM FOUND CONCRETE MONUMENT
- R/W RIGHT-OF-WAY
- M MEASURED
- NOT TO SCALE
- POINT NOT SET OR FOUND
- SIRC SET (5/8") IRON ROD AND CAP #7160
- FIRC FOUND (5/8") IRON ROD AND CAP
- RP RECORD PLAT
- FND FOUND
- RND ROUND
- CM CONCRETE MONUMENT

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.



LEGAL DESCRIPTION:
 The Northwestern 50 feet of Lot 3 and the Southeastern 30 feet of Lot 4, Block "115" of the CITY OF APALACHICOLA, as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwesterly right of way boundary of 17th Street having an assumed bearing of South 48 degrees 35 inutes 00 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of
7. FENCE LOCATIONS shown hereon were exaggerated for purpose of clarity.

REVISED 06/23/17; ADDED SITE PLAN

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/052).

FLOOD ZONE INFORMATION:

Subject property is located in Zone X and Zone "X" (0.2%) as per Flood Insurance Rate Map Community Panel No:120089 0526F index date: February 5, 2014, Franklin County, Florida.

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry

JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No. 4261

	Thurman Roddenberry & Associates, Inc. PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 850-962-2538 FAX NUMBER: 850-962-1103 L.B. # 7160		
	DATE: 03/09/17	DRAWN BY: MD	N.B. PLAT
FILE: 08350.DWG	DATE OF LAST FIELD WORK: 03/08/17	COUNTY: FRANKLIN	JOB NUMBER: 08-350

PAGE BREAK

CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION

Official Use Only

Application # _____
City Representative _____
Date Received 29 ^(CB) 3/1/18

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Clifford + Lisa Bristol
Address 77 Ave B
City Apalachicola State FL Zip 32320
Phone (850) 661-1733

State License # Owner / self
City License # _____ County License # _____
Email Address _____
Phone (_____) _____

Approval Type: [] Staff Approval Date: _____ [] Board Approval [] Board Denial Date _____

*Reason for Denial

PROJECT TYPE

New Construction

Addition

Alteration/Renovation

Relocation

Demolition

Fence

Repair (Extensive)

Variance

Other: _____

PROPERTY INFORMATION:

Street Address: 77 Ave B City & State Apalachicola, FL Zip 32320

[] Historic District [] Non-Historic District Zoning District R-1

Parcel #: _____ Block(s) 26 Lot(s) 4+1/2-7

FEMA Flood Zone/Panel #: X
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston
Permitting and Development Coordinator
(850) 653-1522 (ext 205) Phone
(850)653-5023 Cell
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

• General Repair

Installation of Gutters (seamless)

Fence Installation around Pool

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing		6 Foot 1/2 white/ wood PVC	
Driveways/Sidewalks			
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

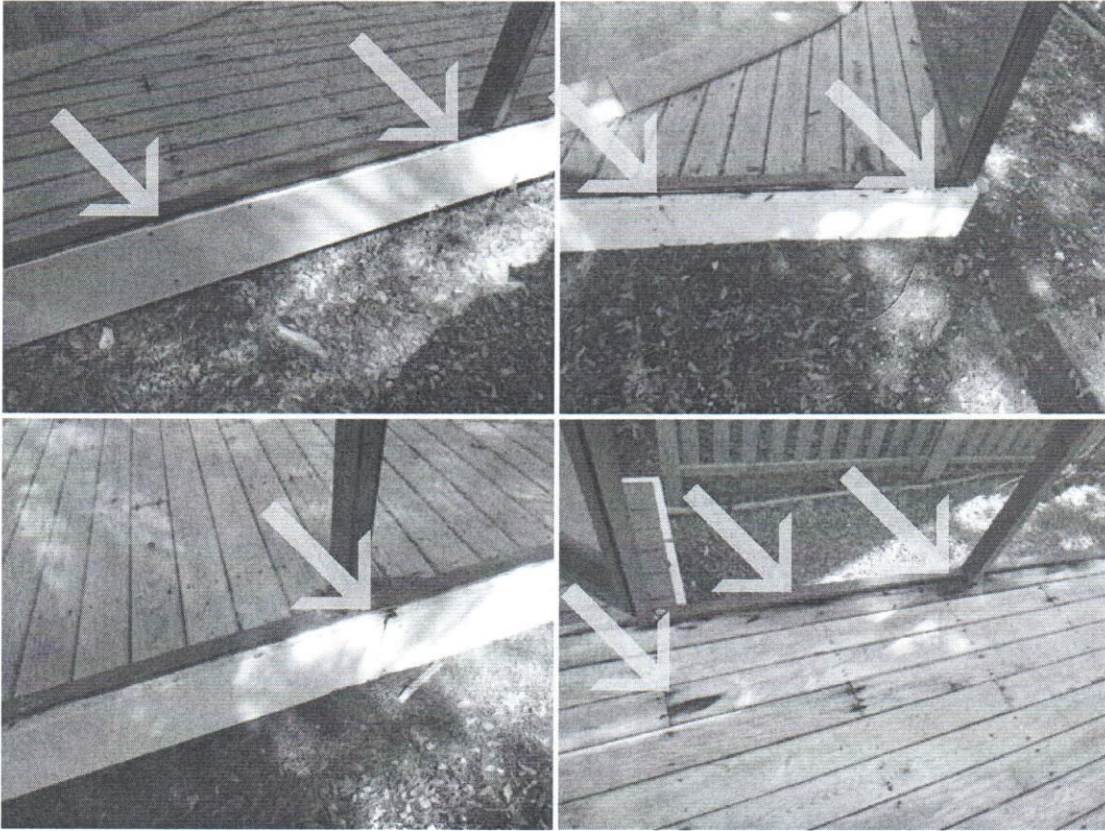
1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the schedule Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

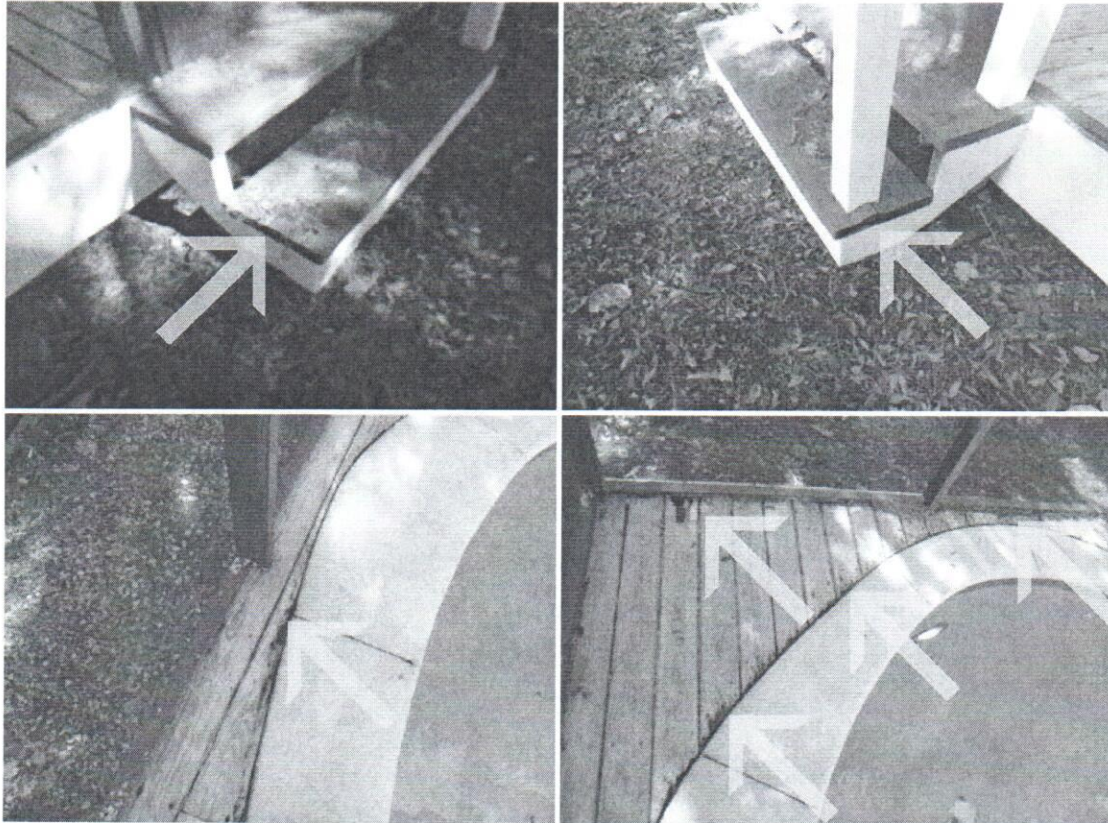
3/1/18

SIGNATURE OF APPLICANT

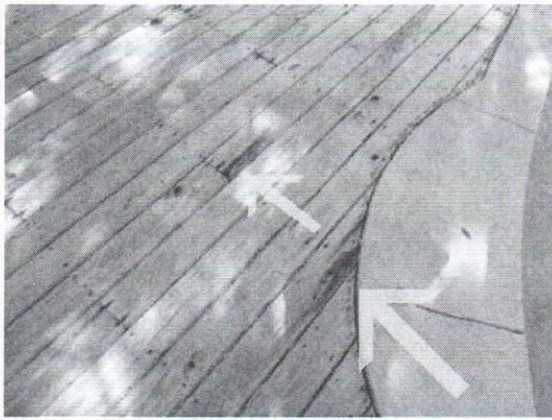
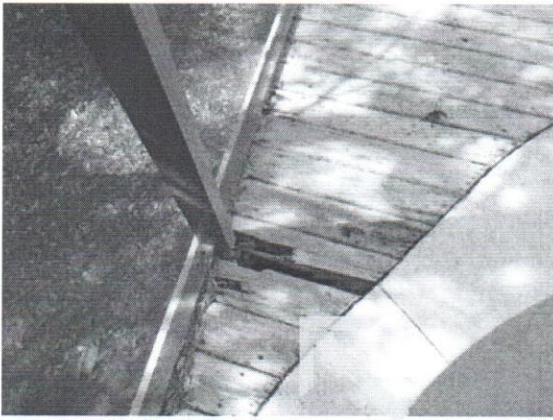




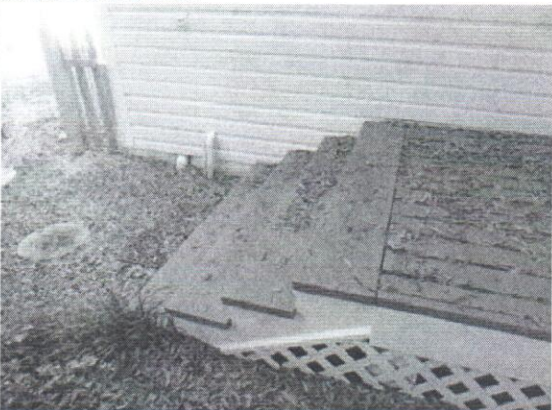
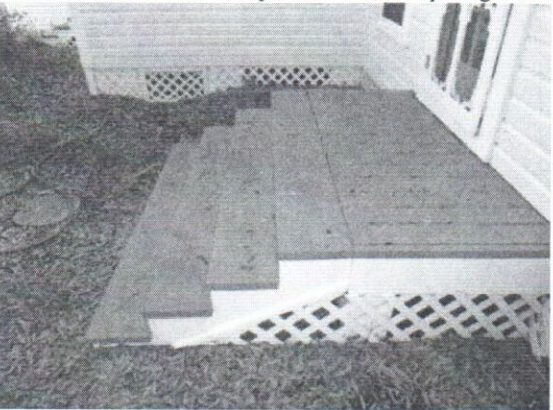
9. Same:



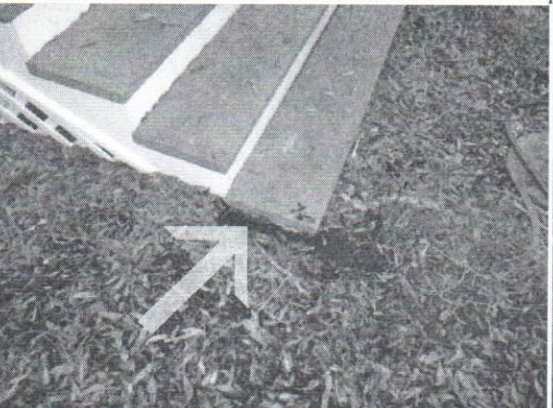
10. Same:



11. Both side decks - Steps over three steps high should have a handrail.



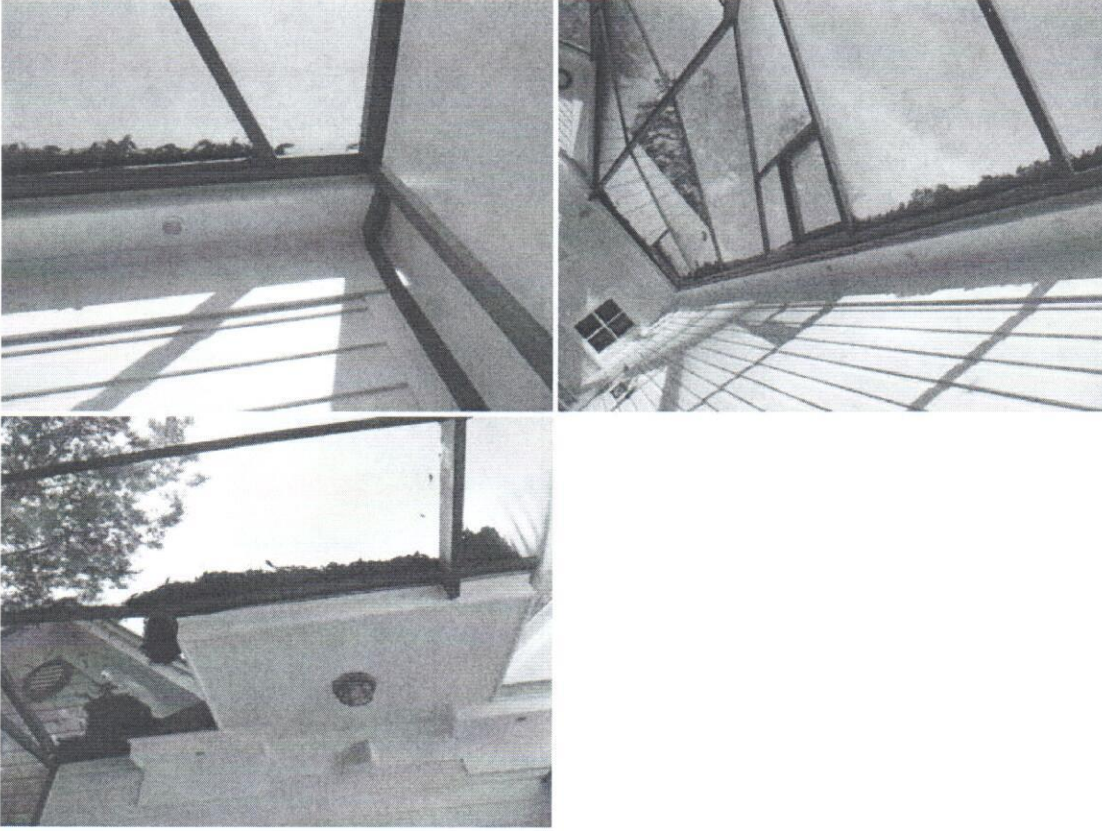
12. Master bedroom deck - Wood rot noted to the step stringers at grade.





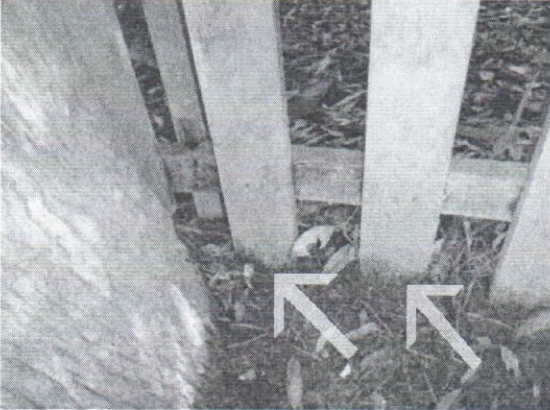
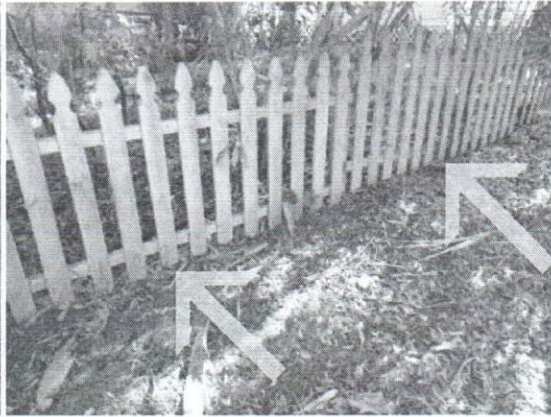
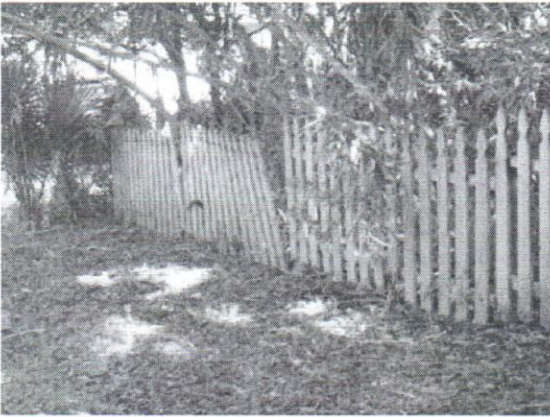
PATIO/PORCH/DECK COVER:

13. Heavy tree debris should be clean off and maintained.



FENCES & GATES:

14. Damage/deterioration noted on fencing.



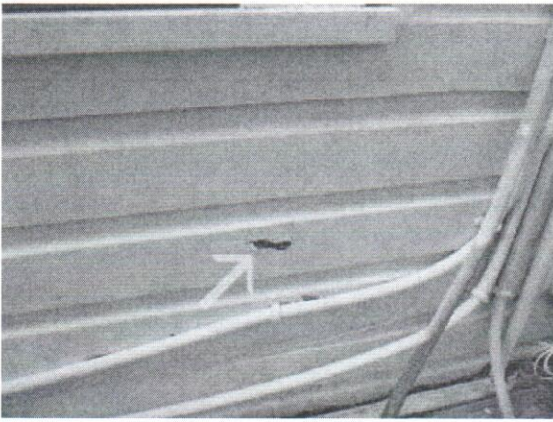
EXTERIOR

EXTERIOR WALLS:

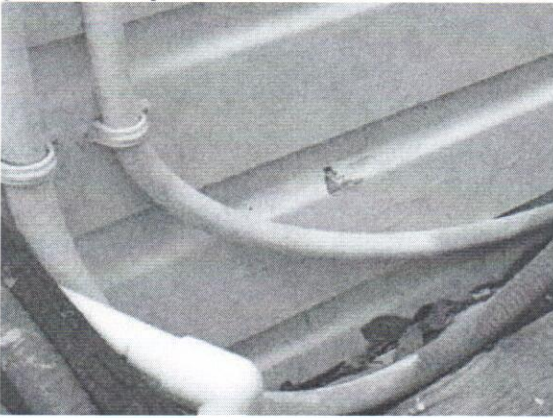
15. Wood rot noted on exterior siding: rear siding left of the main panel.



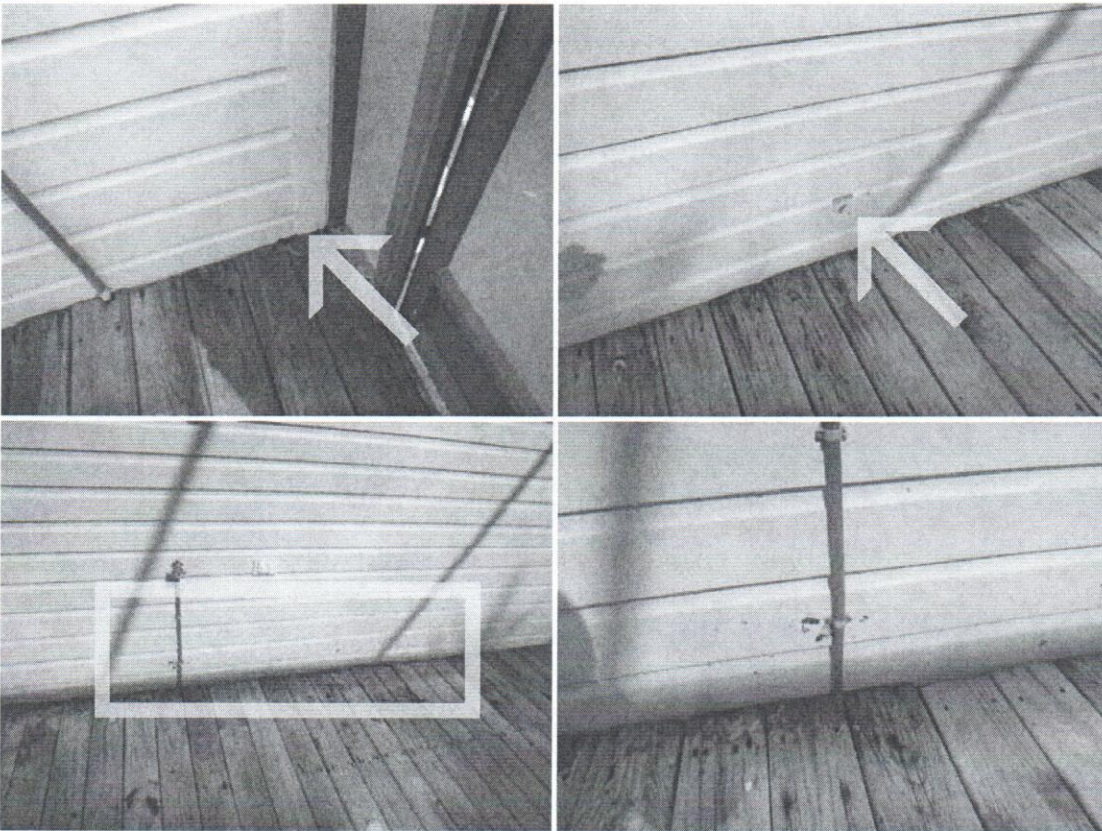
16. Wood rot noted on exterior siding: rear mini split ac area siding.



17. The exterior paint is deteriorated and peeling in various locations. The house was built prior to 1978 which brings strict guidelines for paint surface disturbance.



18. Wood rot noted on exterior siding: rear deck garage wall siding and trim.



19. Wood rot noted on exterior siding: rear deck garage wall siding.



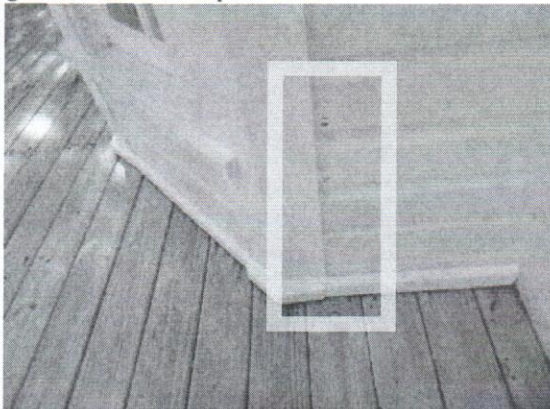
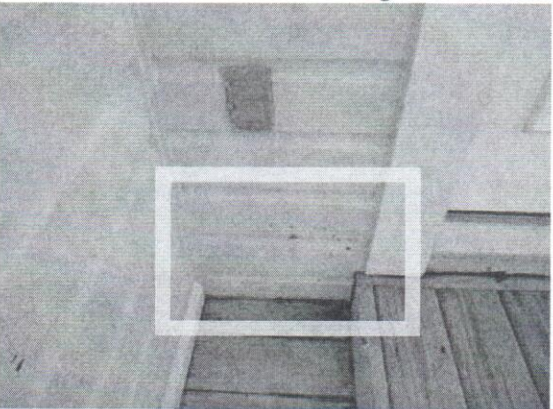
20. Wood rot noted on exterior siding: rear deck area siding right of the garage patio door.



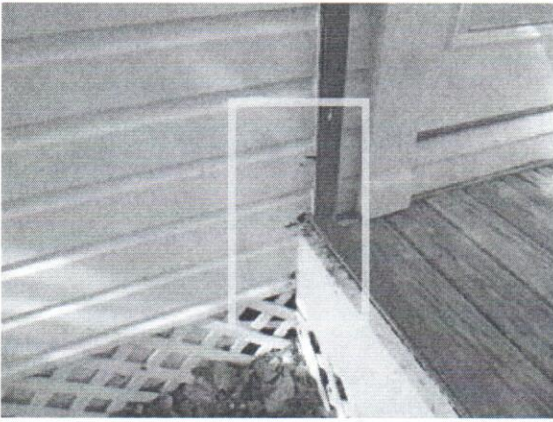
21. Wood rot noted on exterior siding: rear deck siding right of the kitchen patio door.



22. Wood rot noted on exterior siding: rear deck siding left of the kitchen patio door.



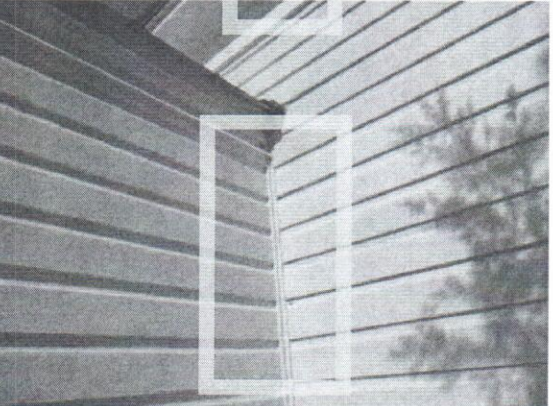
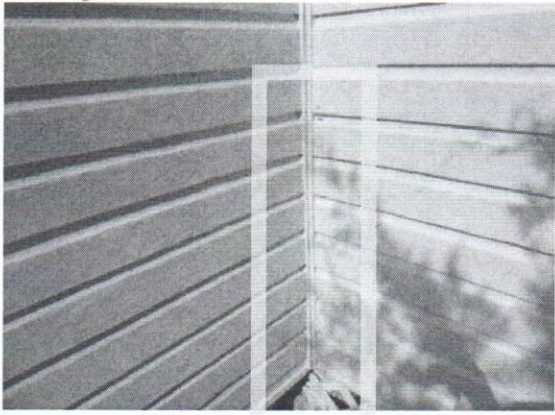
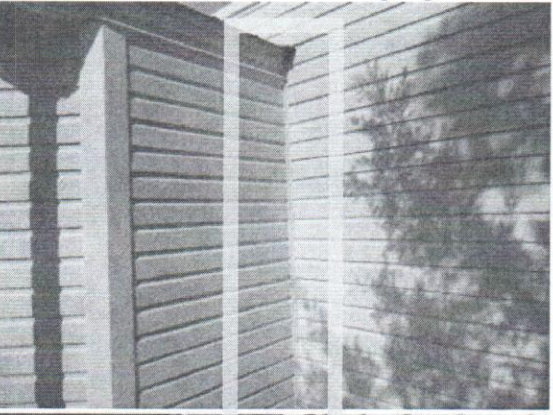
23. Wood rot noted on exterior siding: rear siding left of the screen cage.



24. Wood rot noted on exterior siding: rear siding left of the screen cage.

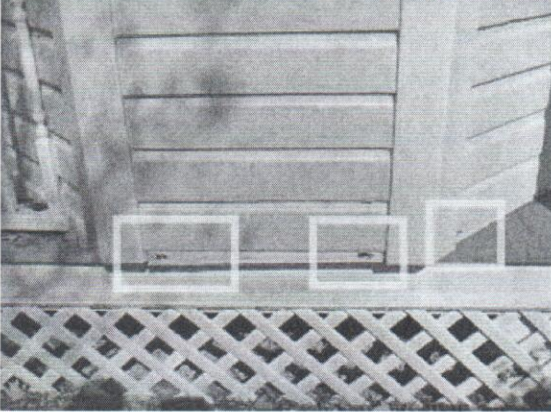


25. Wood rot noted on exterior siding: right rear corner siding below the roof to wall intersection.

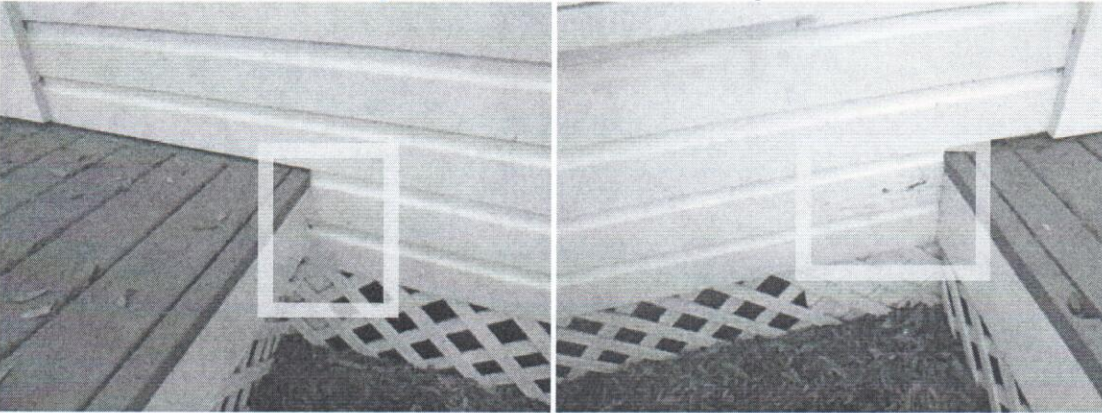




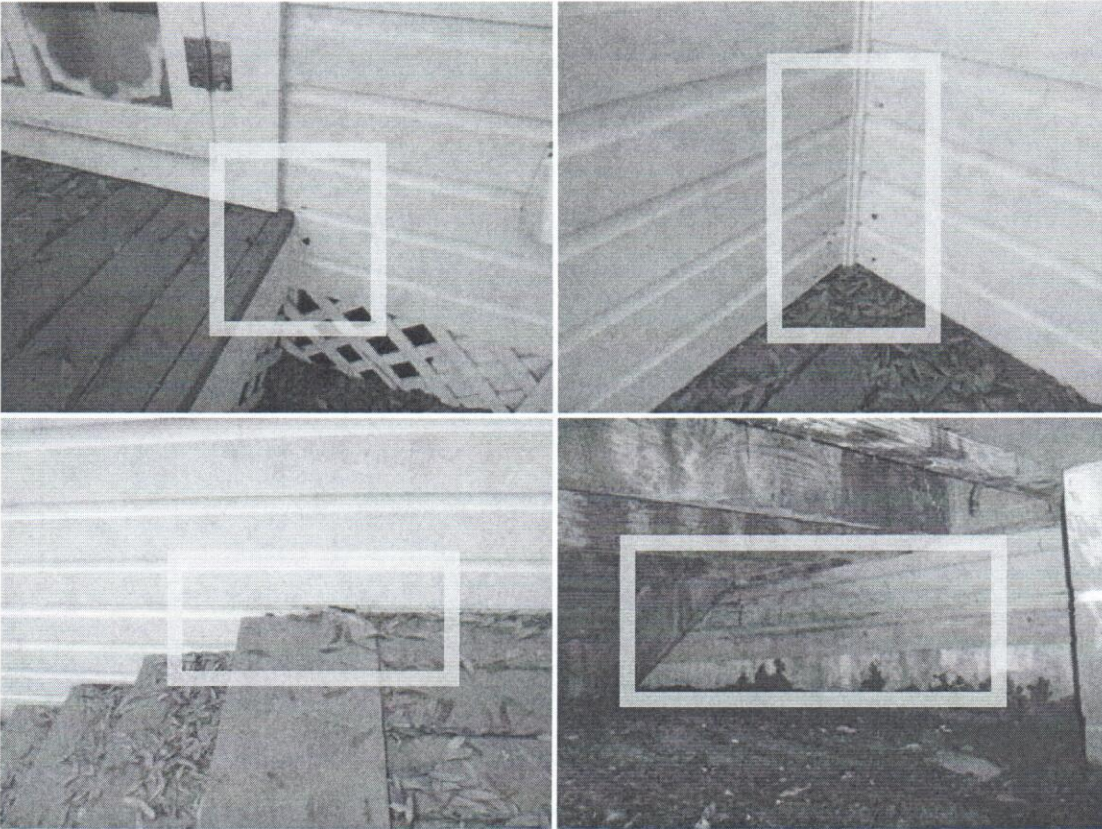
26. Wood rot noted on exterior siding: right side yard bay window siding.



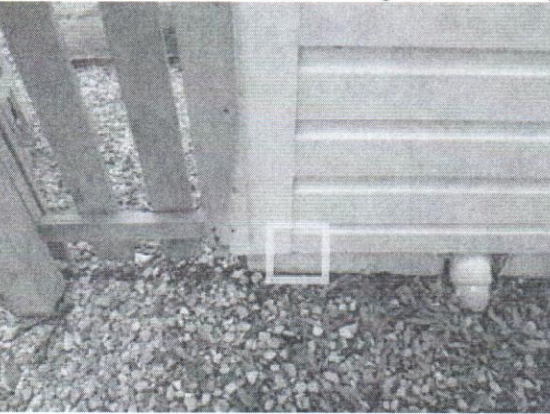
27. Wood rot noted on exterior siding: both sides of the master bedroom patio door deck.



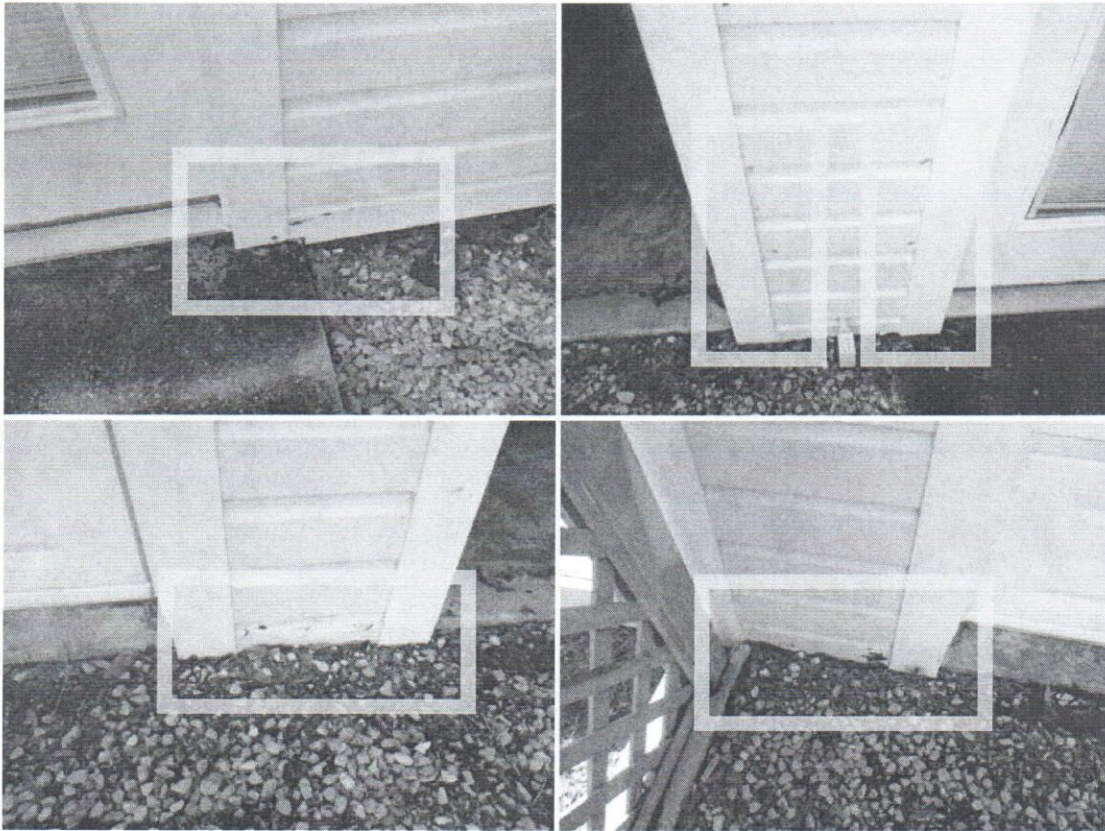
28. Wood rot noted on exterior siding: left side yard laundry hall deck area siding above and below deck.



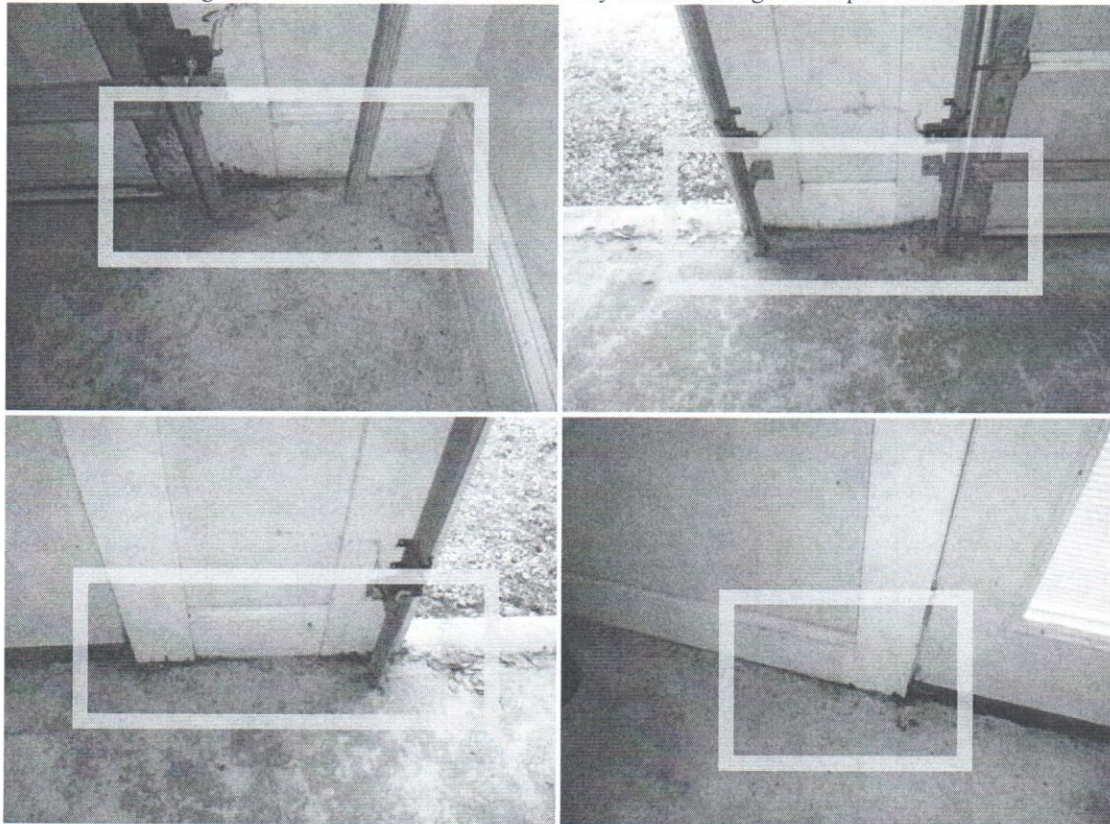
29. Wood rot noted on exterior siding: rear left siding right of the corner trim.



30. Wood rot noted on exterior siding: garage door areas siding and trim.



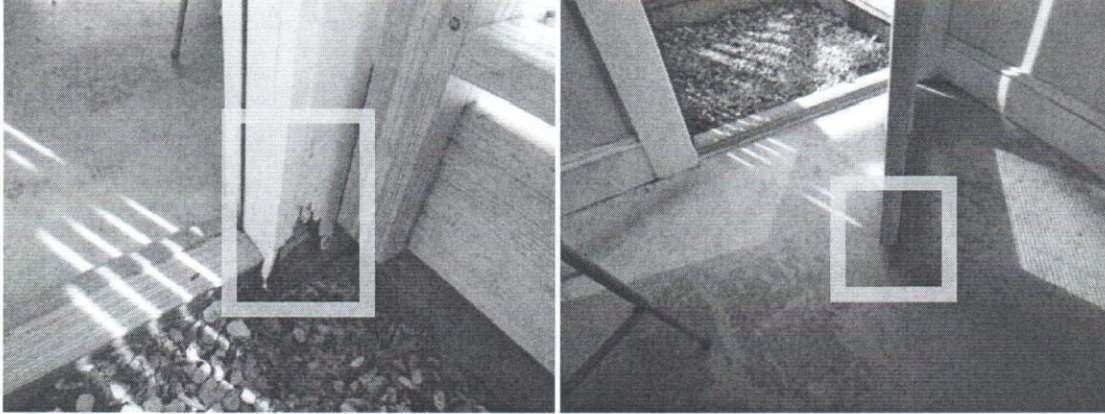
31. Wood rot noted on exterior siding: inner garage door area baseboards/trims. Water intrusion to the garage noted. Recommend having a licensed contractor evaluate for any hidden damage and repair as needed.



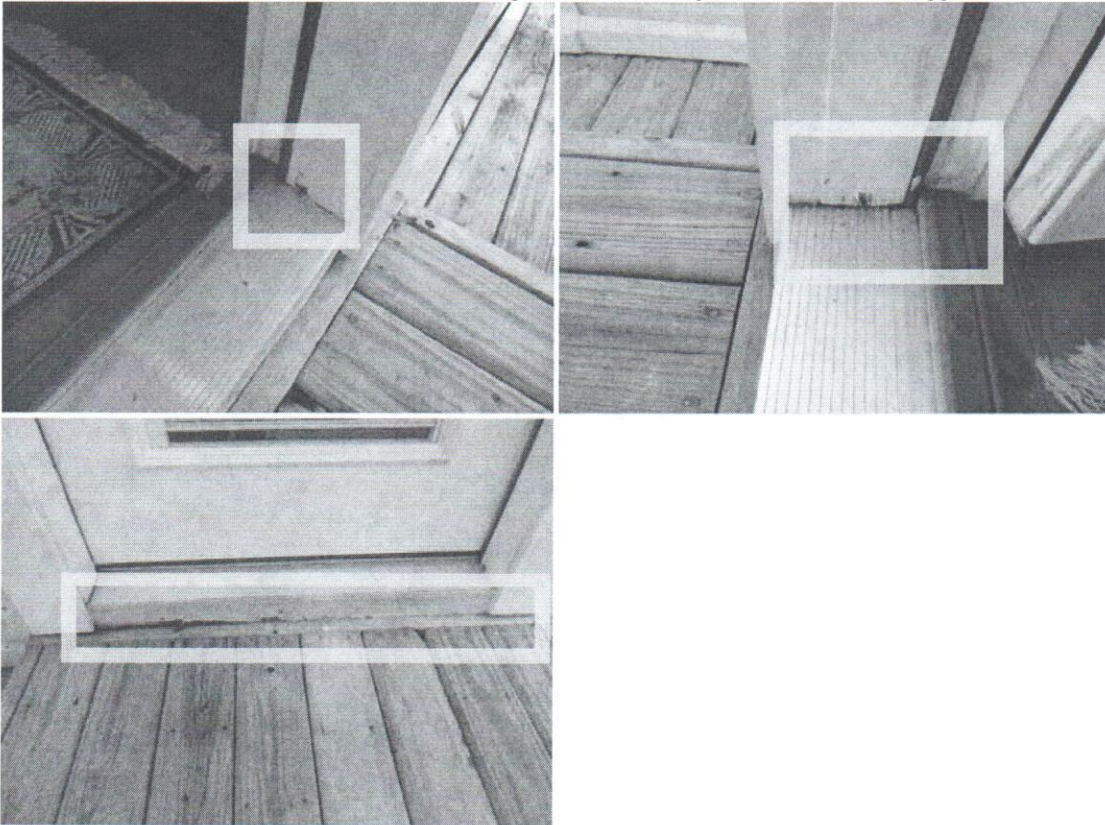


TRIM:

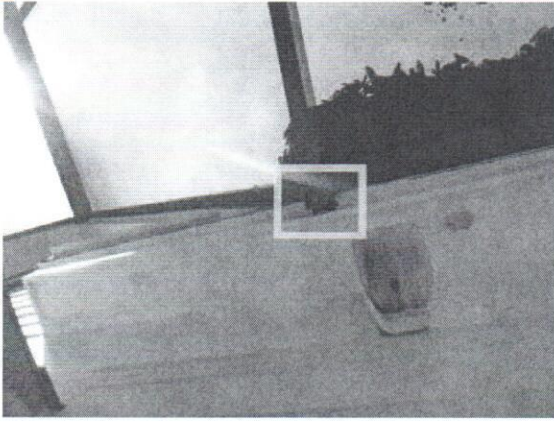
32. Wood rot noted on the exterior trim: rear garage patio door core and trim.



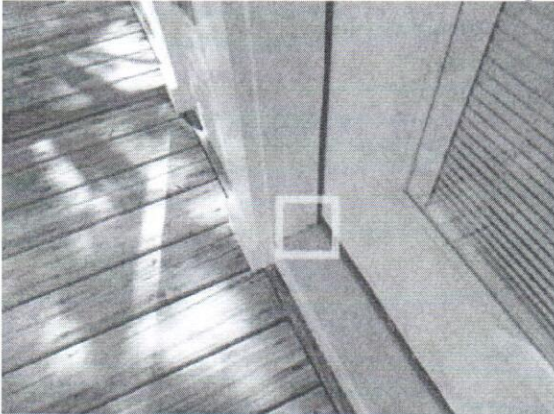
33. Wood rot noted on the exterior trim: kitchen patio door frame, jamb and threshold support.



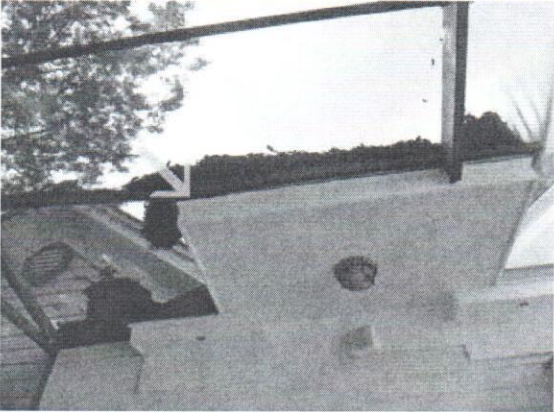
34. Wood rot noted on the exterior trim: fascia trim above the kitchen patio door.



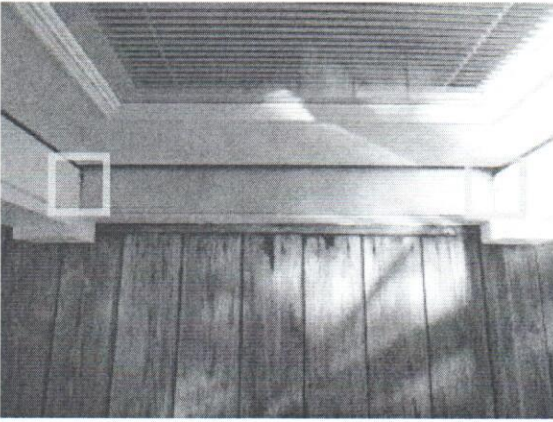
35. Wood rot noted on the exterior trim: rear living room patio door frame.



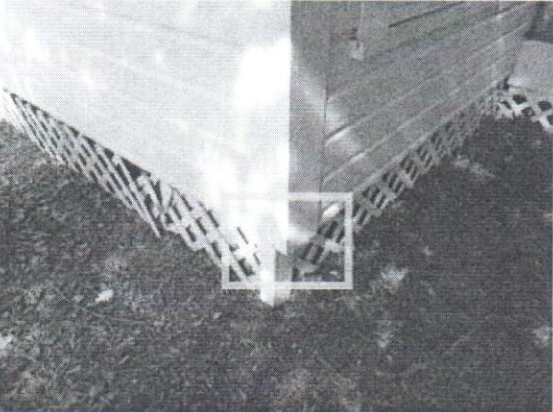
36. Moisture stains and wood rot damage noted under eaves above the rear hall bedroom patio door.



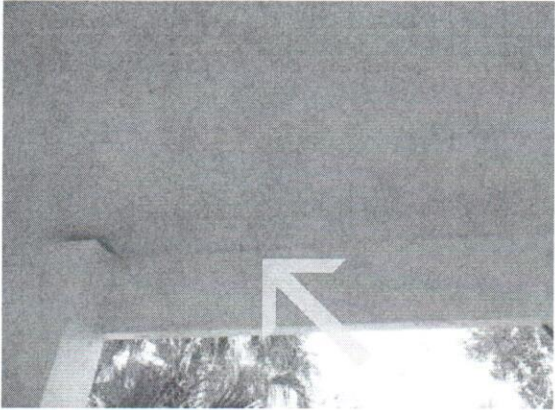
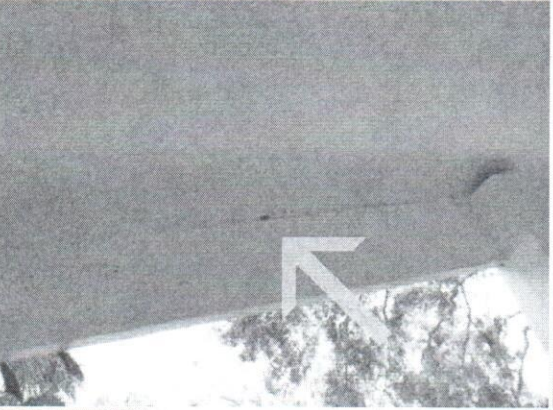
37. Wood rot noted on the exterior trim: rear hall bedroom patio door frame.



38. Wood rot noted on the exterior trim: rear right corner trim.

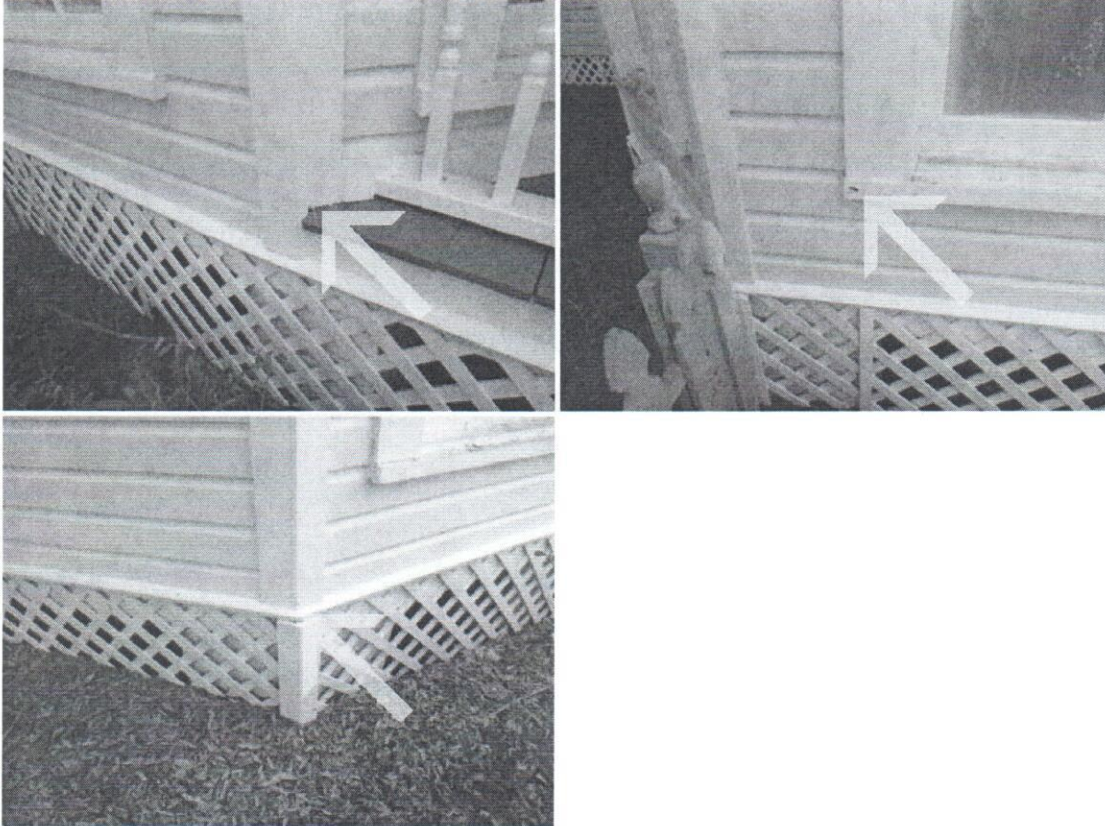


39. Wood rot noted on the exterior trim: front porch soffit.

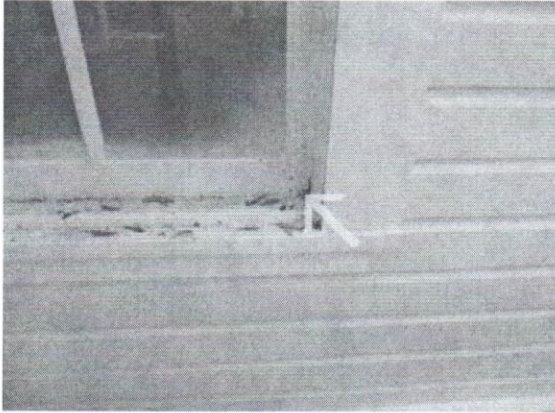




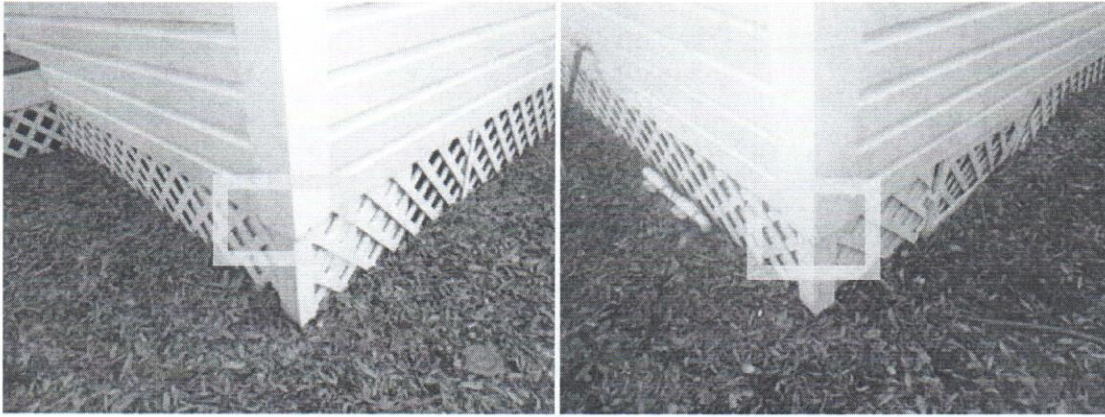
40. Wood rot noted on the exterior trim: front bay window corner trims and window sill.



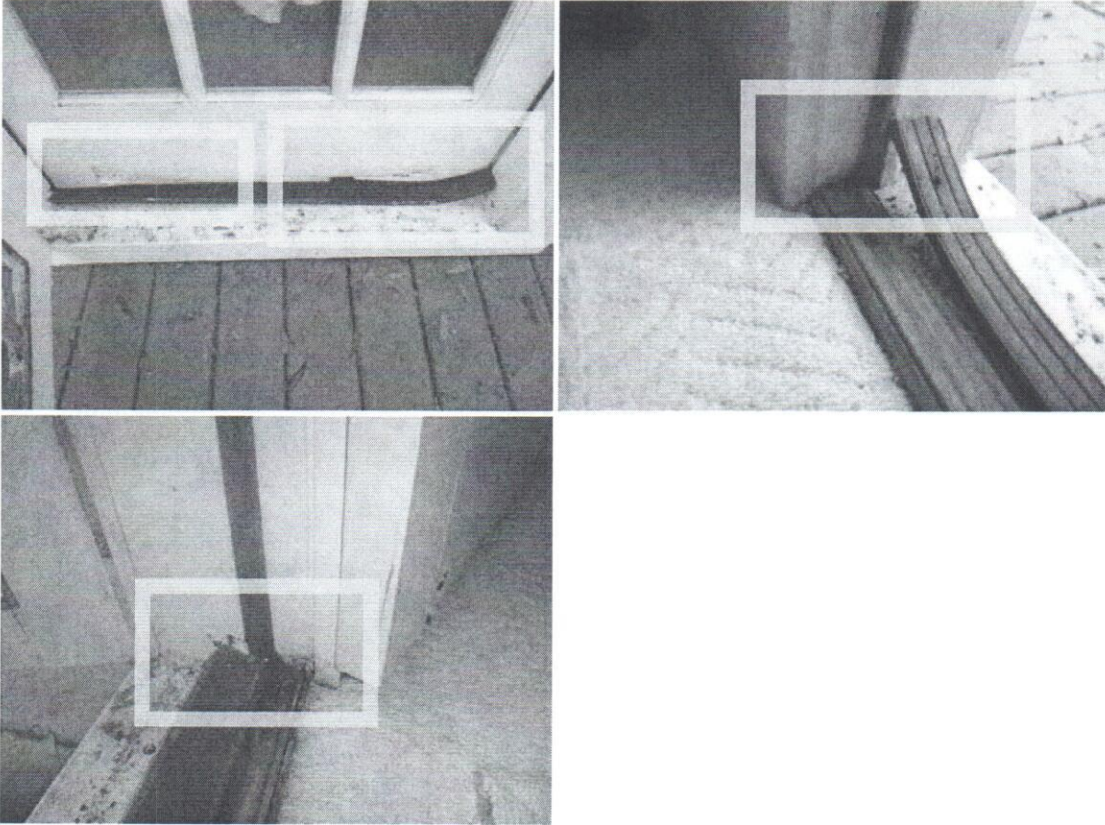
41. Wood rot noted on the exterior trim: left living room window.



42. Wood rot noted on the exterior trim: left corner trims.



43. Wood rot noted on the exterior trim: master bedroom patio door and frame.



44. Wood rot noted on the exterior trim: left side yard master bedroom window trims.





45. Wood rot noted on the exterior trim: left side yard kitchen window trims.



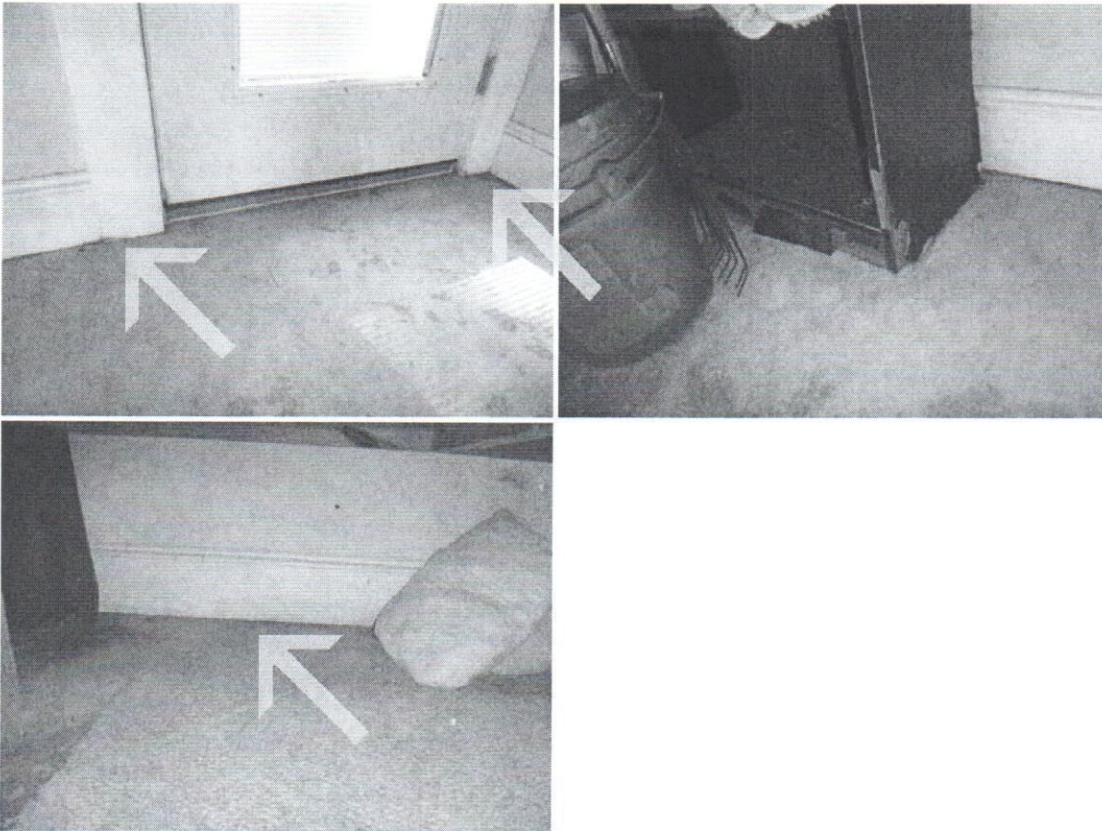
46. Wood rot noted on the exterior trim: laundry hall patio door and frame.



FOUNDATION-CRAWL SPACE/BASEMENT

BASEMENT/CRAWL SPACE:

47. Earth-to-Wood contact is found in the crawl space area. Wood should not be in contact with soil. Recommend repairs by a licensed contractor.



GARAGE DOOR(S):

88. The right garage door only opens 1/4th of the way and stops, Recommend repairs by a licensed installer. Minor damage is noted to both garage doors.

89. Left garage door - Garage door opener electronic sensors appear to be out of alignment or inoperable. Must hold button down to close door.

MISCELLANEOUS:

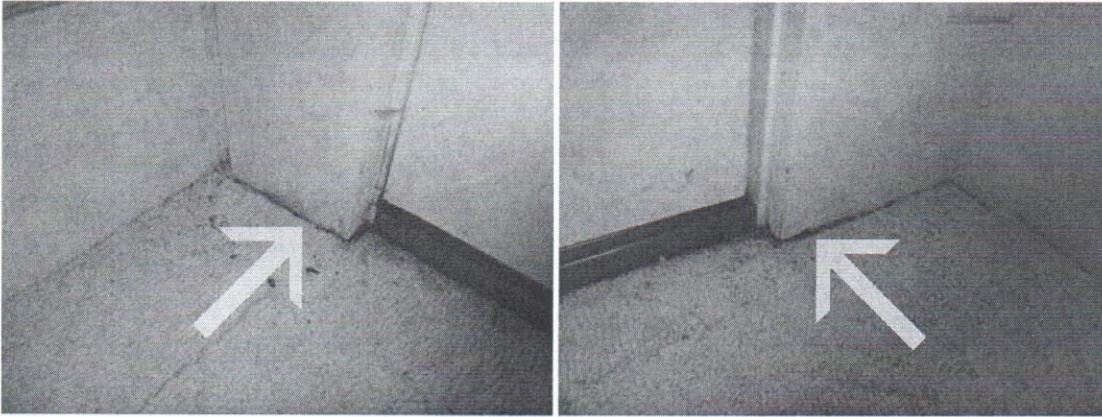
90. Stored items restrict viewing of the garage area; recommend performing a careful walk through inspection prior to closing.



INTERIOR

EXTERIOR DOORS:

91. Water intrusion noted at the rear hall bedroom patio door area, recommend having a licensed contractor evaluate further for any hidden damage and repair as needed.

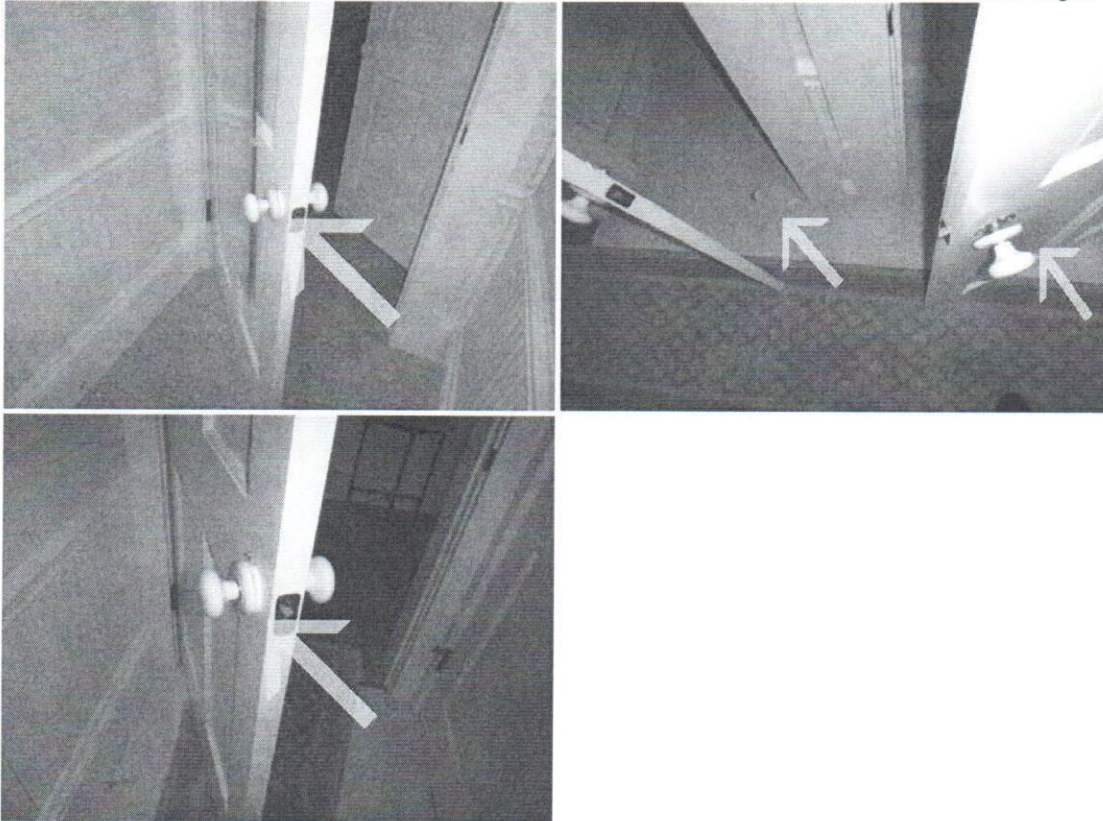


INTERIOR DOORS:

92. Doors drag on carpet in the following locations: upstairs right hall bedroom entry and closet doors, upstairs left hall bedroom closet door.

93. Doors rub or bind and will not close properly in the following locations: upstairs bathroom entry door.

94. The upstairs left hall bedroom entry door and various master bedroom door knobs are loose/damaged.



WINDOWS:

95. Window screens are missing in various locations.

96. Some windows are hard to operate or painted closed.

INTERIOR WALLS:

97. Paint on interior walls and/or ceilings is deteriorated and peeling in various areas. Home was built prior to 1978. Care should be taken to insure that all lead base paint safety practices required by the Environmental Protection Agency are followed. Testing for the presence of lead base paint is beyond the scope of this inspection. Recommend a full lead base

PAGE BREAK

CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION

Official Use Only

Application # _____
City Representative CB
Date Received 2/15/18

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Ashley Willis
Address 407 North 10th Street
City Murray State KY Zip 42071
Phone 270.227-3275

State License # (owner)
City License # _____ County License # _____
Email Address Ashleywillis11@gmail.com
Phone (Same)

Approval Type: [] Staff Approval Date: _____ [] Board Approval [] Board Denial Date _____

*Reason for Denial

PROJECT TYPE

New Construction

Addition

Alteration/Renovation

Relocation

Demolition

Fence

Repair (Extensive)

Variance

Other: _____

PROPERTY INFORMATION:

Street Address: 156 North 6th St. City & State Apalachicola, FL Zip 32320

Historic District [] Non-Historic District Zoning District R-1

Parcel #: 01-09S-08W-8330-0064-0040 Block(s) 04 Lot(s) 3

FEMA Flood Zone/Panel #: X
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston
Permitting and Development Coordinator
(850) 653-1522 (ext 205) Phone
(850)653-5023 Cell
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Renovation of Historic Shotgun, Rebuild of original 36'1/2 by 13 ft living addition, Rebuild of original front porch 36'1/2 x 8 → → porch + Back addition.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		as much of original	
Doors		as possible / wood original	
Windows		original	
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck		Front: Wood Rear: Wood	
Fencing			
Driveways/Sidewalks			
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the schedule Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

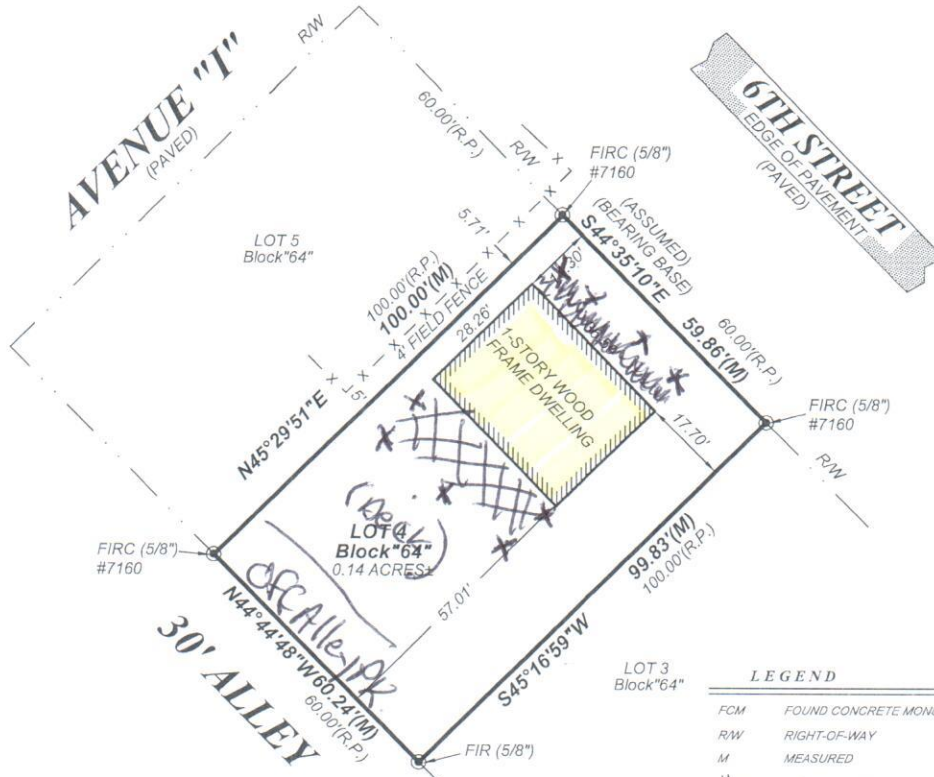
DATE

SIGNATURE OF APPLICANT

156 North 6th St
 Apalachicola, FL 32320

36 1/2 x 30 ft
 ← ↑
 = Current Remaining Structure

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 ASHLEY WILLIS,
 DODD TITLE COMPANY, INC.,
 FIRST AMERICAN TITLE INSURANCE COMPANY



LEGEND

FCM	FOUND CONCRETE MONUMENT
RW	RIGHT-OF-WAY
M	MEASURED
—	NOT TO SCALE
△	POINT NOT SET OR FOUND
SIRC	SET (5/8") IRON ROD AND CAP #7160
FIRC	FOUND (5/8") IRON ROD AND CAP
RP	RECORD PLAT
FND	FOUND
RND	ROUND
CM	CONCRETE MONUMENT

LEGAL DESCRIPTION:
 Lot 4, BLOCK "64", of the City of Apalachicola
 a subdivision as per map or plat on file
 in common use at the Clerk of the Circuit
 Office in Franklin County, Florida.

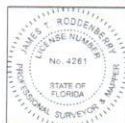
NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwesterly right-of-way boundary of 6TH STREET having an assumed bearing of South 44 degrees 35 minutes 10 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry
 JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4261



FLOOD ZONE INFORMATION:

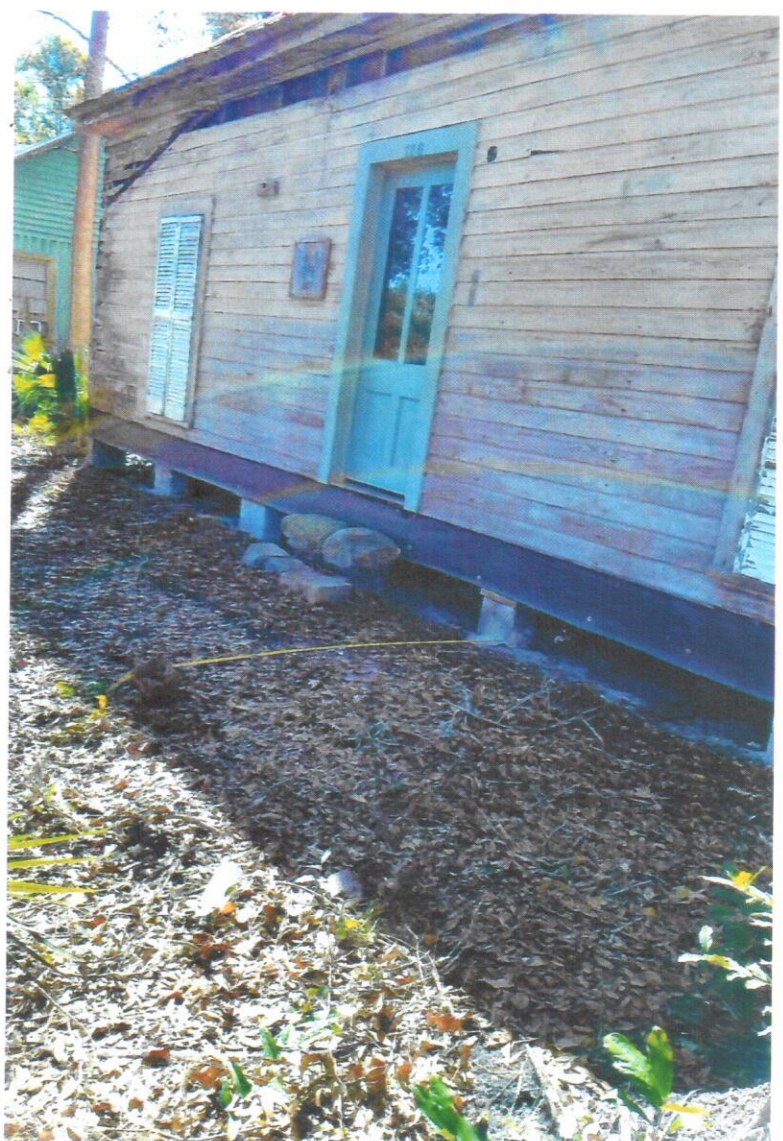
Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0526F index date: February 5, 2014, Franklin County, Florida.

	Thurman Roddenberry & Associates, Inc. PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 850-962-2358 FAX NUMBER: 850-962-1103 L.S. # 7160		
	DATE: 09/08/17 FILE: 03818.DWG	DRAWN BY: MD DATE OF LAST FIELD WORK: 09/07/17	NB.376 PG.73 COUNTY: FRANKLIN JOB NUMBER: 03-818



Front
Porch





Front Porch



Back Porch



X = Original Remaining
footers for porch and
back addition.

XXX = Rebuild original living
addition on back of
structure
36' 1/2 ft X 13 ft

XXX = Rebuild original
front porch on
front of current structure
36' 1/2 ft X 8 ft



Back Porch

PAGE BREAK

PERMIT #: _____

PERMIT COST: _____

PAID: _____ PICKED UP: _____

(For official use only)

CITY OF APALACHICOLA APPLICATION FOR DEVELOPMENT PERMIT GENERAL, RENOVATION, OR NEW CONSTRUCTION

Owners Name: Dennis Rogers and Linda White

Mailing Address: 167 21st Avenue Apalachicola, FL 32320

Telephone: 256-452-2322 Email Address: rogersdennis907@gmail.com

Contractor Name: Morton Buildings Inc

State Contractors License #: CBC036362 City License #: _____

Email Address: Brian.teague@mortonbuildings.com Telephone: 850 661-5149

Property Address: 167 21st Avenue Apalachicola, FL 32320

Property Type: (Commercial/Residential) Residential

Legal Description: Block(s) 246 Lot(s) 25, 26, 27 FEMA Flood Zone/Panel #: N/A

Property Dimensions: 90' X 100' Property Zoning Classification: _____

Description of Development: Construction of 27'x18' Hobby
workshop / Garage (wood frame, metal exterior
with concrete floor/electrical/plumbed
sink) Estimated Cost: \$ 30,000

***Please note:**

- Setbacks must be indicated on site plan for any new construction of a Principle and/or Accessory Structure
- If application has to go before Planning and Zoning for decision, the application will be placed on the agenda of the next Board Meeting (2nd Monday of each month) so long as the application is received 10 business days prior to the meeting and the City's Community & Economic Development Office and City Planner have preliminarily found that the application is complete and addresses all applicable requirements.
- The Applicant and/or representative must be present at scheduled the meeting or the agenda item will not be discussed
- If your application goes before Planning and Zoning Board for decision and has been approved, please allow at least 5 business days for permit processing.

For New Construction and Exterior Renovations to existing structure - See attached checklist.

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Initial: DR
LZW

Applicant Signature: [Signature]
Linda L. White

[Signature]
City Representative

2/15/18
Date Received

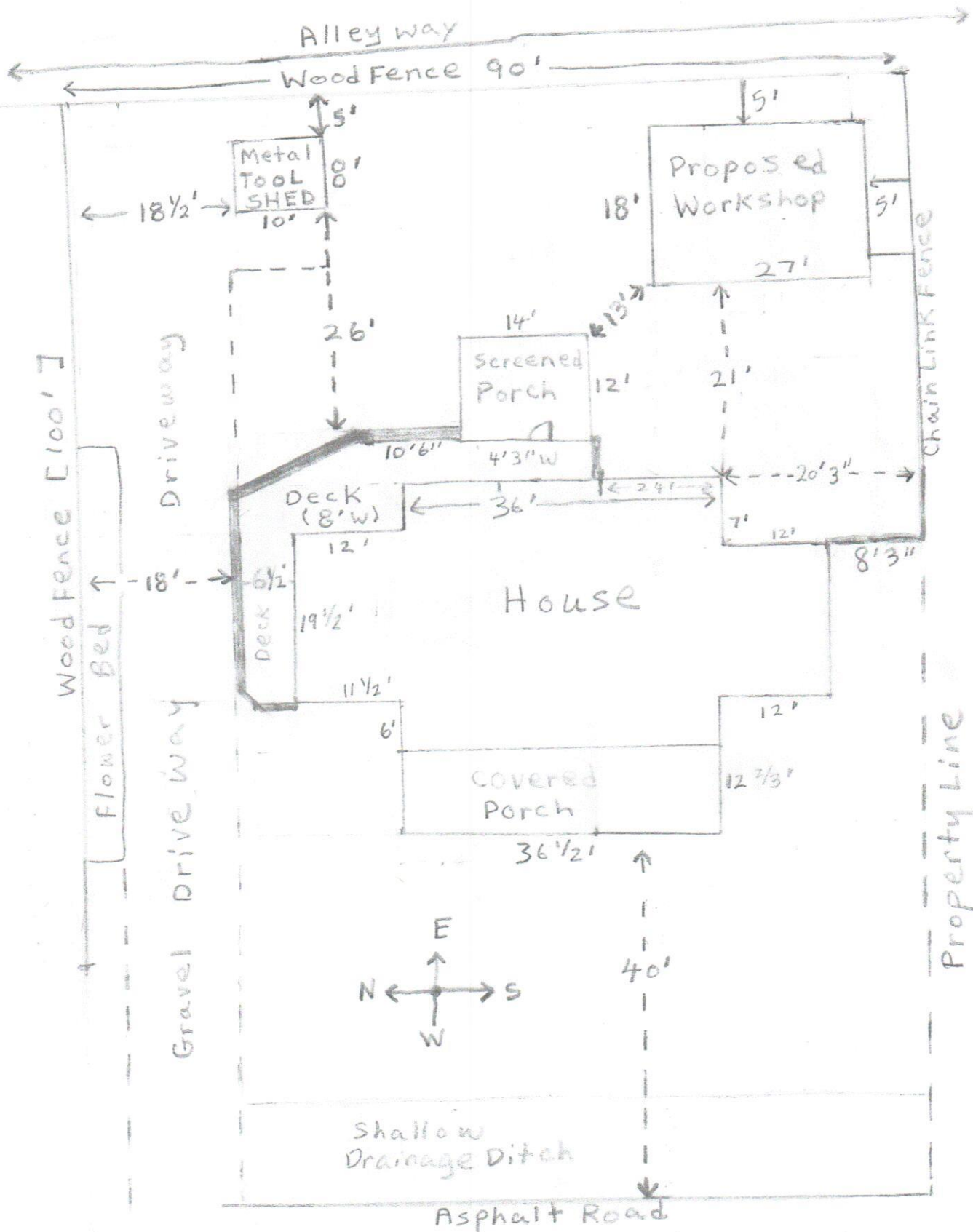
Official Use Only This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Setback Requirement of Property: Front: _____ Rear: _____ Side: _____ Maximum Lot Coverage Meets Zoning Code: _____ Water Available: _____ Sewer Available: _____ Taps paid: _____

Certificate of Appropriateness Approved: _____ Date _____
Chairperson, Apalachicola Planning & Zoning Board

OR

Approval for Permit Issuance: _____ Date Approved _____
City Representative

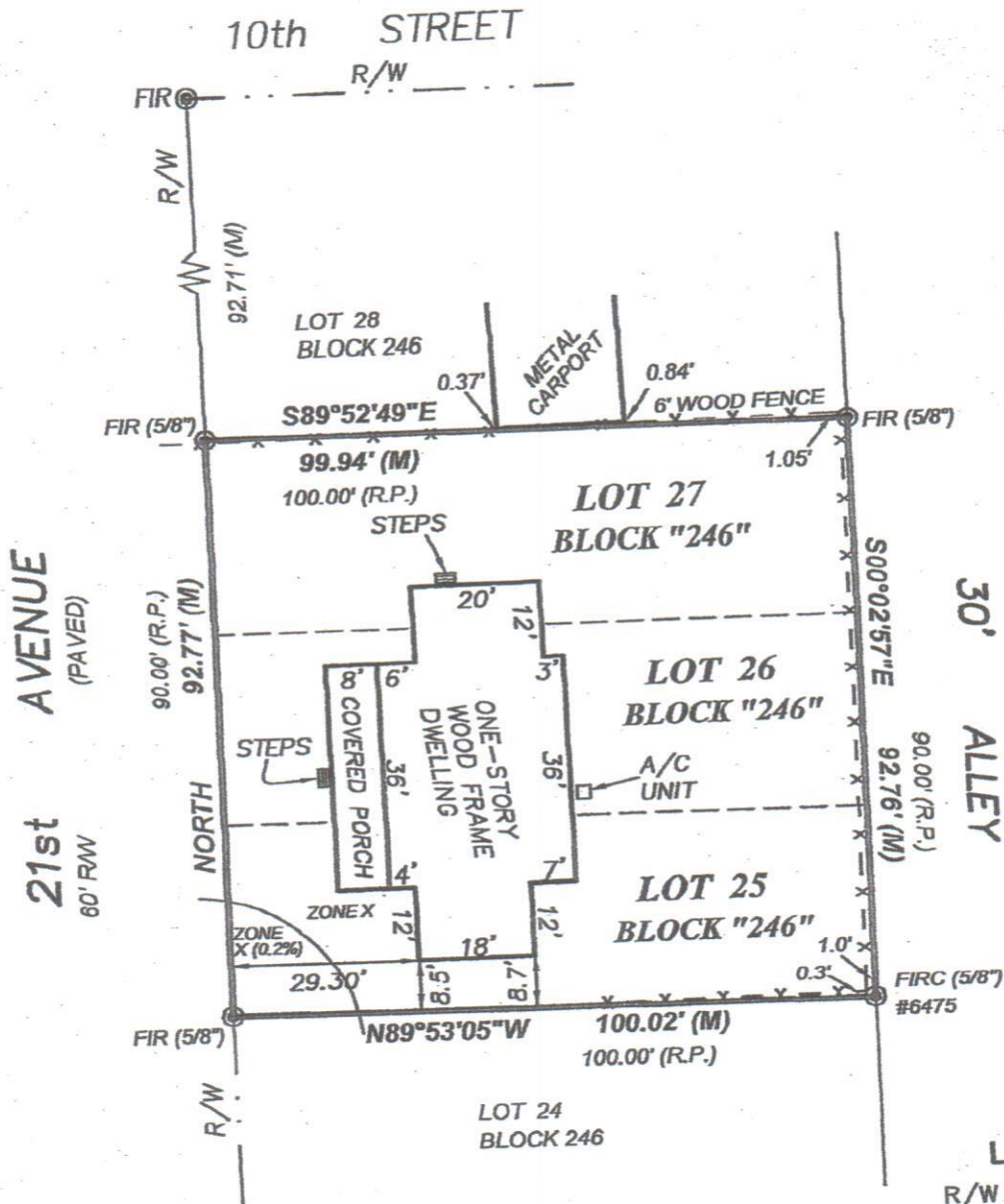


Residence: Dennis Rogers & Linda White
 167 21st Avenue

Parcel Number: 01-095-08W-8330-0246-0250
 Lot Numbers: 25-26-27

**PLAT OF BOUNDARY SURVEY CERTIFIED TO:
DENNIS S. ROGERS and LINDA L. WHITE,
SANDERS & DUNCAN, P.A.,
CHICAGO TITLE INSURANCE COMPANY**

SCALE 1" = 30'



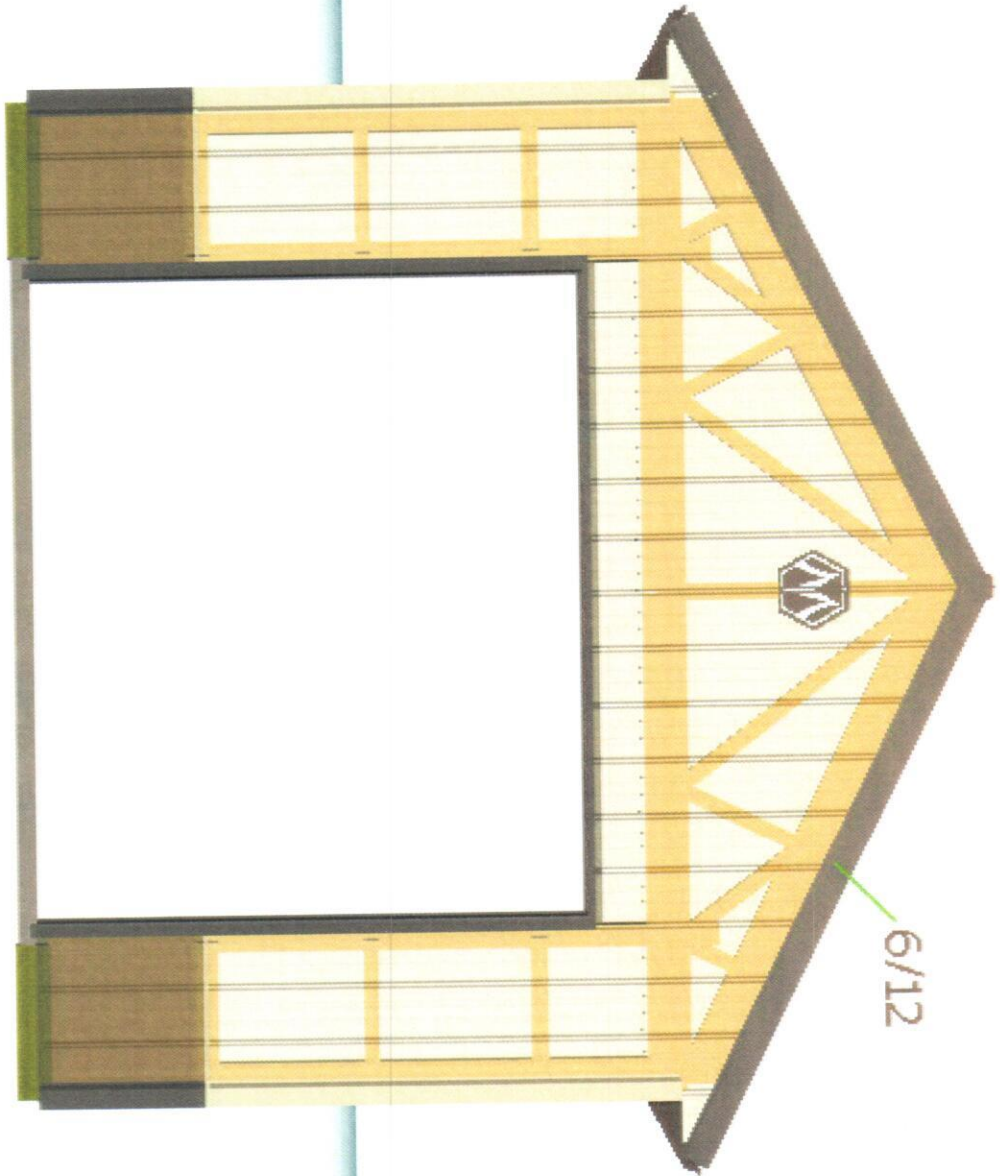
LEGAL DESCRIPTION:
Lots 25, 26 and 27, Block "246" of the CITY OF APALACHICOLA,
as per map or plat thereof in common use on file at the
Clerk of the Circuit Office in Franklin County, Florida.

LEGEND

R/W	RIGHT OF WAY
M	MEASURED
R.P.	RECORD PLAT
FIRC	FOUND IRON ROD & CAP
FIR	FOUND IRON ROD

- NOTES:**
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
 2. BEARING REFERENCE: Easterly right of way boundary of 21st Avenue having an assumed bearing of North.
 3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
 4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
 5. This survey is dependent upon EXISTING MONUMENTATION.
 6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

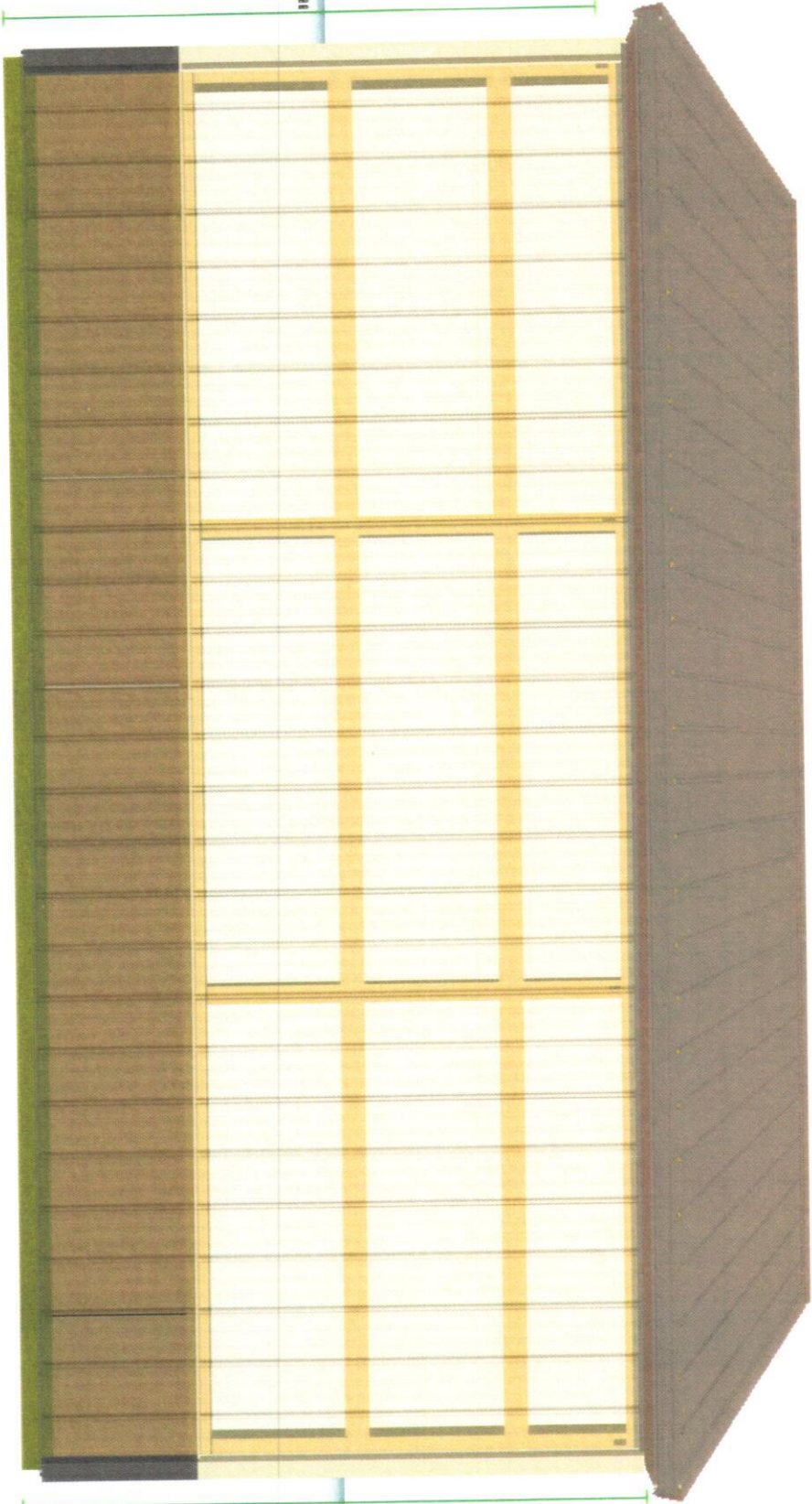
FLOOD ZONE INFORMATION:



11' 4"

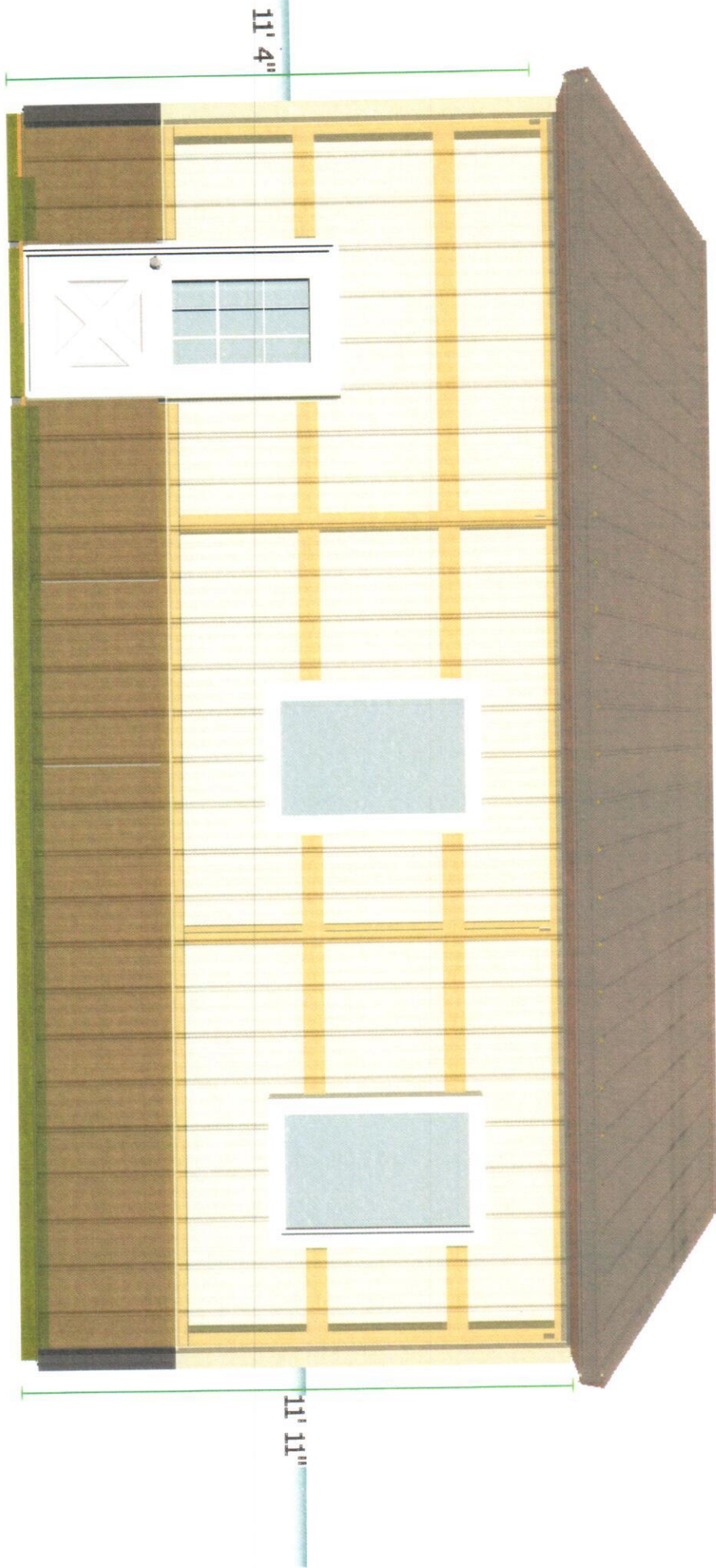
6/12

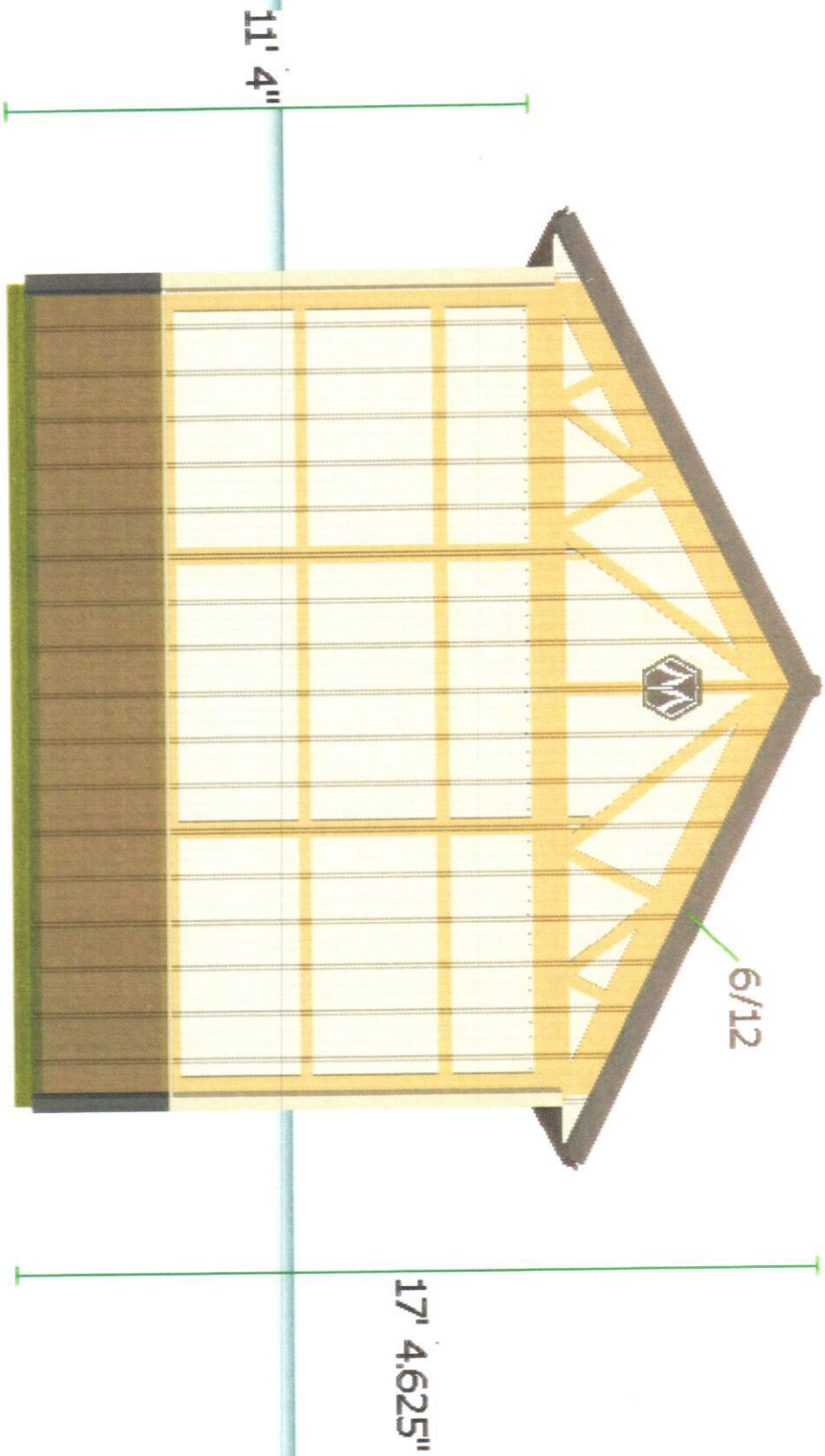
17' 4.625"



11' 4"

11' 11"







Building #1 Specifications

Building Info	Style	Width	Height	Length	Truss Spacing	Roof Pitch	Lower Chord	Peak Height	Soffit Height
	306	18'	10'	27'	9'	6/12	0/12	16' 0.5"	10' 7"

306 18'x10'x27' (#1) - Building Use: Suburban - Storage

Foundation

Monolithic slab with thickened edge / Grade Beam (Form 222/223 - Detail #2)

Siding

North, West, South, East wall(s) Fluoroflex™ 1000 Hi-Rib Steel Minimum .019 (Fastened with Stainless Steel Screws)

Wainscot

North, West, South, East with 36" tall Fluoroflex™ 1000 Hi-Rib Steel Minimum .019 wainscot (Fastened with Stainless Steel Screws)

Protective Liner

North, West, South, East wall(s) with 7/16" thick OSB by approx. 32" tall Protective Liner

Roof

Fluoroflex™ 1000 Hi-Rib Steel Minimum .019 (Fastened with Stainless Steel Screws) with Vent-A-Ridge

Overhangs

North, South wall(s) 1' Wide Vented Sidewall Overhang with Standard 6" fascia, Gutters, downspouts with elbows at base
West, East wall(s), No Overhang

Walk Doors

1 A 3' x 6'8" MB 910 9 Lite Tempered Glass in Leaf with Embossed Crossbuck Walk Door(s) in swing left hinge with lockset

Windows

2 B 3'0" x 4'6" SH3046 Pella Impervia Vented Single Hung Window(s) with Match Exterior Frame Color, Match Frame Color finished hardware

Overhead Door Opening

1 C 12'0" x 8'0" Overhead Door Opening (Requires a minimum 12' 2" X 8' 1" panel), 1' 5" Headroom

Energy Performer

Ceiling Finish with Hi-Rib Steel (.019 White CQ Polyester Solid) Fastened to Lower Chord of Truss with Painted Steel Screws, 4 Mil Vapor Retarder and Air Deflector at Eaves Between Trusses



North, West, South, East wall(s) Interior Wall with 2"x4" Horizontal Stripping at 32" On Centers, Wall Cavity is Insulated with 6" Fiberglass Insulation and Building Wrap.

Subcontracts

Install 18' x 27' x 4" thick concrete floor reinforced with 10x10 WWM or fiber reinforced with a trowel finish.

Install 12' 2" X 8' 1" Unknown Raynor MB200 2" R10.25 Door with 2" Raynor Heavy Duty Track and hardware, Full angle mount track, 25,000 cycle springs, Stucco Panels, 1' 5" headroom, Black EPDM rubber bottom seal.

Additional Information

Included in Pricing -

Building material package
Engineered stamped plans
Building Delivery
Erection of Building by Morton Trained Crew
Tax
Trash Disposal
Port-a-John
Concrete Floor

Not Included in Pricing -

Grading/Site Prep.
Building Permit
Any additional permits required.
Plumbing
Electric
HVAC
Final Grading
Blown-In insulation in the ceiling is a subcontracted item and is not included in our insulation package unless specifically listed on the contract.
Anything not specifically listed in this proposal

This Proposal Assumes The Following:

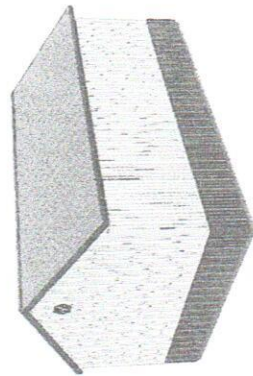
1. A graded, level pad is prepared with 4" of crushed stone.
2. A level 10' perimeter exists around the prepared building pad. 1/12 Slope away from the building is ideal.
3. The building will not be within 30' of a power line.
4. It is assumed that underground obstructions such as rock are not present. If it is encountered and special equipment needs to be brought in, additional charges will be added to the contract price.
5. Buildings are delivered ahead of the construction crew getting to the job. It normally takes approximately 7-10 days for the crew to arrive after the building is delivered. This time can be lengthened or shortened by factors such as weather. At delivery, materials will be blocked up and covered in plastic so that they are in good condition when the crew arrives.

Additional Comments:

Morton crew to install framing for storage in last bay next to East endwall

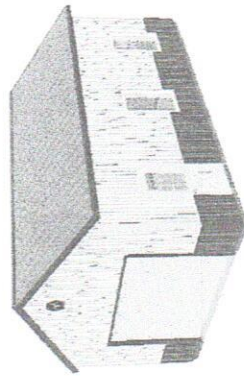


Perspective From The Northeast

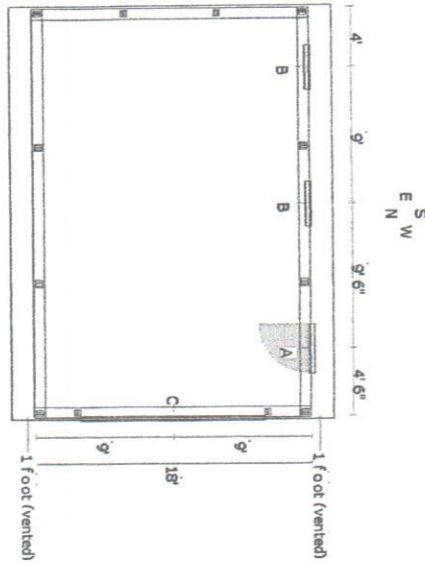




Building 306 18'x10'x27' (#1) Perspective From The Southwest



306 18'x10'x27' (#1) Column Plan





Building Investment

Total Estimated Project Cost as described including Material, Tax, and Labor*: \$32,150.00

\$9,645.00 Down Payment
\$19,290.00 Due Upon Delivery of Materials
\$3,215.00 Due When Morton Buildings' Scope of Work is Complete

* Building Proposal Good for 15 Days from the date specified on cover letter.

If you accept this pricing proposal you must enter into a written building order which contains additional terms and conditions. This proposal is not intended to be a contract for construction.

This proposal contains information which is proprietary and/or are trade secrets and may not be disclosed to third-parties without the express written authorization of Morton Buildings, Inc.



Building Value Days Rebate

Owner

Mr. Dennis Rogers

167 21st Ave

Apalachicola, FL 32320

Payment/Delivery Terms

The project is valued at **\$33,150.00**. With the Building Value Days Rebate valued at \$1,000.00 your new contract amount is **\$32,150.00**.

The projected delivery date for your Morton Building is the week of **5/28/2018**.

Qualifications

Building Value Days Savings is earned if you meet the following conditions:

1. Your order is accepted and credit approved by Morton Buildings, Inc.
2. You have provided proof that your site is prepared to Morton Buildings, Inc. site specifications by 5/28/2018.
3. You accept delivery of materials between **1/1/2018** and **12/31/2018**.

PAGE BREAK

CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION

Official Use Only

Application # _____
City Representative _____
Date Received 3/5/18

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Thomas Grant
Address 37185 FOREST CT
City FARMINGTON HILLS State MI Zip 48335
Phone (248) 935-0388

State License # _____
City License # _____ County License # _____
Email Address _____
Phone (_____) _____

Approval Type: [] Staff Approval Date: _____ [] Board Approval [] Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: _____

PROPERTY INFORMATION:

Street Address: 147 5th Street City & State Apalachicola, FL Zip 32320
 Historic District [] Non-Historic District Zoning District R-1
Parcel #: 01-095-08W-8330-0061-0080 Block(s) 61 Lot(s) 8

FEMA Flood Zone/Panel #: _____
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston
Permitting and Development Coordinator
(850) 653-1522 (ext 205) Phone
(850)653-5023 Cell
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Saddle Style dormer with 2 single pane windows

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing		<i>metal Roof</i>	
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the schedule Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificates of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

March 13, 2018
DATE

Thomas M. Smith
SIGNATURE OF APPLICANT





The Geiger residence in Micanopy, Alachua County, was built on the site of the old East Florida Seminary in 1908. Structural timbers from the former schoolhouse were reused for sills in this four-square Georgian residence.

PAGE BREAK

CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION	Official Use Only Application # _____ City Representative <u>CB</u> Date Received <u>3/1/18</u>
--	---

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner <u>Federico G. Fuentes (Billy)</u> Address <u>164 23rd St</u> City <u>Apalachicola</u> State <u>FL</u> Zip <u>32320</u> Phone <u>(850) 323-0200</u>	State License # _____ City License # _____ County License # _____ Email Address _____ Phone (_____) _____

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE	
<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Other: <u>Storage Shed</u>

PROPERTY INFORMATION:

Street Address: 164 23rd St City & State Apalachicola, FL Zip 32320

Historic District Non-Historic District Zoning District R-3

Parcel #: 01-095-08W-8330-0243-0120 Block(s) 243 Lot(s) 12 & 13

FEMA Flood Zone/Panel #: _____
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY	
<p>Setback requirement of Property:</p> Front: _____ Rear: _____ Side: _____ Lot Coverage: _____ Water Available: _____ Sewer Available: _____ Taps Paid _____	<p>This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.</p> <p>Certificate of Appropriateness Approval:</p> _____ Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston
 Permitting and Development Coordinator
 (850) 658-1522 (ext 205) Phone
 (850)658-5023 Cell
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

The proposed project is for a 10x12 Storage shed with Metal siding, metal roof, 2x4 framing, plywood flooring.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	Tool time	Metal	
Doors	Metal Tool time	Metal	
Windows	Tool time	4 total	
Roofing	Tool time	Metal	
Trim	Tool time	Metal	
Foundation		Pier pad + joist	
Shutters	N/A	↓	
Porch/Deck	N/A		
Fencing	N/A		
Driveways/Sidewalks	N/A		
Other			

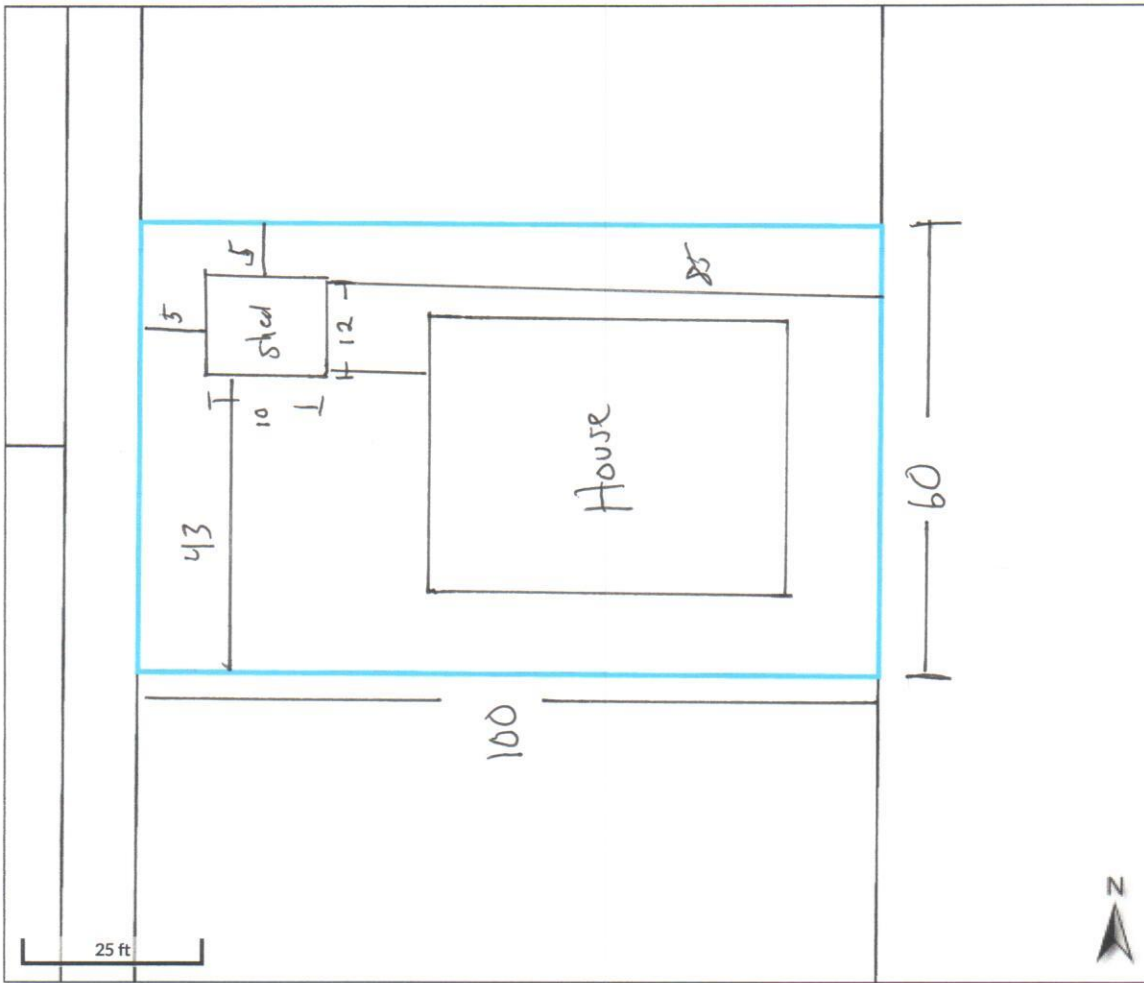
CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the schedule Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

03/01/2018
DATE

Federico Frantz
SIGNATURE OF APPLICANT



- Legend**
- Parcels
 - Roads
 - City Labels

Parcel ID	01-095-08W-8330-0243-0120	Alternate ID	08W09S01833002430120	Owner Address	BROWN KAREN S
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		139 POGY ROAD
Property Address	164 23RD AVE	Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 243 LOTS 12 & 13				

(Note: Not to be used on legal documents)

Date created: 2/1/2018
 Last Data Uploaded: 2/1/2018 12:10:15 AM

 **Developed by**
 The Schneider Corporation

10' X 12' PORTABLE BUILDING AT 164 23RD AVENUE, APALACHICOLA, FLORIDA FOR TOOL TIME

BUILDING CODE SUMMARY

CODES REFERRED: FLORIDA BUILDING CODE 2014 WITH REVISIONS
 GROSS SOURCE FOOTAGE: 240
 CONSTRUCTION TYPE: V-B
 OCCUPANCY CLASSIFICATION: U
 OCCUPANCY LOAD: 1

BUILDING SPECIFIC INFORMATION			
BUILDING WIDTH	BUILDING LENGTH	BAY WIDTH	NO. OF BAYS ALLOWED - 5
10'	12'	N/A	N/A
			EAVE HEIGHT
			8'

WIND DESIGN DATA			
V _{ult}	V _{nom}	RISK CATEGORY	WIND EXPOSURE
140	108	1	B
			ENCLOSURE CLASSIFICATION
			ENCLOSED
			INTERNAL PRESSURE COEFFICIENT
			0.18
			DESIGN PRESSURE COMPONENTS & CLADDING
			+23.4/-46.38

INDEX OF DRAWINGS


1 OF 5	GENERAL BUILDING INFORMATION
2 OF 5	FLOOR PLAN
3 OF 5	WALL SECTION ELEVATIONS
4 OF 5	ELEVATIONS
5 OF 5	BUILDING COMPONENT SCHEDULE

IF THE LINE PRINTED BELOW MEASURES ANYTHING OTHER THAN 1 INCH LONG, THE DRAWINGS ON THIS SHEET ARE NOT TO SCALE AND THEREFORE THE GRAPHIC SCALE SHOULD BE REFERRED TO IN LIEU OF THE WRITTEN SCALE SHOWN WITH THE DRAWING TITLE.

Mark Mercer & Associates Inc.
 Architects
 3003 south highway 77 suite elyynn haven, florida 32444/850-763-8072

 mmarc@earthlink.net

**10' X 12' PORTABLE BUILDING
AT 164 23RD AVENUE
FOR TOOL TIME**
 APALACHICOLA FLORIDA

REVISIONS	
PREPARED BY: MERCER ISSUE DATE: 02-01-18 SCALE: AS SHOWN	REVIEWED BY: MERCER SHEET 1 OF 5
COVER SHEET	PROJECT NO.

NOTE: THESE PLANS ARE DESIGNED IN ACCORDANCE WITH CHAPTER 16 REQUIREMENTS OF THE FLORIDA BUILDING CODE FOR 120 MPH WINDLOAD COMPLIANCE. THE PLANS ARE FOR STRUCTURES CLASSIFIED OCCUPANCY RISK CATEGORY I BUILDINGS ONLY AS DEFINED BY THE FLORIDA BUILDING CODE. IT IS NOT DESIGNED FOR HABITATION.

FLOOR PLAN KEYNOTES

- ① WOOD STUD WALL CONSTRUCTION - SEE BUILDING COMPONENT SCHEDULE
- ② P.T. 4 x 6 WOOD SKID - SEE BUILDING COMPONENT SCHEDULE FOR NUMBER OF ROWS
- ③ FLOOR JOISTS(PROPER ORIENTATION SHOWN) - SEE BUILDING COMPONENTS SCHEDULE FOR SIZE AND SPACING
- ④ RAFTERS ABOVE(PROPER ORIENTATION SHOWN) - SEE BUILDING COMPONENTS SCHEDULE FOR SIZE AND SPACING
- ⑤ PLYWOOD FLOOR DECKING - SEE BUILDING COMPONENT SCHEDULE
- ⑥ 22 x 36 ALUMINUM WINDOW - LOCATION AT OWNERS OPTION
- ⑦ 6'-0" x 7'-0" GARAGE DOOR - LOCATION AT OWNERS OPTION
- ⑧ 1-1/2" x 1/2" T - CROSS BRACING
- ⑨ 4" CONCRETE SLAB REINFORCED WITH 6 x 6 1% W.W.F. ON 6 MIL POLYETHYLENE VAPOR BARRIER

IF THE LINE PRINTED BELOW MEASURES ANYTHING OTHER THAN 1 INCH LONG, THE DRAWINGS ON THIS SHEET ARE NOT TO SCALE AND THEREFORE THE GRAPHIC SCALE SHOULD BE REFERRED TO IN LIEU OF THE WRITTEN SCALE SHOWN WITH THE DRAWING TITLE.

Mark Mercer & Associates, Inc.
 Architecture and Planning
 3003 south highway 77/buile elfynn haven, florida 32444/850-763-8072



**10' X 12' PORTABLE BUILDING
 AT 164 23RD AVENUE
 FOR TOOL TIME**
 APALACHICOLA, FLORIDA

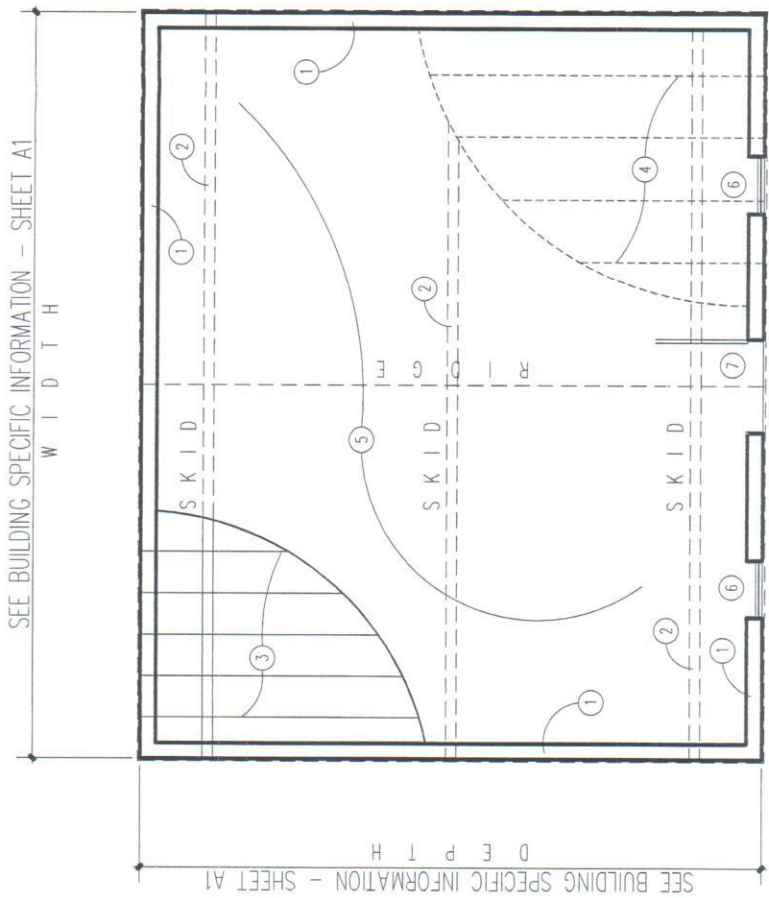
REVISIONS	

PREPARED BY MERCER	REVIEWED BY MERCER
ISSUE DATE 07-01-18	SCALE AS SHOWN

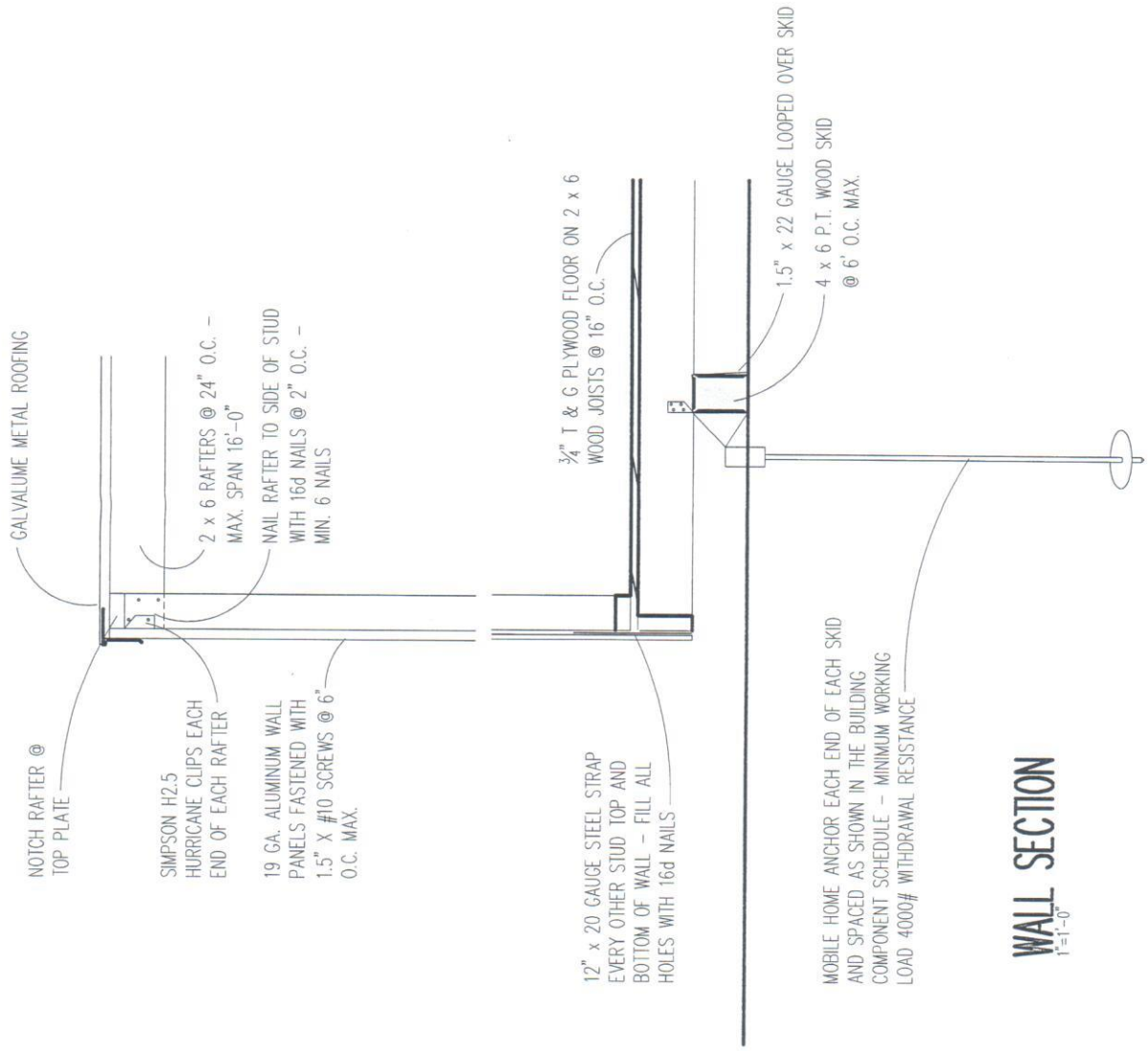
FLOOR PLAN

A2
SHEET 2 OF 5

PROJECT NO.



FLOOR PLAN DIAGRAM



WALL SECTION
1"=1'-0"

MOBILE HOME ANCHOR EACH END OF EACH SKID AND SPACED AS SHOWN IN THE BUILDING COMPONENT SCHEDULE - MINIMUM WORKING LOAD 4000# WITHDRAWAL RESISTANCE

IF THE LINE PRINTED BELOW MEASURES ANYTHING OTHER THAN 1 INCH LONG, THE DRAWINGS ON THIS SHEET ARE NOT TO SCALE AND THEREFORE THE GRAPHIC SCALE SHOULD BE REFERRED TO IN LIEU OF THE WRITTEN SCALE SHOWN WITH THE DRAWING TITLE.

Mark Mercer & Associates, Inc.
architects and planners
3003 south highway 77/suite e/lynn haven, florida 32444/850-763-8072



**10 X 12 PORTABLE BUILDING
AT 164 23RD AVENUE
FOR TOOL TIME**
FLORIDA
APALACHICOLA

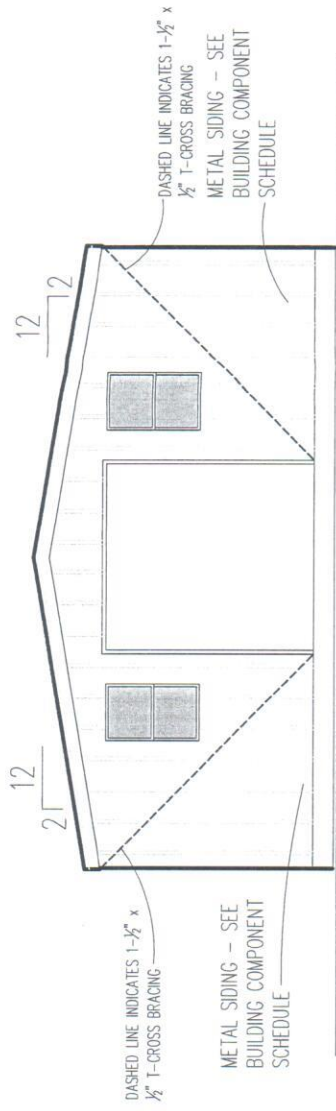
REVISIONS



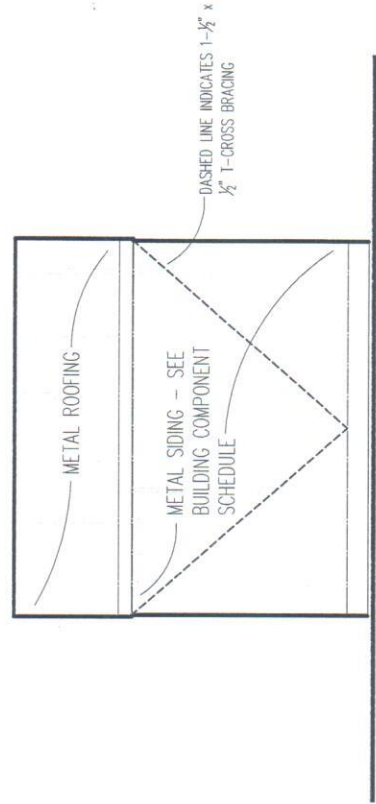
PREPARED BY MERCER	REVIEWED BY MERCER
ISSUE DATE 02-20-18	SCALE AS SHOWN

A3
SHEET 3 OF 5

PROJECT NO.



FRONT ELEVATION
3/32" = 1'-0"



SIDE ELEVATION
3/32" = 1'-0"

IF THE LINE PRINTED BELOW MEASURES ANYTHING OTHER THAN 1 INCH LONG, THE DRAWINGS ON THIS SHEET ARE NOT TO SCALE AND THEREFORE THE GRAPHIC SCALE SHOULD BE REFERRED TO IN LIEU OF THE WRITTEN SCALE SHOWN WITH THE DRAWING TITLE.

Mark Mercer & Associates Inc.
Architectural and Planning
3003 South Highway 77/Suite Elynn Haven, Florida 32444/850-763-8072



**10 X 12 PORTABLE BUILDING
AT 164 23RD AVENUE
FOIR TOOL TIME
APALACHICOLA, FLORIDA**

REVISIONS	

[Handwritten Signature]

PREPARED BY	REVIEWED BY
MERCER	MERCER
ISSUE DATE	SCALE
02-01-18	AS SHOWN

A4
SHEET 4 OF 5

ELEVATIONS

PROJECT NO.

12' WIDE PORTABLE BUILDING - BUILDING COMPONENT SCHEDULE - MAX. EAVE HEIGHT 8'

BUILDINGS UP TO 12' DEEP BUILDING - MAX. EAVE HEIGHT 8' - MAXIMUM WIND LOAD 130 MPH 3 SECOND GUST

SKIDS	SREW IN ANCHOR	SKID STRAP TO SCREW IN ANCHOR	FLOOR JOISTS	FLOOR DECKING	WALL STUDS	RAFTERS	WALL SING	WALL FASTENERS	ROOFING	ROOFING FASTENERS
P.L. WOOD 4 x 6 - 2 RING ANK.	1 @ EACH END OF EACH SKID AND 8' O.C. ALONG SKID 6" DIAMETER GALVANIZED WITH 5000# HOLDING POWER	1 @ EACH END OF EACH SKID 22 GA. LAPPED OVER SKID	2 x 6 S.P. @ 46" O.C.	3/4" 1/2" PLYWOOD	2 x 4 S.P. @ 24" O.C. 12" 1/2" x 12" x 1/2" GALV. STEEL STRIPS STUB TO FLOOR TRM AND TOP PLATES RESPECTIVELY	2 x 6 S.P. @ 24" O.C. MAXIMUM	18 GA. ALUMINUM	1" x 1/2" SCREWS @ 12" MAX.	18 GA. ALUMINUM	1" x 1/2" SCREWS @ 12" O.C. MAX.

IF THE LINE PRINTED BELOW MEASURES ANYTHING OTHER THAN 1 INCH LONG, THE DRAWINGS ON THIS SHEET ARE NOT TO SCALE AND THEREFORE THE GRAPHIC SCALE SHOULD BE REFERRED TO IN LIEU OF THE WRITTEN SCALE SHOWN WITH THE DRAWING TITLE.

Mark Mercer & Associates, Inc.
 architecture and planning
 3003 south highway 77/Islele eflynn haven, florida 32444/850-763-8072



10 X 12 PORTABLE BUILDING
AT 164 23RD AVENUE
FOIR TOOL TIME
 APALACHEOLA, FLORIDA

REVISIONS

118
[Signature]

PREPARED BY MERCER	REVIEWED BY MERCER
ISSUE DATE 02-01-18	SCALE AS SHOWN

A5
 SHEET 5 OF 5

BUILDING COMPONENT SCHEDULE

PROJECT NO.

PAGE BREAK

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

Official Use Only

Application # _____
 City Representative _____
 Date Received 3/1/18 ^{CB}

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner MARK & AMY Dolan
 Address 711 North Maine Street
 City Water Valley State MS Zip 38964
 Phone (662) 801-9511

State License # RB0066825
 City License # 97-228 County License # 201857
 Email Address WARD BK 13 @ gmail . com
 Phone (850) 453-7777

Approval Type: [] Staff Approval Date: _____ [] Board Approval [] Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: _____

PROPERTY INFORMATION: 135 Bay Colony Way
 Street Address: LOT 20 Bay Colony Way City & State Apalachicola, FL Zip 32320
 [] Historic District [X] Non-Historic District Zoning District R-2
 Parcel #: 12-09S-08W-1000-0000-0200 Block(s) _____ Lot(s) 20
 FEMA Flood Zone/Panel #: AE 11 BAY COLONY WAY
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____
 Water Available: Sewer Available: Taps Paid

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston
 Permitting and Development Coordinator
 (850) 653-1522 (ext 205) Phone
 (850)653-5023 Cell
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

NEW SINGLE Home Residence 58'8 x 32

Rec'd Verbal approval from HOA - Pending letter

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		Horizontal	
		Hardi siding	
Doors		Fiberglass	
Windows		vinyl Dlygem	
		IMPACT Resistant	
Roofing		Stand & seam	
		metal Roof	
Trim		1x6 Hardi	
Foundation		concrete footer + Concrete Pier	
		8x8x16" Block	
Shutters		NA	
Porch/Deck		1 1/2" PT ultra wood	
		decking	
Fencing		NA	
Driveways/Sidewalks		Lime rock &	
		crushed oyster shells crushed	
Other Roof Pitch		8/12	

CERTIFICATION

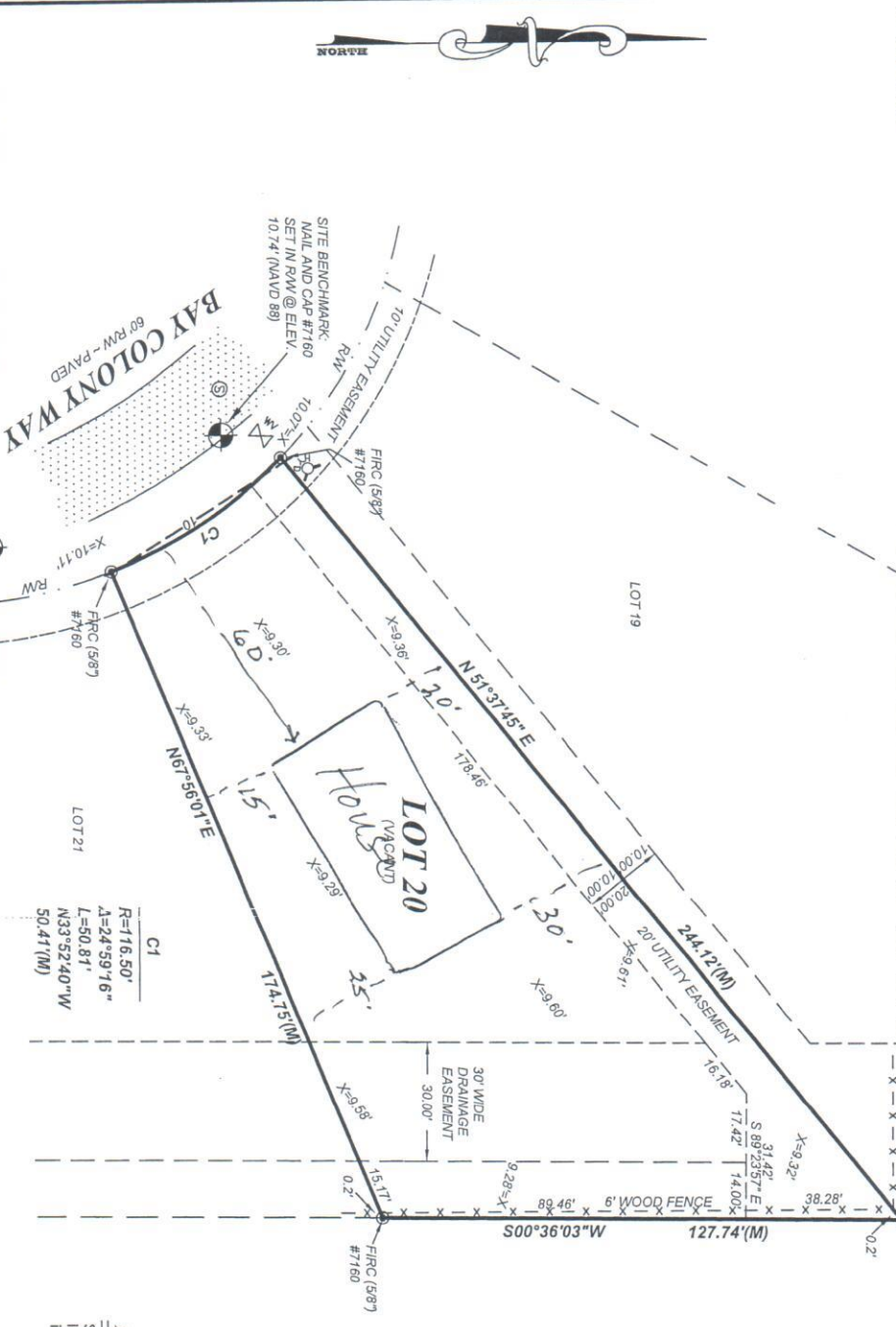
By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the schedule Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificates of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

3-5-18
DATE

Bryce Ward
SIGNATURE OF APPLICANT

PLAT OF BOUNDARY AND TOPOGRAPHICAL SURVEY CERTIFIED TO:
MARK DOLAN



I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as set forth in the Florida Statutes, Chapter 461, Professional Surveyors and Mappers (F.A.C. 58-17.051/.052).

The undersigned surveyor has not been provided a current title opinion abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundary.

James T. Roderberry
 JAMES T. RODERBERRY
 Surveyor
 Florida Certificate No. 4261

- NOTES:**
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
 2. BEARING REFERENCE: Northernly boundary of subject parcel being North 51 degrees 37 minutes 45 seconds East as per record plat.
 3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
 4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
 5. This survey is dependent upon EXISTING MONUMENTATION.
 6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

LEGAL DESCRIPTION:
 Lot 20 of BAY COLONY, a subdivision as per map or plat thereof recorded in Plat Book 8, Page 5 of the Public Records of Franklin County, Florida

FLOOD ZONE INFORMATION:
 Subject property is located in Zone "AE" (EL. 11) as per Flood Insurance Rate Map Community Panel No: 120090 0509F, Index date: February 5, 2014, Franklin County, Florida.

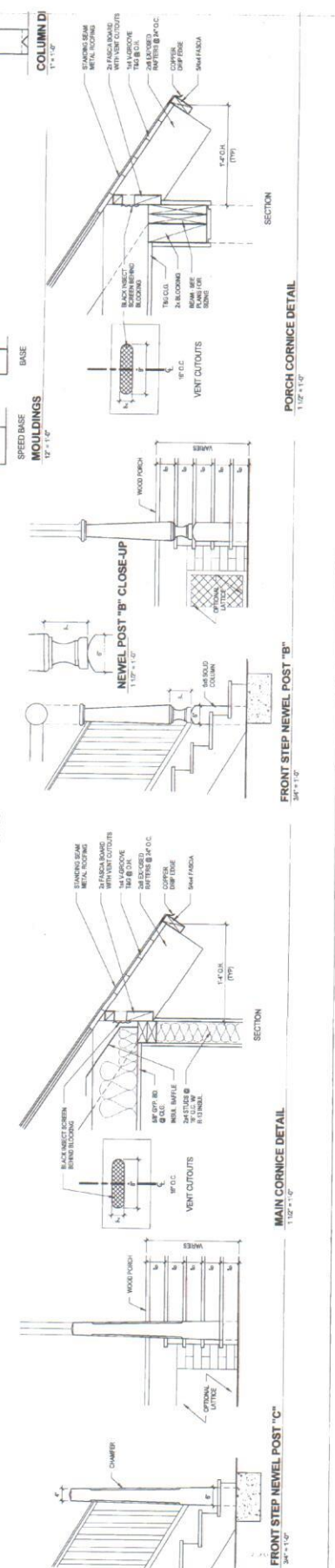
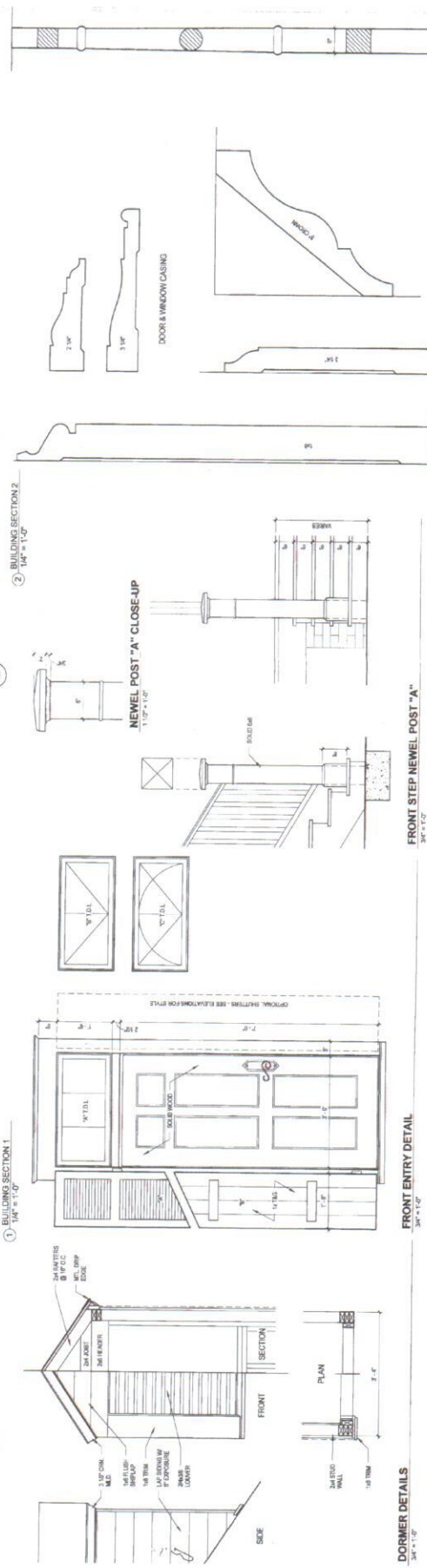
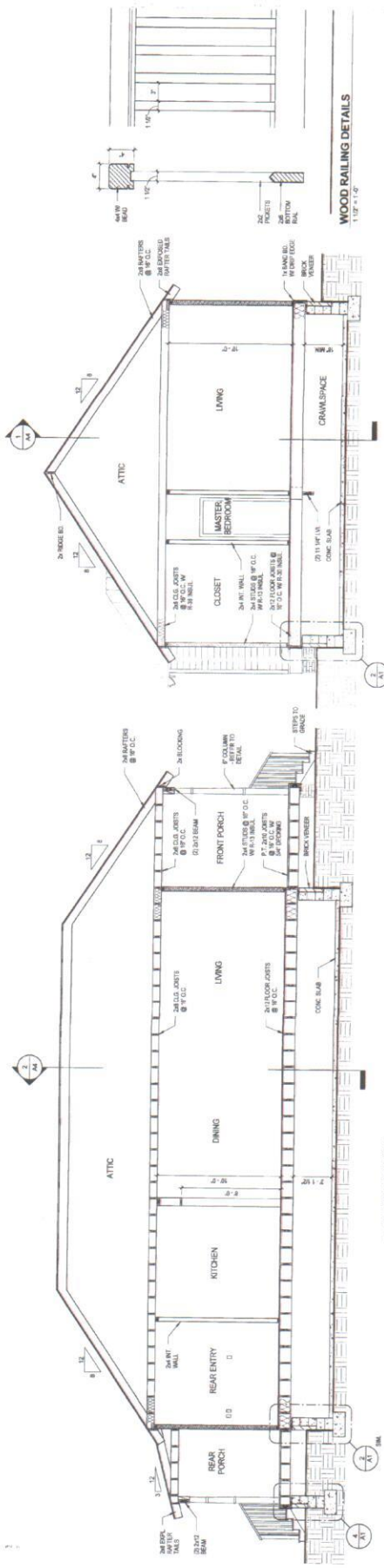
TR & A
 T. Roderberry & Associates, Inc.
 PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 100 • 121 SHELDON STREET • SOKOLOPOLY, FLORIDA 32158
 PHONE NUMBER 386-583-3131 FAX NUMBER 386-583-1101
 1217100

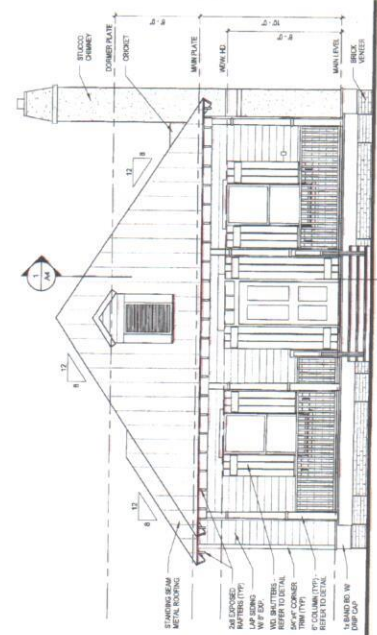
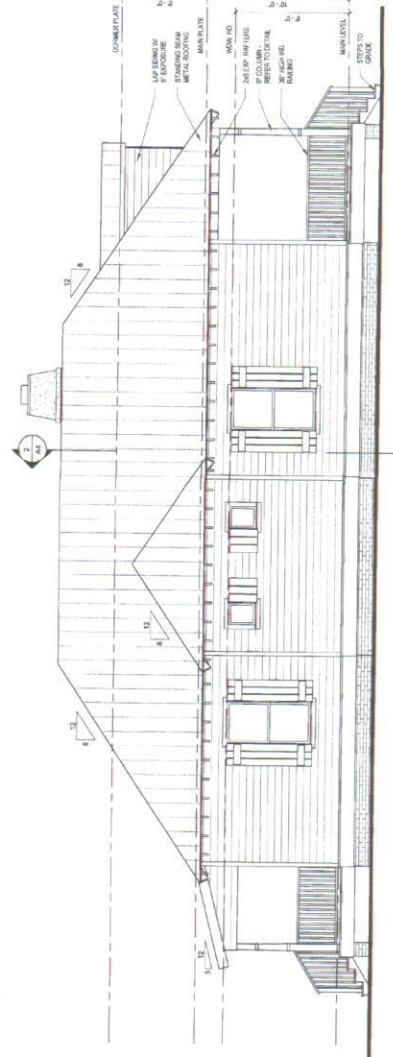
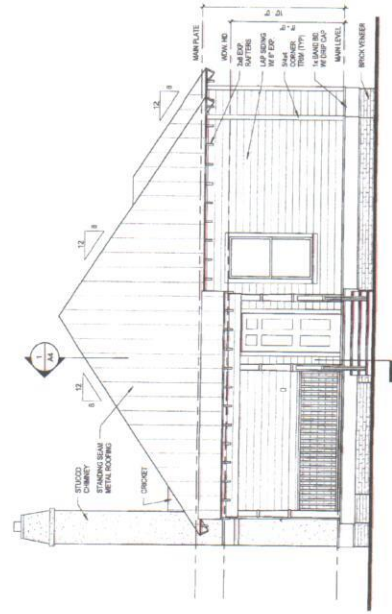
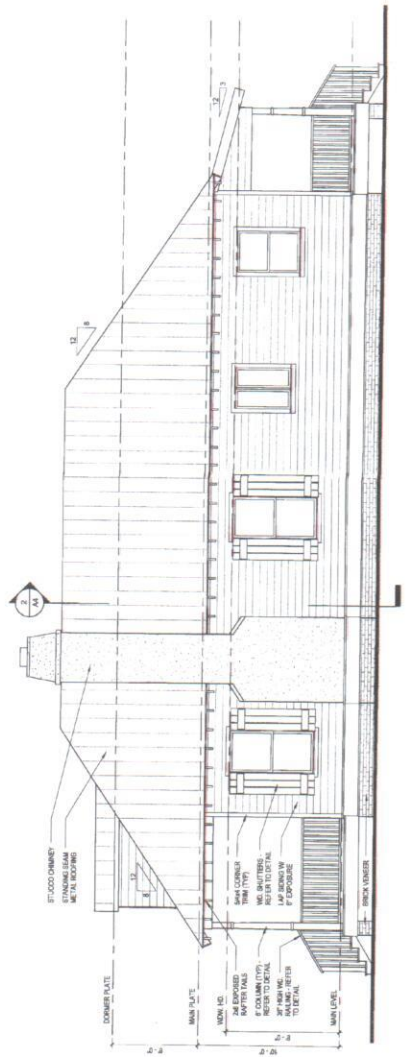
DATE: 02/05/18 DRAWN BY: BB DATE OF LAST FIELD WORK: N/A JOB NO: 02-457 COUNTY: Franklin

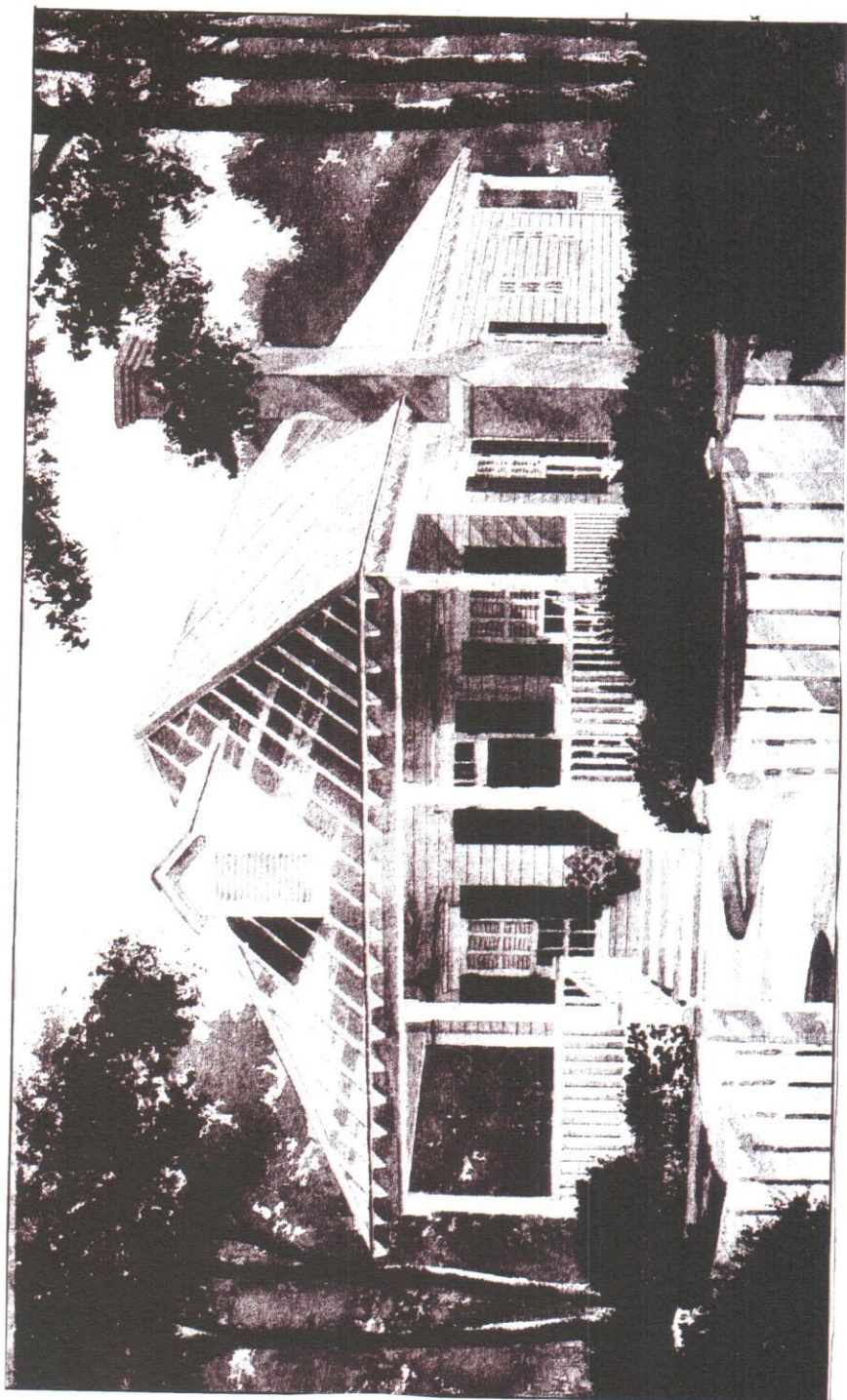


LEGEND

FCM	FOUND CONCRETE MONUMENT
RW	RIGHT-OF-WAY
M	MEASURED
—	NOT TO SCALE
△	POINT NOT SET OR FOUND
SIRC	SET (S&T) FROM ROD AND CAP #7160
FCM	FOUND (S&T) FROM ROD AND CAP
RP	RECORD PLAT
FOUND	FOUND
ROUND	ROUND
CM	CONCRETE MONUMENT
FW	FINE HYDRANT
WV	WATER VALVE
⊗	SANITARY SEWER MANHOLE
⊙	GROUND ELEVATION SHOT







City of Apalachicola Tree Removal Application

Name: MARK & AMY DOLAN
 Address: 711 N. MAINE STREET - WATERVALLEY, MS 38964
 Phone #: 662-801-9511
 Contractor: 157 CHOICE BLDG. INC. - BRYCE WARD
 Contractor's Phone #: 653-7777
 Number of Trees: ALL BRUSH
 Type of Trees: — Lot was cleared some time BACK

REQUESTED REASONS FOR REMOVAL; (MARK ONE OR MORE)

<input type="checkbox"/>	Trimming Limbs or Maintenance issues.
<input type="checkbox"/>	New Construction House or Building.
<input type="checkbox"/>	The tree has extensive decay throughout crown & main system.
<input type="checkbox"/>	Safety Issue, Leaning over house, In power lines, Foundation of house.
<input type="checkbox"/>	Insurance company will not cover unless tree is removed, Letter included.
<input type="checkbox"/>	Interfering with, Underground utilities, Sidewalks, Driveways, Etc.
<input type="checkbox"/>	Don't like tree or location on property, Will pay Mitigation of \$____.00

Applicant will provide all photos of trees and documentation that pertain to this application.

Applicant Signature: Bryce Ward Date: 3-5-18 Application Fee \$50.00

I understand a copy of the Ordinance is available on the City's website.

(www.cityofapalachicola.com)

And at City Hall's Office for review _____ initial.

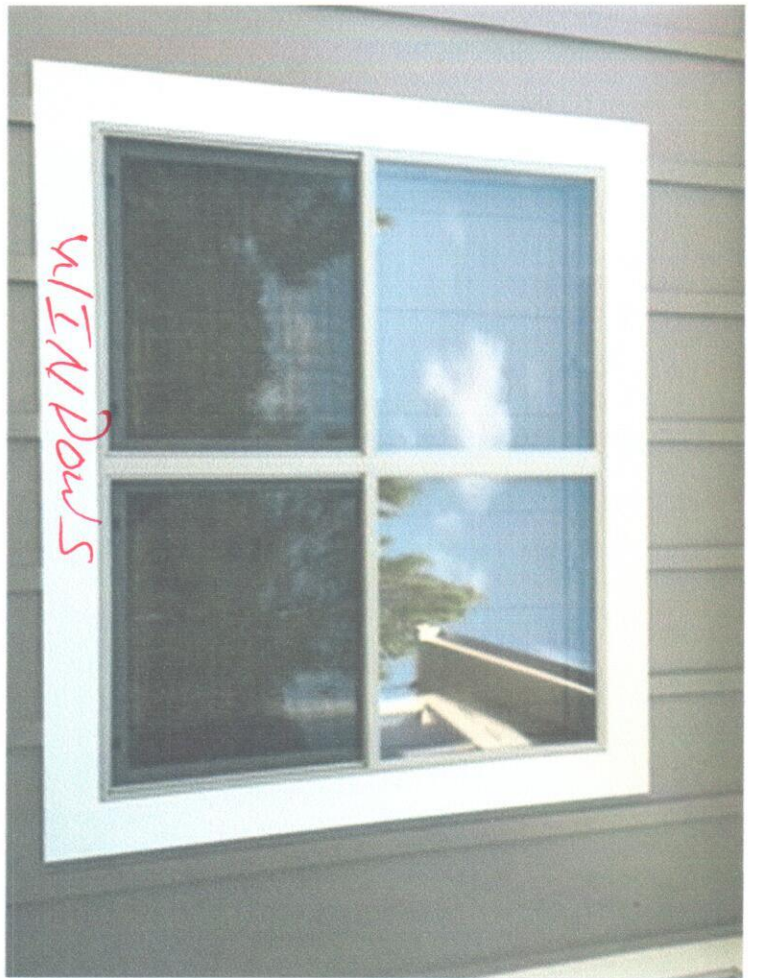
NOTE: IF YOU ARE ADDRESSING A PROTECTED TREE (LIVE OAK, RED OAK, WHITE OAK, MAGNOLIA, SABLE/CABBAGE PALM, AND SLASH PINE) AN APPLICATION PROCESS AND P & Z APPROVAL ARE REQUIRED. SITE PLAN MUST BE SUBMITTED TO SHOW THE FOLLOWING INFORMATION AT A SCALE SUFFICIENT TO ENABLE THE DETERMINATION OF MATTERS REQUIRED UNDER ORDINANCE:

- _____ 1.) The shape and dimensions of the lot or parcel, together with the existing and/or proposed locations of structures and improvements, if any.
- _____ 2.) Location and dimensions of all existing trees which are subject to the protected tree provisions. Trees proposed to remain, to be re-located, or to be removed shall be so identified.
- _____ 3.) A statement showing how trees not proposed for removal are to be protected during land clearing and construction; i.e. a statement as to proposed protective barriers.
- _____ 4.) A statement as to grade changes proposed for the lot or parcel and how such changes will affect the matters regulated by Ordinance.

Date: _____		Approved: Yes _____ or No _____	
Reason not approved: _____			
<p>Planning and Zoning's Recommendation is: Approved: _____ Denied: _____ Date: _____ Signature: _____</p>	<p style="text-align: center;">Approved By: City of Apalachicola</p> Code Enforcement Officer: _____ City Administrator: _____ Administrator's/Designee: _____ <hr/> City Commission; Approved: _____ or Denied: _____ Mayor, Van Johnson: _____ Date: _____		







FLOOD PLAIN MANAGEMENT
PERMIT APPLICATION REVIEW

DATE _____

PERMIT # _____

NAME MARK & Amy Ddan
MAILING ADDRESS 711 North Main Street CITY/STATE/ZIP Water Valley, MS 38964
PHONE 662-801-9511

STREET ADDRESS 135 BAY Colony Way
~~LEGAL DESCRIPTION~~ 12-095-08W-1000-0000-0200
PARCEL I.D.#: see survey

DESCRIBE DEVELOPMENT New single Family Residence

RESIDENTIAL COMMERCIAL _____ NEW STRUCTURE _____ SUBSTANTIAL IMPROVEMENT _____

FLOOD ZONE INFORMATION:

see survey - TOPO
PANEL NO.: _____ FIRM ZONE _____ BFE _____ GRADE ELEVATION: _____

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE
AND/OR TOP OF THE BOTTOM FLOOR _____ (PER PLANS)

SQUARE FEET OF ENCLOSURE BELOW BFE _____ (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, _____, have been made aware by the City of
Apalachicola Building Department that my/our property is currently located in a 100 year flood zone
based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed
changes to the FIRM Maps, which took effect in 2014, my/our property may be adversely affected by
these changes and could result in higher Base Flood Elevation Requirements and/or higher insurance
premiums.

STREET ADDRESS 135 Bay Colony Way PARCEL I.D.#: _____
EFFECTIVE FLOOD ZONE _____ PRELIMINARY FLOOD ZONE: _____

The attached information sheet on this parcel indicates both the effective and preliminary flood
zones for this parcel.

Bryce Ward
Signature of owner or developer

3-6-18
Date

Material used for enclosure below BFE: solid wall/breakaway wall NA, flow through vents NA (sq ft of vent opening), screen wire, lattice or louvers: _____

Type of foundation: concrete footer + piers
Pile support
Concrete block stem wall
Other _____

Application meets all requirements designated in the flood plain management ordinance: _____ Date.

Inspections:

Foundation meets the requirement for the flood zone designation: _____

Under construction elevation certificate has been submitted and meets elevations standards for flood zone: _____

Enclosures below the BFE are designed as required by the flood plain management ordinance: _____

Final elevation certificate has been submitted and all aspects of the structure meet designated flood zone requirements: _____

All mechanical and A/C equipment meet the required elevation for the designated BFE: _____

Final inspection on structure meets all requirements designated in the flood plain management ordinance: _____ Date.

Flood Plain Administrator

DATE

PAGE BREAK

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

Official Use Only

Application # _____
 City Representative (CB)
 Date Received 2/28/18

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Ella Speed
 Address 183 13th Street
 City Apalachicola State FL Zip 32320
 Phone (850) 653-8156

Americas Home Place
 State License # CR057203
 City License # 17-027 County License # _____
 Email Address sbretteloamericashomeplace.com
 Phone (850) 399-0800

Approval Type: [] Staff Approval Date: _____ [] Board Approval [] Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: _____

PROPERTY INFORMATION:

Street Address: TBD 13th Street City & State Apalachicola, FL Zip 32320
 [] Historic District [X] Non-Historic District Zoning District R2
 Parcel #: _____ Block(s) 147 Lot(s) 1/2 64 A117
 FEMA Flood Zone/Panel #: X
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:
 Front: 15'3" Rear: 25'3" Side: L side 5' R side 25' Lot Coverage: _____
 Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston
 Permitting and Development Coordinator
 (850) 653-1522 (ext 205) Phone
 (850)653-5023 Cell
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

New Construction of 59'6" x 160 Home, attached garage, covered front porch, 8 x 16 covered screened back porch

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		Brick and vinyl Wood Frame	
Doors			
Windows		Double Pane	
Roofing		Shingle	
Trim			
Foundation		concrete pad	
Shutters		pvc shutters	
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other		10/12 Roof pitch	

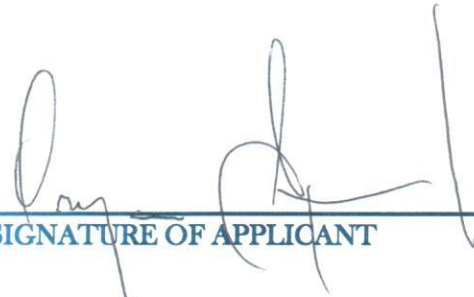
CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

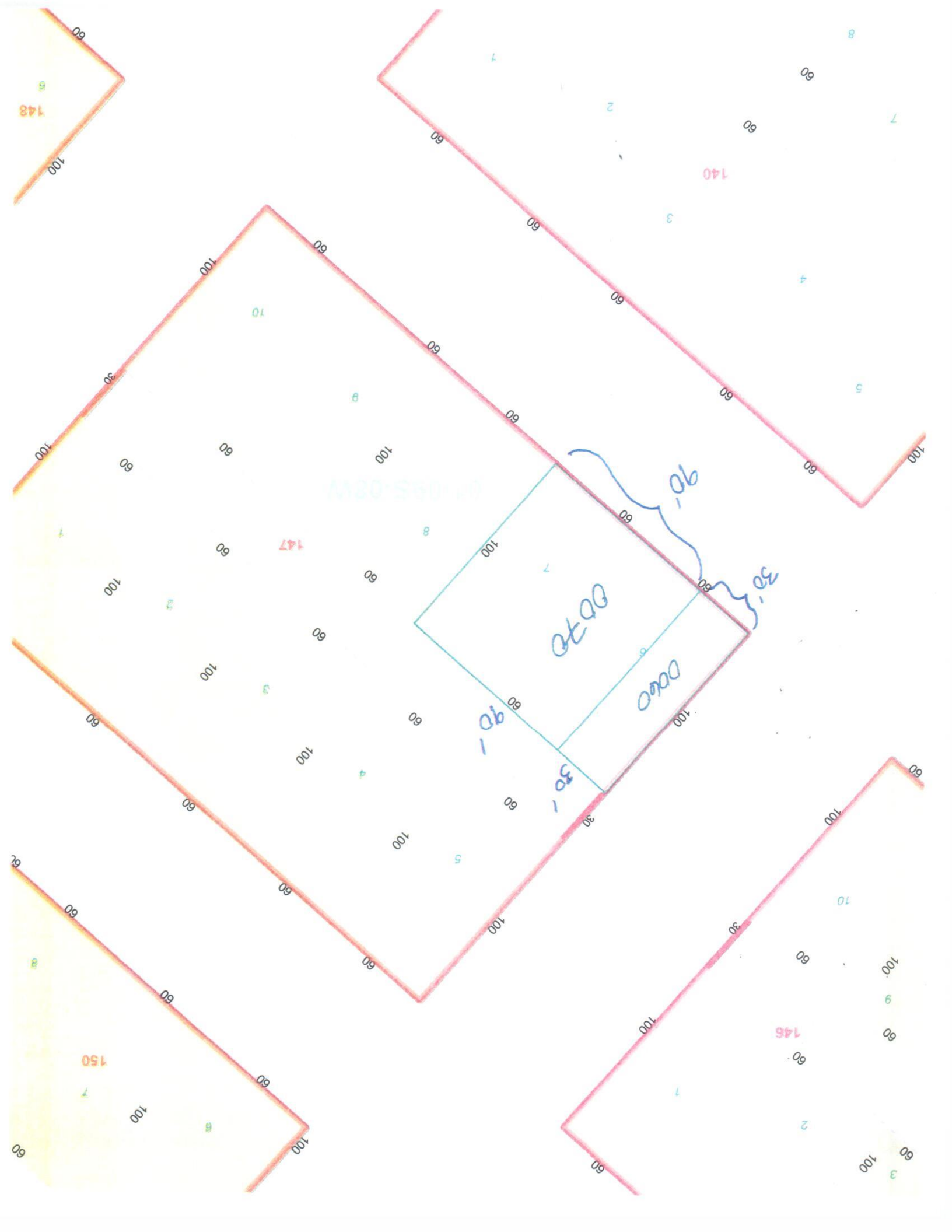
1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the schedule Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

2/28/18

DATE



SIGNATURE OF APPLICANT



148

140

147

149

150

146

0070

0060

90°

30°

90°

30°

ated in this survey other than those shown hereon.
 nents, utilities or foundations were located in this survey.
 hereon are Standard U.S. Survey Feet, and decimals thereof.
 rance Rate Map for Franklin County, Florida, Community-
 26 F; Date of Firm Index: February 5, 2014. This
 e "X".

limited to the specific transaction shown hereon.
 3, easements and restrictions of record.
 were not provided to this firm.

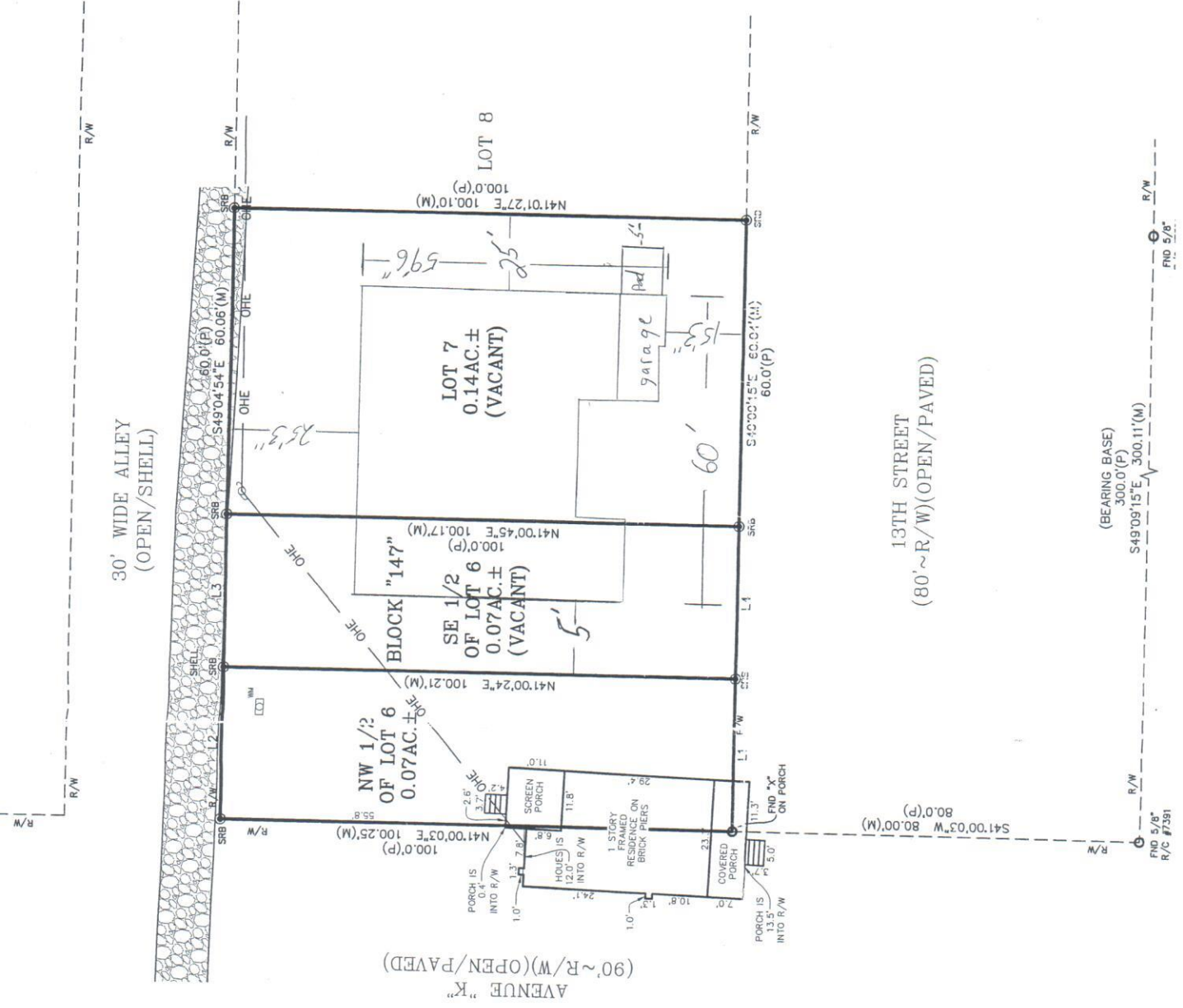
under the direction of the client. It is possible that
 could be subject to local zoning and/or subdivision
 Franklin County Planning & Zoning department before building
 or said parcels.

any responsibility for the divisions shown hereon pertaining to
 or platting requirement.

GRAPHIC SCALE



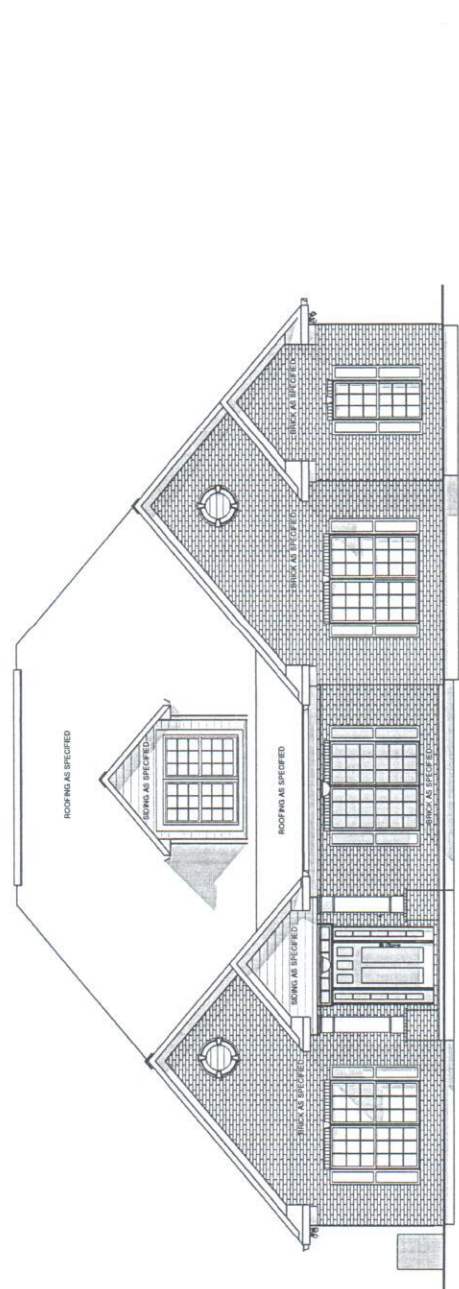
Line Table		
Line #	Bearing	Length
L1	S49°09'15"E	30.02'
L2	S43°04'54"E	30.03'
L3	S49°04'54"E	30.03'
L4	S49°09'15"E	30.02'



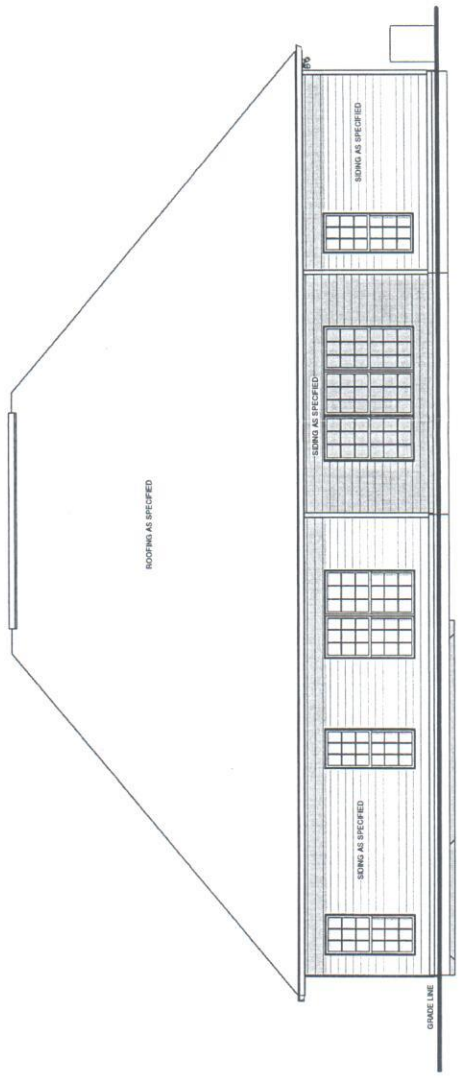
SHEET NUMBER: DP-1 PROPERTY OF: AMERICA'S HOME PLACE COPYRIGHT - 2017		PRINT DATE: 1/29/2018 9:31:31 AM G:\Current Work\43-Speed-Kingwood A Monslab
CHECKED BY: JMG DRAWN BY: JMG JOB#: 43-18-005	FOUNDATION TYPE: UNLESS OTHERWISE NOTED	OFFICE: TALLHASSEE, FL SOLD BY: WB
I.T.E.: KINGWOOD A F.O.B.: ELLA SPEED FRANKLIN, FL	TOTAL UNDER ROOF: 376 SF GARAGE: 323 SF REAR PORCH: 128 SF FRONT PORCH: 218 SF HEATED AREA: 2646 SF Areas:	
REVISIONS:	REVISION NUMBER: 1 REVISION DESCRIPTION: Prelim DATE: 1.29.18	

IN VIOLATION OF THE FEDERAL COPYRIGHT VIOLATION ACT, \$100 REWARD FOR RECOVERING AN ACTUAL COPYRIGHT INFRINGEMENT.
 TO REPORT COPYRIGHT VIOLATIONS CALL (703)532-1128 THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF AMERICA'S HOME PLACE, INC.,
 AREAS:

OPT. PAPER SIZE:
 For 1/4" = 1'-0" on 24"x36" PAPER SIZE
 ENLARGE PRINTS TO 200%
 PRELIMINARY DESIGN DRAWING
 © COPYRIGHT ALL RIGHTS RESERVED. NOTE: VIOLATORS OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLACE AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION.
 PAPER SIZE: 11" x 17" SCALE: 1/8" = 1'-0"

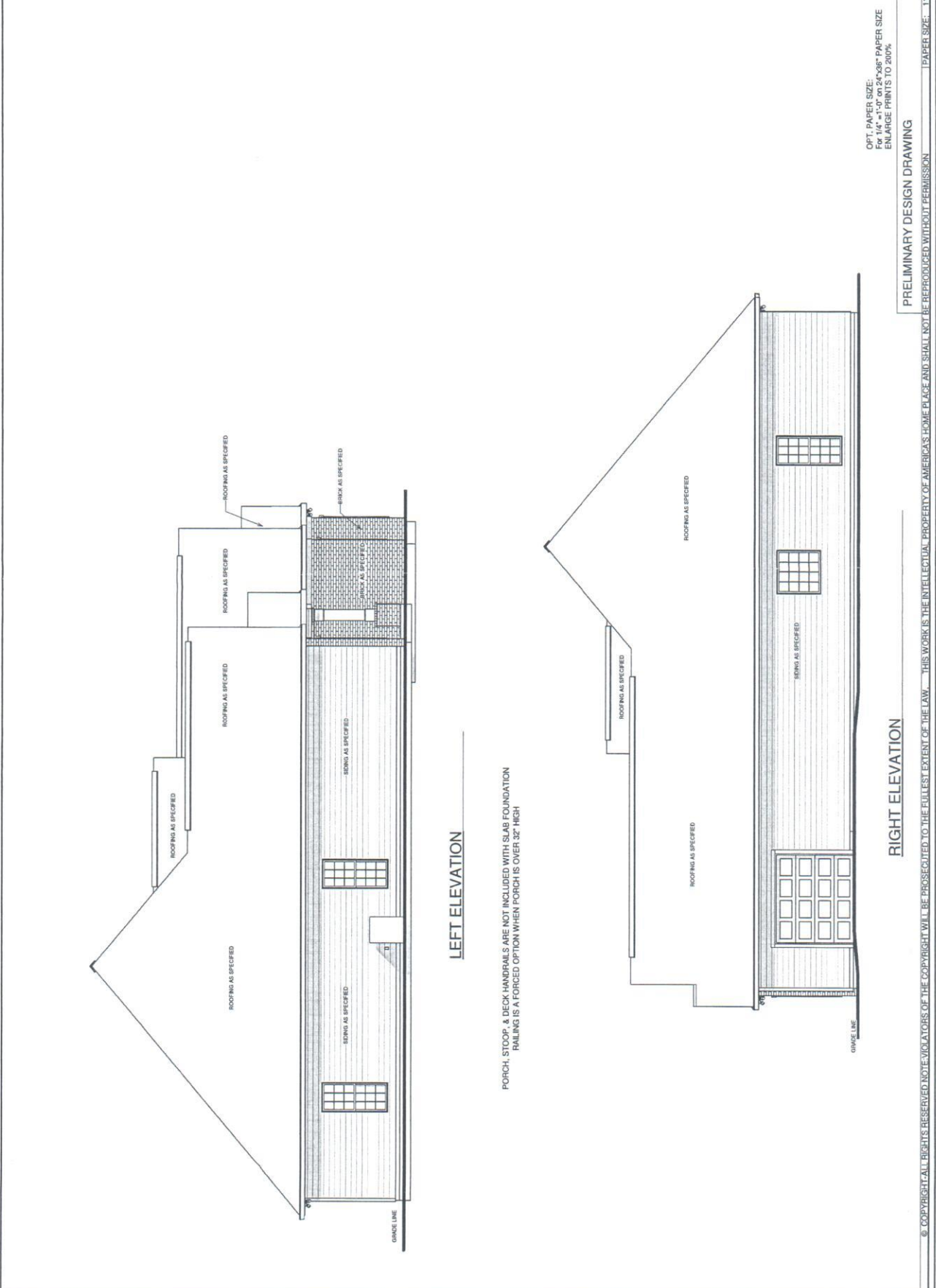


FRONT ELEVATION



REAR ELEVATION

LEFT & RIGHT ELEVATIONS  DP-2 SHEET NUMBER: _____ PROPERTY OF: _____		PRINT DATE: 1/29/2018 9:31:34 AM G:\Current Work\43 Speed Kingwood A Monroslab A Monroslab Rds Speed Kingwood A Monroslab						
FOUNDATION TYPE: UNLESS OTHERWISE NOTED	CHECKED BY: BT FOUNDATION TYPE:	OFFICE: TALLAHASSEE, FL SOLD BY: WB						
FOR: ELLA SPEED FRANKLIN, FL	THE: KINGWOOD A FRANKLIN, FL	AREA: 2645 SF HEATED AREA: 218 SF FRONT PORCH: 128 SF REAR PORCH: 128 SF GARAGE: 328 SF TOTAL UNDER ROOF: 3466 SF						
REVISION SCHEDULE <table border="1"> <thead> <tr> <th>Revision Number</th> <th>Revision Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>Prelim</td> <td>1/29/18</td> </tr> </tbody> </table>			Revision Number	Revision Description	Date	1	Prelim	1/29/18
Revision Number	Revision Description	Date						
1	Prelim	1/29/18						

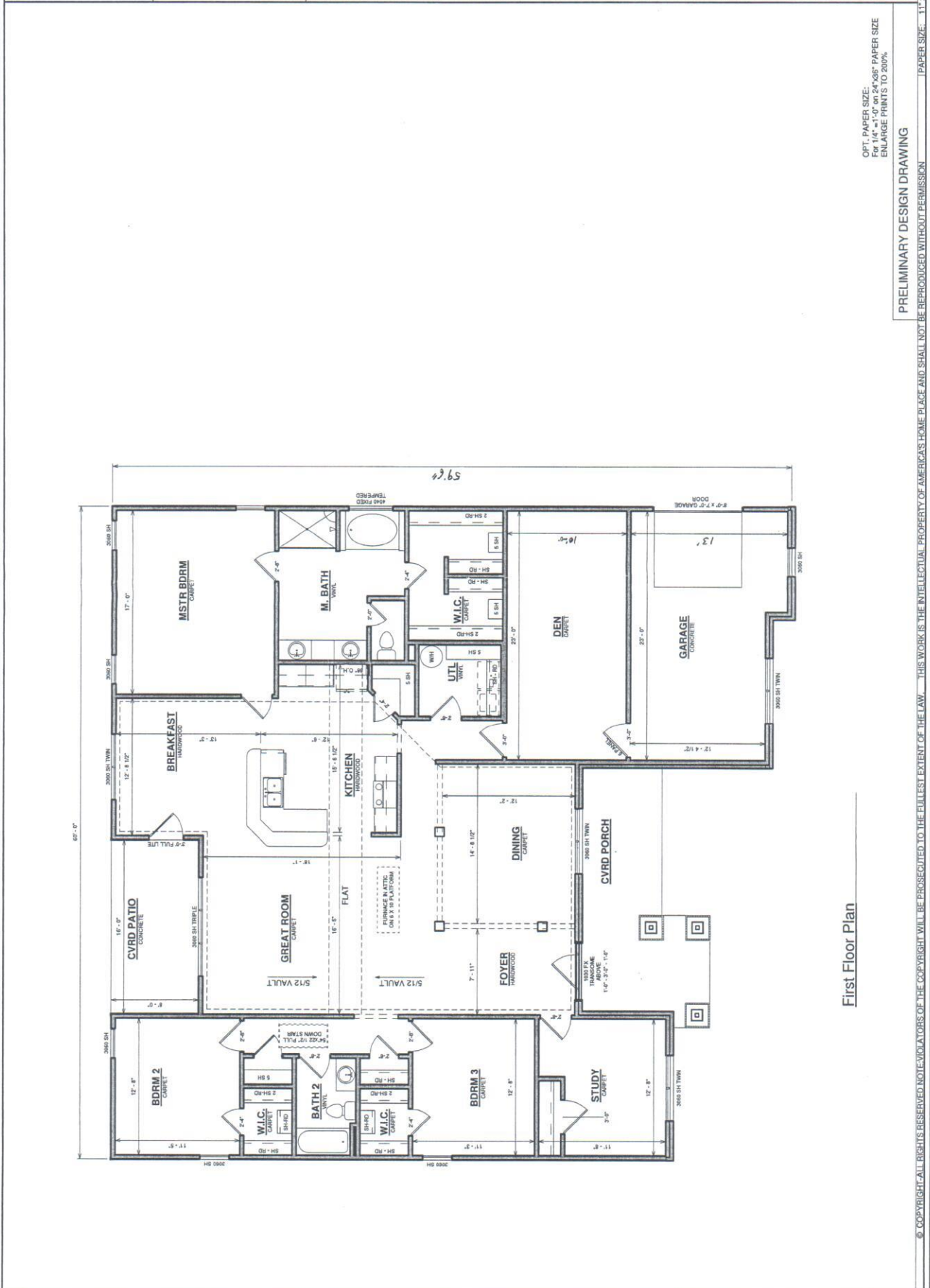


LEFT ELEVATION

PORCH, STOOP, & DECK HANDRAILS ARE NOT INCLUDED WITH SLAB FOUNDATION
 RAILING IS A FORCED OPTION WHEN PORCH IS OVER 32" HIGH

RIGHT ELEVATION

PROPERTY OF: 		SHEET NUMBER: DP-3		SCALE: 1/8" = 1'-0"	
PRINT DATE: 1/29/2018 9:31:34 AM		CHECKED BY: BT		FOUNDATION TYPE: UNLESS OTHERWISE NOTED	
OFFICE: TALLAHASSEE, FL		FOR: ELLA SPEED		THE: KINGWOOD A	
SOLD BY: WB		FRONT PORCH: 216 SF		HEATED AREA: 216 SF	
AREA: 3166 SF		REAR PORCH: 126 SF		REVISION SCHEDULE:	
TOTAL UNDER ROOF: 3166 SF		GARAGE: 312 SF		REVISION NUMBER: 1	
FRONT PORCH: 216 SF		REAR PORCH: 126 SF		REVISION DESCRIPTION: Prelim	
DATE: 1/29/18		DATE: 1/29/18		DATE: 1/29/18	



First Floor Plan

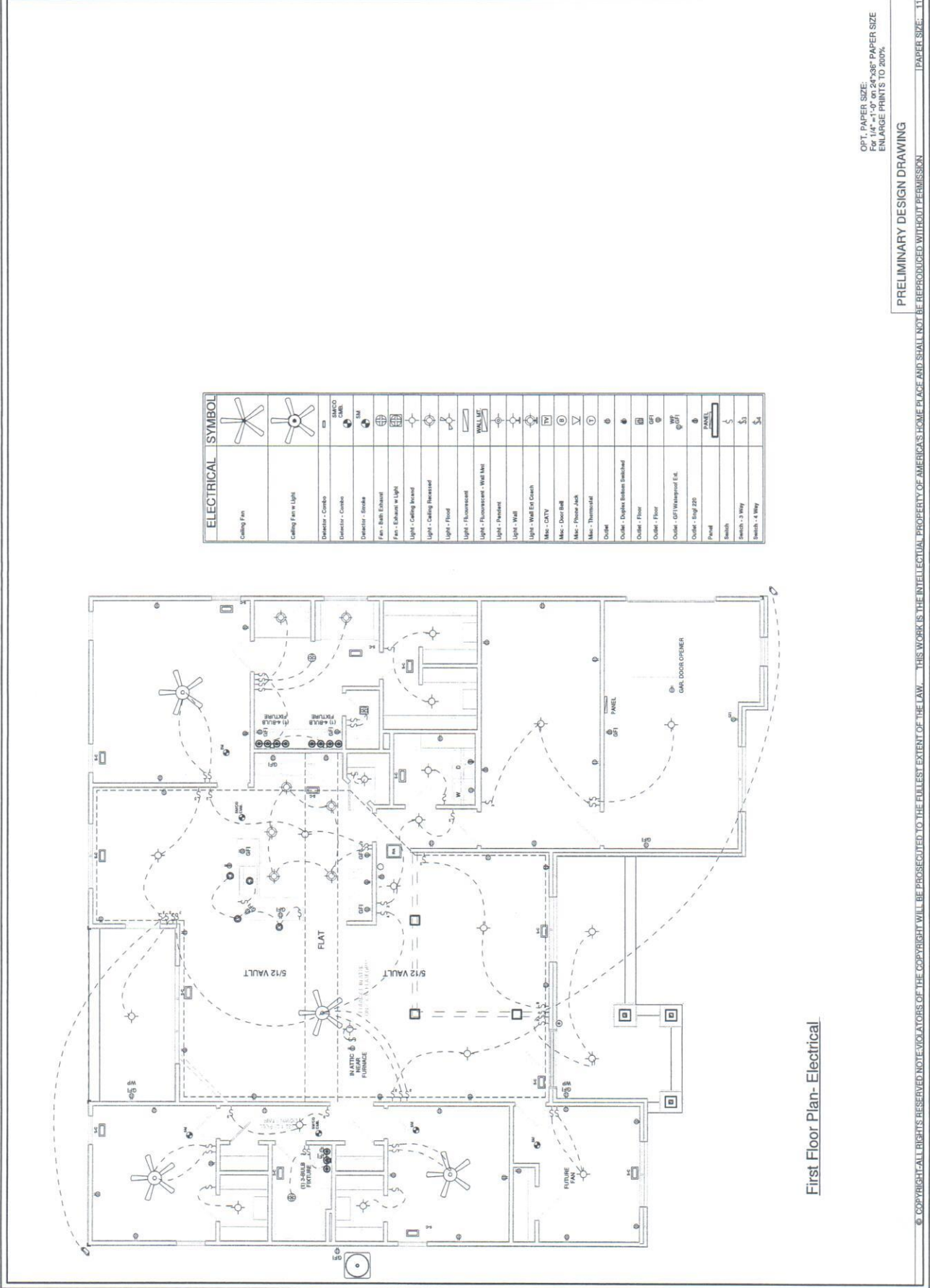
OPT. PAPER SIZE:
 For 14" x 11" on 24" x 36" PAPER SIZE
 ENLARGE PRINTS TO 200%

PRELIMINARY DESIGN DRAWING

TO REPORT COPYRIGHT VIOLATIONS CALL (770) 932-1128 THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF "AMERICA'S HOME PLACE, INC." IS IN VIOLATION OF THE FEDERAL COPYRIGHT VIOLATION ACT. \$100 REWARD FOR RECOVERING AN ACTUAL COPYRIGHT INFRINGEMENT.

© COPYRIGHT ALL RIGHTS RESERVED. VIOLATORS OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLACE AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION.

F.F. ELECTRICAL DESIGN © COPYRIGHT - 2017 		DP-4 SHEET NUMBER:	11" x 17" SCALE: 1/8" = 1'-0"
PRINT DATE: 1/29/2018 9:31:35 AM G-Current Work: 43-Speed Kingwood a Monoslab A-Monoslab Rfd: 43-Speed Kingwood a Monoslab	FOUNDATION TYPE: UNLESS OTHERWISE NOTED	CHECKED BY: BT DRAWN BY: JMG	PROPERTY OF: JOEA 43-18-005
OFFICE: TALLAHASSEE, FL SOLD BY: WB	FRANKLIN, FL	THE: KINGWOOD A ELLA SPEED	AREAS:
HEATED AREA: 2645 SF REAR PORCH: 216 SF FRONT PORCH: 128 SF GARAGE: 329 SF TOTAL UNDER ROOF: 3766 SF		Name: _____ Area: _____ Revision Number: _____ Revision Description: _____ Revision Date: _____	Revision Schedule: _____ Revision Description: _____ Revision Date: _____




First Floor Plan - Electrical

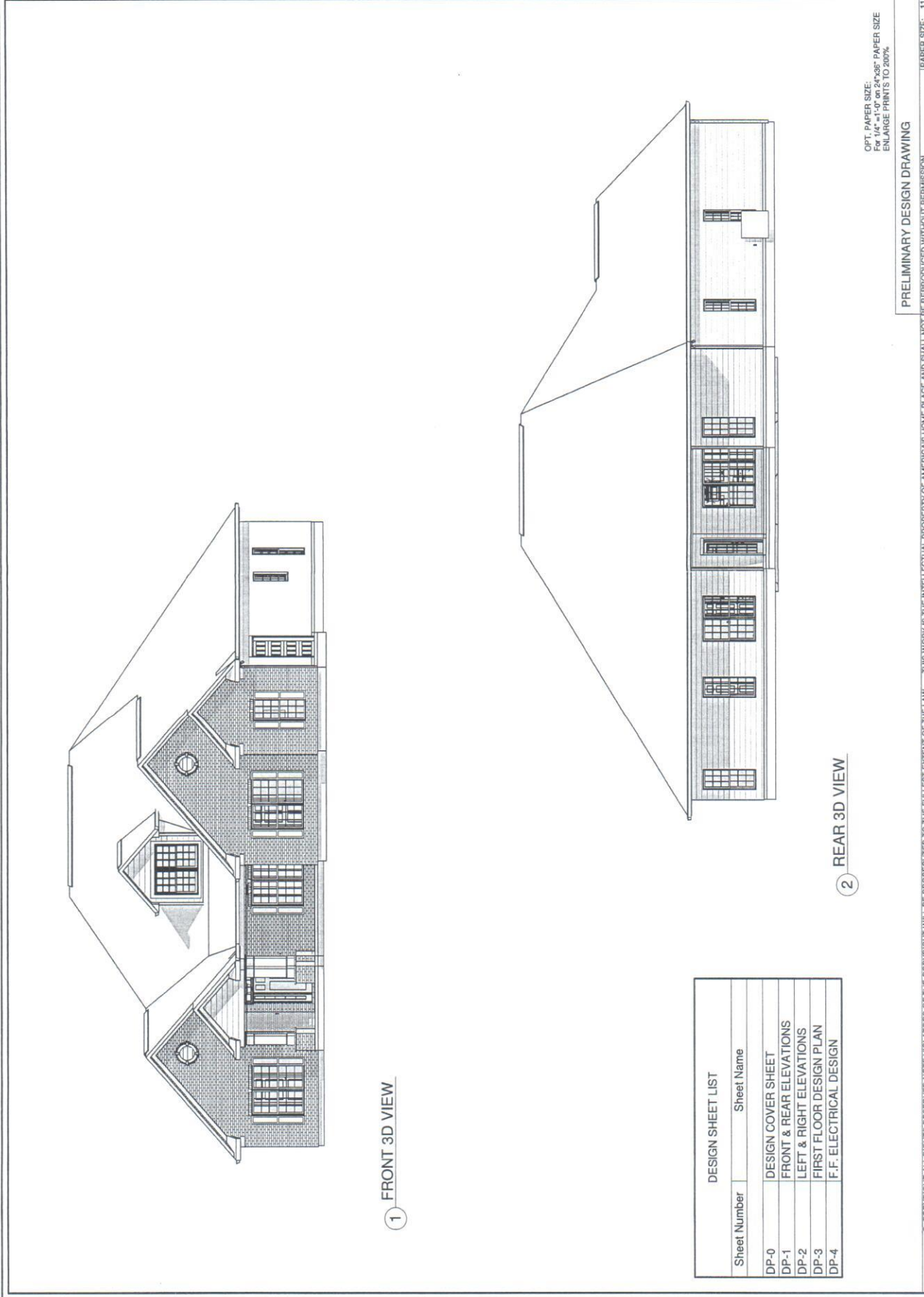
ELECTRICAL	SYMBOL
Ceiling Fan	
Ceiling Fan w Light	
Detector - Combo	
Detector - Smoke	
Detector - Smoke	
Fan - Bath Exhaust	
Fan - Exhaust w Light	
Light - Ceiling Recessed	
Light - Ceiling Recessed	
Light - Floor	
Light - Fluorescent	
Light - Fluorescent - Wet Mat	
Light - Pendant	
Light - Wall	
Light - Wall Eye Couch	
Mic - CATV	
Mic - Door Bell	
Mic - Phone Jack	
Mic - Thermostat	
Outlet	
Outlet - Duplex Blank Switcher	
Outlet - Floor	
Outlet - Floor	
Outlet - GFI Waterproof Ext.	
Outlet - Single 220	
Panel	
Switch - 3 Way	
Switch - 4 Way	

OPT. PAPER SIZE
 11" x 17" PAPER SIZE
 ENLARGE PRINTS TO 200%

PRELIMINARY DESIGN DRAWING

© COPYRIGHT ALL RIGHTS RESERVED. NOTE: VIOLATORS OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLANS AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION.

DESIGN COVER SHEET		PROPERTY OF: 	
SHEET NUMBER: DP-0		COPYRIGHT - 2017	
PRINT DATE: 1/29/2018 9:31:28 AM	G:\Current Work\43-Speed-Kingwood A-Monolab	OFFICE: TALLAHASSEE, FL	
FOUNDATION TYPE:	UNLESS OTHERWISE NOTED	SOLD BY: WB	
CHECKED BY: BT	FRANKLIN, FL	THE: KINGWOOD A	
JMG	FRONT PORCH	AREA: HEATED AREA	
DRAWN BY: JMG	REAR PORCH	Name: _____	
JOB# 43-18-005	FRONT PORCH	216 SF	
TOTAL UNDER ROOF		376 SF	
GARAGE		328 SF	
REAR PORCH		128 SF	
FRONT PORCH		216 SF	
HEATED AREA		2645 SF	
Revision Schedule		Revision Number	
Revision Description		Revision Date	
Revision		Date	



1 FRONT 3D VIEW

2 REAR 3D VIEW

Sheet Number	Sheet Name
DP-0	DESIGN COVER SHEET
DP-1	FRONT & REAR ELEVATIONS
DP-2	LEFT & RIGHT ELEVATIONS
DP-3	FIRST FLOOR DESIGN PLAN
DP-4	F.F. ELECTRICAL DESIGN

OPT. PAPER SIZE:
For 14" x 11" on 24" x 36" PAPER SIZE
ENLARGE PRINTS TO 200%

PRELIMINARY DESIGN DRAWING

© COPYRIGHT ALL RIGHTS RESERVED. NOTE: VIOLATORS OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLACE AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION. PAPER SIZE: 11" x 17"

IN VIOLATION OF THE FEDERAL COPYRIGHT ACT, \$100 REWARD FOR RECOVERING AN ACTUAL COPYRIGHT INFRINGEMENT.

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

Official Use Only

Application # _____
 City Representative CB
 Date Received 3/9/18

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner BILL & CINDY CARRINGTON
 Address 849 LOOKING GRASS LANE
 City MARIETTA State GA Zip 30064
 Phone (770) 316-0710

State License # _____
 City License # _____ County License # _____
 Email Address GRATE@VURICHCC.COM
 Phone (850) 566-2078

Approval Type: [] Staff Approval Date: _____ [] Board Approval [] Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: _____

PROPERTY INFORMATION:

Street Address: 131 BAY AVENUE City & State APALACHICOLA FL Zip 32320

Historic District [] Non-Historic District Zoning District R-1

Parcel #: 01-095-08W-8330-0045-0100 Block(s) 45 Lot(s) 10

FEMA Flood Zone/Panel #: 0.2 PCT N/A
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: _____ Side: 5 Lot Coverage: 39.61%

Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCL.

Cornie Bankston
 Permitting and Development Coordinator
 (850) 653-1522 (ext 205) Phone
 (850)653-5023 Cell
corniebankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

NEW RESIDENTIAL HOME

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	JAMES HARDI		
Doors	THERMA-TRU		
Windows	JELD		
Roofing	STANDING SEAM METAL		
Trim			
Foundation	C.M.U.		
Shutters	N/A		
Porch/Deck	WOOD FRAME & DECKING		
Fencing			
Driveways/Sidewalks	CRUSHED LIME ROCK		
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

2-28-18
DATE


SIGNATURE OF APPLICANT
agent for owner

NWFWMD Flood Information Report, Effective FIRM Issue Date:2/5/2014[Close this report window to get back to the information portal]

Effective Flood Map, Has been effective since 2/5/2014



Geographical Information

Latitude/Longitude: 29.720003 / -84.986211 Print this report
 Address: BAY AVE APALACHICOLA FL 32320 [APPROXIMATE]
 Parcel ID: **01-09S-08W-8330-0045-0100**
 Firm Panel: **12037C0526F** (Effective)

Flood information

Flood Zone Information

Geographic Entity
 Location of Interest
 Parcel

Effective Flood Zone

0.2PCT
0.2 PCT ANNUAL CHANCE:100%

Base Flood Elevation*

N/A

*The computed elevation to which floodwater is anticipated to rise during the base flood (100 Year Flood). Base Flood Elevations (BFEs) are shown on Flood Insurance Rate Maps (FIRMs) and on the flood profiles. The BFE is the regulatory requirement for the elevation or floodproofing of structures. The relationship between the BFE and a structure's elevation determines the flood insurance premium. Datum of measurement is **NAVD1988**.

Legend

- Location of Interest
- Parcel Outline

GLOSSARY OPEN WATER
 VE

Disclaimer

Although derived directly from a variety of sources, including the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Maps (FIRMs), the District's digital elevation model, the counties' digital parcel maps and data from other governmental sources, the data provided through this portal is for informational purposes only. The user is advised to be aware that for flood insurance or regulatory determinations, or for supporting an application for a Letter of Map Change (LOMC), only the official and latest FEMA FIRM and Flood Insurance Study (FIS) report should be consulted. Also, all elevation data submitted in support of a LOMC application must be certified by a licensed land surveyor, engineer, or architect. The NWFWMD, FEMA, its agents, and partners shall not be held responsible for the misuse or misinterpretation of the information presented in this portal.

Flood Information Reports' Viewing History [Click on record to regenerate the report.]

Latitude	Longitude	Parcel ID	Firm Panel(Effective)	Firm Panel(Preliminary)	Building Address	Point Flood Zone
29.720003	-84.986211	01-09S-08W-8330-0045-0100	12037C0526F	N/A (Preliminary)	N/A	0.2PCT

Reset History

City of Apalachicola Tree Removal Application

Name: GARY URICH
 Address: P.O. Box 536 APALACHICOLA FL 32329
 Phone #: 850-566-2078
 Contractor: GARY URICH
 Contractor's Phone #: _____
 Number of Trees: 2 - PALM TREES
 Type of Trees: PALMS

REQUESTED REASONS FOR REMOVAL; (MARK ONE OR MORE)

<input type="checkbox"/>	Trimming Limbs or Maintenance issues.
<input checked="" type="checkbox"/>	New Construction House or Building.
<input type="checkbox"/>	The tree has extensive decay throughout crown & main system.
<input type="checkbox"/>	Safety Issue, Leaning over house, In power lines, Foundation of house.
<input type="checkbox"/>	Insurance company will not cover unless tree is removed, Letter included.
<input type="checkbox"/>	Interfering with, Underground utilities, Sidewalks, Driveways, Etc.
<input type="checkbox"/>	Don't like tree or location on property, Will pay Mitigation of \$____.00

Applicant will provide all photos of trees and documentation that pertain to this application.

Applicant Signature: [Signature] Date: 2-28-18 Application Fee \$50.00

I understand a copy of the Ordinance is available on the City's website.

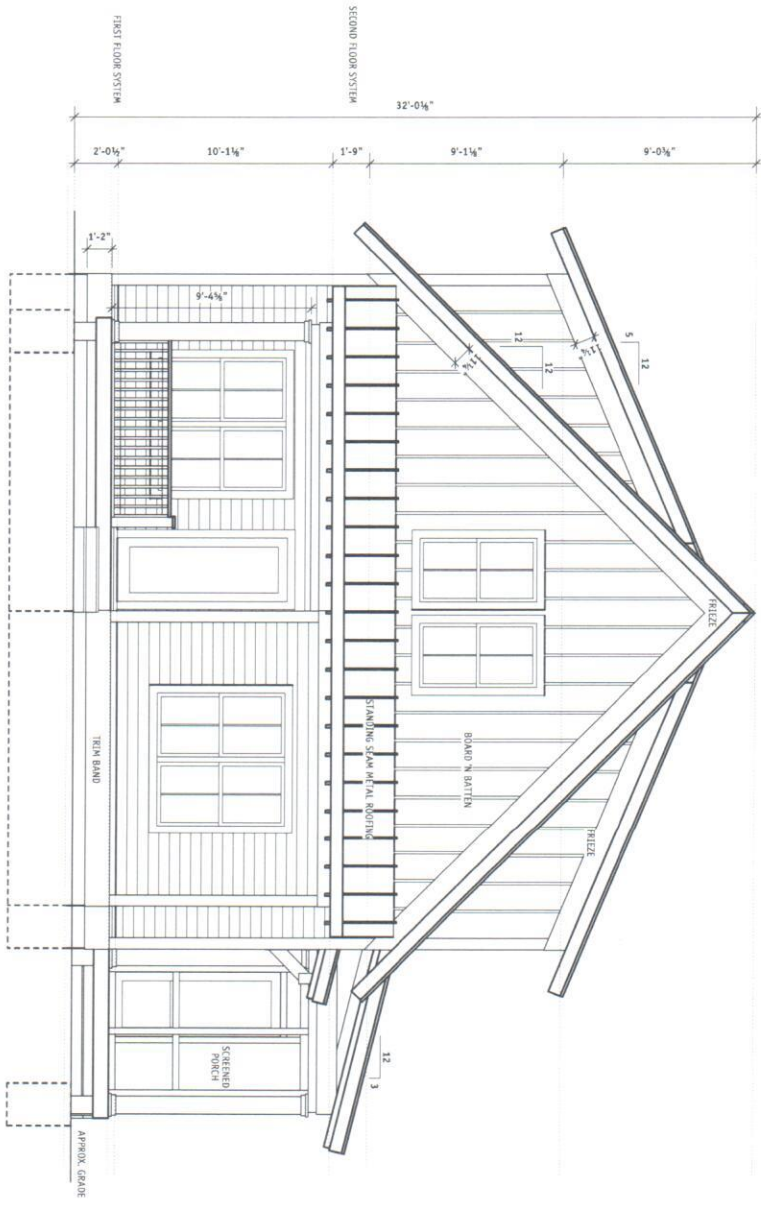
(www.cityofapalachicola.com)

And at City Hall's Office for review _____ initial.

NOTE: IF YOU ARE ADDRESSING A PROTECTED TREE (LIVE OAK, RED OAK, WHITE OAK, MAGNOLIA, SABLE/CABBAGE PALM, AND SLASH PINE) AN APPLICATION PROCESS AND P & Z APPROVAL ARE REQUIRED. SITE PLAN MUST BE SUBMITTED TO SHOW THE FOLLOWING INFORMATION AT A SCALE SUFFICIENT TO ENABLE THE DETERMINATION OF MATTERS REQUIRED UNDER ORDINANCE:

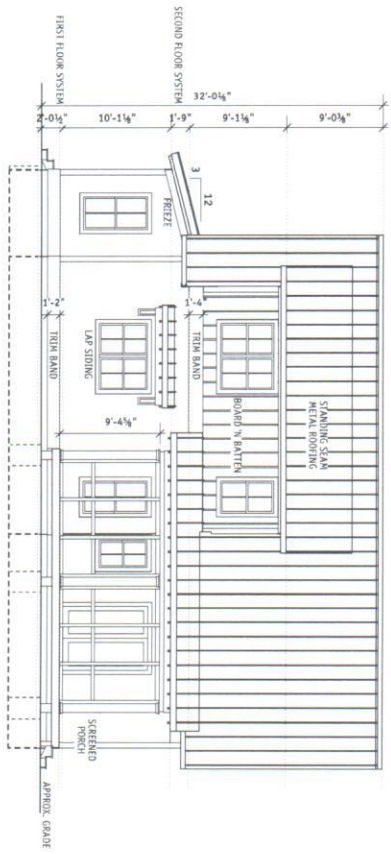
- _____ 1.) The shape and dimensions of the lot or parcel, together with the existing and/or proposed locations of structures and improvements, if any.
- _____ 2.) Location and dimensions of all existing trees which are subject to the protected tree provisions. Trees proposed to remain, to be re-located, or to be removed shall be so identified.
- _____ 3.) A statement showing how trees not proposed for removal are to be protected during land clearing and construction; i.e. a statement as to proposed protective barriers.
- _____ 4.) A statement as to grade changes proposed for the lot or parcel and how such changes will affect the matters regulated by Ordinance.

Date: _____		Approved: Yes _____ or No _____	
Reason not approved: _____			
<p>Planning and Zoning's Recommendation is: Approved: _____ Denied: _____ Date: _____ Signature: _____</p>	<p style="text-align: center;">Approved By: City of Apalachicola</p> Code Enforcement Officer: _____ City Administrator: _____ Administrator's/Designee: _____ <hr/> City Commission; Approved: _____ or Denied: _____ Mayor, Van Johnson: _____ Date: _____		

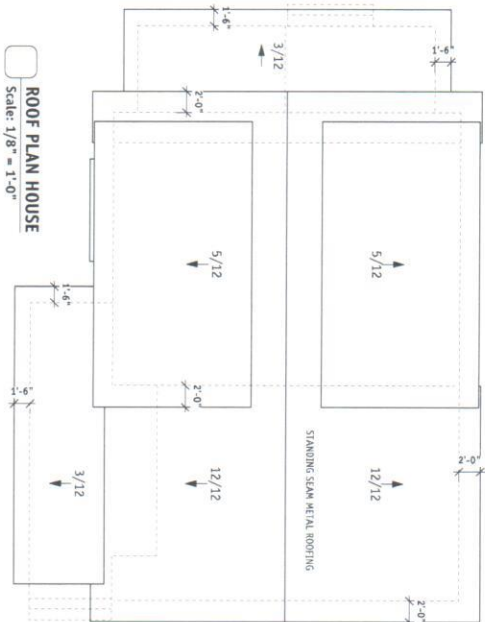


FRONT ELEVATION - 11th STREET
 Scale: 1/4" = 1'-0"

A1	DATE: 2-6-18	BUILDER: GARY ULRICH CONSTRUCTION, INC. 58 AVENUE E, APALACHICOLA, FL 32320 GARY ULRICH, PRESIDENT GARY@ULRICHCF.COM (904) 653 2000
	PROJECT INFO: Bill and Cindy CARRINGTON RESIDENCE 11th Street @ Bay Avenue, Apalachicola, FL	DESIGNER: Mark Green Home Design 121 E. LEASURE AVE., NEW CASTLE, PA 16105 mkgreenhomedesign.com mgreen.design@comcast.net 724-714-1237
SCALE: 1/4" = 1'-0"	REVISION DATE: 2-22-18	



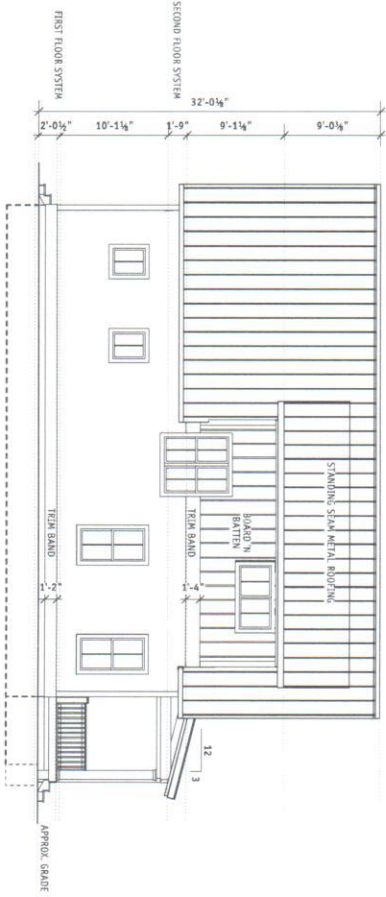
RIGHT ELEVATION / BAY AVE.
Scale: 1/8" = 1'-0"



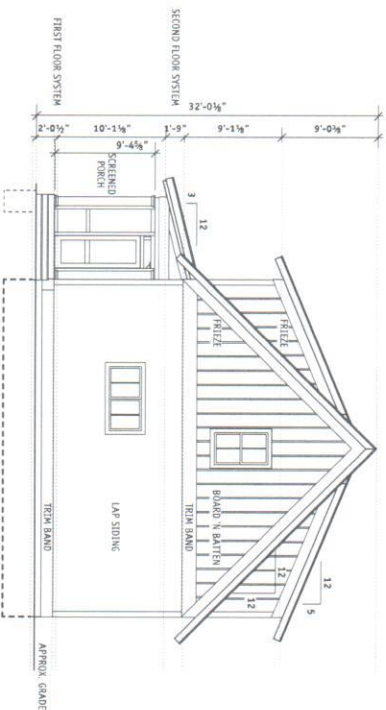
ROOF PLAN HOUSE
Scale: 1/8" = 1'-0"

Roof Materials Take-off
METAL SQ.FT.
3156

* DOESN'T ACCOUNT FOR WASTE



LEFT ELEVATION
Scale: 1/8" = 1'-0"



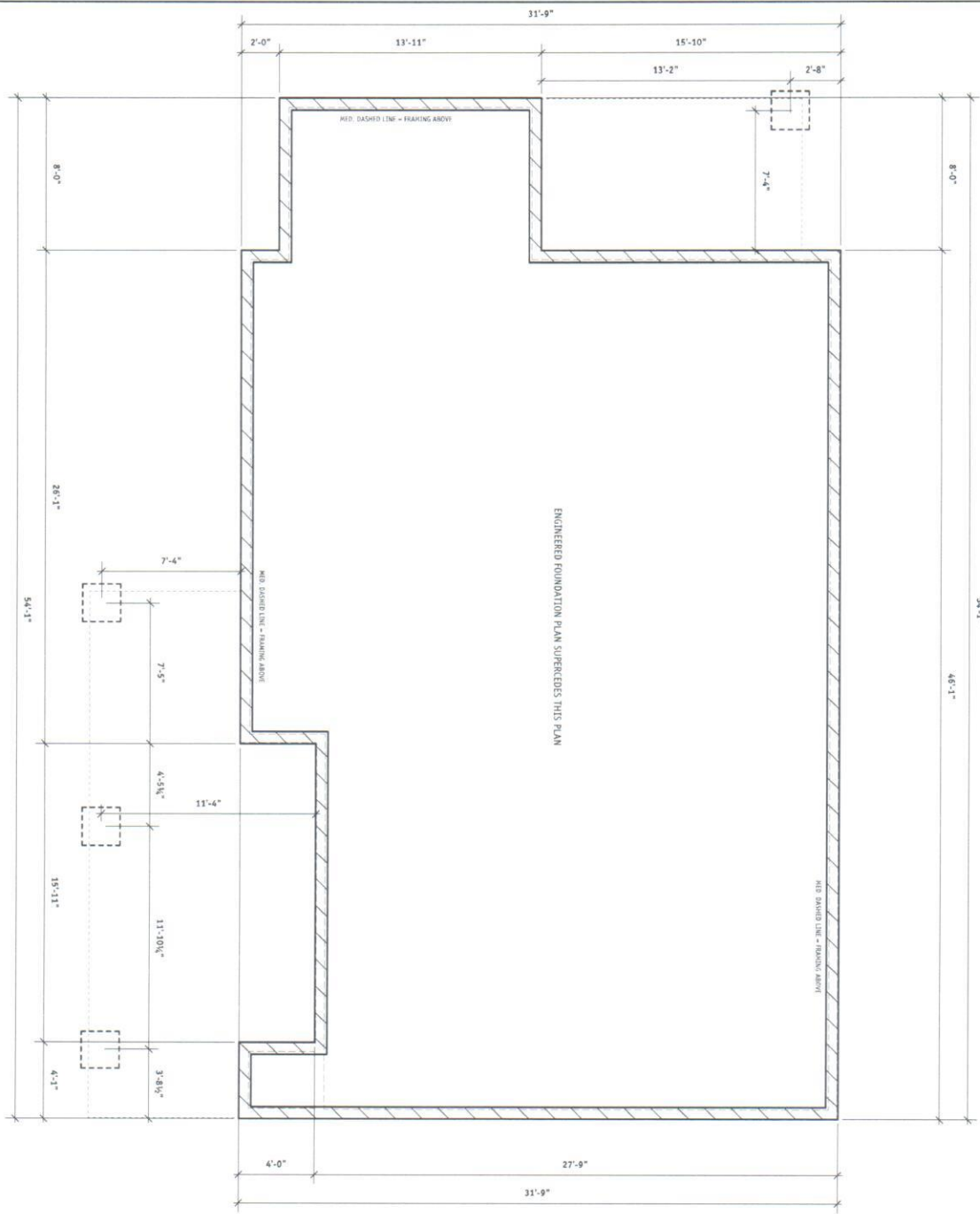
REAR ELEVATION (HOUSE)
Scale: 1/8" = 1'-0"

NUMBER:	GARY ULRICH CONSTRUCTION, INC. 58 AVENUE E, APALACHICOLA, FL 32320 GARY ULRICH, PRESIDENT GARY@GULRICH.COM (904) 453-2900
DESIGNER:	Mark Green Home Design 121 E. LEASURE AVE., NEW CASTLE, PA 16101 markgreenhomedesign.com mgreen.design@csincast.net 724-714-1237

SHEET TITLE:	Elevations, Roof Plan - House
PROJECT INFO:	Bill and Cindy CARRINGTON RESIDENCE 11th Street @ Bay Avenue, Apalachicola, FL
DATE:	2-6-18
SCALE:	1/8" = 1'-0"
SHEET NO.:	2-22-18

A2

7 DIM. SHEETS



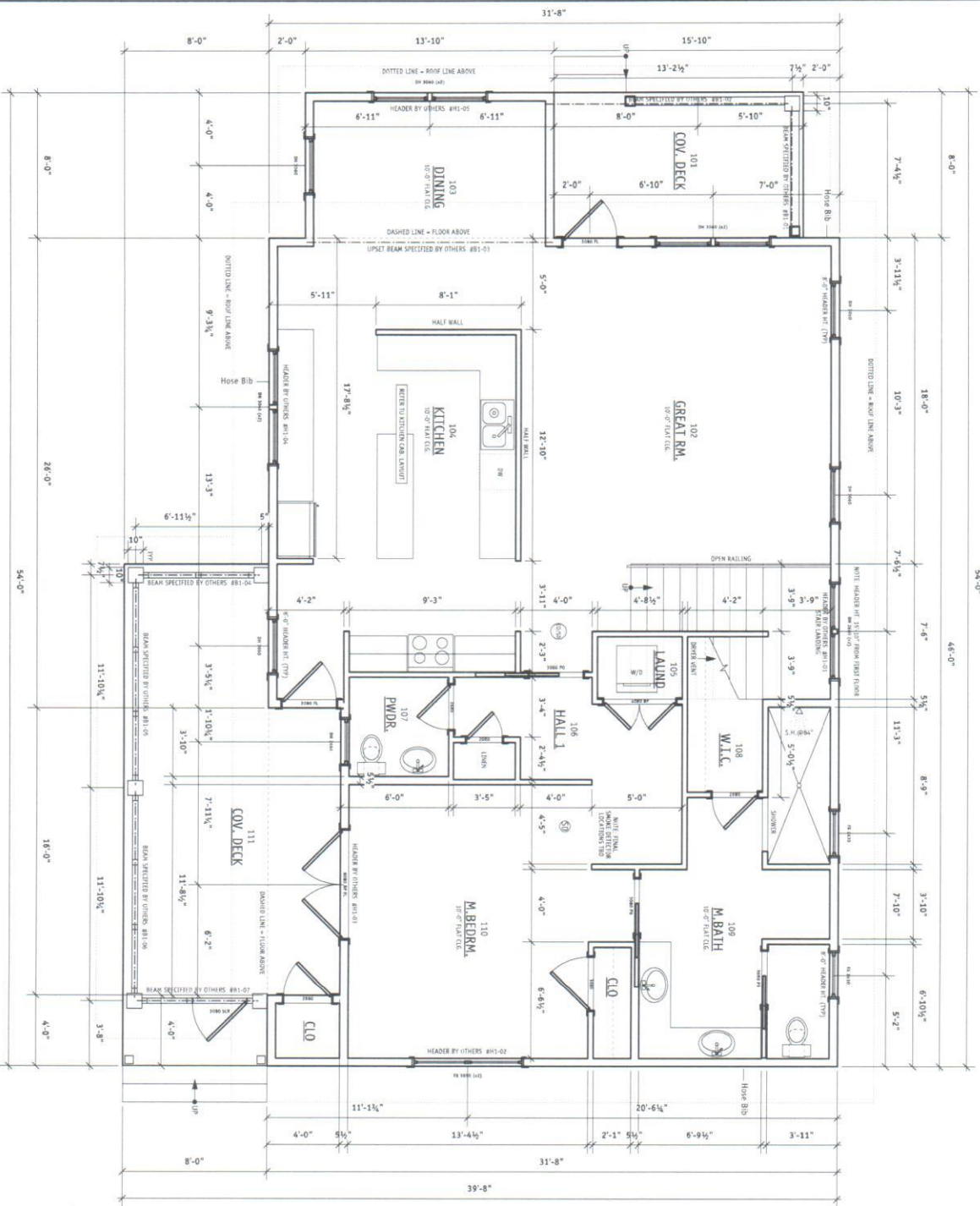
ENGINEERED FOUNDATION PLAN SUPERCEDES THIS PLAN

Concrete Schedule	
	YARDS
Concrete Wall*	18.56
Garage Floor	18.56
TOTALS YARDS:	18.56

* NOTE: *FOUNDATION WALL CALC DOES NOT ACCOUNT FOR REDUCTION IN WALL THICKNESS DUE TO BRICK LENC

<h1 style="margin: 0;">A3</h1> <p style="font-size: 8px; margin: 0;">3 DIMENSIONAL SHEETS</p>	SHEET NO: 1/4"=1'-0" SCALE: 2-22-18 REVISION DATE: 2-5-18 DATE: 2-5-18	SHEET TITLE: Foundation Plan - House PROJECT INFO: Bill and Cindy CARRINGTON RESIDENCE 11th Street @ Bay Avenue, Apalachicola, FL	NUMBER: GARY ULRICH CONSTRUCTION, INC. 58 AVENUE E, APALACHICOLA, FL 32320 GARY ULRICH, PRESIDENT GARY@ULRICH.COM (904) 653-2900 DESIGNER: Mark Green Home Design 123 E. LEASURE AVE., NEW CASTLE, PA 16093 markgreenhomedesign.com mgreen.design@csconcast.net 724-714-1237
---	---	---	---

NOTE: ROOF RISE FIRST ON RISE FROM FINISHED FLOOR TO FINISHED CEILING. DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE.



Window Schedule - 1st Floor

ID	ROOM	TOP SHAPE	JAMB DEPTH
DH 3060	great rm.	Square	5 1/2"
DH 3060 (2)	great rm.	Square	5 1/2"
DH 3060 (2)	great rm.	Square	5 1/2"
DH 3060	Kitchen	Square	5 1/2"
DH 3060 (2)	Kitchen	Square	5 1/2"
DH 3060 (2)	Kitchen	Square	5 1/2"
DH 3060 (2)	Kitchen	Square	5 1/2"
DH 3060 (2)	great rm.	Square	5 1/2"
DH 3060 (2)	great rm.	Square	5 1/2"
PX 2530	m bath / wc	Square	5 1/2"
PX 2530	m bath / shower	Square	5 1/2"
DH 2660 (2)	stairs	Square	5 1/2"

Door Schedule - 1st Floor

ID	ROOM	TOP SHAPE	JAMB DEPTH
2800	COV. DECK / CLO	Square	5 1/2"
3060 FL	COV. DECK / KITCHEN	Square	5 1/2"
3060 PD	hall 1 / linen	Square	3 1/2"
2080	hall 1 / linen	Square	3 1/2"
3060 FL	Kitchen / deck	Square	5 1/2"
4060 PD	bedrm	Square	3 1/2"
4060 PD	bedrm	Square	3 1/2"
3060 PD	bath / command	Square	3 1/2"
2860	m bath / w.c.	Square	3 1/2"
3060 PD	m bath / w.c.	Square	3 1/2"
6090 9P FL	m bedrm / deck	Square	5 1/2"
2800	bedrm	Square	5 1/2"

Spaces Schedule - FIRST FLOOR

SPACE #	SPACE NAME	AREA
101	COV. DECK	110.667 sq ft
102	GREAT RM.	343.483 sq ft
103	DINING	173.956 sq ft
104	KITCHEN	265.201 sq ft
105	LAUND	18.75 sq ft
106	HALL 1	70.5 sq ft
107	P.W.D.R.	35.007 sq ft
108	W.C.	39.939 sq ft
109	M.BATH	132.359 sq ft
110	M.BEDRM.	266.935 sq ft
111	COV. DECK	304.162 sq ft
111	STAIRS	86.358 sq ft

Wall Materials Takeoff / surface area

WALL STYLE	AREA (GROSS)	AREA (NET)*
FOUNDATION	1,079.34	1,079.34
LAP SIDING	3,139.37	2,559.06
INTERIOR	2,703.12	2,148.03

* GROSS WALL AREA - OPENINGS = NET

NOTE: FOR EXTERIOR WALLS, ALL TOTALS SHOWN CAN BE USED FOR BOTH THE EXT. FRAMING AND THE EXT. WALL MATERIAL ITSELF (SUCH AS BRICK, SHAKES, SIDING)

UNDER ROOF:

Second Floor Finished HVAC *	939
First Floor Finished HVAC *	1467
TOTAL SQ.FT. UNDER ROOF:	2426

ROOF MATERIALS TAKE-OFF:

MEETAL TOTAL:	3156
ROOF SQ.FT. TOTAL:	2223
COMBINED TOTAL FINISHED HVAC:	2426

	Client: Bill and Cindy CARRINGTON RESIDENCE 11th Street @ Bay Avenue, Apalachicola, FL
	Architect: Mark Green Home Design 121 E. LEASURE AVE., NEW CASTLE, PA 16051 markgreenghomedesign.com mgreen.design@comcast.net 724-714-1237

Project Info: First Floor Plan - House

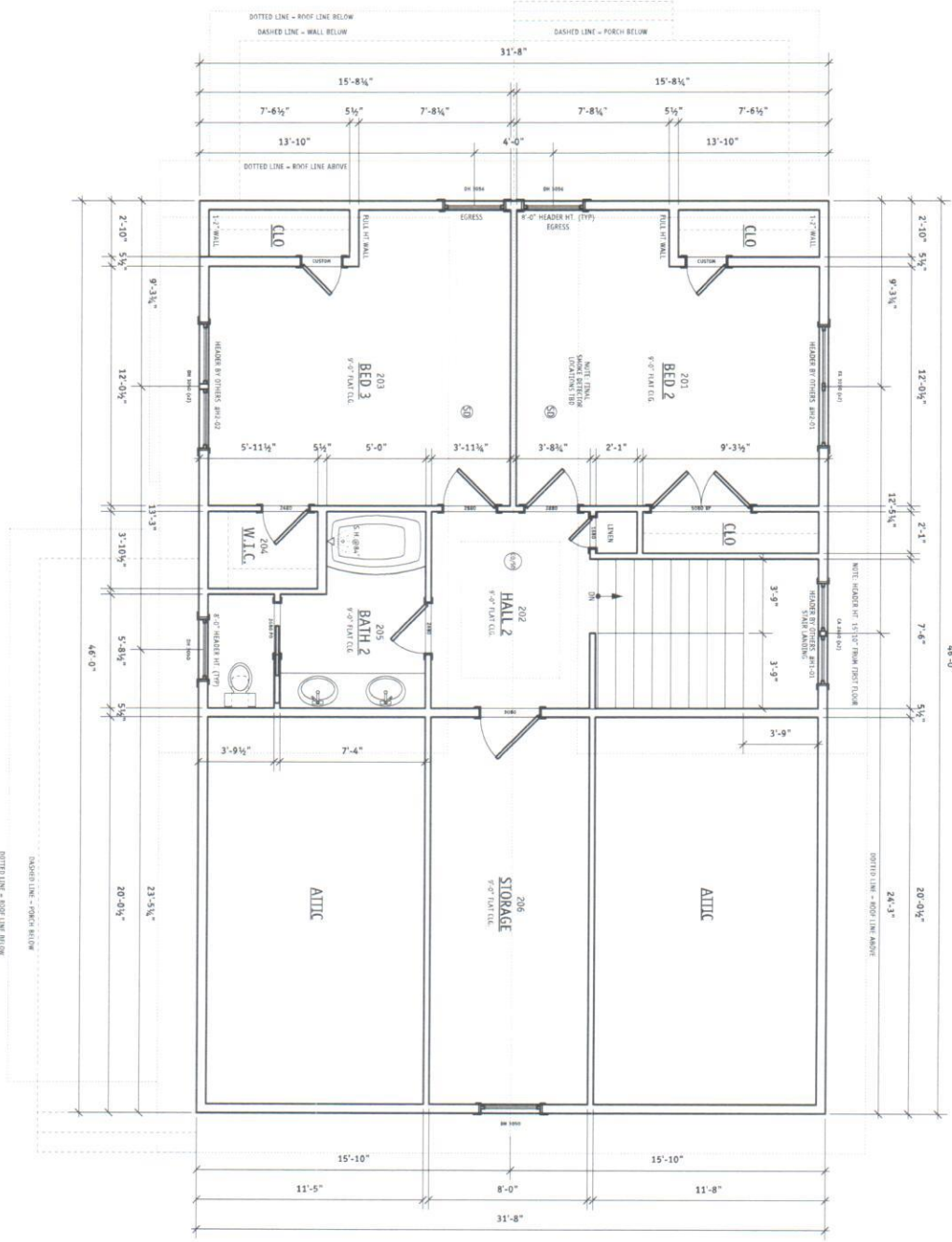
Scale: 1/4" = 1'-0"

Sheet No.: 2-22-18

Date: 2-6-18

Revision: 2-22-18

* WALL SHOWS CENTER LINE UNLESS NOTED OTHERWISE
 * DIMENSIONS TO CENTER LINE UNLESS NOTED OTHERWISE
 * DIMENSIONS TO FACE UNLESS NOTED OTHERWISE
 * DIMENSIONS TO FINISH UNLESS NOTED OTHERWISE



ID	ROOM	TOP SHARE	JAMB DEPTH
DH 3050	storage	Square	5 1/2"
DH 3051	Bed 2	Square	5 1/2"
DH 3052	Bed 3	Square	5 1/2"
DH 3053	Bed 2	Square	5 1/2"
DH 3054	Bed 3	Square	5 1/2"
DH 3055 (C2)	Bed 2	Square	5 1/2"
FX 3030 (X2)	Bed 2	Square	5 1/2"

ID	ROOM	TOP SHARE	JAMB DEPTH
2880	Bed 2	Square	3 1/2"
2881	Bed 3	Square	3 1/2"
5060 BP	Bed 2 / Clo	Square	3 1/2"
5060 CP	Bed 3 / Clo	Square	3 1/2"
2880	Bed 2	Square	3 1/2"
2880	Bed 3	Square	3 1/2"
CUSTOM	Bed 3 / Clo	Square	3 1/2"
1680	Bed 2 / Clo	Square	3 1/2"
1680	Bed 3 / Clo	Square	3 1/2"
3080	storage	Square	5 1/2"

SPACE #	SPACE NAME	AREA
6	6	6
201	BED 2	262.057 sq ft
202	HALL 2	90.63 sq ft
203	BED 3	235.778 sq ft
204	W.I.C.	24.834 sq ft
205	BATH 2	75.639 sq ft
206	STORAGE	166.18 sq ft

* AS MEASURED FROM CENTER OF WALL

50. FT.	UNDER ROOF:
	Second Floor Finished HVAC *
	First Floor Finished HVAC *
	TOTAL SQ.FT. UNDER ROOF:
	2426
	ROOF MATERIALS TAKE-OFF:
	METAL TOTAL:
	3156
	ROOF SQ. FT. TOTAL:
	2223
	COMBINED TOTAL FINISHED HVAC:
	2426

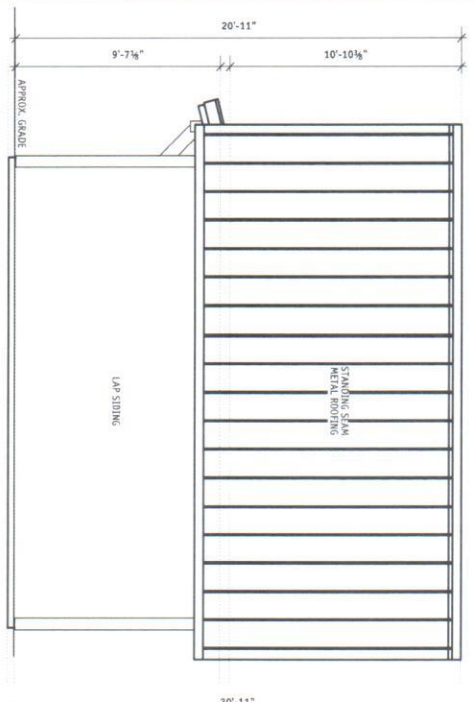
BUILDER: GARY ULRICH CONSTRUCTION, INC.
 58 AVENUE E, APALACHICOLA, FL 32302
 GARY ULRICH, PRESIDENT | GARY@GARYULRICH.COM | (904) 653-2600

DESIGNER: Mark Green Home Design
 121 E. LEASURY AVE., NEW CASTLE, PA 16101
 markgreenthomedesign.com | mgreen-design@comcast.net | 724-714-1337

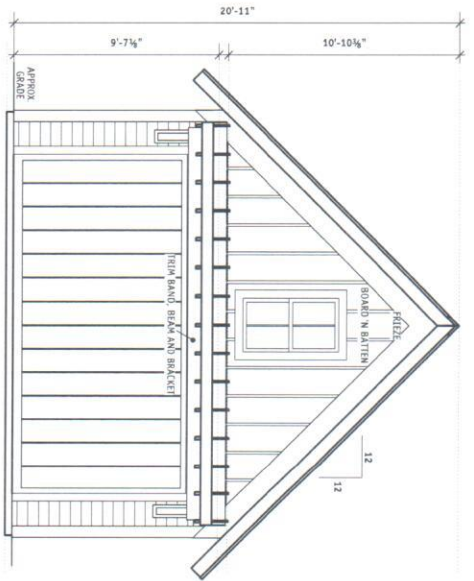
PROJECT INFO:
Second Floor Plan - House
 Bill and Cindy CARRINGTON RESIDENCE
 11th Street @ Bay Avenue, Apalachicola, FL

DATE: 2-6-18
PROJECT NO.: 2-22-18
SCALE: 1/4"=1'-0"

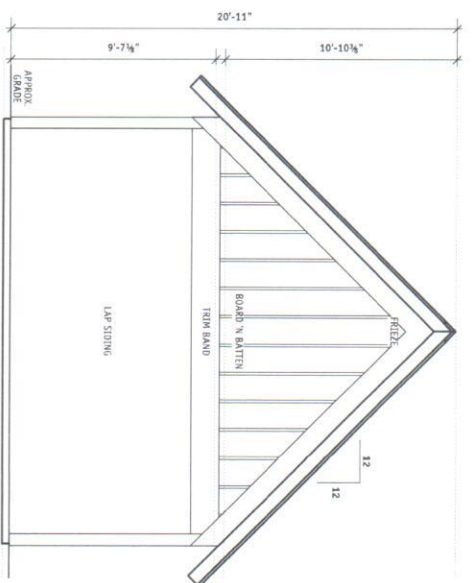
AS5
 7 1/2" x 11" SHEETS



RIGHT ELEVATION
Scale: 1/4" = 1'-0"



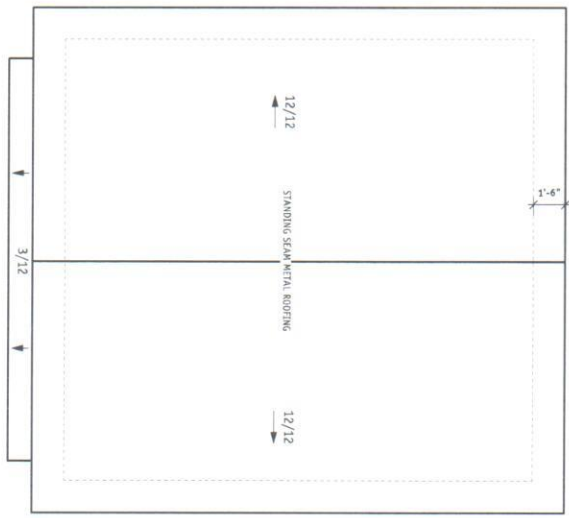
FRONT ELEVATION
Scale: 1/4" = 1'-0"



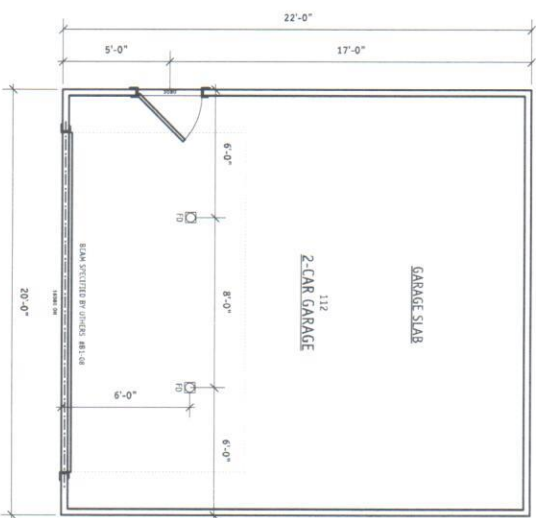
REAR ELEVATION
Scale: 1/4" = 1'-0"



LEFT ELEVATION
Scale: 1/4" = 1'-0"



ROOF PLAN - GARAGE
Scale: 1/4" = 1'-0"

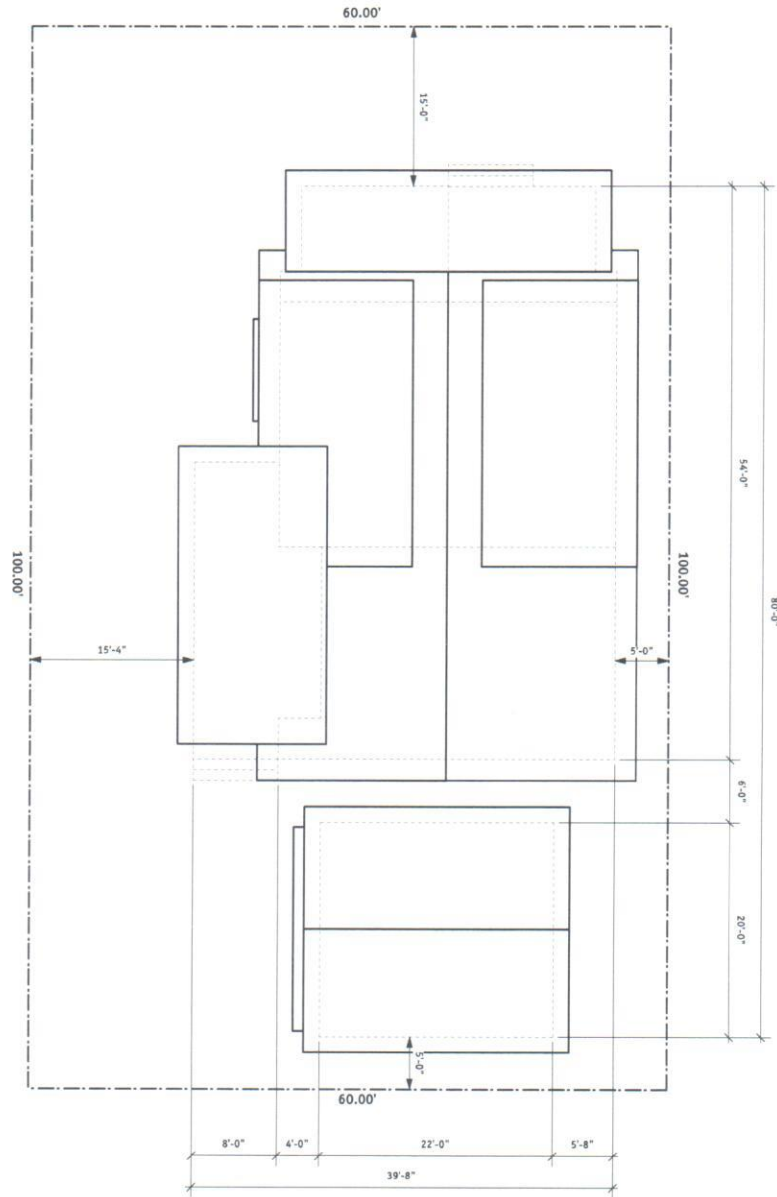


FLOOR PLAN - GARAGE
Scale: 1/4" = 1'-0"

A6	SHEET TITLE:	NUMBER:
	Elevations, Plans - Garage	GARY ULRICH CONSTRUCTION, INC. 58 AVENUE E, APALACHICOLA, FL 32320 GARY ULRICH, PRESIDENT GARY@GULRICH.COM (904) 453-2900
DATE:	PROJECT INFO:	DESIGNER:
2-6-18	Bill and Cindy CARRINGTON RESIDENCE 11th Street @ Bay Avenue, Apalachicola, FL	Mark Green Home Design 121 E. LEASURE AVE., NEW CASTLE, PA 16101 markgreenhomedesign.com mgreen.design@comcast.net 724-714-1237
SCALE:	REVISION DATE:	
1/4" = 1'-0"	2-22-18	
SHEET NO.:		
7 OF 7		

1 1 t h S T R E E T

B A Y A V E N U E



	SHEET NO.	1/8"=1'-0"	DATE	2-6-18	SHEET TITLE	Site Plan	BUILDER	GARY ULRICH CONSTRUCTION, INC. 58 AVENUE E, APALACHICOLA, FL 32320 GARY ULRICH, PRESIDENT GARY@ULRICHCT.COM (904) 653-2900
	SCALE	1/8"=1'-0"	REVISION DATE	2-22-18	PROJECT INFO	Bill and Cindy CARRINGTON RESIDENCE 11th Street @ Bay Avenue, Apalachicola, FL	DESIGNER	Mark Green Home Design 121 E. LEASURE AVE., NEW CASTLE, PA 16101 markgreenhomedesign.com mgreen.design@comcast.net 724-714-1237