

Pt 2 June 14, 2021

AGENDA Item
#2

Special Exception

120 Ave I

Holiness Church

CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION HISTORIC DISTRICT ONLY	Official Use Only Application # _____ City Representative _____ Date Received _____
---	---

OWNER INFORMATION Owner <u>HOLINESS CHURCH OF THE LIVING GOD, LLC.</u> Address <u>P.O. BOX 237</u> City <u>APALACHICOLA</u> State <u>FL</u> Zip <u>32320</u> Phone (____) _____	CONTRACTOR INFORMATION Contractors Name: <u>J. WARREN JERRY FRAMING CREWS, INC.</u> State License # <u>RG291103680</u> City License # _____ Email Address <u>JERRYWRRN1@AOL.COM</u> Phone (<u>850</u>) <u>481-6579</u>
--	---

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date: _____

*Reason for Denial: _____

PROJECT TYPE

<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input type="checkbox"/> Other _____
---	--

PROPERTY INFORMATION:

Street Address: 120 AVE. I City & State APALACHICOLA FL Zip 32320

Historic District Non-Historic District Zoning District O/R

Parcel #: 01-09S-08W-8330-0072-0060 Block(s) 72 Lot(s) 6 & 7

ET&MA Flood Zone/Panel #: 12037C0526F
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front 15 Rear 25 Side 7.5 Lot Coverage 40%

Water Available: Sewer Available: Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCL.

Tammy Owens
 Permitting and Development Coordinator
 (850) 658-1522
cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

The proposed project is for the construction of a church to replace the previous church destroyed by hurricane Michael.

The new building will consist of a steel framed structure on an elevated slab. The exterior will consist of fiber cement board & batten siding. There will be a steeple located on an exterior porch that reaches a height of 38'-6". The proposed finished floor is located 2' above proposed adjacent grade.

Project Scope	Manufacturer	Product Description	IL Product Approval #
Siding	JAMES HARDIE	FIBER CEMENT B&B	
Doors	JELDWEN	IMPACT DOORS	
Windows	JELDWEN	IMPACT WINDOWS	
Roofing	TITAN STEEL	METAL ROOF	
Trim		FIBER CEMENT TRIM	
Foundation		SLAB ON STEMWALL	
Shutters		N/A	
Porch/Deck		CONTRACTOR BUILT	
Fencing		N/A	
Driveways/Sidewalks		GRAVEL / CONCRETE	
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review uses, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

2-18-2021
DATE


SIGNATURE OF APPLICANT



Parcel Summary

Parcel ID 01-09S-08W-8330-0072-0060
Location Address 120 AVE I
 32320
Brief Tax Description* BL 72 LOTS 6 7 OR 137/501 150/415 155/284 237/204
 *The Description above is not to be used on legal documents.
Property Use Code CHURCHES (007100)
Sec/Twp/Rng 1-9S-8W
Tax District Apalachicola (District 3)
Millage Rate 20.2323
Acreage 0.000
Homestead N

[View Map](#)

Owner Information

Primary Owner
 Holiness Church Of The Living
 God Inc.
 PO Box 237
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000801	THE HILL - APALACH	30.00	FF	0	0
000100	SFR	30.00	UT	0	0
000100	SFR	60.00	UT	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	09/01/1986	\$1,200	WD	237	204	Qualified (Q)	Vacant		

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$66,000	\$66,000	\$48,000	\$60,000	\$42,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$66,000	\$66,000	\$48,000	\$60,000	\$42,000
Assessed Value	\$58,080	\$52,800	\$48,000	\$46,200	\$42,000
Exempt Value	\$58,080	\$52,800	\$48,000	\$46,200	\$42,000
Taxable Value	\$0	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$7,920	\$13,200	\$0	\$13,800	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, TRIM Notice 2020, TRIM Notice 2019, Sketches.

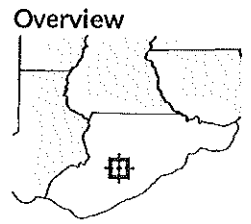
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Developed by

Last Data Upload: 3/1/2021, 7:53:52 AM

Version 2.3.108



- Legend
-  Parcels
 -  Roads
 -  City Labels

Date created: 3/1/2021
Last Data Uploaded: 3/1/2021 7:53:52 AM

Developed by  **Schneider**
GEO SPATIAL

EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Coach Wagoner Blvd.
APPLICATION FOR BUILDING PERMIT

DATE: 2/18/21 Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: HOLINESS CHURCH OF THE LIVING GOD, LLC. Email: SLIWHI@AOL.COM

ADDRESS: P.O. BOX 237

CITY, STATE & ZIP CODE: APALACHICOLA, FL. 32320 PHONE # _____

IS THE TITLE HOLDER (IF OTHER THAN OWNER): N/A

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: JERRY FRAMING CREWS, INC. Email: jerrywrrn1@aol.com

ADDRESS: 1030 HIGHWAY 98

CITY, STATE & ZIP CODE: PORT ST. JOE, FLORIDA 32456 PHONE # 850.481.6579

STATE LICENSE NUMBER: RG201103680 COMPETENCY CARD # ON FILE

ADDRESS OF PROJECT: 120 AVE. I

PURPOSE OF PERMIT: CONSTRUCTION OF A CHURCH STRUCTURE

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 01-09S-08W-8330-0072-0060

LEGAL DESCRIPTION OF PROPERTY: LOTS 6 & 7, BLOCK 72, CITY OF APALACHICOLA

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: N/A

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: MONICA BARBER

ADDRESS: 209 7TH STREET CITY, STATE & ZIP: PORT ST. JOE, FLORIDA 32456

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: CITY OF APALACHICOLA SEWER SYSTEM PROVIDER: CITY OF APALACHICOLA

PRIVATE WATER BILL: N/A SEPTIC TANK PERMIT NUMBER: N/A

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to cityofapalachicola@gmail.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Storage Sign Pole Barn
 Temp Pole Demolition Other _____
 Addition, Alteration or Renovation to building. _____

Distance from property lines: Front 15.2' Rear 25.2' L. Side 29.31 (FRONT CORNER)
 R. Side 13.6'
 Cost of Construction \$ _____ Square Footage 4001 SF TOTAL
 BPI ATTACHED Flood Zone X Lowest Floor Elevation 21.0'
 Area Heated/Cooled 3857 SF # Of Stories 1 # Of Units 1
 Type of Roof METAL ROOF Type of Walls STEEL FRAME Type of Floor CONCRETE
 Extreme Dimensions of: Length 81'-2" Height 38'-6" Width 62'-0"


WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.


 Signature of Owner or Agent Date 2/19/21


 Signature of Contractor Date 2-19-21


 Notary as to Owner or Agent
 Date: 2-19-21

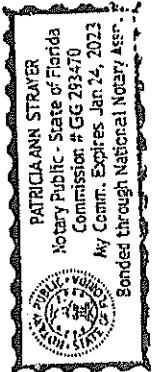
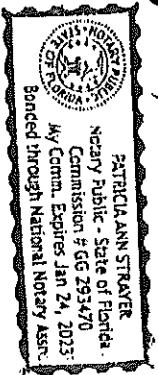

 Notary as to Contractor
 Date: 2-19-21

My Commission expires: 01/24/2023

My Commission expires: 01/24/2023

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: cityofapalachicola@gmail.com or drop off in City drop box)
 (make checks payable to EPCI - 192 Coach Wagoner Blvd, Apalachicola, FL 32320)



EPCI
Apalachicola Building Department
MECHANICAL ELECTRICAL PLUMBING

<u>Office Use Only</u>	
PERMIT #: _____	PERMIT FEE: \$ _____

DATE: 2-18-21 IRC # _____

OWNER'S NAME: HOLINESS CHURCH OF THE LIVING GOD, LLC. EMAIL: SLIWI@AOL.COM

ADDRESS: P.O. BOX 237

CITY, STATE & ZIP CODE: APALACHICOLA, FL. 32320 PHONE # _____

CONTRACTOR'S NAME: JERRY FRAMING CREWS, INC. EMAIL: JERRYWRRN1@AOL.COM

ADDRESS: 1930 HIGHWAY 98

CITY, STATE & ZIP CODE: PORT ST. JOE, FLORIDA 32456 PHONE # 850.481.6579

STATE LICENSE NUMBER: RG291103680 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 120 AVE. I APALACHICOLA, FL. 32320

PROPOSED USE OF SITE: CHURCH

PROPERTY PARCEL ID # 01-09S-08W-8330-0072-0060

LEGAL DESCRIPTION OF PROPERTY: LOTS 6 & 7, BLOCK 72, CITY OF APALACHICOLA

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

PURPOSE OF BUILDING: Single Family Multi-Family Commercial Storage Sign
 Other Addition, Alteration or Renovation to building.

Cost of Construction \$ _____ Total Square Footage 4001
Flood Zone Lowest Floor Elevation: 21.0'
Area Heated/Cooled 3857 # Of Stories 1 # Of Units 1

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

Thil W. Carter
Signature of Owner or Agent
Date: 2/19/21

[Signature]
Signature of Contractor
Date: 2-18-2021

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL,

(cityofapalachicola@gmail.com / 850.653.1522)

FLOOD PLAIN MANAGEMENT
PERMIT APPLICATION REVIEW

DATE: 2-18-21

PERMIT #: _____

NAME: HOLINESS CHURCH OF THE LIVING GOD, LLC.

MAILING ADDRESS: P.O. BOX 237 CITY/STATE/ZIP: APALACHICOLA, FL. 32320

PHONE: _____

STREET ADDRESS: 120 AVE. I

LEGAL DESCRIPTION: LOTS 6 & 7, BLOCK 72, CITY OF APALACHICOLA

PARCEL I.D.#: 01-09S-08W-8330-0072-0060

DESCRIBE DEVELOPMENT: CHURCH REBUILD PROJECT TO REPLACE STRUCTURE DAMAGED
BY HURRICANE MICHAEL

RESIDENTIAL _____ COMMERCIAL: NEW STRUCTURE: _____ SUBSTANTIAL IMPROVEMENT: _____

FLOOD ZONE INFORMATION:

PANEL NO.: 12037C0526F FIRM ZONE: (PFR) N/A GRADE ELEVATION: 18.0'

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE:
AND/OR TOP OF THE BOTTOM FLOOR 21.0' FINISHED FLOOR (PER PLANS)

SQUARE FEET OF ENCLOSURE BELOW RFE: N/A (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, JERRY WARREN, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014; my/our property may be adversely affected by those changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: 120 AVE. I PARCEL I.D.#: 01-09S-08W-8330-0072-0060
EFFECTIVE FLOOD ZONE: PRELIMINARY FLOOD ZONE:

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel.

Jerry Warren

Signature of owner or developer

021821

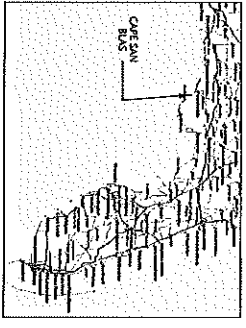
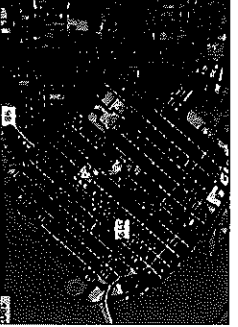
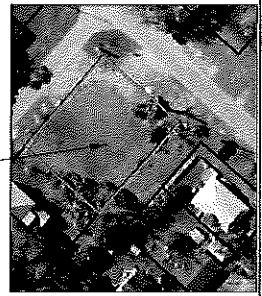
Date

CONSTRUCTION DOCUMENTS FOR:

NEW CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE I
 APALACHICOLA, FLORIDA

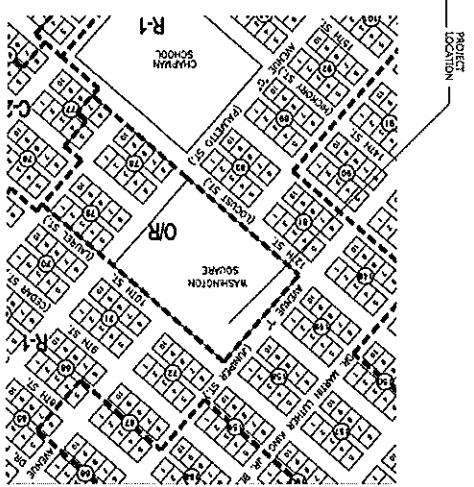
PARCEL # 01-09S-08W-8330-0072-0060
 CONSTRUCTION DOCUMENTS DATE: 2/11/21

CLOSE UP AERIAL OF SITE AERIAL LOT VIEW VICINITY MAP



PROJECT DATA
 JURISDICTION: BAY COUNTY
 APPLICABLE CODES
 TYPE-3-2020, UNENFORCED
 2020 FLORIDA ASSESSMENT, BUILDING CODE, IRC
 2020 FLORIDA MECHANICAL CODE (FMC)
 2020 FLORIDA PLUMBING CODE (FPC)
 2020 FLORIDA PRESERVATION CODE
 INCLUDING AMENDED VERSION OF THE NFPA 101
 2020 & LIFE SAFETY CODE (LSC)
 2017 NATIONAL ELECTRICAL CODE (NEC)
 2020 FLORIDA STATE ACCESSIBILITY CODE (CA-11)
 2020 FLORIDA ENERGY CODE

PROJECT OWNER
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 PO BOX 237
 APALACHICOLA, FL 32320



DRAWING SHEET INDEX

- GENERAL**
 - CVR COVER SHEET
 - LS11 LIFE SAFETY PLANS
- CIVIL PLANS**
 - CS1 EXISTING CONDITIONS
 - CS2 DEMOLITION PLAN
 - CS3 PROPOSED CONTROL PLAN
 - CS4 GRADING PLAN
 - CS5 UTILITY PLAN
 - CS6 NOTES & ABBREVIATIONS
 - CS7 DETAILS
 - CS8
- ARCHITECTURAL**
 - A11 FLOOR PLANS
 - A21 EXTERIOR ELEVATIONS
 - A31 EXTERIOR ELEVATIONS
 - A41 EXTERIOR ELEVATIONS
 - A51 REFLECTED CEILING PLAN
- STRUCTURAL**
 - S11 FOUNDATION PLANS
 - S12 FOUNDATION DETAILS
 - S21 STRUCTURAL NOTES
 - S31 BUILDING SECTIONS
 - S41 TYPICAL WALL SECTIONS
- PLUMBING**
 - P11 SANITARY SEWER PLANS
 - P21 PLUMBING DETAILS
 - P31 PLUMBING DETAILS
- MECHANICAL**
 - M11 HANG STEEL PLAN
 - M21 MECHANICAL ROOM PLAN
 - M31 MECHANICAL NOTES
- ELECTRICAL**
 - E11 ELECTRICAL PLAN - LIGHTING
 - E21 ELECTRICAL PLAN - POWER
 - E31 ELECTRICAL NOTES

CONSTRUCTION DOCUMENTS:
 CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE I
 APALACHICOLA, FLORIDA



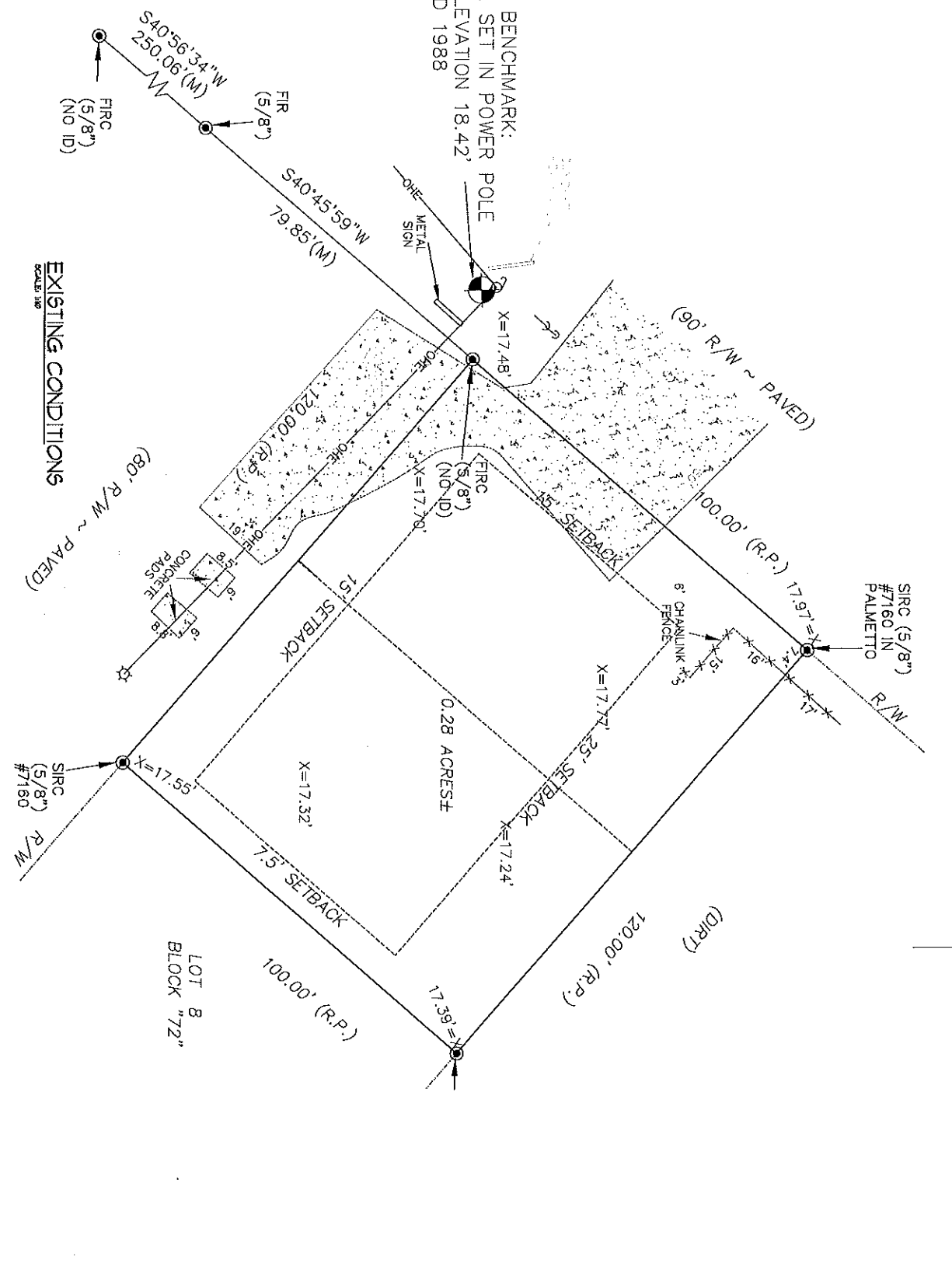
Rev.	Date	Description

Project Number: 1020 - 51
 Date of Print: 2/11/21
 Checked By: MB
 Drawn By: JB

MB
 ENGINEERS
 1000 N. W. 10th St.
 Ft. Lauderdale, FL 33304
 Phone: 954.571.1500
 Fax: 954.571.1501
 www.mbe.com

This drawing is the property of MB Engineers. It is to be used only for the project and location specified. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of MB Engineers.

EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
 126 AVENUE 1
 APALACHICOLA, FLORIDA

Rev.	Date	Description

Drawn By: JB
 Checked By: MB
 Date of Plot: 2/1/21
 Project Number: 2020-51

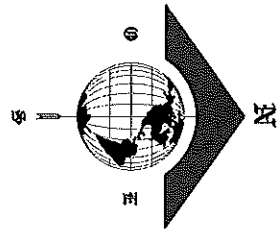
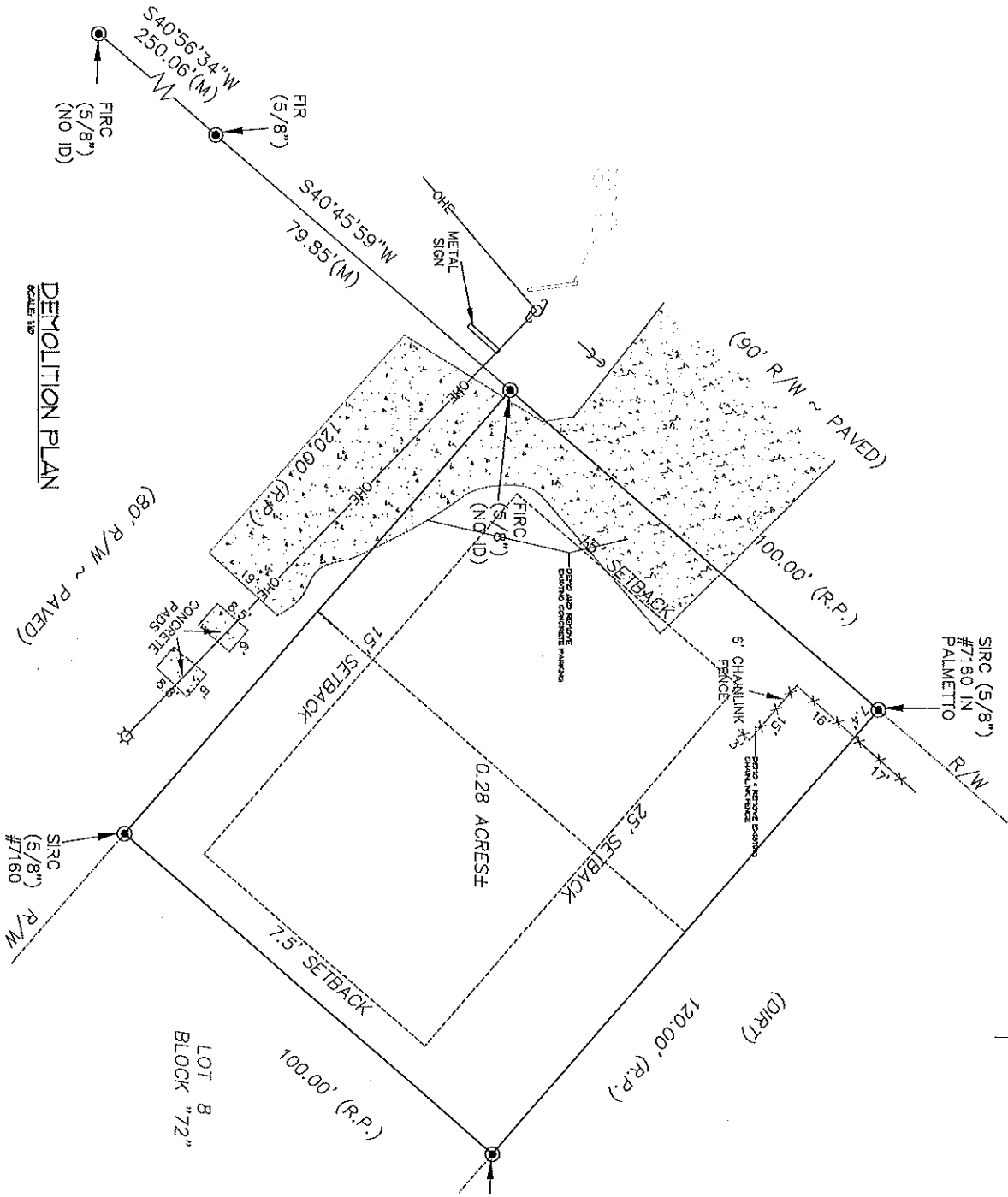
MB
 ARCHITECTS
 10000 W. UNIVERSITY BLVD.
 SUITE 100
 WEST PALM BEACH, FL 33411
 TEL: 561.833.1500
 WWW.MBARCHITECTS.COM

The Plans herein are prepared to be the mechanical property of the client, and the reproduction of the same for any other purpose without the written consent of the architect is prohibited.

Sheet Number: 001

LEGAL DESCRIPTION

DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



CONSTRUCTION DOCUMENTS

CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
122 AVENUE 1
APALACHICOLA, FLORIDA

C02

Sheet Number

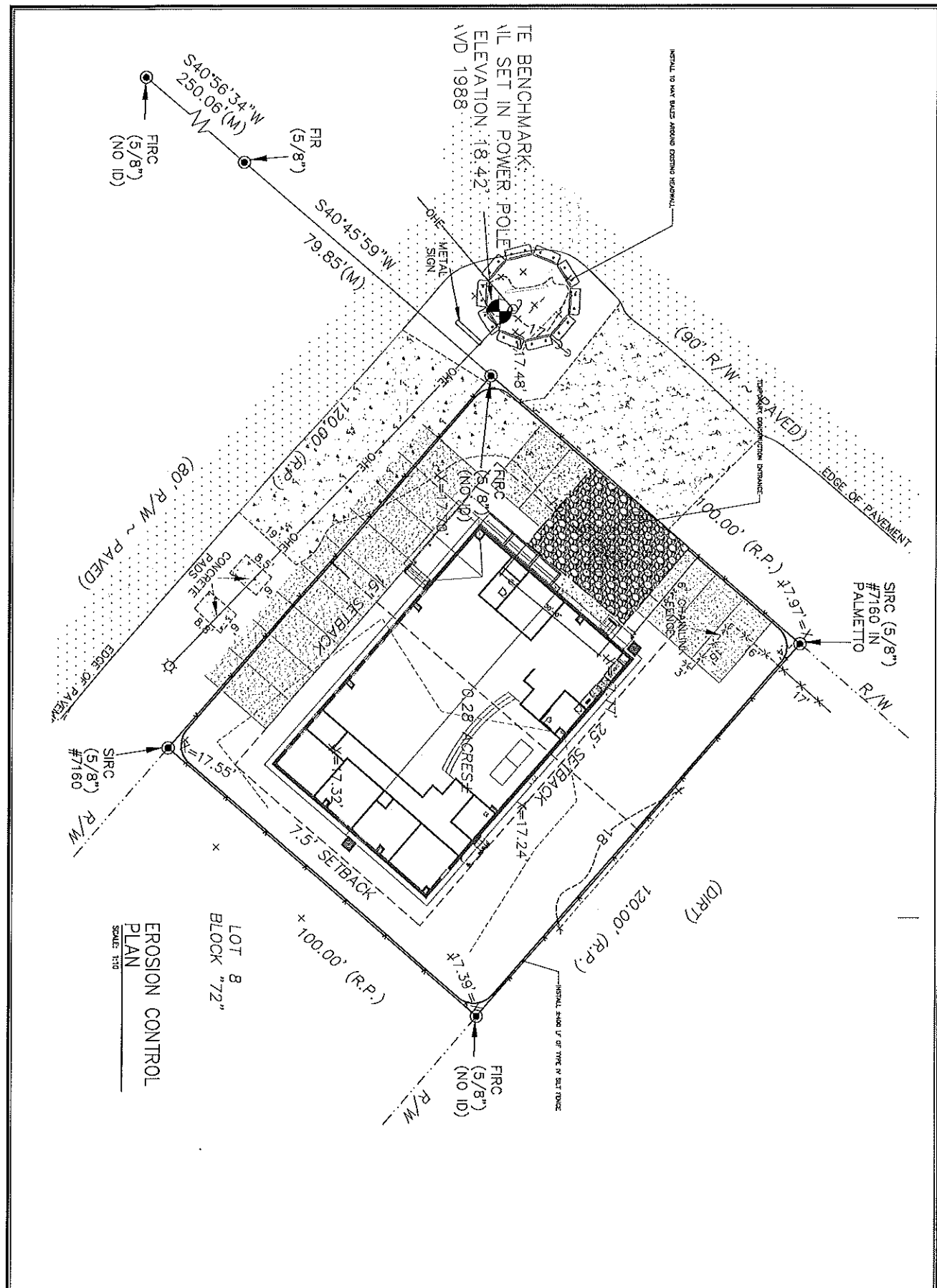
Rev.	Date	Description

Project Number: 2009-51
Date of Plot: 2/11/21
Checked By: MB
Drawn By: JB

Project Number: 2009-51
Date of Plot: 2/11/21
Checked By: MB
Drawn By: JB

This plan has been prepared to be the final construction document for the building, site, and landscape. It is the responsibility of the contractor to verify the accuracy of the information shown on this plan and to ensure that the construction is completed in accordance with the plan.

MB
ARCHITECTS
122 AVENUE 1
APALACHICOLA, FLORIDA 32324
TEL: 904.334.1222
WWW.MBARCHITECTS.COM



EROSION CONTROL
PLAN
SCALE: 1/10

LOT 8
BLOCK "72"

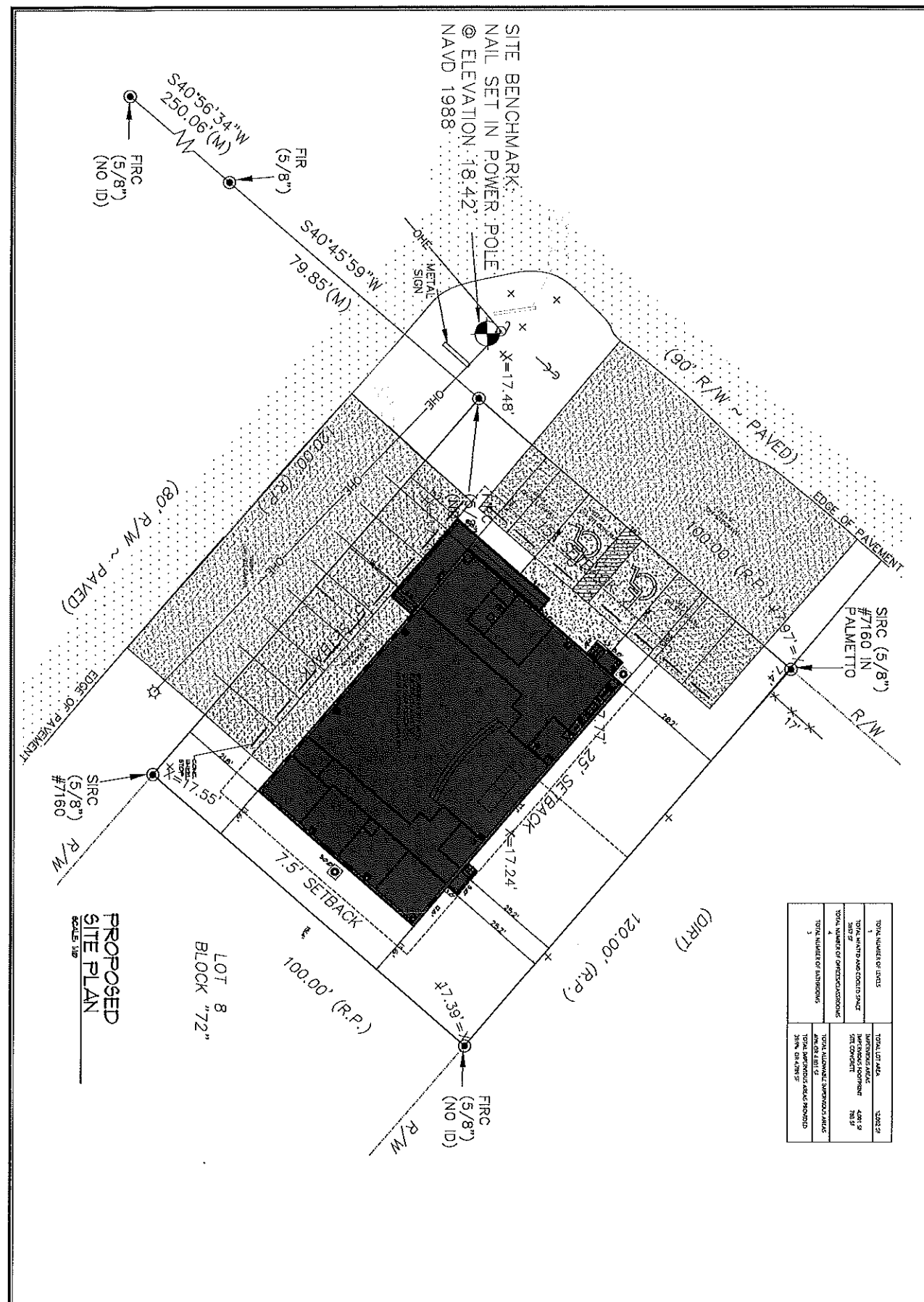
CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
122 AVENUE I
PALMACHICOLA, FLORIDA

Rev.	Date	Description

Checked By: MB
Date of Print: 2/11/21
Drawn By: JB

2000 - 51
Project Number:
MB
M.B. & ASSOCIATES
REGISTERED PROFESSIONAL ENGINEER
NO. 12584
STATE OF FLORIDA
1000 N. UNIVERSITY AVENUE
SUITE 200
GAINESVILLE, FL 32609
PH: 352-336-1100
FAX: 352-336-1101
WWW.MBANDASSOCIATES.COM

C11

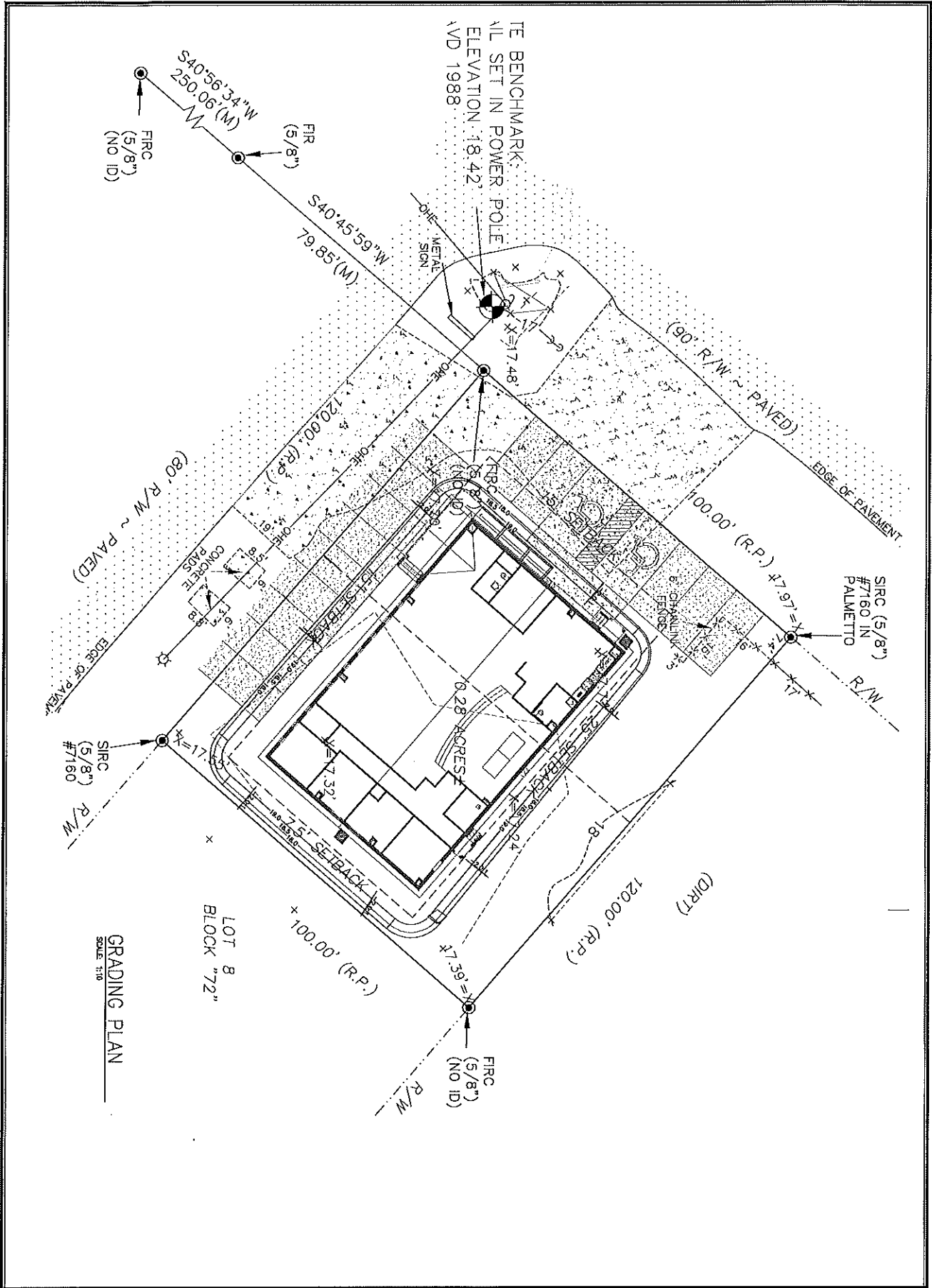


SITE BENCHMARK:
 NAIL SET IN POWER POLE
 @ ELEVATION: 18.42'
 NAVD 1988

PROPOSED
 SITE PLAN
 SCALE: 1/8" = 1'-0"

TOTAL SQUARE FEET OF LOTS	12000 SF
TOTAL WATER AND GAS MAINS	4000 SF
TOTAL NUMBER OF OVERHEAD ASSOCIATIONS	785 SF
TOTAL NUMBER OF OVERHEAD ASSOCIATIONS	785 SF
TOTAL NUMBER OF UTILITIES	785 SF
TOTAL UTILITY LAMP/POLE/ARMS	785 SF
TOTAL LAMP/POLE/ARMS PROVIDED	785 SF

MB ENGINEERING 1200 N. W. 10th Ave. Ft. Lauderdale, FL 33304 Phone: (954) 562-1111 Fax: (954) 562-1112 www.mbe-engineering.com	The State hereby certifies that this plan complies with the requirements of the Florida Building Code, Chapter 630, Florida Statutes, and the rules of the Board of Building and Code Official, Chapter 63C, Florida Administrative Code.
	Project Number: 2020-51 Date of Plan: 2/1/21 Drawn By: MB Checked By: JB
CONSTRUCTION DOCUMENTS: CHURCH CONSTRUCTION PLANS HOLINESS CHURCH OF THE LIVING GOD, INC. 120 AVENUE I APALACHICOLA, FLORIDA	Rev. Date. Description _____ _____ _____
Sheet Number: C21	



GRADING PLAN
SCALE: 1"=10'

LOT 8
BLOCK "72"

CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
 570 AVENUE 1
 PALMACHICOLA, FLORIDA

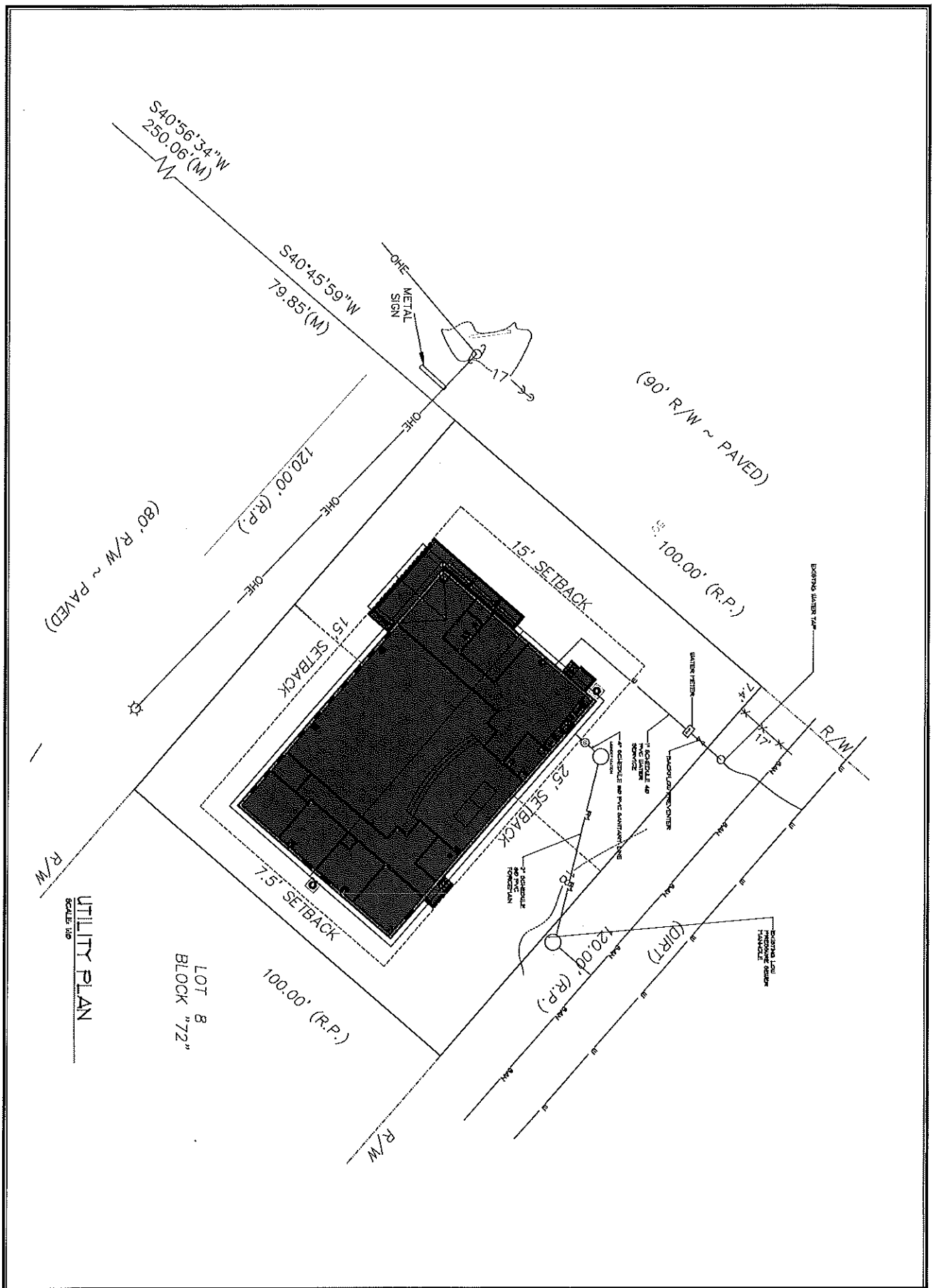
Rev.	Date	Description

Checked By: MB
 Date of Print: 2/11/21
 Drawn By: JB

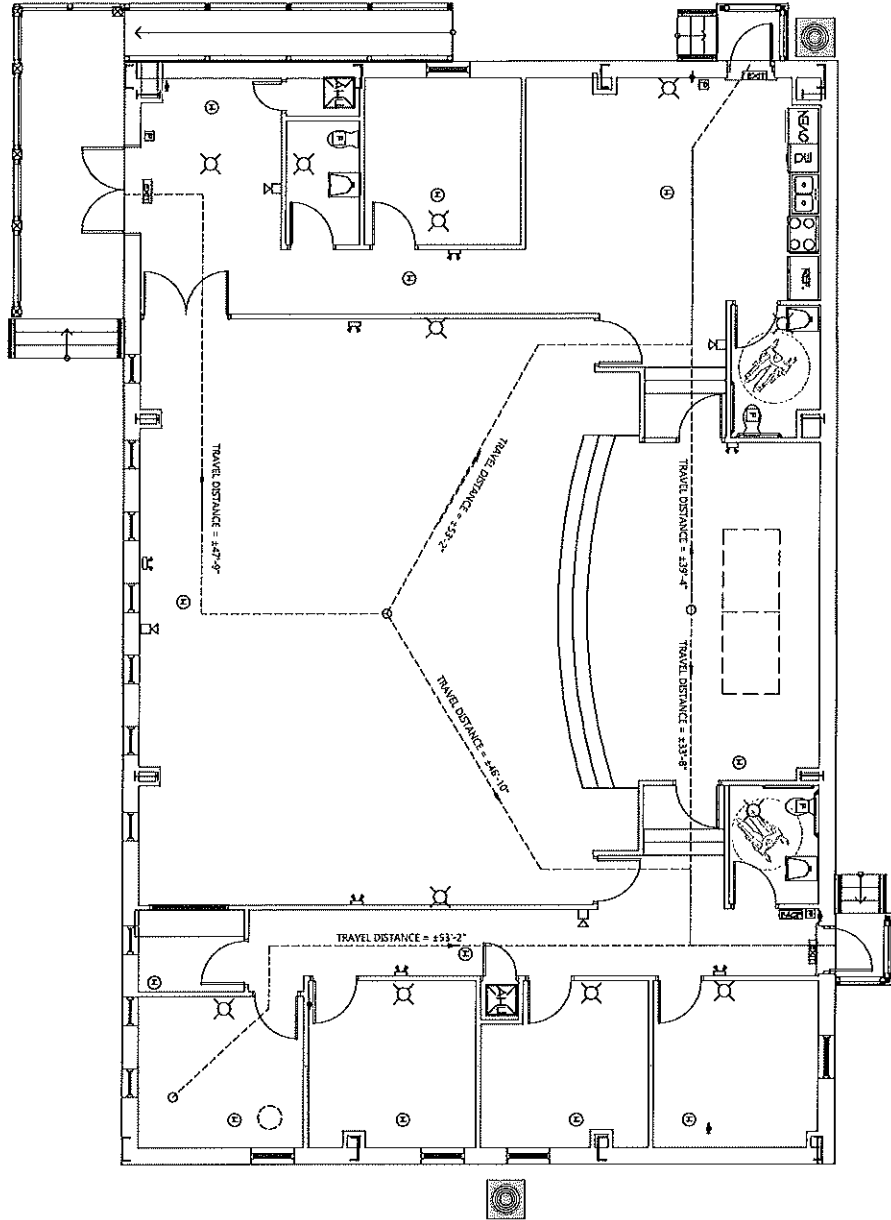
Project Number: 1000 - 51
 Date of Plot: 2/11/21
 The client hereby warrants the information provided herein to be true and correct and that the contractor shall be responsible for verifying the accuracy of the information provided herein.

MB
 PROFESSIONAL LANDSCAPE ARCHITECT
 1000 51 ST
 PALMACHICOLA, FLORIDA 32909
 (888) 888-5151

Sheet Number: **C3.1**



<p>CONSTRUCTION DOCUMENTS:</p> <p>CHURCH CONSTRUCTION PLANS HOLINESS CHURCH OF THE LIVING GOD, INC. 122 AVENUE 1 APALACHICOLA, FLORIDA</p>	<p>MB FACILITIES</p>	<p>2020 - 51</p>	<p>Date of Print 2/1/21</p>	<p>Checked By MB</p>	<p>Drawn By JB</p>
		<p>Rev.</p>	<p>Date</p>	<p>Description</p>	<p>Scale 1/8" = 1'-0"</p>



LIFE
SAFETY PLAN
SCALE: 1/8" = 1'-0"

LIFE SAFETY LEGEND

- DOOR LIGHT
- ⊙ EGRESS OBSTACLE
- WALL, FENCED FINE CONTINUATION
- ⊠ REMOVAL OF WALL, INDOOR STAIRWAY BACK-UP
- ⊠ FULL STATION
- ⊙ MAIN ENTRANCE
- ⊙ FINISH
- ⊠ OPEN AND FINISH

CONSTRUCTION DOCUMENTS:

CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
120 AVENUE I
APALACHICOLA, FLORIDA

Rev.	Date	Description

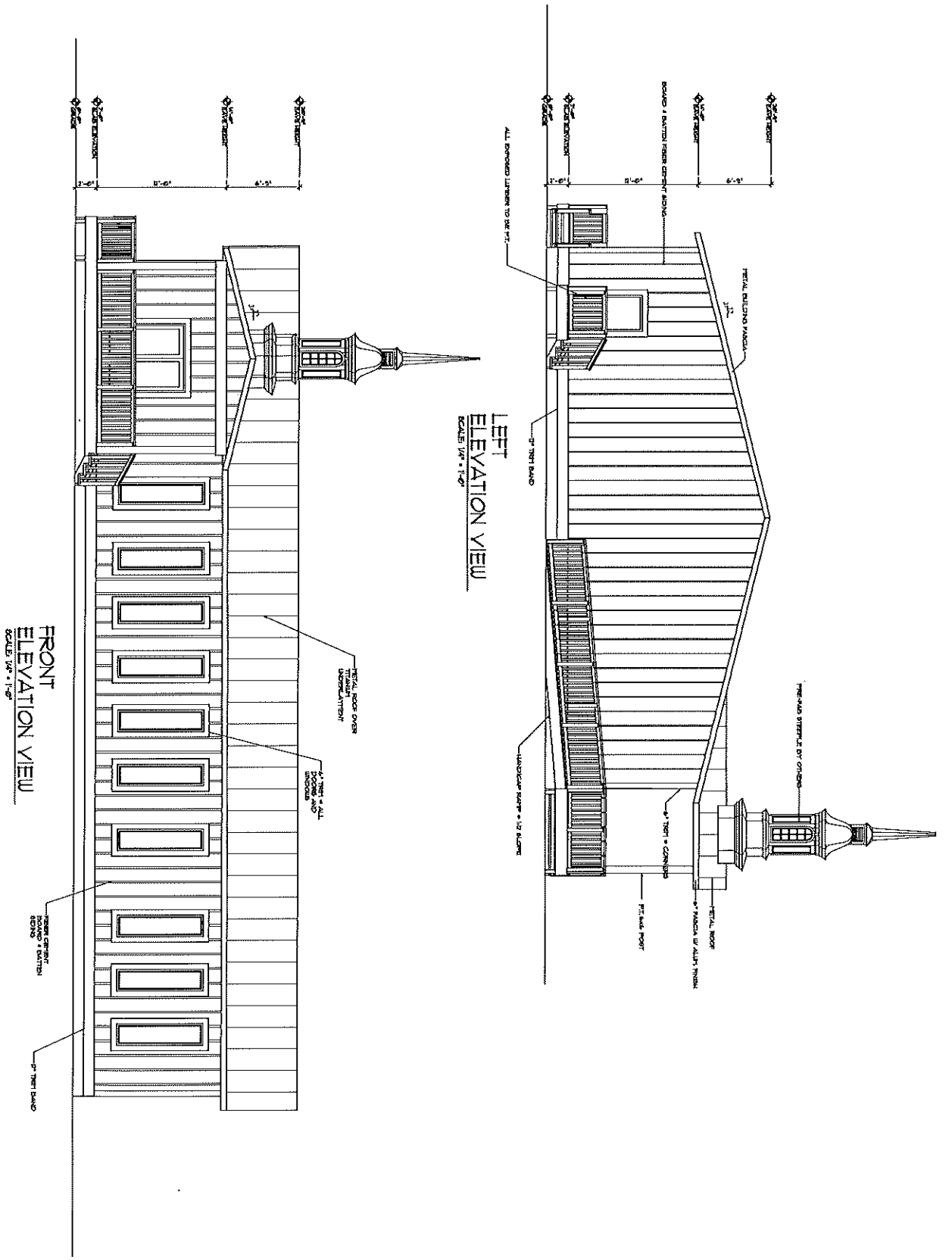
Checked By:	MB
Drawn By:	JB

Project Number: 2020-51
Date of Plot: 2/11/21

The client, architect and contractor shall be responsible for the coordination of the project. The architect shall be responsible for the design and construction of the building. The contractor shall be responsible for the construction of the building. The client shall be responsible for the payment of the project costs.

MB CONSULTING
PROFESSIONAL ENGINEERING & ARCHITECTURE
1000 WEST 10TH STREET
GAINESVILLE, FLORIDA 32601
TEL: 352.339.1111
WWW.MBCONSULTING.COM

MB
CONSULTING



**LEFT
ELEVATION VIEW**
SCALE: 1/8" = 1'-0"

**FRONT
ELEVATION VIEW**
SCALE: 1/8" = 1'-0"



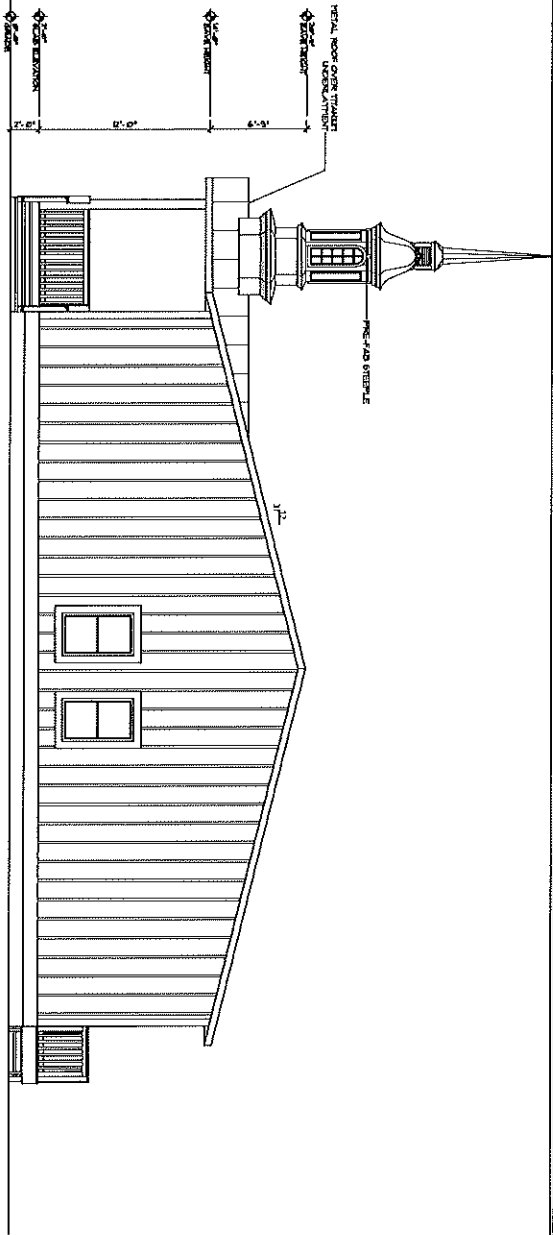
1110 NORTH 17TH ST.
MIRAMONTE, FLORIDA 34651
PH: (813) 988-8100
WWW.MBINC.COM

This project has been prepared to be used for the construction of a building. It is not to be used for any other purpose without the express written consent of the Mechanical Building, Inc.

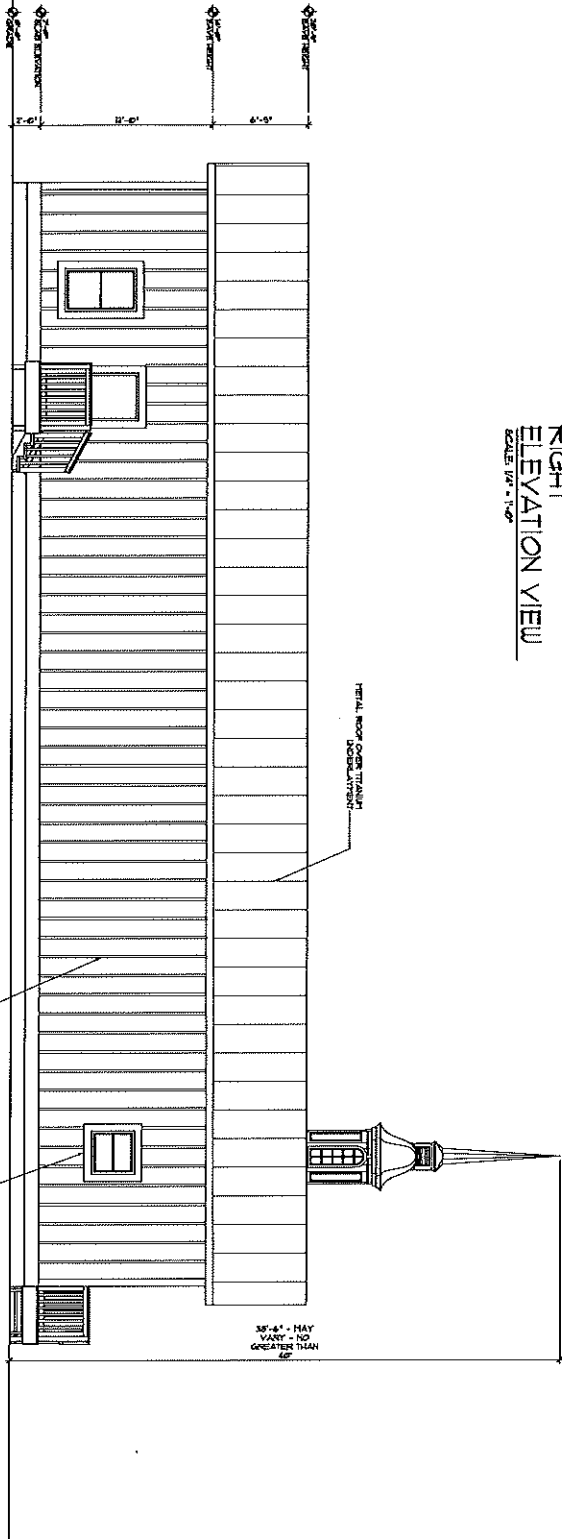
Project Number: 1020 - 91
Date of Plot: 2/11/21
Drawn By: MB
Checked By: MB
Design By: MB

Rev.	Date	Description

CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
120 AVENUE 1
APALACHICOLA, FLORIDA



**RIGHT
ELEVATION VIEW**
SCALE: 1/8" = 1'-0"



**REAR
ELEVATION VIEW**
SCALE: 1/8" = 1'-0"



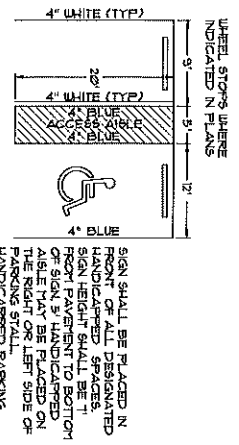
MB ENGINEERING, LLC
1200 W. 10TH AVENUE
SUITE 200
TALLAHASSEE, FLORIDA 32304
TEL: 904.833.1111
WWW.MBENGINEERING.COM

The client hereby authorizes MB ENGINEERING, LLC to prepare and submit to the public, in any form, any and all information, drawings, specifications, reports, and other documents prepared by MB ENGINEERING, LLC for the project described herein. This authorization shall remain in effect until the project is completed.

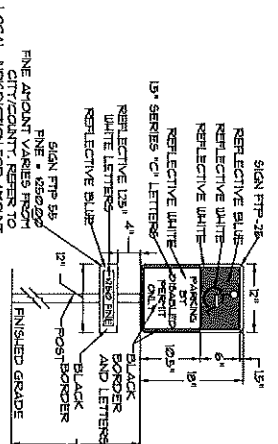
Rev.	Date	Description

CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE I
 APALACHICOLA, FLORIDA

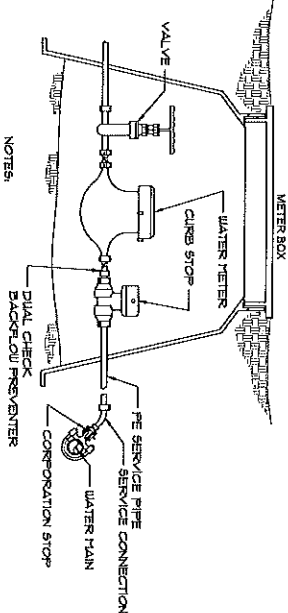
Sheet Number:
A22



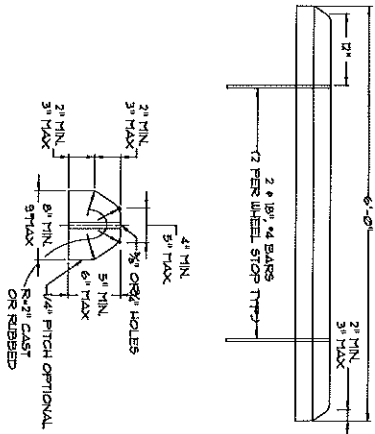
PARKING DETAIL
SCALE N1/4"



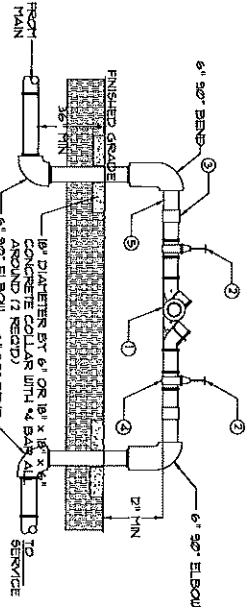
H.C. SIGN DETAIL
SCALE N1/4"



WATER METER DETAIL
SCALE N1/4"



CONC. WHEEL STOP
SCALE N1/4"



ITEM	DESCRIPTION
1	6" BACKFLOW PREVENTER
2	6" GATE VALVE
3	6" UNION
4	6" TEST COCKS
5	6" THREADED NIPPLE

BACKFLOW PREVENTER
SCALE N1/4"

CONSTRUCTION DOCUMENTS

CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
120 AVENUE
APALACHICOLA, FLORIDA

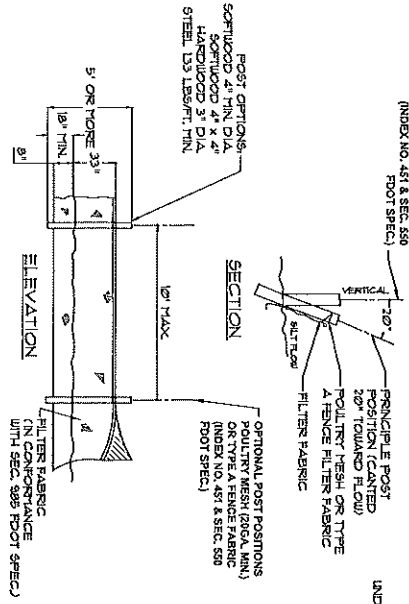
Rev.	Date	Description

Checked By: **MB**
Drawn By: **JB**
Date of Plot: **2/1/21**
Project Number: **2020 - 51**

MB
MORTON-BROWN ENGINEERS
1000 N. GULF BLVD.
SUITE 100
MARIETTA, GA 30067
PH: 770.429.1100
WWW.MORTONBROWN.COM

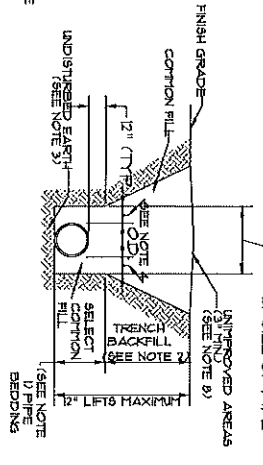
The client shall be responsible for the design and construction of the building. The engineer shall be responsible for the design and construction of the building. The engineer shall be responsible for the design and construction of the building.

OPTIONAL POST POSITIONS
 POLYURETHANE (20GA. MIN.)
 OR TYPE A FENCE FABRIC
 (INDEX NO. 451 & SEC. 550
 FOOT SPEC.)



TYPE IV SILT FENCE DETAILS
 SCALE: N12A

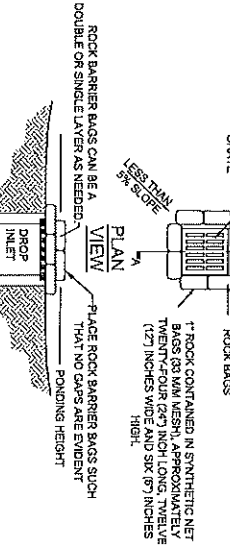
TRENCH WIDTH VARIES W/ SIZE OF PIPE



TRENCH & BACKFILL DETAILS
 SCALE: N12A

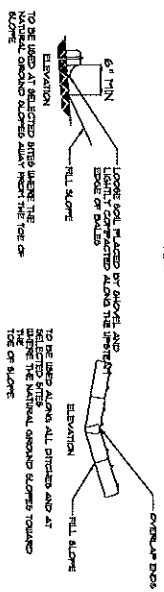
NOTES:
 1. PIPE BEDDING: SELECT COTTON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-99. OF THE MAXIMUM DENSITY FOR THE MATERIAL.
 2. BACKFILL: SELECT COTTON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-99. OF THE MAXIMUM DENSITY FOR THE MATERIAL.
 3. PIPE BEDDING UTILIZING SELECTED COTTON FILL OR BEDDING ROCK WILL BE REQUIRED IF OVER-EXCAVATION OCCURS.
 4. (a) 1/2" MAX FOR PIPE DIAMETER LESS THAN 24" AND 24" DIA. FOR PIPE DIAMETER 24" AND LARGER.
 5. THE SHAPE OF THE TRENCH SHALL BE MAINTAINED DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. PROVIDE TRENCH SLOPING AND BRACING AS REQUIRED.
 8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS OF THE GOVERNING AGENCIES. SURFACE RESTORATION WITH UNPAVED AREAS SHALL COMPLY WITH THE REQUIREMENTS OF THE ROAD CONSTRUCTION SPECIFICATIONS.

FLAME ROCK BARRIER BAGS SUCH THAT NO GAPS ARE EVIDENT



INLET PROTECTION DETAILS
 SCALE: N12A

NOTES:
 1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL, DRAINAGE AREAS. (LESS THAN 5%).
 2. A REASONABLE DESIGN SIZE PARTICLE TO CAPTURE MUST BE SELECTED.
 3. THE DESIGN OF THE DROP INLET SHALL BE EVALUATED.
 4. THE DESIGN OF THE DROP INLET SHALL BE EVALUATED.
 5. POND VOLUME IS DIRECTLY PROPORTIONAL TO THE DISCHARGE RATE OF WATER FROM THE SYSTEM.
 6. POND VOLUME IS INVERSELY PROPORTIONAL TO THE MASS OF THE DESIGN SIZE SUSPENDED PARTICLES.
 7. A DESIGNER MUST PROVIDE SUFFICIENT FLOW TO ALLOW FOR DEPOSITION OF DESIGN SIZE PARTICLES.
 8. THE PONDING HEIGHT MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIRT MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.



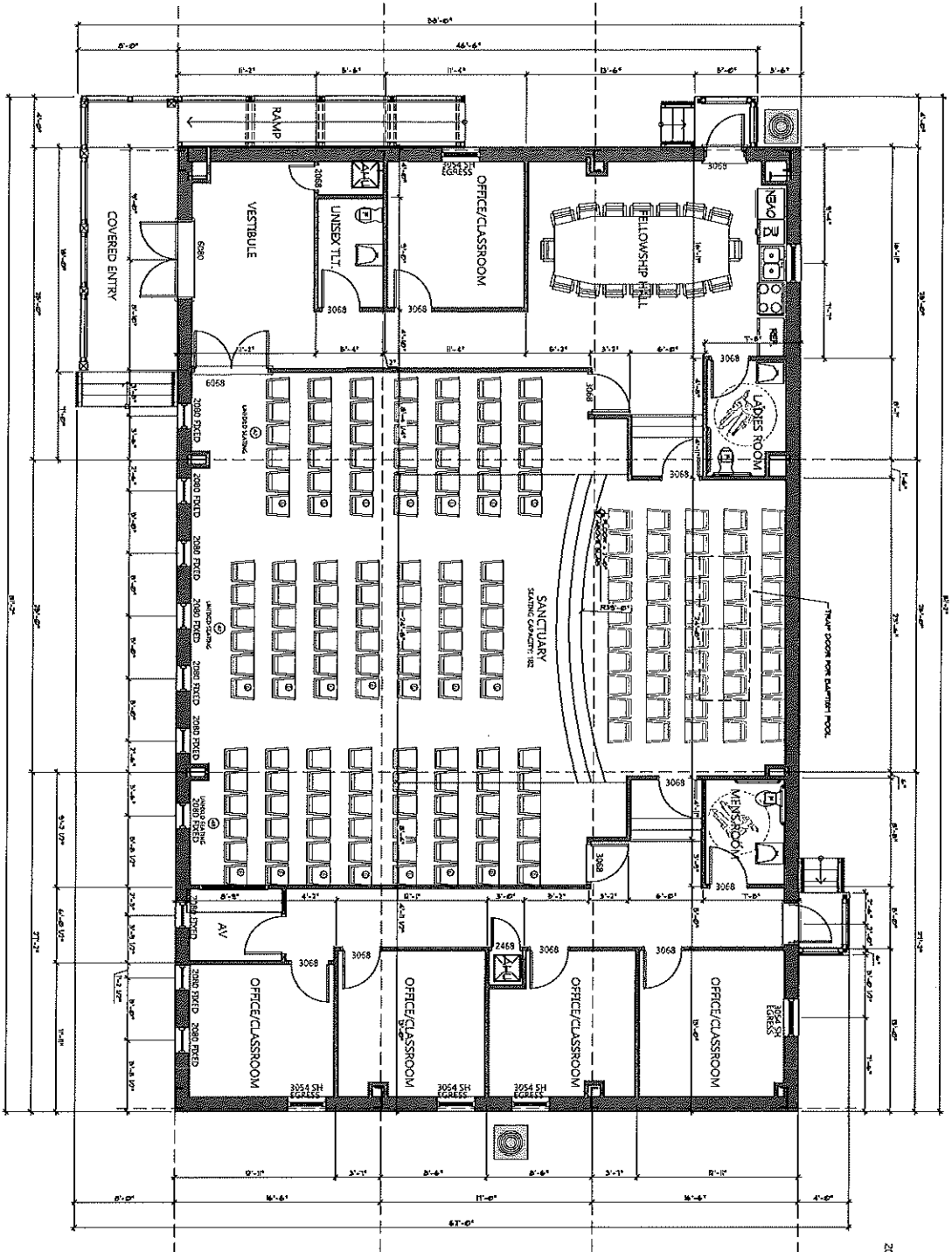
HAY BALE DETAILS
 SCALE: N12A

CONSTRUCTION DOCUMENTS:
 CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE 1
 APALACHICOLA, FLORIDA

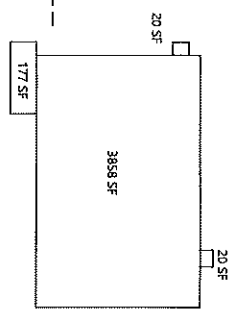
Rev.	Date	Description

MB
 CONSULTING ENGINEERS
 1200 S. 51st
 TALLAHASSEE, FLORIDA 32309
 PHONE: 904.833.1111
 FAX: 904.833.1112
 WWW: WWW.MBENGINEERS.COM

Project No. 2020-51
 Date of Plot: 2/1/21
 Checked By: MB
 Drawn By: JB

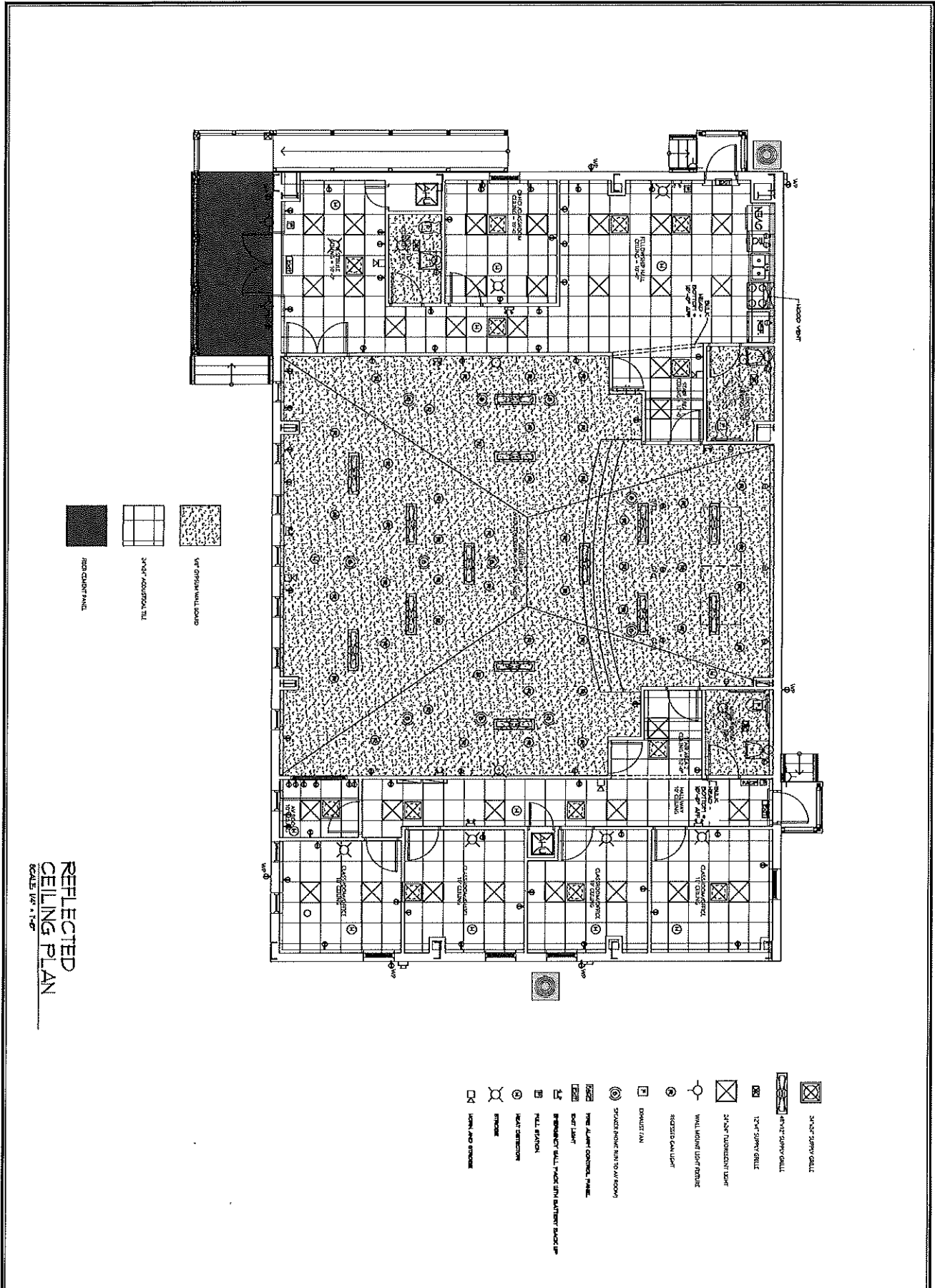


FLOOR PLAN
SCALE: 1/8" = 1'-0"




















MB <small>MECHANICAL ENGINEERING ARCHITECTURAL ENGINEERING ELECTRICAL ENGINEERING PLUMBING ENGINEERING MECHANICAL CONTRACTORS</small>	CONSTRUCTION DOCUMENTS: CHURCH CONSTRUCTION PLANS HOLINESS CHURCH OF THE LIVING GOD, INC. 120 AVENUE 1 APALACHICOLA, FLORIDA			Date of Print 2/11/21	Checked By: MB	Drawn By: JB
	Project No.: 2020-51					

Sheet Number
A11



REFLECTED
CEILING PLAN
SCALE 1/8" = 1'-0"

-  2" X 4" SUPPLY PANEL
-  2" X 4" ACoustICAL TIE
-  4" X 8" PERFORATED SOUND BOARD

-  2" X 4" SUPPLY DIFF. (2)
-  12" X 12" SUPPLY DIFF. (2)
-  2" X 4" FLUORESCENT LIGHT (2)
-  WALL MOUNT LIGHT FIXTURE (2)
-  RECESSED DOWN LIGHT (2)
-  EXHAUST FAN (2)
-  SPEAKERS (NOT SHOWN IN ALL ROOMS)
-  2" X 4" ALUMINUM CONTROL PANEL (2)
-  DOWN LIGHT (2)
-  BRUSHNICK WALL MOUNT BATTERY BACKUP (2)
-  FILL STATION (2)
-  HANG SIGNATURE (2)
-  FINISH (2)
-  LIGHT AND SMOKE (2)

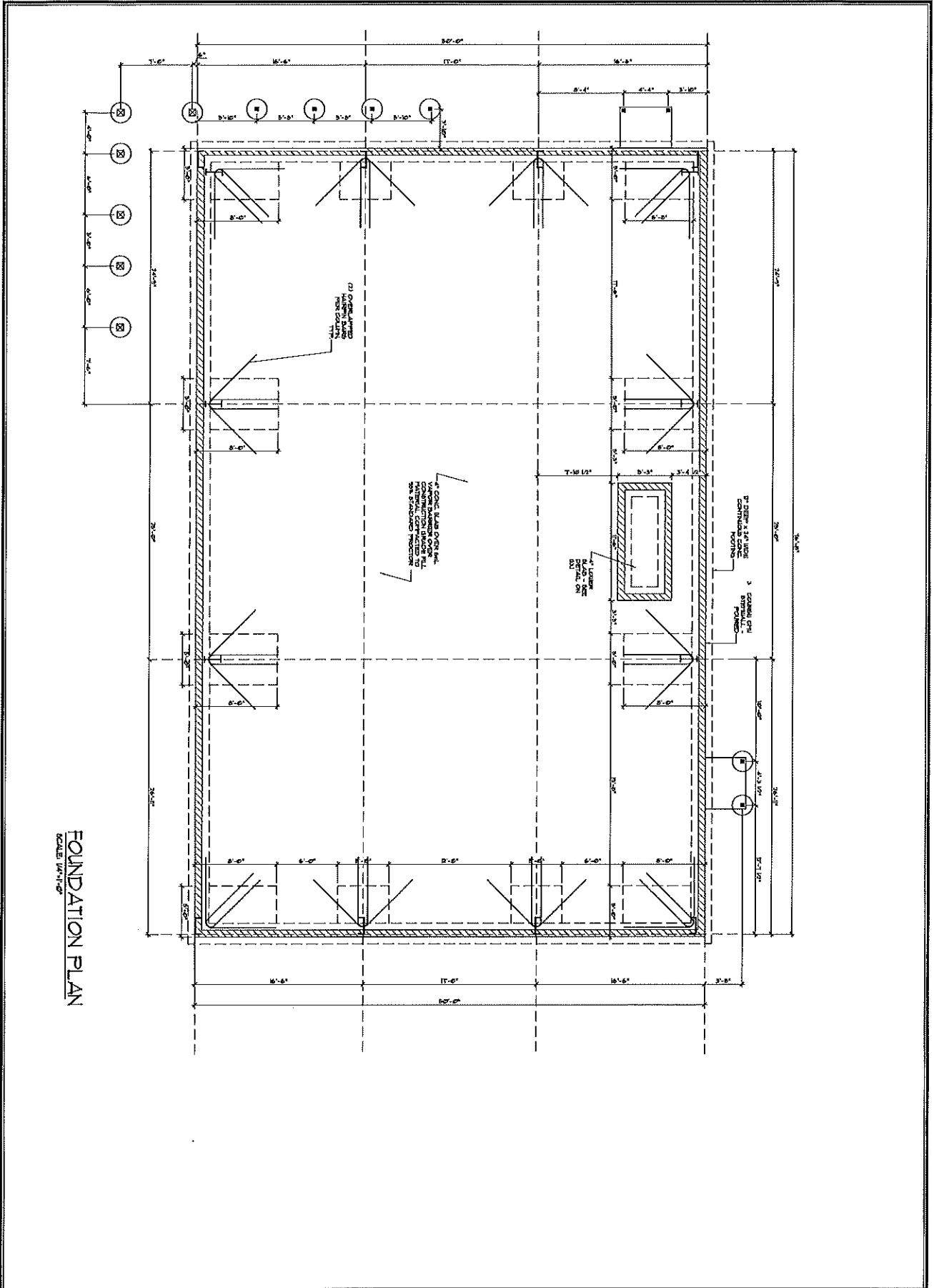
CONSTRUCTION DOCUMENTS:
 CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE I
 APALACHICOLA, FLORIDA

Rev.	Date	Description

Drawn By: MB
 JS
 Checked By: MB
 Date of Plot: 2/11/21
 2020 - 51

The client hereby certifies that the information provided herein is true and correct to the best of their knowledge and belief. The client understands that the information provided herein is for the use of the architect and is not to be used for any other purpose without the written consent of the architect.

MB
 ARCHITECTS, INC.
 1000 W. 10TH AVENUE
 SUITE 200
 GAINESVILLE, FLORIDA 32609
 www.mbaa.com



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE 1
 APALACHICOLA, FLORIDA

Rev.	Date	Description

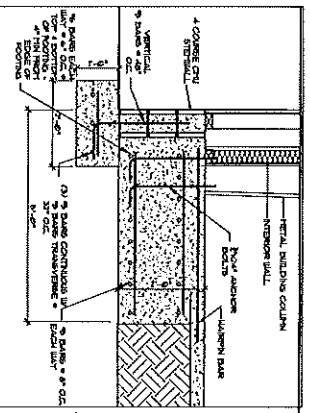
Checked By: **MB**
 Drawn By: **JB**

Date of Print: **2/1/21**

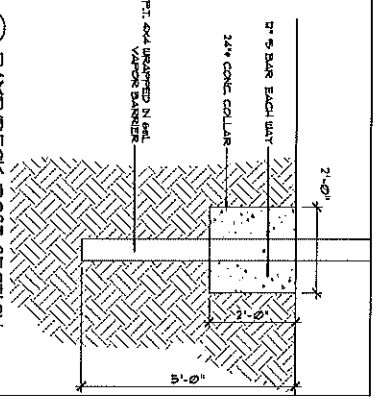
Project Number: **2020-51**

The Plans herein are prepared for the individual property owner. The user of these plans shall be responsible for the accuracy of the information provided. The user shall be responsible for the accuracy of the information provided. The user shall be responsible for the accuracy of the information provided.

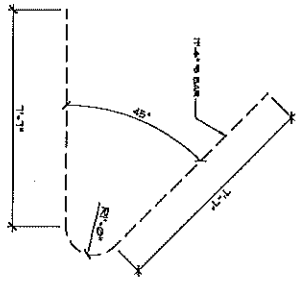
MB
 CONSULTING ENGINEERS
 1000 W. 10th Street
 Apalachicola, FL 32903
 Phone: 888.252.2525
 Fax: 888.252.2525
 Email: info@mbce.com



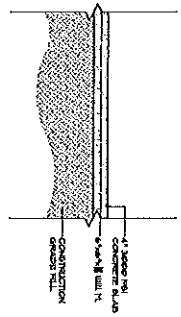
1 FOOTING DETAIL
SCALE: 3/4\"/>



4 RAMP/DECK POST SECTION
SCALE: 3/4\"/>



2 HAIRPIN BAR DETAIL
SCALE: 3/4\"/>



3 TYPICAL SLAB DETAIL
SCALE: 3/4\"/>

GENERAL STRUCTURAL NOTES:

- 1) FOUNDATION DESIGN IS BASED UPON AN ASSUMED SOIL BEARING CAPACITY OF 3000 PSF. CONTRACTOR SHALL VERIFY SOIL CAPACITY WITH A NUMBER OF SOIL COMPACTION TESTS UNDER THE FOOTING OF THE BUILDING. TEST BY A LICENSED SOIL ENGINEER. PROVIDE TEST RESULTS TO ARCHITECT FOR REVIEW.
- 2) REMOVE ALL DEBRIS, SILL, HAIR, ORGANIC MATERIALS AND ANY OTHER DELETERIOUS MATERIALS PRIOR TO THE PLACEMENT OF SOIL. REMOVE TO A DISTANCE OF 5 FEET BEYOND THE FOUNDATION AND ANY HORIZONTAL SLAB WORK.
- 3) ALL SOIL FILL MATERIAL SHALL BE PLACED AND COMPACTION IN 6" LIFTS - MAXIMUM AFTER FILL IS BROUGHT TO FINAL GRADE. PERFORM SOIL COMPACTION TESTS AT A RATE OF 1000 SQ. FT. OF FOUNDATION AREA PER TEST. COMPACTION SHALL BE MEASURED FROM TOP SURFACE OF SOIL TO BE ADDED TO THE SOIL TO OBTAIN COMPACTION. FIELD ACCEPTABLE TO THE SOIL TESTING COMPANY. PERFORM SOIL COMPACTION TEST UNDER EVERY OTHER STRUCTURAL FOOTING. COMPACTION IS LESS THEN SPECIFIED, TEST THE NEXT ADJACENT FOOTING UNTIL COMPACTION IS AS SPECIFIED.
- 4) CONCRETE SHALL BE 3000 PSF DESIGN MIX AS SPECIFIED. REINFORCING BARS SHALL BE IN THE RANGE OF #2 TO #6 UNLESS EXCEPT PLAN. 4000 PSI STRENGTH AND CAN VERIFY THAT CONCRETE WILL TEST ABOVE 3000 PSF AT 28 DAYS. MAKE SLUMP TEST ON FIRST CONCRETE POUR AND PERFORM 3 ADDITIONAL TESTS IN THICK WALLS, THICK SLABS, THICK CONCRETE TEST THICKNESS FROM THE SAME TRUCKS AND PERFORM CONCRETE TESTS AT 7 DAYS, 14 DAYS AND 28 DAYS TO VERIFY CONCRETE STRENGTH.
- 5) CONCRETE SHALL BE PLACED PER A.C.I. 308.4.5 AND ALL ELECTRICAL VENTURES SHALL BE INSTALLED TO COMMODATE CONCRETE CURING. APPROVED FORMS AND REINFORCING MATERIALS, REINFORCING PLAN SHALL BE 3/8" OR 1/2" THICKER IN ANY HORIZONTAL DIRECTION AND OVERALL SLAB SHALL BE MIN. 4" OR LABEL. AT THE CORNERS OF THE BUILDING, CONCRETE SUB-CORNER SHALL BE RESPONSIBLE FOR ANY REPAIRS TO MAKE THE SLAB FLATNESS AND LEVELNESS TEST THESE REQUIREMENTS.
- 6) ALL REINFORCING STEEL WITH DEFORMATIONS SHALL BE GRADE 60 AND SHALL CONFORM TO ASTM A63. ALL CONCRETE STEEL SHALL BE LAPPED PER A.C.I. 308.4.5.5 AND ALL CONCRETE STEEL SHALL BE LAPPED PER A.C.I. 308.4.5.5. REINFORCING AND PLACEMENT SHALL TEST AT 28 AND 56 DAY TESTS. COVER SHALL CONFORM WITH A.C.I. 308.4.5.5. ALL REINFORCING SHALL CONFORM TO ASTM A63 AND TEST SHALL LAP MINIMUM ONE FULL BEND FROM TYPICAL. ALL CONCRETE SHALL BE FINISHED AS FOLLOWS: FINISH FLOOR SLAB - MACHINE TROWEL SMOOTH FINISH + STRENGTHEN - SMOOTH FINISH
- 7) CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY APPROPRIATE FLOOR FINISHES + EQUIPMENT



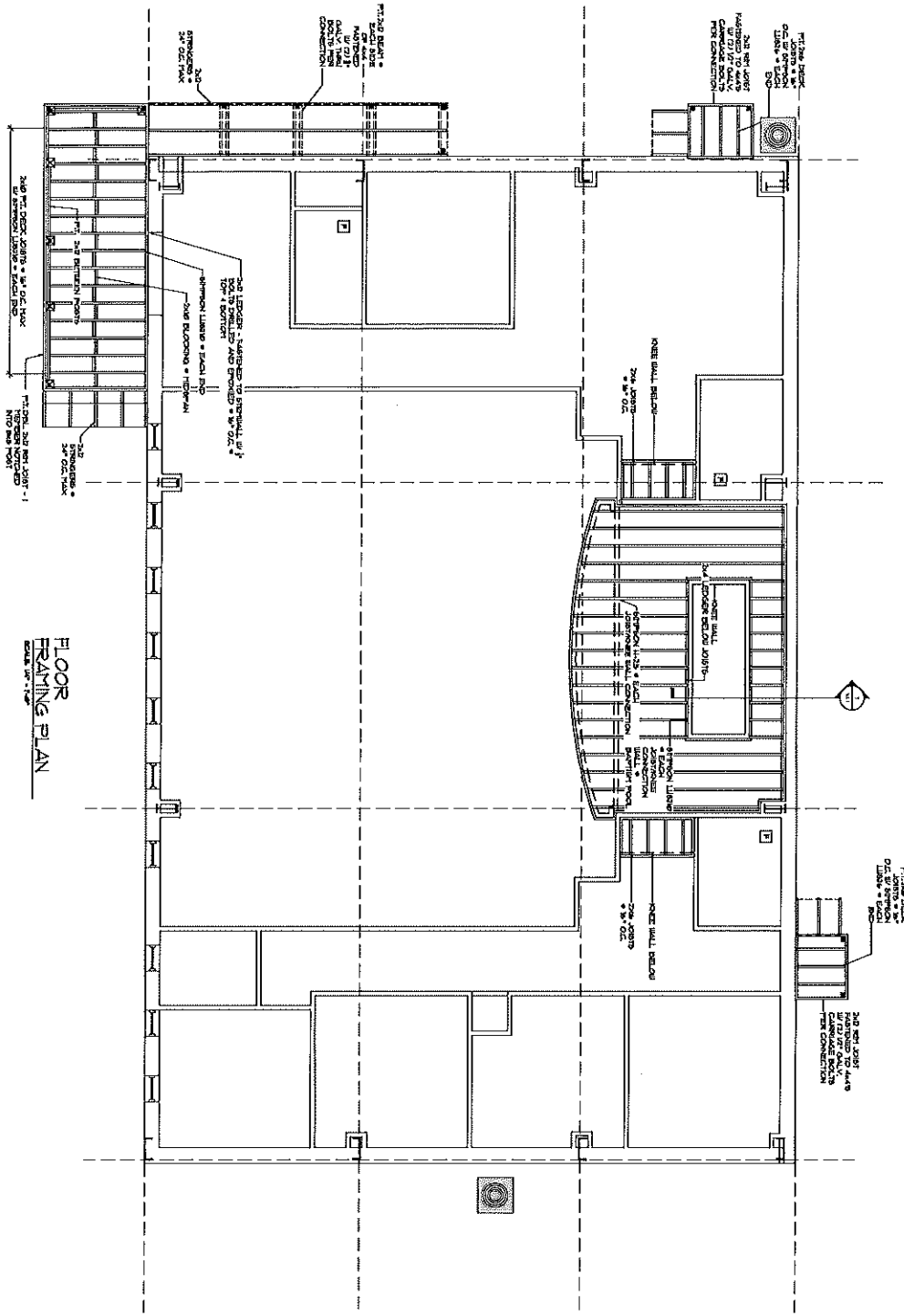
PROFESSIONAL ENGINEER
 MICHAEL B. BROWN, P.E.
 1200 AVENUE PALACHE
 PALACHE, FLORIDA 32909
 PHONE: 888-234-2345
 FAX: 888-234-2346
 PROJECT NUMBER: 2020-57
 DATE OF PRINT: 2/1/21

THIS DRAWING HAS BEEN PREPARED BY THE ARCHITECT OR HIS EMPLOYEE AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

Checked By: MB
 Date of Print: 2/1/21
 Drawn By: JB

Rev.	Date	Description

CONSTRUCTION DOCUMENTS:
 CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE PALACHE
 PALACHE, FLORIDA



FLOOR FRAMING PLAN
Scale: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS:

CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 180 AVENUE I
 APALACHICOLA, FLORIDA

52.1

Sheet Number

Rev.	Date	Description

Project Number	2020 - 51
Date of Print	2/11/21
Checked By	MB
Drawn By	JB

The plans herein are prepared by MB Engineering, Inc. and are the property of MB Engineering, Inc. No part of these plans may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of MB Engineering, Inc.

MB
 ENGINEERING, INC.
 1000 W. UNIVERSITY BLVD.
 SUITE 100
 GAITHERSBURG, MD 20878
 (301) 251-1100
 www.mbeinc.com

GENERAL

1. THE FOUNDATION SHALL COMPLY WITH ALL LOCAL, STATE, FEDERAL, NATIONAL, TRIBAL AND OTHER CODES AND REGULATIONS WITH THE STRUCTURAL CONTRACT DOCUMENTS AND SPECIFICATIONS. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.
2. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.
3. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.
4. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.
5. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.
6. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.
7. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.
8. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.
9. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.
10. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.

STRUCTURAL REQUIREMENTS

THE STRUCTURAL REQUIREMENTS SHALL NOT HAVE CONTROL OR BE RESPONSIBLE FOR THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS. THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL BE THE BASIS FOR THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS. THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL BE THE BASIS FOR THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.

CONCRETE REVISIONS

ALL CONCRETE SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, FEDERAL, NATIONAL, TRIBAL AND OTHER CODES AND REGULATIONS WITH THE STRUCTURAL CONTRACT DOCUMENTS AND SPECIFICATIONS. THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL BE THE BASIS FOR THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.

CERTIFICATION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS. THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL BE THE BASIS FOR THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.

PAVING SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT	DATE
1	PAVING SCHEDULE	100	SQ. YD.	1/1/21
2	PAVING SCHEDULE	200	SQ. YD.	2/1/21
3	PAVING SCHEDULE	300	SQ. YD.	3/1/21

FOUNDATION

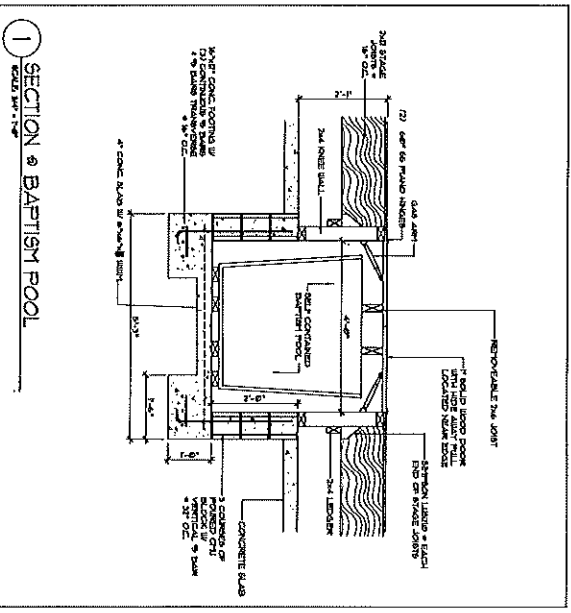
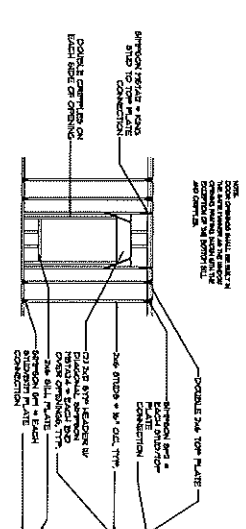
FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, FEDERAL, NATIONAL, TRIBAL AND OTHER CODES AND REGULATIONS WITH THE STRUCTURAL CONTRACT DOCUMENTS AND SPECIFICATIONS. THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL BE THE BASIS FOR THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.

CONCRETE

CONCRETE SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, FEDERAL, NATIONAL, TRIBAL AND OTHER CODES AND REGULATIONS WITH THE STRUCTURAL CONTRACT DOCUMENTS AND SPECIFICATIONS. THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL BE THE BASIS FOR THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.

REVISIONS

REVISIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, FEDERAL, NATIONAL, TRIBAL AND OTHER CODES AND REGULATIONS WITH THE STRUCTURAL CONTRACT DOCUMENTS AND SPECIFICATIONS. THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL BE THE BASIS FOR THE FOUNDATION CONTRACT DOCUMENTS AND SPECIFICATIONS.



Rev.	Date	Description

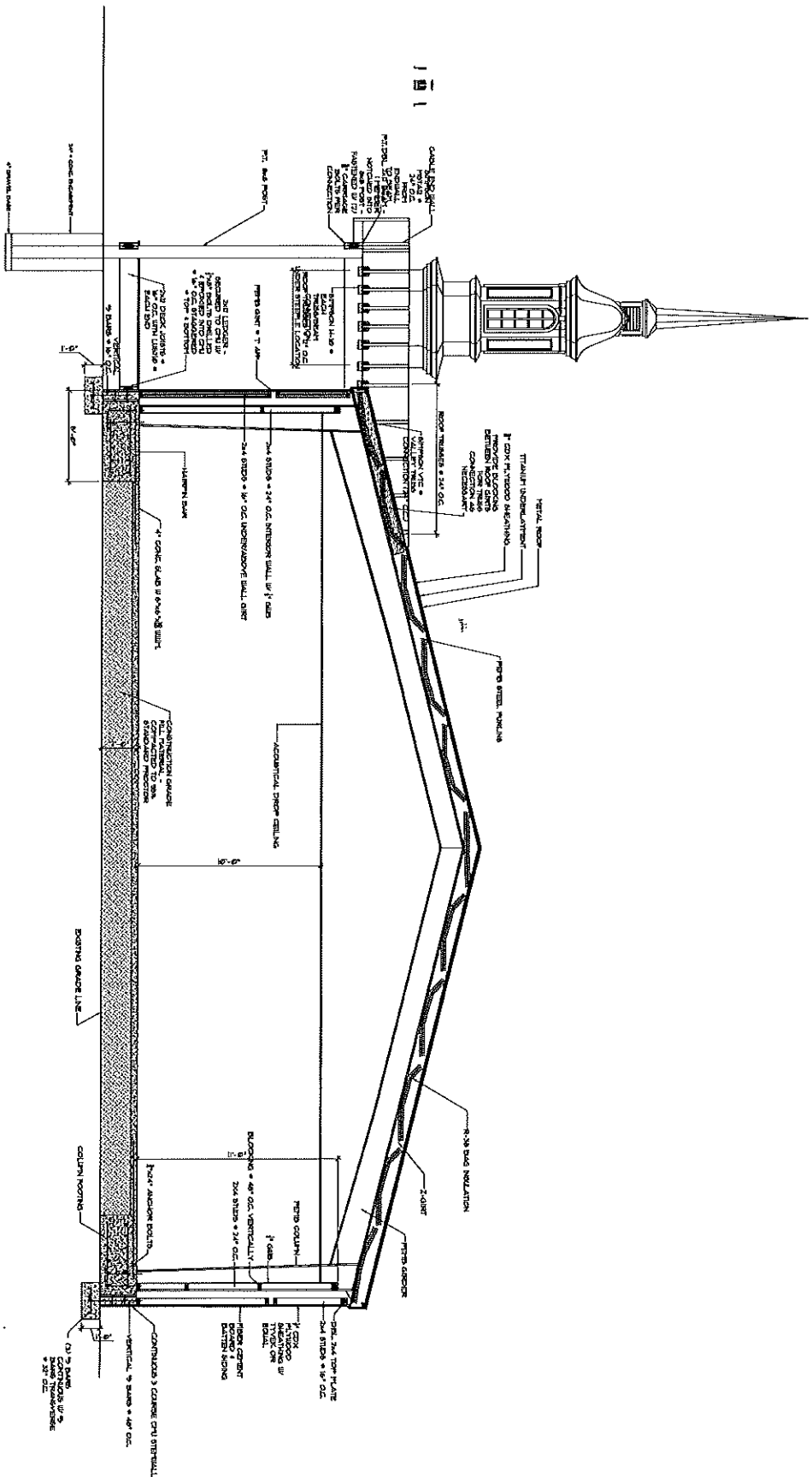
Checked By:
 Drawn By: JB

Date of Print: 2/1/21

Project Number: 2020-51

Scale: AS SHOWN

MB PROJECTS



BUILDING SECTION
SCALE 3/8" = 1'-0"

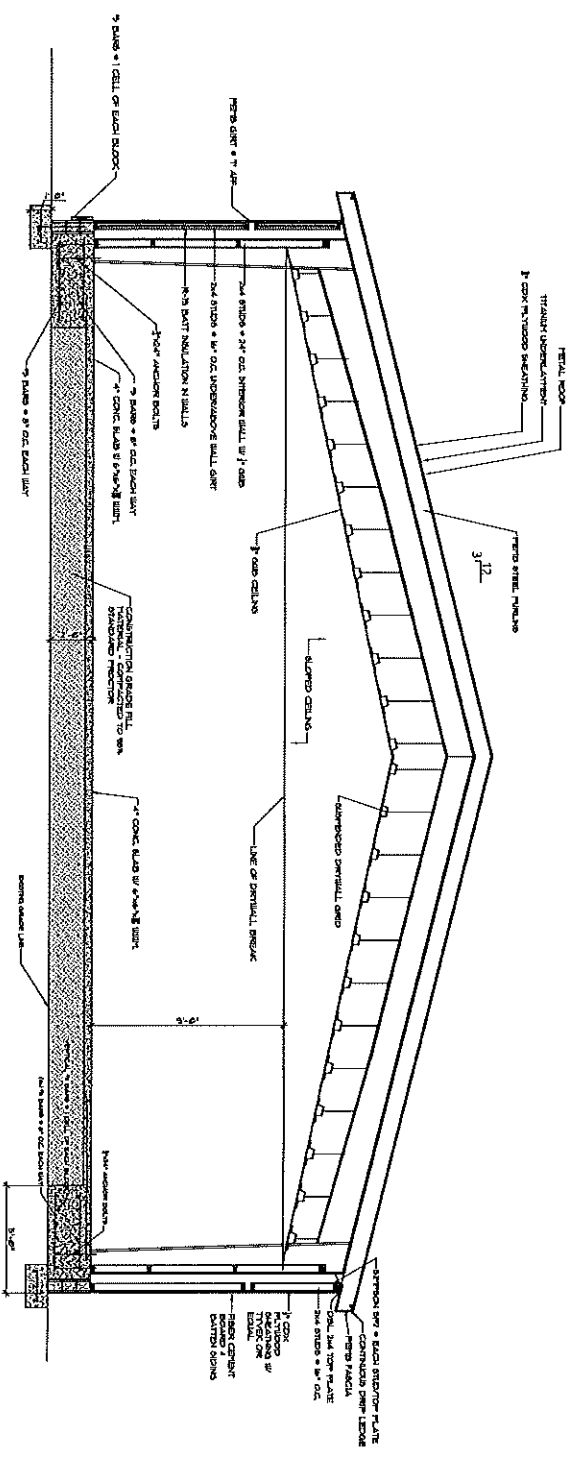
CONSTRUCTION DOCUMENTS:
 CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 1220 AVENUE I
 APALACHICOLA, FLORIDA

Rev.	Date	Description

Drawn By: HB
 Checkd By: JB
 Date of Plot: 2/11/21
 Sheet No: 51

MB
 ARCHITECTS
 1000 W. UNIVERSITY AVENUE
 SUITE 200
 GAINESVILLE, FL 32609
 (352) 339-1111
 www.mbaa.com

The plans herein are considered to be the work of the undersigned architect, engineer, builder, architect, or other professional person, and the undersigned is responsible for the accuracy of the information contained herein.



BUILDING SECTION
SCALE: 3/8" = 1'-0"

CONSTRUCTION DOCUMENTS:
 CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 128 AVENUE I
 PALM BACH, FLORIDA

Rev.	Date	Description

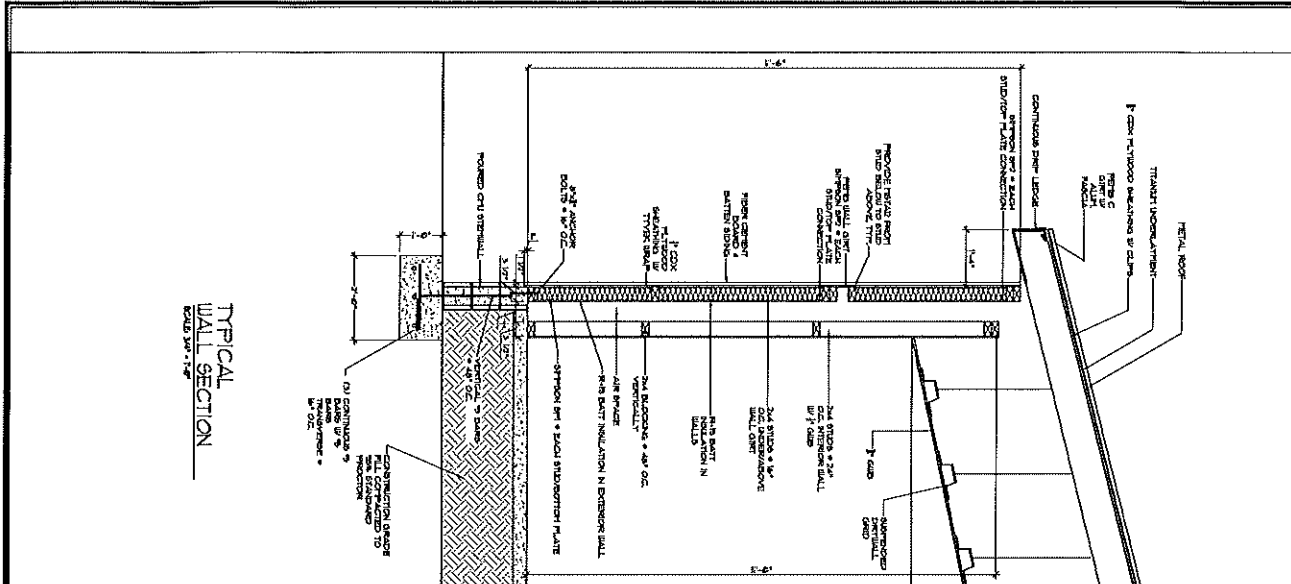
MB
 ARCHITECTS

12000 W. UNIVERSITY BLVD.
 SUITE 100
 WEST PALM BEACH, FL 33411
 (561) 839-9000

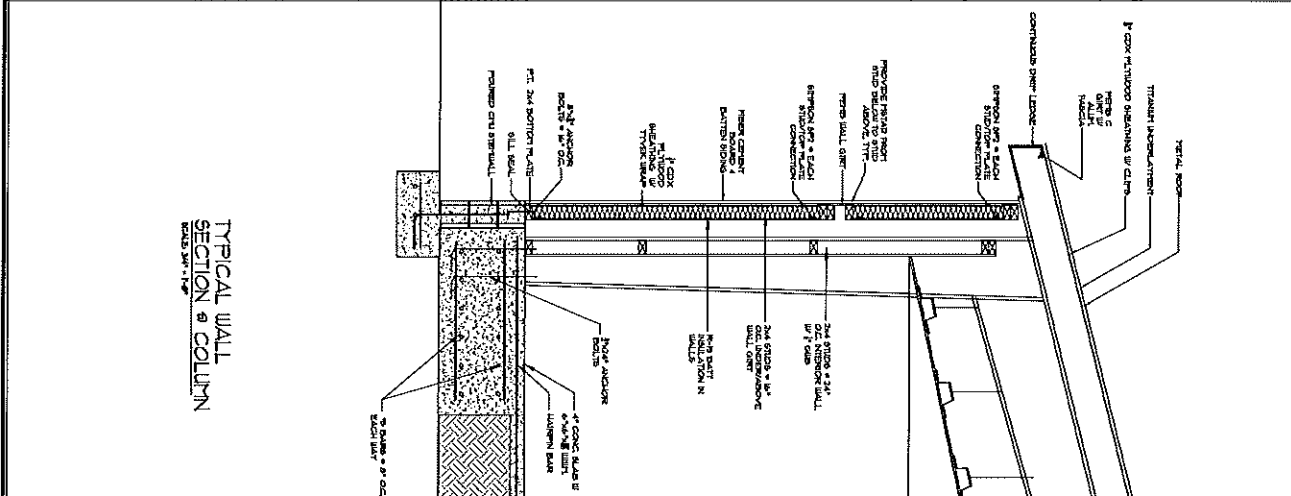
DATE: 2/21/21
 DRAWN BY: MB
 CHECKED BY: MB
 DIRECTOR: JB

2020 - 51

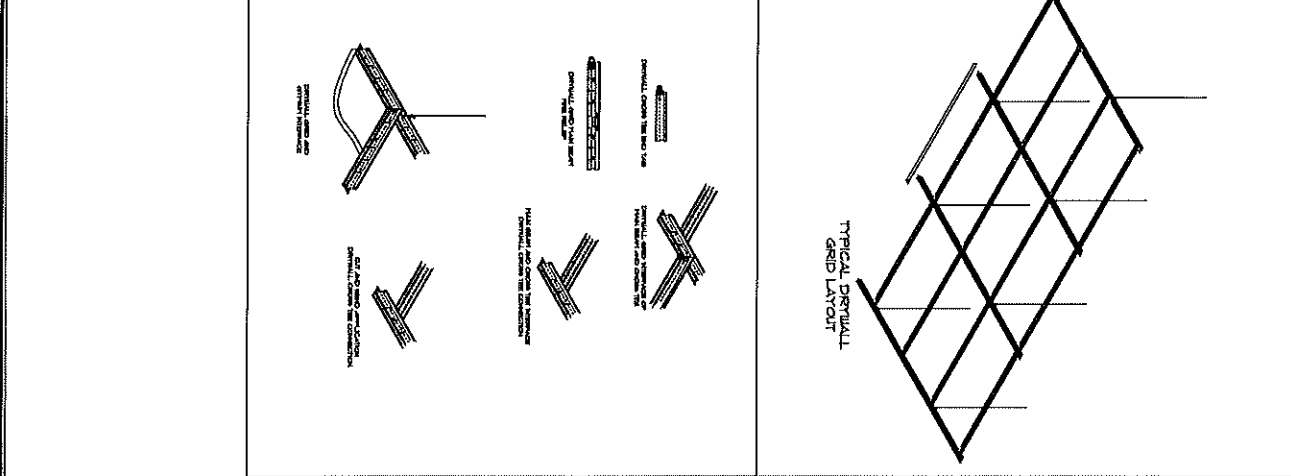
This plan shall be the intellectual property of MB Architects. No part of this plan may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of MB Architects.



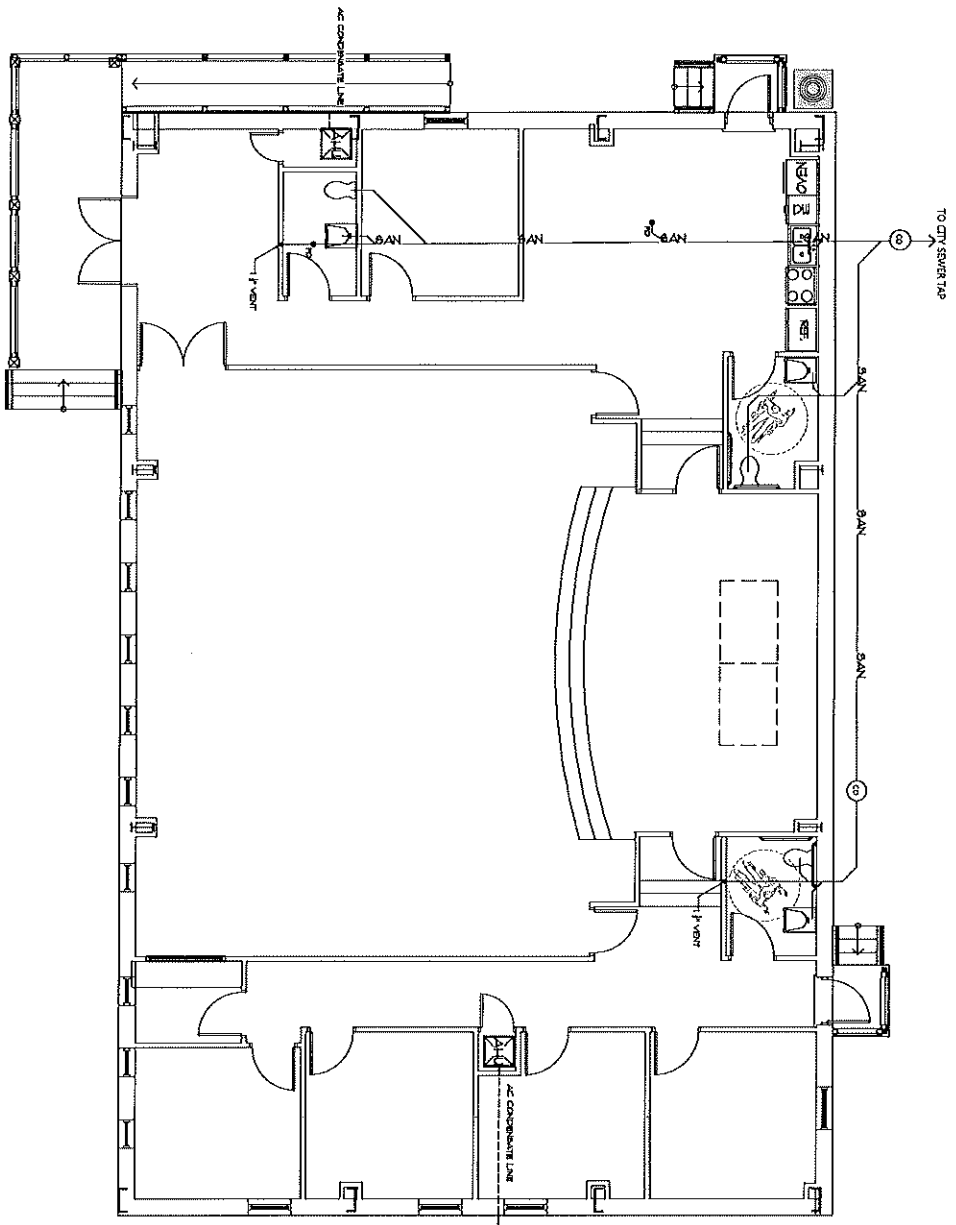
TYPICAL WALL SECTION
SCALE 3/4\"/>



TYPICAL WALL SECTION @ COLUMN
SCALE 3/4\"/>



<p>MB ARCHITECTS</p> <p>10000 W. UNIVERSITY BLVD. SUITE 100 FORT LAUDERDALE, FL 33404 TEL: 772-330-1000 WWW.MBARCHITECTS.COM</p>	<p>THIS DRAWING IS THE PROPERTY OF MB ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF MB ARCHITECTS.</p>
	<p>DATE OF PRINT: 2/1/21</p> <p>PROJECT NUMBER: 2020-51</p> <p>CHECKED BY: JB</p> <p>DRAWN BY: JB</p>
<p>CONSTRUCTION DOCUMENTS:</p> <p>CHURCH CONSTRUCTION PLANS HOLINESS CHURCH OF THE LIVING GOD, INC. 120 AVENUE I PALM BEACH, FLORIDA</p>	<p>Sheet Number: 55.1</p>



⊙	DOWN OFF
⊙	WALL CLEAN OFF
⊙	TOILET BRUSH
⊙	AC CONDENSATE LINE

SIZE (INCHES)	MIN. SLOPE (INCHES PER FOOT)
2 1/2" OR LESS	1/4"
3" - 6"	1/8"
8" OR LARGER	1/16"

FBC 7041

**SANITARY
PLUMBING PLAN**
SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS:

CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE F
 PALMACHOLA, FLORIDA

Sheet Number
P11

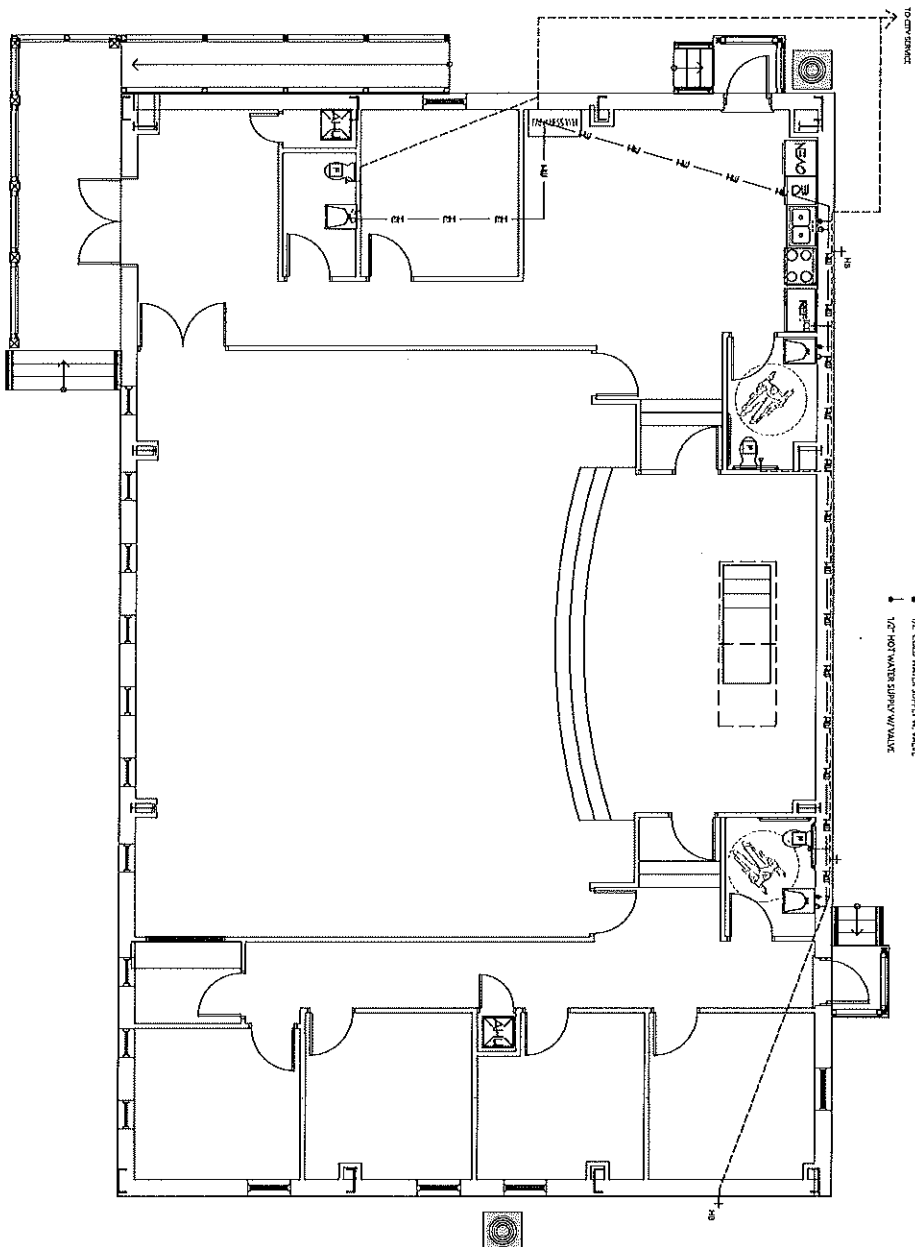
Rev.	Date	Description

Drawn By: JB
 Checked By: MB
 Date of Print: 2/11/21

Project Number: 2020 - 51
 Revision Number: 1

MB
 ARCHITECTS
 PROFESSIONAL REGISTERED ARCHITECT
 120 AVENUE F
 PALMACHOLA, FLORIDA 32909
 (888) 888-8888
 www.mba.com

This document is the property of MB Architects and is not to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of MB Architects.



**DOMESTIC WATER SUPPLY
PLUMBING PLAN**
SCALE: 1/4" = 1'-0"

Sheet Number
P21

CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE I
 APALACHICOLA, FLORIDA

Rev.	Date	Description

Project Number:
2020 - 51

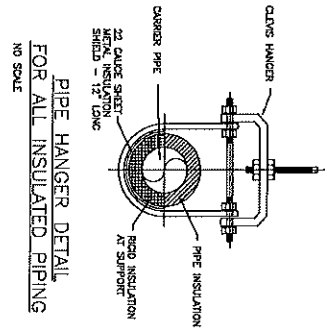
Date of Print:
2/1/21

Checked By:
MB

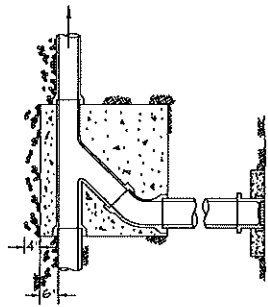
Drawn By:
JB

MB
 ARCHITECTS
 10000 W. UNIVERSITY BLVD.
 SUITE 100
 WEST PALM BEACH, FL 33411
 TEL: 561.835.1000
 WWW.MBARCHITECTS.COM

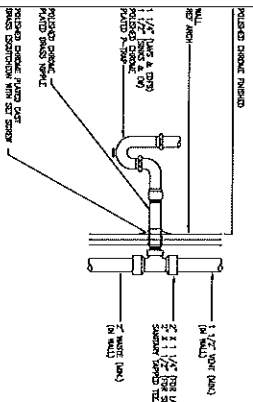
This drawing has been prepared by the Architectural Engineering Division of MB Architects, Inc. The design and construction of this project shall be the responsibility of the client. MB Architects, Inc. is not responsible for any errors or omissions in this drawing.



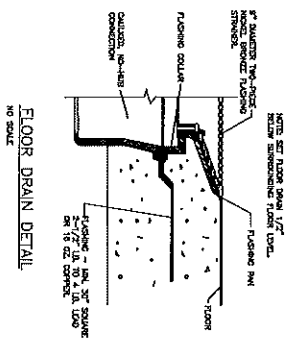
TYPICAL DETAIL
SCALE: 3/4\"/>



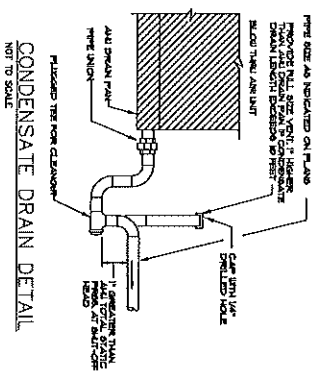
TYPICAL DETAIL
SCALE: 3/4\"/>



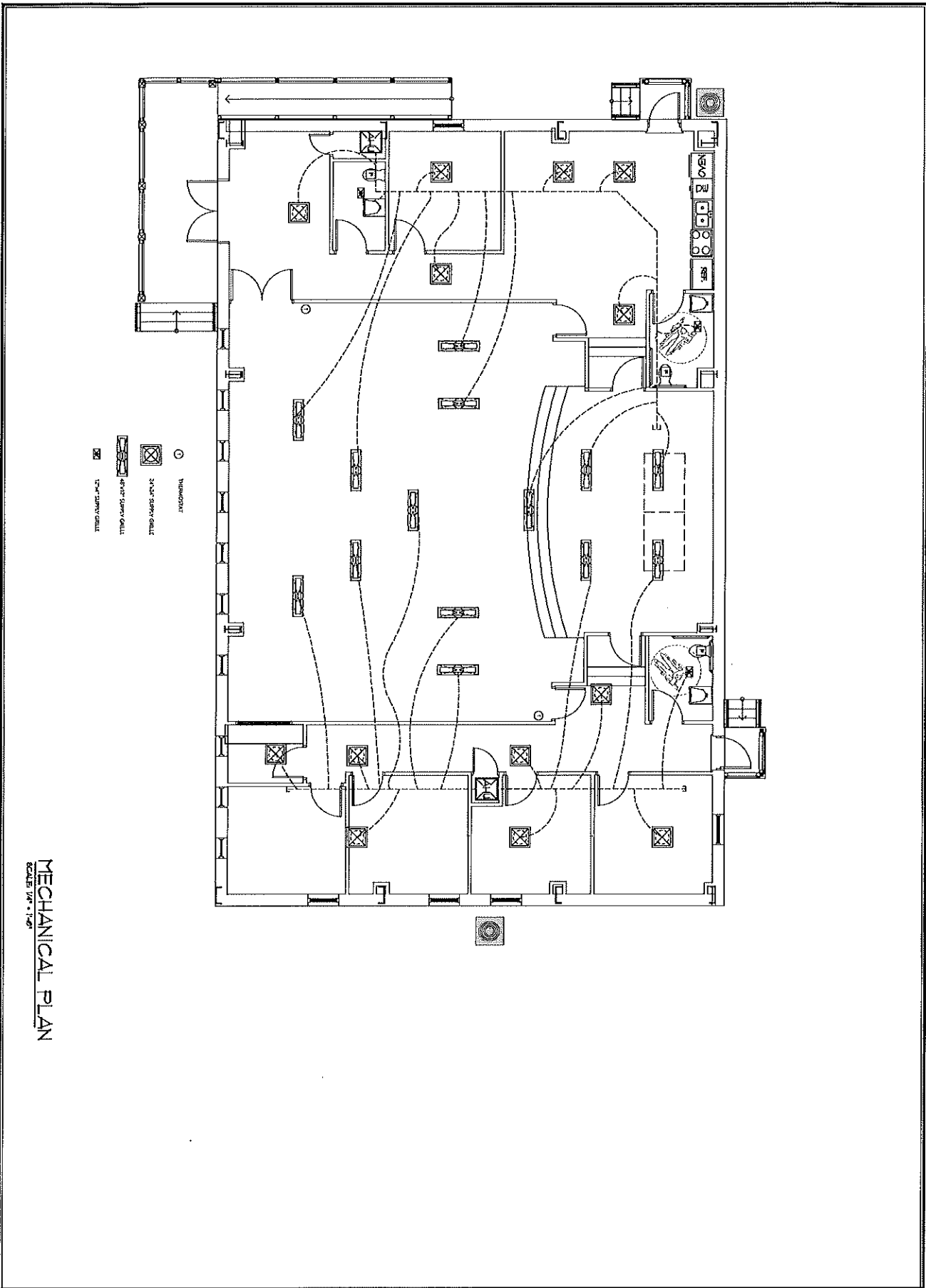
TYPICAL DETAIL
SCALE: 3/4\"/>



TYPICAL DETAIL
SCALE: 3/4\"/>



TYPICAL DETAIL
SCALE: 3/4\"/>



MECHANICAL PLAN
SCALE: 1/4" = 1'-0"

<p>Sheet Number M11</p>	<p>CONSTRUCTION DOCUMENTS:</p> <p>CHURCH CONSTRUCTION PLANS HOLINESS CHURCH OF THE LIVING GOD, INC. 122 AVENUE I APALACHICOLA, FLORIDA</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Rev.	Date	Description													<p>Drawn By JLB</p>	<p>Checked By MB</p>	<p>Date of Print 2/11/21</p>	<p>Project Number 2020 - 51</p>	<p>This plan has been prepared for the use of the contractor and is not to be used for any other purpose without the written consent of the architect. The contractor shall be responsible for the accuracy of the information shown on this plan.</p>	<p>MB CONSULTING ENGINEERS 1000 W. UNIVERSITY BLVD. SUITE 201 GAITHERSBURG, MD 20878 (301) 251-1100 www.mbcpe.com</p>
Rev.	Date	Description																					

HVAC GENERAL NOTES:

1. REFER TO DRAWING T-1 TITLE SHEET FOR ADDITIONAL NOTES.
2. CONTRACTOR SHALL DESIGN AND INSTALL ALL TEES WITH FULL COMPLIANCE WITH APPLICABLE FLORIDA STATE LAW COUNTY & CITY OF LIMA HAVEN BUILDING CODE AND ORDINANCES REQUIRING.
3. ALL DUCT WORK SHALL BE NEW & CONSTRUCTED & INSTALLED IN ACCORDANCE WITH NFPA REQUIREMENTS.
4. ALL DUCT SEALS INDICATED ON PLANS AND NOTES ARE SEALS UNLESS INDICATED. DUCT SEALS NOT SHOWN SHALL BE SEALS TO EXISTING OR EXISTING THAN UPSTREAM SECTION UNLESS SHOWN OTHERWISE.
5. ACCORDING TO NFPA & SECTION AIR DUCTS SHALL BE 1"-1 1/2" THICK (RIGID) FIBERGLASS DUCTWORK. DUCTWORK SHALL BE ANSI OR ASME AS PERMITTED BY SECTION EXCEPT ON THE DUCT SEALS.
6. ALL FLEXIBLE CLASS MATERIALS JOINTS, SEAMS AND CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF SMCLA. FLEXIBLE CLASS DUCT CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF SMCLA. ALL FLEXIBLE CLASS DUCT CONNECTIONS SHALL BE CLASS 1, UL-181 AND ALL CLASS 2 SHALL BE CLASS 2, UL-181.
7. EXISTING DUCTWORK SHALL BE TYPE 18-20 AND AS INDICATED BY OTHER CONSTRUCTION SPECIFICATIONS WITH 1/2" SWEET METAL STRIPS AT 5'-0" ON CENTER. SUPPORT DUCTWORK 1" FROM EACH SUPPORT, BRACKET OR HANGAR BOX.
8. FOR EXISTING LOCATIONS OF ROUND-MOUNTED AIR DEFLECTORS, GRILLS AND RESISTERS, SEE ELECTRICAL LIGHTING PLAN.
9. EXHAUST DUCTWORK SHALL BE 3/4" GA. GAL. UNLACQUATED GALVANIZED STEEL.
10. PLANT INSIDE OF DUCTS VISIBLE THROUGH GRILLS AND RESISTERS WITH FLAT BLACK PAINT.
11. COORDINATE ALL HVAC SYSTEM DRAWINGS WITH MECHANICAL DRAWINGS DURING SHOP DRAWING REVIEW TO AVOID INTERFERENCES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INTERFERENCES ARE CORRECTED BEFORE PROCEEDING WITH CONSTRUCTION. INTERFERENCES THAT OCCUR IN FIELD DURING CONSTRUCTION, COORDINATE ALL DUCT SEALS TO BE INSTALLED TO FIT THROUGH ALL OPENINGS SHALL BE A MINIMUM OF 1/2" FROM ALL EXHAUST AND CONTAMINATION AND 1/2" ABOVE GRADE.
12. FRESH AIR INTAKES SHALL BE A MINIMUM OF 12" FROM ALL EXHAUST AND CONTAMINATION AND 1/2" ABOVE GRADE.
13. WHERE PERMITS REQUIRE FIRE RATED WALLS AND FLOORS, PROVIDE FIRE RATED WALLS AND FLOORS WITH PERMITS. PERMITS SHALL BE OBTAINED FROM THE RESPECTIVE JURISDICTION. THE STOP INSTALLATION SHALL BE IN THE DUCTS SHALL BE TO EXISTING RATING OF WALL, FLOOR OR CEILING.
14. PROVIDE 2 HR. RATED FIRE DAMPERS IN DUCTS AT ALL FLOOR PENETRATIONS & ALL FIRE RATED WALL PENETRATIONS.
15. DUCT CONSTRUCTION SHALL BE AS PER SMCLA STANDARDS AND ASHRAE GUIDELINES AND SHALL BE GALVANIZED SHEET METAL (UNLESS NOTED).
16. ALL HANGERS, DUCT AND PIPE SUPPORTS, ETC. SHALL BE GALVANIZED STEEL.
17. ELECTRICAL CONTRACTORS SHALL PROVIDE POWER WIRING, THE MECHANICAL CONTRACTOR SHALL DESIGN AND INSTALL ALL TEMPERATURE, CONTROLS, WIRING AND CONNECTIONS TO EXISTING AS NOTED.
18. EXISTING WORK WITH OTHER TRADES AND SPECIAL SECTIONS TO CLEAR PERMITS, DUCTS AND OTHER STRUCTURAL FEATURES.
19. PROVIDE FRESH AIR AND WATER SEALS FOR WALL PENETRATIONS.
20. IF THE CONTRACTOR PERFORMS ANY WORK NEARING OR HAVING RELATION TO KNOW THAT THE WORK IS CONTRARY TO THE FLORIDA BUILDING CODE REQUIREMENTS, HE SHALL NOTIFY THE OWNER IMMEDIATELY.
21. ALL DUCTWORK AT THE AIRTE SPACES SHALL BE INSULATED WITH 2" THICK XPS/PIR FIBERGLASS INSULATION OF THE FRAMES TYPE ALL SEALS WITH 2" INSULATION UNLESS NOTED.
22. REVIEW THE MECHANICAL LAYOUT WITH THE OWNER AT BEGINNING OF MECHANICAL DUCT LAYOUT.
23. ALL STARTY AIR RESISTERS SHALL BE SEALS WITH ADJUSTABLE OPERATIONAL VAVES AND OPERATED BLADE DAMPERS. RETURN AIR RESISTERS SHALL HAVE FIBERGLASS INSULATION WITH SPACER BLADE DAMPERS. ONLY RETURN SEALS AND FRESH AIR INTAKES.
24. PROVIDE BUILDING DAMPERS AT EACH DUCT TAKE - OFF FROM MAIN DUCTWORK TO OBTAIN THE SPECIFIED CRUISE. PROVIDE LOOKING DOWN FOR EACH BUILDING DAMPER.
25. BUILDING AIR DUCT TO EACH RESISTOR.
26. PROVIDE DISASSEMBLING ONLY ACTUAL LOCATIONS AND ROUTING OF PRESS DUCT, ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHOULD COORDINATE WITH OTHER TRADES FOR SEALS, REPAIRS AND INTERFERENCES. INSTALL VAVES IN CONFORMANCE WITH PERMITS AND/OR LOCAL CODES FOR EACH SEALS.
27. PROVIDE MAINT. LOCKABLE VOLUME DAMPERS IN ALL BRANCH DUCTS.
28. ALL SUPPLY AIR DUCTS FROM MAIN TRUNK DUCTS ARE TO BE INSTALLED WITH BELL, MOUTH FITTING OR 45 DEGREE CONE TO PROVIDE THE AIRWAY, AS NOTED.

29. PROVIDE TUBING UNLESS IN ALL LOW-PRESSURE OR DEGREE DUCT WORK.
30. ALL RETURN EQUIPMENT SHALL BE INSTALLED WITH VIBRATION ISOLATORS AND PROVIDED WITH FLEXIBLE DUCT CONNECTIONS.
31. EQUIPMENT INSTALLED UNDER THE CONTRACTOR SHALL BE SERVICED BY THE CONTRACTOR FOR ONE (1) YEAR AT NO ADDITIONAL COST.
32. HEAT PAID CIRCUITS SHALL BE CONDENSATOR AND ISOLATED FOR IDEALIZATION AND NOISE CONTROL.
33. COMPRESSOR SHALL BE COMPLETELY HERMETIC TYPE, RESIDENTIALLY MOUNTED BASIC STEEL COMPANED AND DRIVE DISHED COMPRESSOR UNIT SHALL BE RESIDENTIALLY MOUNTED WITHIN UNIT CABINET.
34. COILS SHALL BE CONSTRUCTION OF COPPER TUBES WITH ALUMINUM FINS.
35. HANGAR AIR BRACES SHALL BE CONSTRUCTION TYPE, DIRECT GRADE AND SHALL BE STAINLESS AND SHOCKABLY BALANCED, RESIDENTIALLY MOUNTED ON ADJUSTABLE BASE.
36. PROVIDE FIVE (5) YEAR WARRANTY FOR COMPRESSOR. IF COMPRESSOR FAILS, ALL REPAIRS OR REPLACEMENT WILL BE MADE WITHOUT COST TO OWNER.
37. CONTROL OUTSIDE AIR INTAKE WITH VOLUME CONTROL DAMPER. UNITS SHALL HAVE AN "OFF-ON-AUTOMATIC" SWITCH, AND FAN "ON-OFF" SWITCH ON THERMOSTAT BASE. UNIT SHALL BE OPERATED WITH FAN SWITCH IN "ON" POSITION FOR CONTINUOUS AIR FRESHENING WHEN UNIT IS OPERATING.
38. UNITS SHALL HAVE AN "OFF-ON-AUTOMATIC" SWITCH, AND FAN "ON-OFF" SWITCH ON THERMOSTAT BASE. UNIT SHALL BE OPERATED WITH FAN SWITCH IN "ON" POSITION FOR CONTINUOUS AIR FRESHENING WHEN UNIT IS OPERATING.
39. FINISH ALL WIRING, CONTROL RELAYS, CONTRACTORS, STARTERS, ETC. PROVIDED FOR DRIVE CONTROL SYSTEM. ALL EQUIPMENT SHALL LEFT OPEN AND REPAIRS SPECIFIED IN THE ELECTRICAL SCHEMATIC OF THESE SPECIFICATIONS.
40. CONTROLS AND CONTROLLED EQUIPMENT SHALL HAVE OVERLOAD AND VOLTAGE PROTECTION.
41. DUCT OPERATION THROUGHT 5'-0" ABOVE FLOOR.
42. PROVIDE CONDENSATE PANS WITH 2" DEEP TRAYS FROM DOWN CONNECTIONS TO WITHIN 5" OF ROUND, ROUND DOWN PIPE 3" OUT FROM UNIT AND TRAY DOWN WITH DOWN.
43. DUCTWORK, ALL DUCTWORK SHALL BE INSTALLED AS NOTED. ALL UNITS SHALL BE INSTALLED TO REQUIREMENTS OF ASHRAE CODE. ALL DUCTWORK JOINTS, SEAMS AND CONNECTIONS SHALL BE NEW UNLESS NOTED OR BEST QUALITY DUCTWORK SHALL BE A FIBERGLASS INSULATION SHALL BE MADE IN ACCORDANCE WITH SMCLA. RECOMMENDATIONS UNLESS INDICATED AS A FIBERGLASS INSULATION.
44. DUCTWORK SHALL BE SEALS TYPE STEEL CONSTRUCTION, NONVULNERABLE CORNED, OPERATED BLADE CONTROL DAMPERS, FOUR DAMPER FOR EACH RESISTOR. SEALS SHALL BE 1/2" THICK XPS/PIR FIBERGLASS INSULATION OF THE FRAMES TYPE ALL SEALS WITH 2" INSULATION UNLESS NOTED.

HVAC KEY NOTES:

1. PROVIDE NEW SUPPLY AIR DEFLECTOR WITH NEW DUCTWORK CONNECT TO AIR HANDLER UNIT.
2. PROVIDE NEW RETURN AIR GRILL WITH DUCTWORK CONNECT TO AIR HANDLER UNIT.
3. PROVIDE NEW EXHAUST FAN TERMINAL WITH BACK RAFT DAMPER, BRG SCREEN, AND RAIN CAP. PROVIDE 4 HOI DAMPER DUCT FROM FAN TO RAIN CAP.
4. PROVIDE NEW CHASIS TO SECS HEAT PAID UNIT WITH DAMPINGING THROUGHTS. PROVIDE 1/2" THICK FIBERGLASS INSULATION WITH DUCTS AND DEFLECTORS.
5. PROVIDE DUCT INSULATION.

CONSTRUCTION DOCUMENTS:

CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 122 AVENUE 1
 APALACHICOLA, FLORIDA

12.1

Rev.	Date	Description

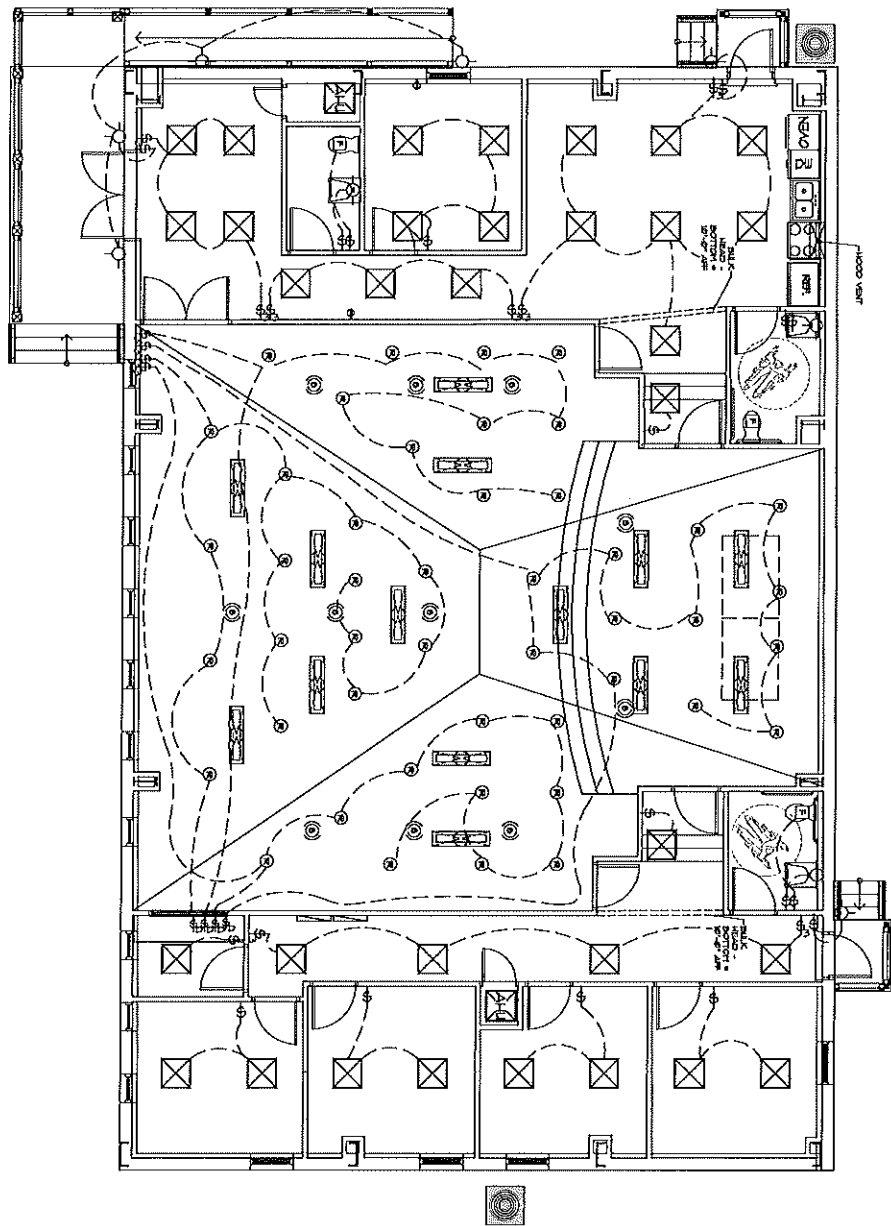


The State of Florida
 Department of Banking and Finance
 Division of Consumer Services
 2700 Bank Center Blvd.
 Tallahassee, FL 32309
 (904) 493-2000
 www.myfloridalegal.com

2/11/21

Checked By: JB

Drawn By: JB



**ELECTRICAL
LIGHTING PLAN**
SCALE: 1/4" = 1'-0"

- ☐ 2x2 FLUORESCENT LIGHT
- LIGHT/DIMMER TRANSMITTER
- ☐ WALL MOUNTED LIGHT FIXTURE
- ⊗ RECESSED CEILING FIXTURE

311
SHEET NUMBER

CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
122 AVENUE I
APALACHICOLA, FLORIDA

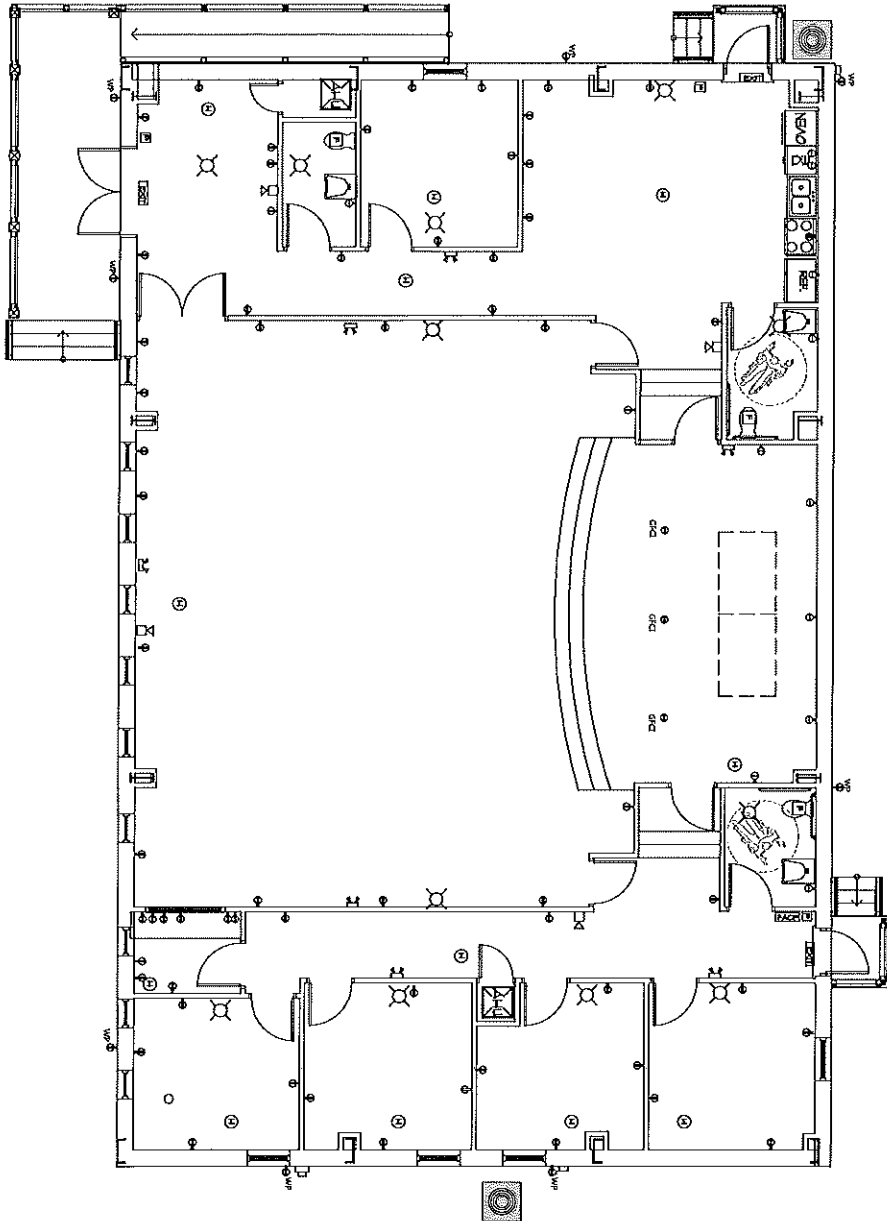
Rev.	Date	Description

Checked By: **MB**
Drawn By: **JB**

Project Number: **1000 - 51**
Date of Print: **2/1/21**

The owner hereby certifies that the information furnished herein is true and correct to the best of his knowledge and belief, and that he is not aware of any information that would cause the completion of these documents to be false or misleading.

MB
ENGINEERS
10000 W. UNIVERSITY BLVD.
SUITE 100
FORT LAUDERDALE, FLORIDA 33404
TEL: 954-875-1100
WWW.MBENGINEERS.COM



**ELECTRICAL
POWER PLAN**
SCALE: 1/4" = 1'-0"

- ① NEW ALARM CONTROL PANEL
 - ② NEW LIGHT
 - ③ REMOVED WALL MOUNTED BATTERY BACK UP
 - ④ WALL SWITCH
 - ⑤ HEAT DETECTOR
 - ⑥ SWITCH
 - ⑦ HORN AND STROBE
 - ⑧ 200V OUTLET
 - ⑨ 100V OUTLET - WALL MOUNTED 3/4" AIR, UNID.
 - ⑩ 100V GFCI PROTECTED OUTLET - 1/2" AIR AIR ON CABINET TOP.
 - ⑪ 100V FLOOR THRU OUTLET
 - ⑫ 100V 3P 4W GFCI DISCONNECT
 - ⑬ AIR CONDENSATE UNIT - ON FLOOR PLATFORM - TOP OF PLATFORM TO BE 2" MIN.
 - ⑭ BREAKER BOX
 - ⑮ WATER CUP
1. ALL UNUSUAL ELECTRICAL DEVICES AND REMOVED CODE VIOLATIONS SHALL FIRST BE NOTIFIED TO THE ELECTRICAL PANELS AND HAVE BACK TO THE ELECTRICAL PANELS AND HAVE BATTERIES RECHARGED. ALL ELECTRICAL DEVICES SHALL BE RECHARGED AND ALL ELECTRICAL DEVICES SHALL BE RECHARGED AND ALL ELECTRICAL DEVICES SHALL BE RECHARGED AND ALL ELECTRICAL DEVICES SHALL BE RECHARGED.
2. ALL ELECTRICAL PANELS SHALL BE PERMITTED LABORER.

CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE 1
 APALACHICOLA, FLORIDA

Rev.	Date	Description


Checked By: MB
 Date of Plot: 2/11/21
 Project Number: 2020-51
 The client hereby warrants that the information provided herein is true and correct to the best of their knowledge and belief. The client also warrants that the information provided herein is not intended to be construed as a contract or any other legal instrument.



MB CONSULTING
 PERSONNEL SERVICES
 1200 W. 10TH ST.
 SUITE 101
 TALLAHASSEE, FL 32304
 (904) 833-1234
 www.mbconsulting.com

GENERAL NOTES

1. OTHER ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE 2011 EDITION OF THE NATIONAL ELECTRICAL CODE.
2. CONDUIT RATING AND DOWEL/ANCHOR LOCATIONS SHALL BE DETERMINED ONLY, CONTRACTOR SHALL FIELD FIELD NOTES AND LOCATE AS REQUIRED. CONDUIT RATING SHALL BE IDENTIFIED ON FACE/BACK.
3. ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE PROVIDED WITH STRAPED PROTECTIVE UNDERLAYS.
4. PER OTHER PLAN DETAILS, DEVICES SHALL BE PROVIDED WITH STRAPED PROTECTIVE UNDERLAYS.
5. THE CONDUIT MATERIAL SHALL BE AS FOLLOWS (SEE SPECIFICATION SECTION 1610 FOR DIMENSIONS AND ADDITIONAL INFORMATION):
 - A) RIGID PVC - 1/2" THROUGH 1" (SEE SPECIFICATION SECTION 1610 FOR DIMENSIONS AND ADDITIONAL INFORMATION)
 - B) RIGID PVC - 1 1/2" THROUGH 2" (SEE SPECIFICATION SECTION 1610 FOR DIMENSIONS AND ADDITIONAL INFORMATION)
 - C) RIGID PVC - 2 1/2" THROUGH 4" (SEE SPECIFICATION SECTION 1610 FOR DIMENSIONS AND ADDITIONAL INFORMATION)
 - D) ABOVE GRADE SUBJECT TO WEATHER - RIGID PVC - 1/2" THROUGH 2" (SEE SPECIFICATION SECTION 1610 FOR DIMENSIONS AND ADDITIONAL INFORMATION)
 - E) ABOVE GRADE SUBJECT TO WEATHER - RIGID PVC - 2 1/2" THROUGH 4" (SEE SPECIFICATION SECTION 1610 FOR DIMENSIONS AND ADDITIONAL INFORMATION)
 - F) ALL WEATHER, THE ALUMINUM AND ONLY CONDUIT INSTALLATION SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING.
6. THE LADDER SYSTEM FOR CONDUITS AND EQUIPMENT ARE NOT TO BE USED UNLESS APPROVED BY THE CONTRACTOR. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING.
7. EQUIPMENT CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING.
8. WALL CONDUIT SHALL NOT BE INSTALLED BACK TO BACK.
9. CONDUITS SHALL BE PROVIDED WITH ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING.
10. PROVIDE A 1/2" MINIMUM CLEARANCE FROM EACH DEVICES LOCATED WITHIN THE CONDUIT BOX ABOVE CONDUIT.
11. VERIFY FLOOR RECEPTION LOCATIONS WITH ARCHITECT FROM TO ROOM-IN.
12. ALL THE ALUMINUM CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING.
13. VERIFY ALL PENETRATIONS/PHONE RECEPTION DEVICES LOCATED TO CORNER LINE OVER CONDUIT WITH ARCHITECT. DEVICES FROM TO ROOM-IN. LOCATE LINE AND IDENTIFY.
14. ALL CONDUITS NOT LOCATED UNDER SLAB SHALL HAVE A MINIMUM BEND, BEND OR 2" UNLESS NOTED OTHERWISE.
15. ALL SAFETY SWITCH DEVICES LOCATIONS IN MECHANICAL ROOMS SHALL HAVE 3'-4" MIN. OF WORKING SPACE IN FRONT OF DEVICES. CONDUITS WITH MECHANICAL CONNECTIONS AND EQUIPMENT LOCATIONS.
16. RIGID PVC CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING.
17. CONDUITS SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING. THE CONDUIT SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING.
18. RECEIVERS, SWITCHES SHALL BE PROVIDED BY THE CONTRACTOR OFFICE.
19. VERIFY ALL DOOR SWINGS WITH ARCHITECT. SWINGS FROM TO ROOMS IN THE SWINGS.
20. CONDUITS LOCATED ON EXTERIOR WALLS SHALL BE SLOPED PER N.E.C. TO PREVENT ENTRANCE OF WEATHER.
21. ALL EXHAUST FAN DEVICES AND OUTLETS ARE SCHEDULED TO BE PROVIDED UNDER DIVISION 13.
22. ALL DEVICES TO BE PROVIDED BY THE CONTRACTOR SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING.
23. WORKING SPACE OF 2" PER 120/208 SYSTEMS AND 4" PER 277/480 SYSTEMS SHALL BE MAINTAINED IN FRONT OF ALL ELECTRICAL PANELS AND DEVICES.
24. ALL DEVICES AND PANELS NOT IDENTIFIED SHALL BE PROVIDED WITH AN ANTI-CORROSION COATING.
25. PANEL CONDUIT TO ALL EQUIPMENT IS SHOWN DIMENSIONAL. PROVIDE FINAL CONNECTION AS REQUIRED PER DIMENSIONS OF EQUIPMENT.

	PROJECT NUMBER: 2010 - 51	DATE OF PRINT: 2/11/21	DRAWN BY: HB	CHECKED BY: JB	THE DATE HEREON IS VALIDATED BY THE PROFESSIONAL ENGINEER'S SEAL AND EXPIRES ON THE DATE OF THE NEXT RENEWAL OF HIS LICENSE. THIS DOCUMENT IS NOT VALID UNLESS SIGNED AND SEALED BY THE ENGINEER.
CONSTRUCTION DOCUMENTS:					
CHURCH CONSTRUCTION PLANS HOLINESS CHURCH OF THE LIVING GOD, INC. 120 AVENUE I APALACHICOLA, FLORIDA					
SHEET NUMBER: E31					

WATER AND SEWER NOTES

1. ALL UTILITY CONSTRUCTION SHALL MEET THE CITY OF APALACHICOLA WATER AND WASTEWATER UTILITY STANDARDS 2007 EDITION (AVAILABLE AT CITY HALL ON FRONT FIELD LORNS).
2. THE CONTRACTOR SHALL MAINTAIN EXISTING WATER MAINS IN SERVICE DURING CONSTRUCTION. IN THE EVENT INTERRUPTIONS TO SERVICE ARE REQUIRED DURING CONSTRUCTION, SUCH INSTANCES SHALL BE MINIMIZED.
3. ALL NEW OR RELOCATED WATER MAINS THAT SERVE FIRE HYDRANTS AND DIAPHRAGM ADJUTANT VALVES SHALL BE PROVIDED ON ALL HYDRANT LEADS.
4. SPECIFIC VALVES SHALL BE PROVIDED IN NEW AND RELOCATED WATER MAINS SO THAT RECONVENIENCE AND SANITARY MAINTENANCE WILL BE MINIMIZED DURING CONSTRUCTION. SUCH VALVES SHALL BE PROVIDED AT 800-FOOT INTERVALS IN CERTAIN DISTRICTS AND AT NO MORE THAN ONE BLOCK OR 800-FOOT INTERVALS IN OTHER DISTRICTS).
5. IF THERE ARE ANY NEW OR RELOCATED WATER MAINS THAT CROSS UNDER OR SURFACE WATER, A MINIMUM COVER OF TWO FEET SHALL BE PROVIDED. SURFACE WATER IS GREATER THAN IS BEET IN URBAN AREAS. RELATIVE SHALL BE PROVIDED. (A) EXISTING WATER TIGHT JOINTS FOR THE WATER MAIN PIPE AT THE CROSSING, (B) EASILY ACCESSIBLE VALVES LOCATED IN A MANHOLE AND (C) PERMANENT TAPS ON EACH SIDE OF THE VALVE WITHIN THE MANHOLE TO ALLOW FOR SAMPLING AND INSERTION OF A SMALL NETER TO DETERMINE LEAKAGE.
6. PROPER BACKFLOW PREVENTION ASSEMBLIES/DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH RULE 62-555.060, FAC. AND THE ALUMA MANUAL V14 RECOMMENDED PRACTICE FOR BACKFLOW PREVENTION AND CROSS-CONNECTION CONTROL.
7. THIS PROJECT SHALL NOT INCLUDE ANY INTERCONNECTION BETWEEN PREVIOUSLY SEPARATE PUBLIC WATER SYSTEMS THAT HAVE SEPARATE WATER SUPPLY SOURCES. (A SPECIFIC CONSTRUCTION PERMIT IS REQUIRED FOR SUCH AN INTERCONNECTION).
8. ALL NEW RELOCATED WATER LATERALS THAT CROSS ANY SANITARY SEWERS, STORM SEWERS, FORCE MAINS, OR RECLAIMED WATER LINES SHALL CROSS ABOVE SUCH PIPELINES.
9. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY TIEING THE BEGINNING OF SANITARY MAINFACE FOR THE PORTABLE WATER MAIN AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. SUBMIT THE SURVEY TO THE ENGINEER ON REPRODUCIBLE 24x36 VELLUM OR IN DIGITAL AUTOCAD FORMAT.
10. COUNTER TRACER WIRE SHALL BE PLACED ON ALL PORTABLE WATER LINES AND WATER LATERALS. TRACER WIRE SHALL BE CONTINUOUS WITH NO INTERRUPTIONS.
11. LOCATOR BALLS SHALL BE PROVIDED AT END OF ALL WATER AND SANITARY SEWER LATERALS. THE LOCATOR BALLS SHALL BE SECURED TO THE LATERALS WITH A PLASTIC TIE STRAP.
12. WATER AND SANITARY SEWER LATERALS SHALL BE LEFT UNCOVERED UNTIL INSPECTED BY THE ENGINEER OR THE ENGINEER'S INSPECTOR.
13. CONTRACTOR SHALL PROVIDE TEMPORARY STAKES (7" BY 2" WOODEN STAKES) AT THE END OF EACH LATERAL. EACH STAKE SHALL INDICATE EITHER WATER OR SANITARY SEWER LATERAL. CONTRACTOR SHALL MAINTAIN THE STAKES UNTIL AN AS-BUILT SURVEY OF WATER AND SANITARY SEWER MAINS AND LATERALS ARE COMPLETE AND APPROVED BY THE ENGINEER.
14. FOR SANITARY SEWER PERFORM HYDROSTATIC TEST. ALLOWABLE LEAKAGE IS A MAXIMUM OF 50 GAL. PER INCH OF NOMINAL PIPE SIZE PER MILE OF PIPE DURING A 24-HOUR PERIOD. OPTION TEST DUCTILE-IRON PIPING ACCORDING TO ALUMA C600 SECTION. HYDROSTATIC TESTING USE TEST PRESSURE OF AT LEAST 10 PSI. FOR SANITARY SEWERAGE, PERFORM AIR TEST ACCORDING TO UN-18-6.
15. FOR SANITARY SEWERAGE ALIGNMENT EACH SECTION OF THE COMPLETED SEWER SYSTEM SHALL BE INSPECTED FOR PROPER ALIGNMENT. INSPECTION

SHALL CONSIST OF 'LAPPING' FRONT MANHOLE TO MANHOLE. ANY SECTION OF THE SEWER SYSTEM WHICH DOES NOT DISPLAY TRUE CONCENTRIC ALIGNMENT, SHALL BE INSTALLED AT NO ADDITIONAL EXPENSE TO THE OWNER.

16. CLEAN AND DISINFECT WATER DISTRIBUTION PIPING SYSTEMS AND PARTS OF EXISTING SYSTEMS THAT HAVE BEEN ALTERED, EXTENDED OR REPAIRED BEFORE USE. USE WASHING AND DISINFECTING PROCEDURE PRESCRIBED BY AUTHORITIES HAVING JURISDICTION OR USE PROCEDURE DESCRIBED IN ALUMA C601.
17. ALL PIPE, PIPE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES AND HYDRANTS AND METERS INSTALLED UNDER THIS PROJECT SHALL COMPLY WITH APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS.
18. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL CONTAIN NO MORE THAN 62% LEAD, AND ANY SOLDER OR FLUX USED IN THIS PROJECT WILL CONTAIN NO MORE THAN 62% LEAD.
19. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE COLOR CODED OR MARKED IN ACCORDANCE WITH SUPPLEMENTARY 62-555.07(2)(B) 3. FAC. USING BLUE AS A PREDOMINANT COLOR. UNDERGROUND INSTALLED PIPE SHALL BE SOLID-BLUE PIPE. PIPE SHALL HAVE A BLUE STRIPES INCORPORATED INTO OR APPLIED TO THE PIPE. THE BLUE UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPES DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE. THE STRIPES SHALL BE AT LEAST 1/8" WIDER THAN THE SPACING BETWEEN THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPES FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. UNDERGROUND PIPE SHALL BE PAINTED BLUE OR WILL BE COLOR-CODED OR MARKED LINE UNDERGROUND PIPE).
20. SUFFICIENT VALVES SHALL BE PROVIDED ON NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SO THAT RECONVENIENCE AND SANITARY HAZARDS WILL BE MINIMIZED DURING REPAIRS.
21. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT'S BACKFILL. UNDERGROUND PIPE SHALL BE LAPPED IN LAYERS AROUND UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT'S BACKFILL. THE LAPPING SHALL BE AT LEAST 10 FEET. ADEQUATELY SUPPORT AND PROTECT THE PIPEL AND UNACCEPTABLY SIZED STONES (AS DESCRIBED IN APPLICABLE ALUMA STANDARDS OR MANUFACTURERS' RECOMMENDED INSTALLATION PROCEDURES) FOUND IN THE BOTTOM OF UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT.
22. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST ANY EXISTING UNDERGROUND WATER MAINS. THE HORIZONTAL DISTANCE OF UNDERGROUND WATER MAIN OR PIPELINE CONVERTING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-600, FAC. A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER OF AT LEAST THREE FEET BETWEEN THE INSIDE OF THE WATER MAIN AND THE INSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER. THE HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE MAIN WILL BE LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER. THE HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED 'ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM'.
23. NEW OR RELOCATED UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY-

OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE AND NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE AND NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWER, STORM SEWER, FORCE MAIN, OR PIPELINE CONVERTING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE.

24. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE END LENGTH OF WATER PIPE SHALL BE CONVERTED ABOVE OR BELOW THE OTHER END OF THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWER, STORM SEWER, FORCE MAIN, OR PIPELINE CONVERTING RECLAIMED WATER. THE HORIZONTAL DISTANCE OF AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-TYPE SANITARY SEWER, STORM SEWER, FORCE MAIN, OR PIPELINE CONVERTING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-600, FAC.

MB
INCORPORATED
MEMBER-SUBCHAPTER 1818
OF THE FLORIDA
REGISTERED PROFESSIONAL
ENGINEERS
NO. 23773
DATE OF EXPIRATION
12/31/2010
THIS DRAWING IS THE
Sole Property
of the above named
engineer or architect
No other person shall
be permitted to copy or
reproduce any part of
this drawing without
the written consent
of the engineer or
architect.

Project Number:
2010 - 51

Date of Plot:
2/11/21

Drawn By:
HB

Checked By:
HB

Design By:
JB

CONSTRUCTION DOCUMENTS

CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
120 AVENUE
APALACHICOLA, FLORIDA

Sheet Number
C51

3

Carquest Sign

230 US 98

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

HISTORIC DISTRICT ONLY

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

Owner Carquest Apalachicola
Address 230 US-98
City Apalachicola State FL Zip 32320
Phone ()

CONTRACTOR INFORMATION

Contractors Name: Munn Enterprises, Inc.
State License # ES0000413 City License # _____
Email Address Kerril@munnenterprises.com
Phone (601) 264-7446

Approval Type: [] Staff Approval Date: _____ [] Board Approval [] Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: Signage removal and Signage install of
New business -- CARQUEST

PROPERTY INFORMATION:

Street Address: 230 US-98 City & State: Apalachicola, FL Zip: 32320
 Historic District Non-Historic District Zoning District: C-3
 Parcel #: 01-09S-08W-8360-0004-0040 Block(s) _____ Lot(s) _____

FEMA Flood Zone/Panel #: _____
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____
Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Tammy Owens
Permitting and Development Coordinator
(850) 658-1522
cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Remove the existing NAPA signage

Install (1) 2'H x 12'W @ 24 square feet -- Aluminum Composite Meterial sign with vinyl overlay. Sign to screw to front elevation wall with 1" returns

Sign will be NON ILLUMINATED-- NO LIGHTING COMPONETS

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application, I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

4-5-21

DATE

Karri Little
SIGNATURE OF APPLICANT



Parcel Summary

Parcel ID 01-09S-08W-8360-0004-0040
 Location Address NAPA
 Brief Tax Description* BL 4 LOTS 4 5 6 7 NEELS ADD OR 413/64 859/303
 *The Description above is not to be used on legal documents.
 Property Use Code SERVICE ST (002600)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Triple G.LLC
 P.O.Box 70
 Apalachicola, FL 32329

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
001000	COMMERCIAL	120.00	FF	0	0

Residential Buildings

Building 1
 Type MET RETAIL
 Total Area 3,717
 Heated Area 3,087
 Exterior Walls CONC BLOCK; CB STUCCO
 Roof Cover BUILT-UP
 Interior Walls MINIMUM
 Frame Type WOOD FRAME
 Floor Cover CONC FINSH
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 0
 Bedrooms 0
 Stories 0
 Effective Year Built 1950

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0620	SHED MT	1	0x0x0	1	UT	1993
0120	C L FENCE 4	1	0x0x0	1	UT	1993
0320	CONCRETE	1	0x0x0	1	UT	1993

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	06/29/2005	\$100,000	WD	859	303	Qualified (Q)	Improved	GANDER	TRIPLE G,LLC
N	00/01/1963	\$4,500	WD	65	403	Qualified (Q)	Improved		

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$28,610	\$28,610	\$28,610	\$28,610	\$28,610
Extra Features Value	\$16	\$16	\$16	\$16	\$16
Land Value	\$120,000	\$120,000	\$120,000	\$120,000	\$120,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$148,626	\$148,626	\$148,626	\$148,626	\$148,626
Assessed Value	\$148,626	\$148,626	\$148,626	\$148,626	\$148,626
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$148,626	\$148,626	\$148,626	\$148,626	\$148,626
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

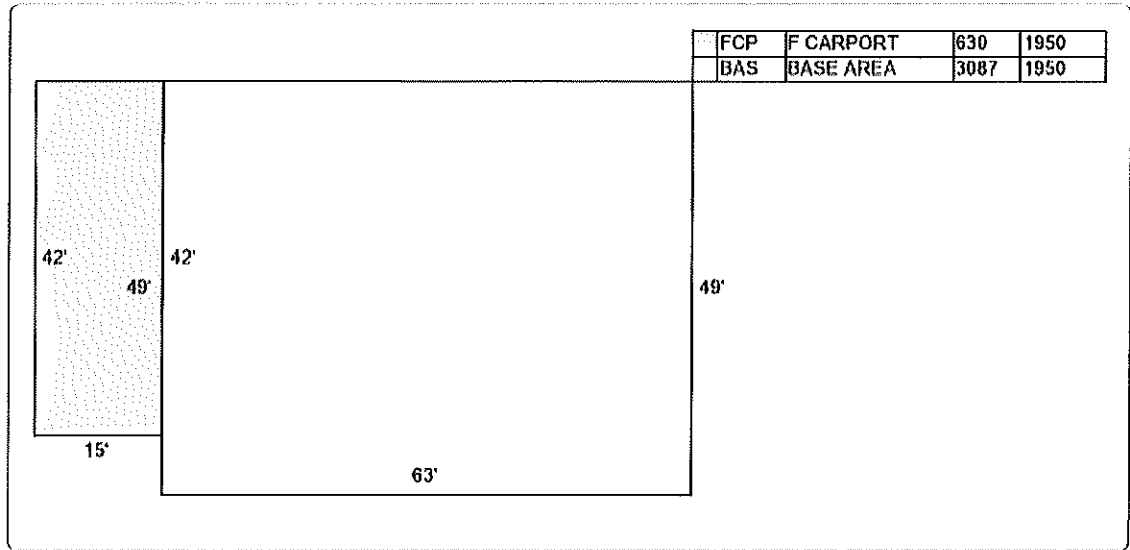
TRIM Notice 2020

2020 TRIM Notice (PDF)

TRIM Notice 2019

2019 TRIM Notice (PDF)

Sketches



No data available for the following modules: Commercial Buildings.

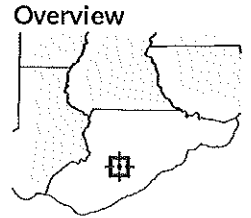
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)



Last Data Upload: 5/21/2021, 7:42:50 AM

Version 2.3.121



- Legend**
-  Parcels
 -  Roads
 -  City Labels

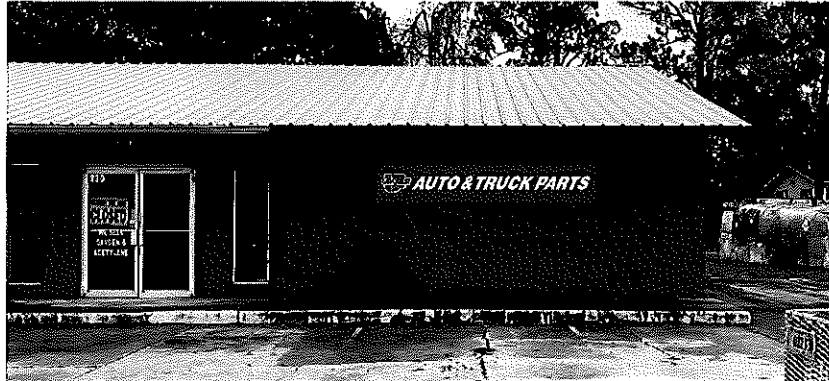
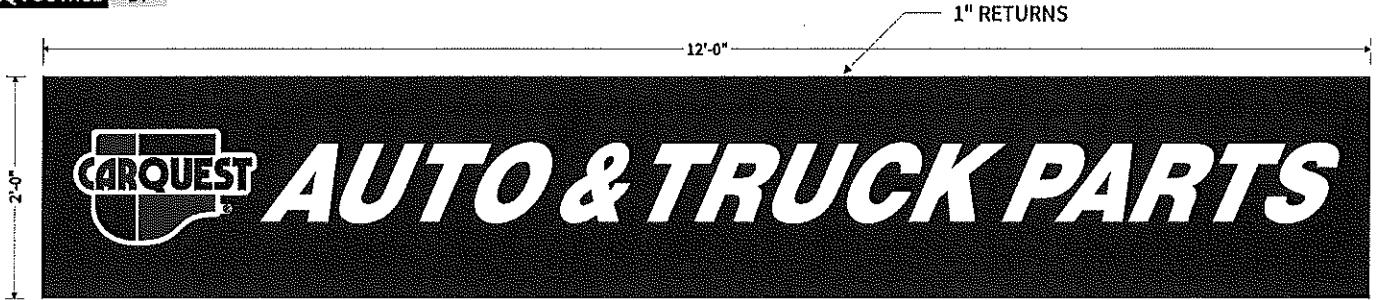
Parcel ID	01-09S-08W-8360-0004-0040	Alternate ID	08W09S01836000040040	Owner Address	TRIPLE G.LLC
Sec/Twp/Rng	1-9S-8W	Class	SERVICE ST		P.O.BOX 70
Property Address	NAPA	Acreeage	n/a		APALACHICOLA, FL 32329
District	3				
Brief Tax Description	BL 4 LOTS 4 5 6 7 (Note: Not to be used on legal documents)				

Date created: 5/21/2021
 Last Data Uploaded: 5/21/2021 7:42:50 AM

Developed by  **Schneider**
 GEOSPATIAL

CONCEPT DRAWING

SQ FOOTAGE 24



Manufacture and install (1) Aluminum Composite Material sign with vinyl overlay. Sign to screw to wall with 1" returns.

■ PMS 286 C ■ PMS 186 C □ STANDARD WHITE



THIS CONCEPT IS SOLELY THE PROPERTY OF MUNN ENTERPRISES, INC., AND MAY NOT BE USED, REPRODUCED, COPIED, EXHIBITED, ALTERED, OR DISTRIBUTED IN ANY MANNER.

Be Bold in a Visual World
 801.284.7446 • MunnEnterprises.com



THE COLOR EXAMPLE IS PROVIDED AS AN EXAMPLE OF COLOR. THERE MAY BE SOME COLOR VARIATION BETWEEN THE ONLINE AND PRINT. FOR BEST COLOR REPRODUCTION, PLEASE CHECK PRINTING SYSTEM'S COLOR MANAGEMENT.

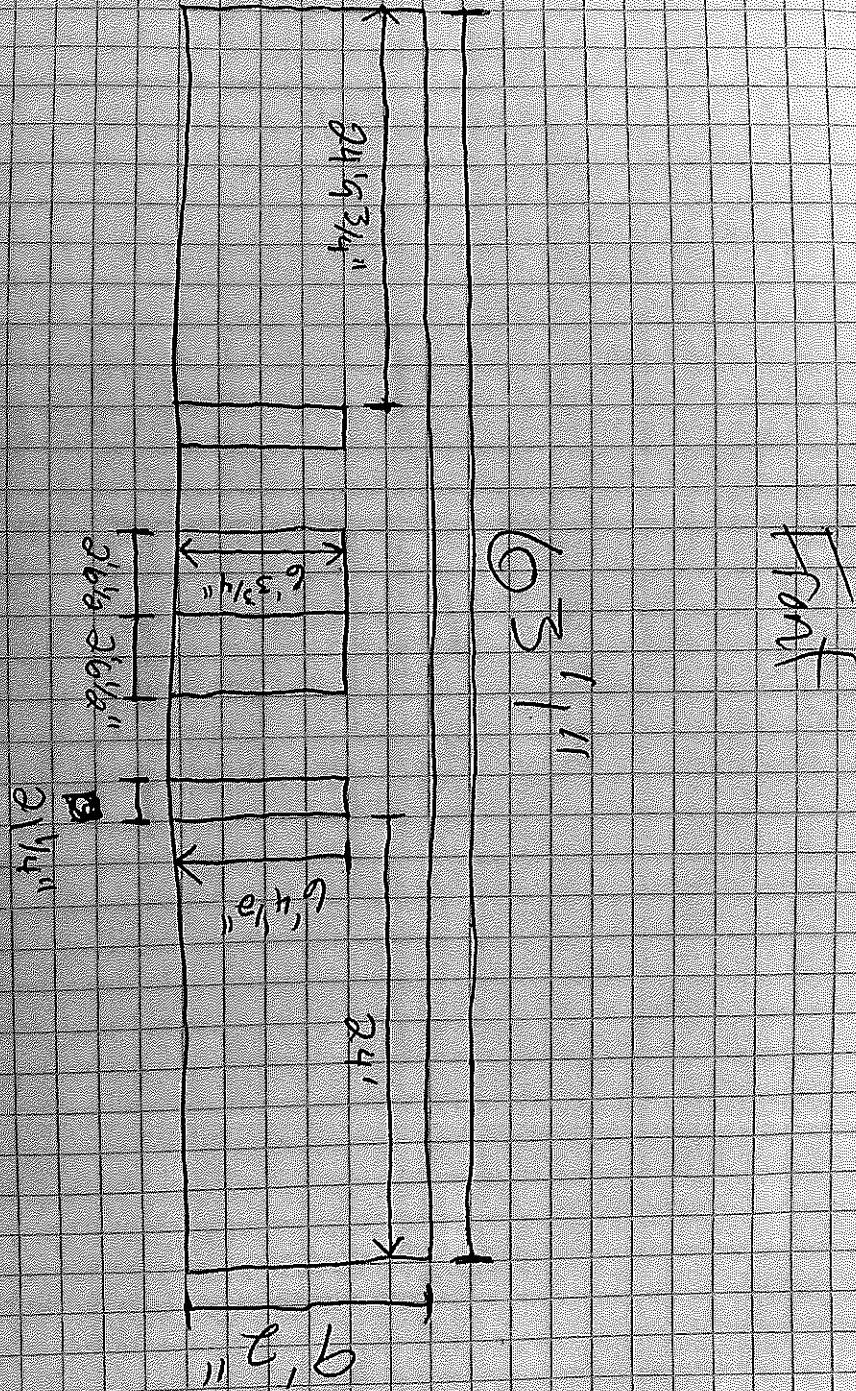
ACM SIGN OPTION 2

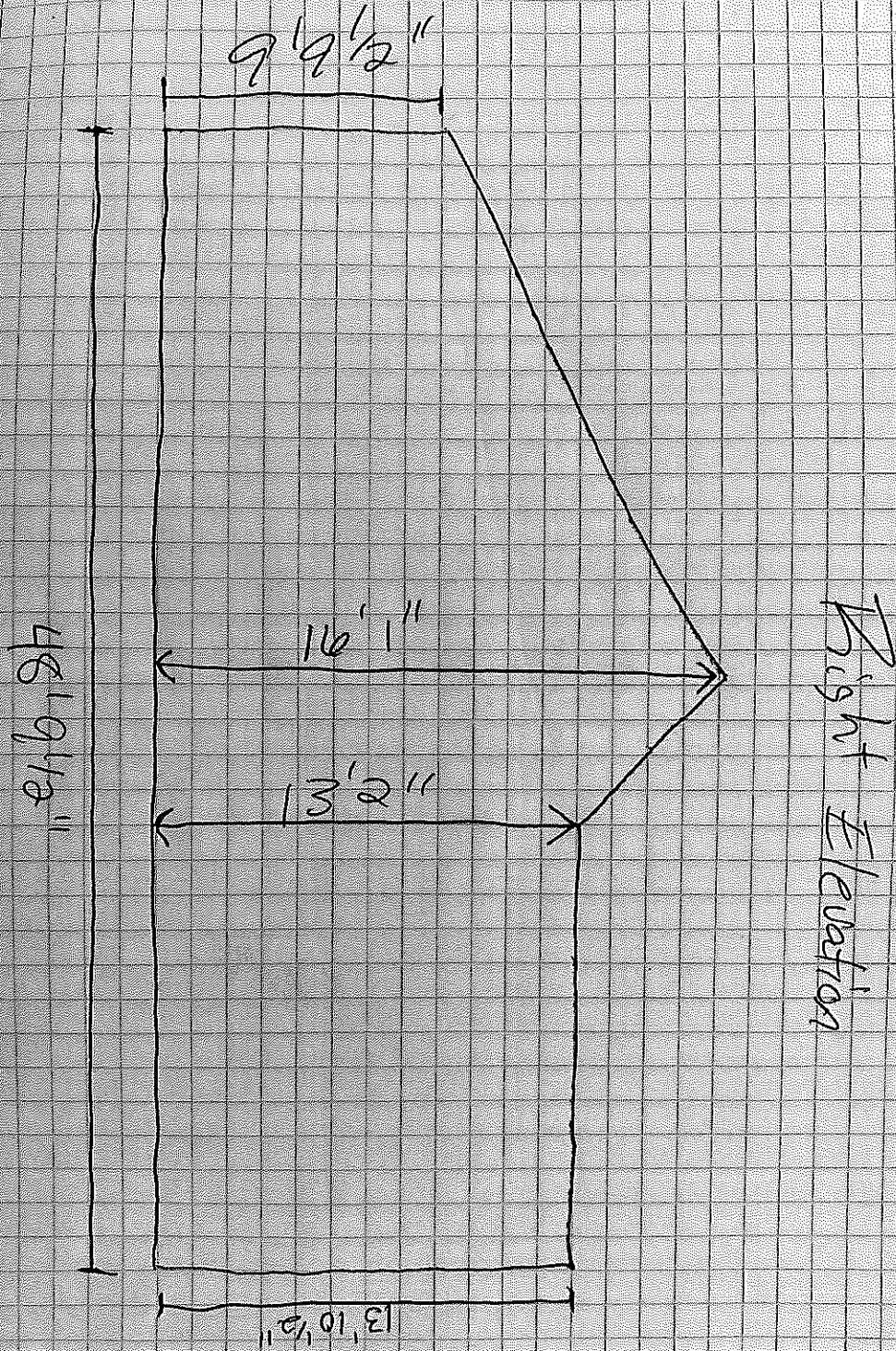
CUSTOMER: Carquest	CUSTOMER # CAR114	DATE: 05/11/2021
LOCATION: Apalachicola, FL	PM/B.S. SALES: E.H.M.	PRIMARY DESIGNER: Travis Bland
REVISION: No Current Revisions	CURRENT DESIGNER:	
CUSTOMER APPROVAL:	SIGN HERE	
	APPROVAL DATE:	



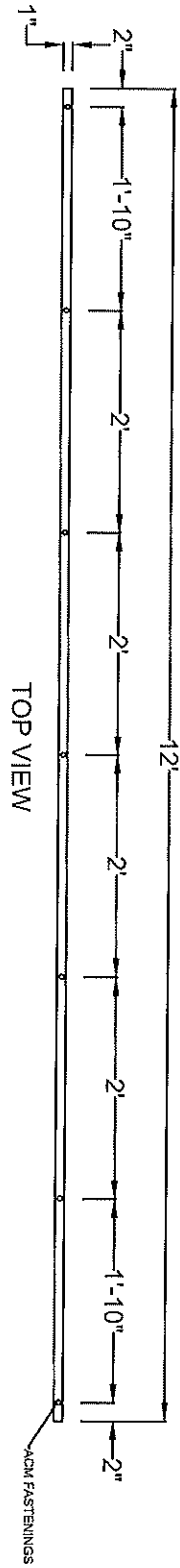




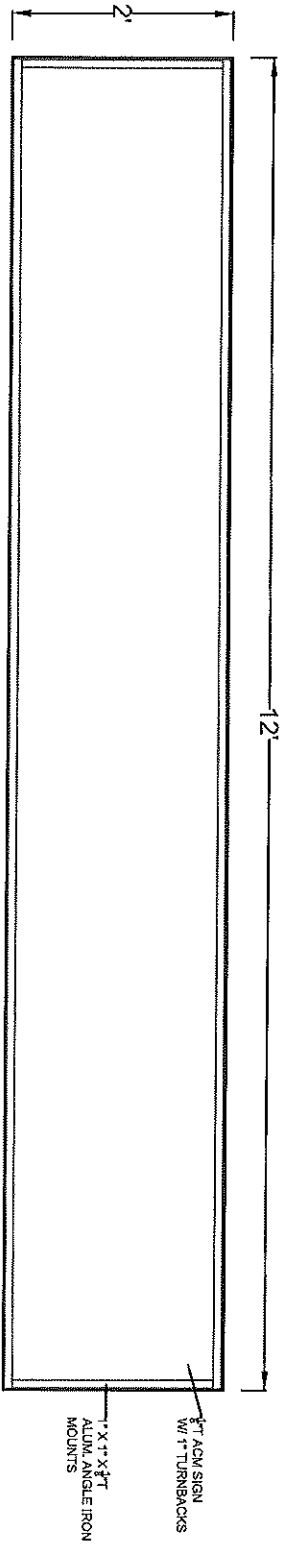




ACM SIGN



TOP VIEW



FRONT VIEW

REV.

**SOUTHERN
SIGN
SPECIALISTS**

MUNN ENTERPRISES, INC.
7712 Hwy 49 North, Hattiesburg, MS
801-264-7446

DWG. BY: KALEB HINES WORK ORDER #7495

DATE: 6/13/21 SALESMAN: B.B.

CUSTOMER: CARQUEST

LOCATION
CARQUEST APOLACHICOLA FL
230 US-98
APALACHICOLA, FL 32320

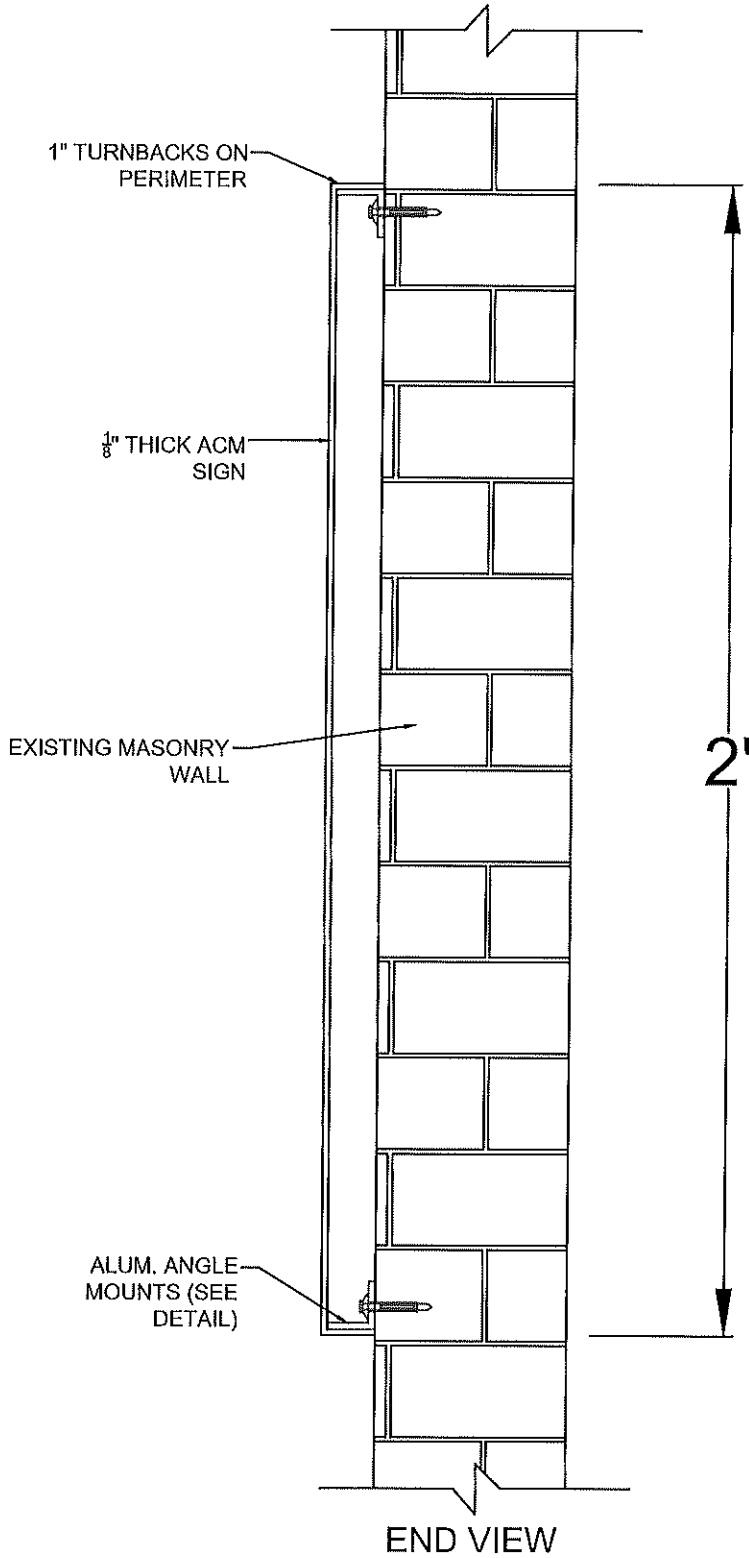
PROPERTY OF MUNN ENTERPRISES, INC. - NOT TO BE DUPLICATED

APPROVED BY:

DATE APPROVED:

DRAWING NAME:
CARQUEST
WALL SIGN
1


ACM MOUNT DETAIL



DRAWING NAME:
 CARQUEST
 WALL SIGN
 2

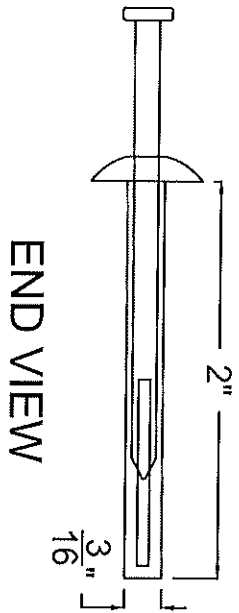
DATE APPROVED:

APPROVED BY:

 MUNN ENTERPRISES, INC. 7712 Hwy 49 North, Hattiesburg, MS 601-264-7446		SOUTHERN SIGN SPECIALISTS
DWG BY: KALEB HINES DATE: 9/13/21 CUSTOMER: CARQUEST	WORK ORDER #7495 SALESMAN: B.B.	LOCATION: CARQUEST APOLACHICOLA FL 230 US-98 APALACHICOLA, FL 32320
PROPERTY OF MUNN ENTERPRISES, INC. - NOT TO BE DUPLICATED		

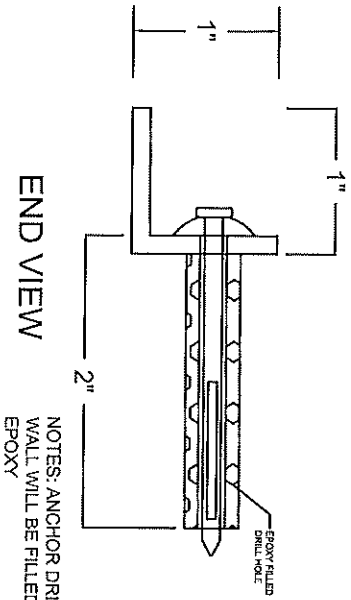
REV.

2" DRIVE ANCHORS



END VIEW

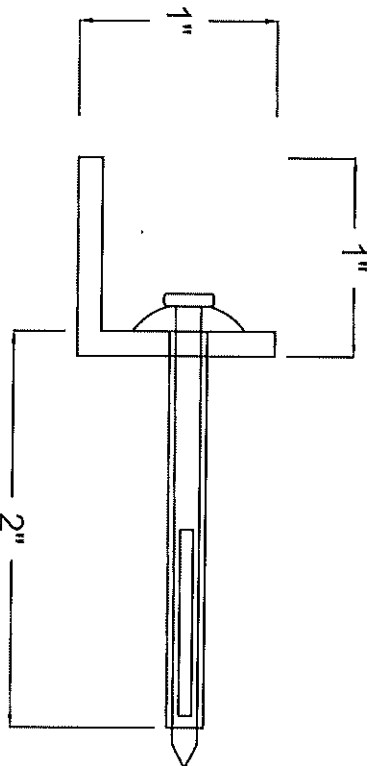
EPOXY DETAIL



END VIEW

NOTES: ANCHOR DRILL HOLES IN WALL WILL BE FILLED WITH EPOXY

MOUNTING METHOD DETAIL



END VIEW

NOTES: ANGLE IRON WILL BE 1" X 1" X 1/8" ALUM. ANGLE WITH 1/4" X 2" HAMMER DRIVE ANCHORS. SCREWS WILL BE MOUNTED THROUGH THE ACM INTO THE ANGLE IRON ABOUT EVERY 2'

REV.

SOUTHERN SIGN SPECIALISTS

MUNN ENTERPRISES, INC.
7712 Hwy 49 North, Hattiesburg, MS
601-264-7448

DWG BY: KALEB HINES WORK ORDER #7495
DATE: 5/13/21 SALESMAN: B.B.
CUSTOMER: CARQUEST
PROPERTY OF MUNN ENTERPRISES, INC. - NOT TO BE DUPLICATED

LOCATION:
CARQUEST APOLACHICOLA FL
230 US-98
APALACHICOLA, FL 32320

APPROVED BY:
DATE APPROVED:

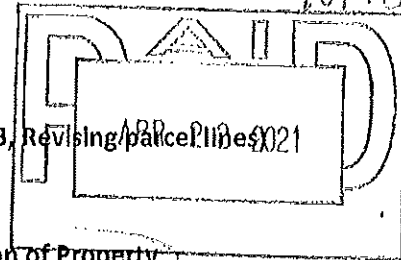
DRAWING NAME:
CARQUEST WALL SIGN
3

#4

54 15th St
Re-Plat

Ad 300⁰⁰ REC # 4/01/75

City of Apalachicola
Planning & Building Dept.



Request for Minor Replat (Combination of Parcels, Separation of Parcels up to 3, Revising parcel lines) 021

Date: 4/22/21

Nature of Request (Circle One): Combination of Property Separation of Property

Application Requirements:

- Copy of Survey(s)
- Application Fee: \$300

Property Owner: Robert H Oakes Phone: 404-667-6166

Mailing Address: 54 15TH ST

Applicant (if different): _____ Phone: _____

Parcels to be Combined/Separated:

Please provide Parcel Identification Number or Lot and Block for all Parcels that apply.

Parcel ID 01-095-08W-8330-0097-0040 and/or Lot 7 Block 97

Parcel ID 01-095-08W-8330-0097-0050 and/or Lot 5 Block 97

Parcel ID _____ and/or Lot _____ Block _____

Please be advised zoning requirements apply to lot splits and combinations. All applications will be reviewed for LDC compliance. A survey showing both the parent parcel(s) and the proposed parcel(s) is required to be submitted along with this document and the replat fee.

Owner's Signature: [Signature]

-----Completed by Staff-----

Zoning of Parcels: _____

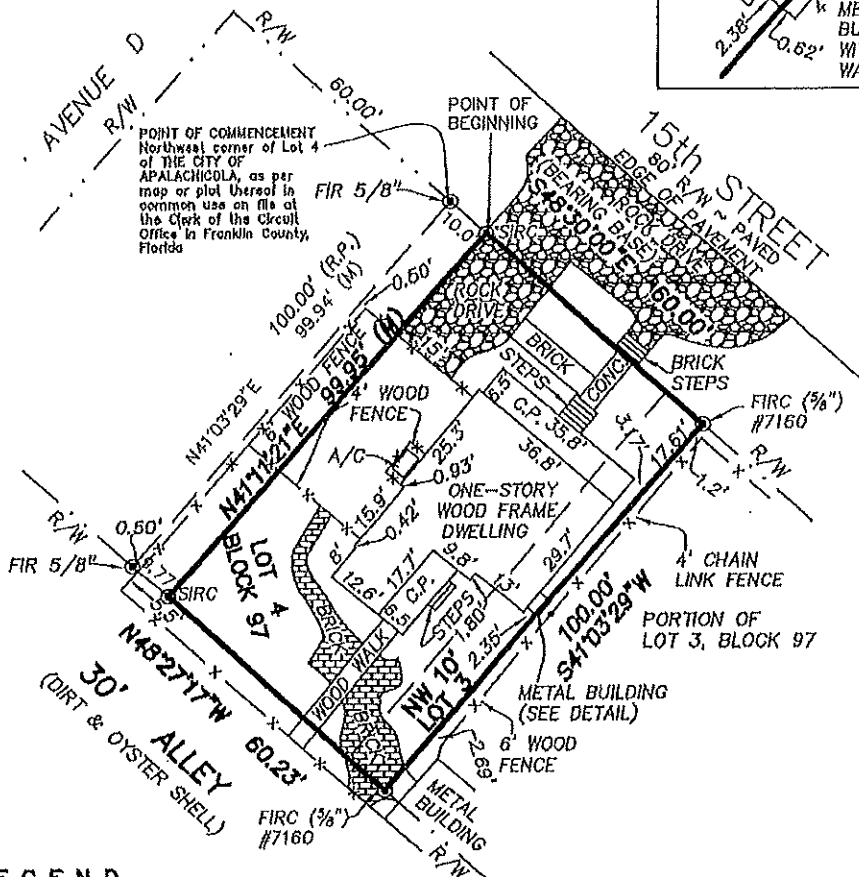
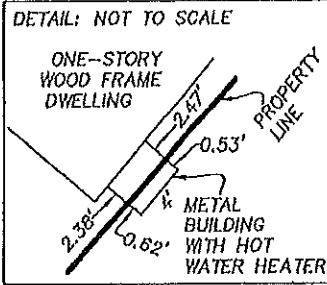
Permit Approval/ Denial:

Determination _____ Review Date: _____

- Approved As Is
- Approved with Comments: _____
- Denied; Comments: _____
- More Information Required: _____

Documents Needed: _____

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
ROBERT OAKES



LEGEND

- R/W RIGHT-OF-WAY
- M MEASURED
- RP RECORD PLAT
- SIRC SET 5/8" IRON ROD AND CAP (#7160)
- FIR FOUND IRON ROD
- CONG. CONCRETE
- C.P. COVERED PORCH

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwesterly right of way boundary of 15th Street having an assumed bearing of South 48 degrees 30 minutes 00 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

FLOOD ZONE INFORMATION:

Subject property is located in Zone X as per Flood Insurance Rate Map Community Panel No: 120089 0528E, Inundate date: June 17, 2002, Franklin County, Florida.

I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter BJ-17, Florida Administrative Code).

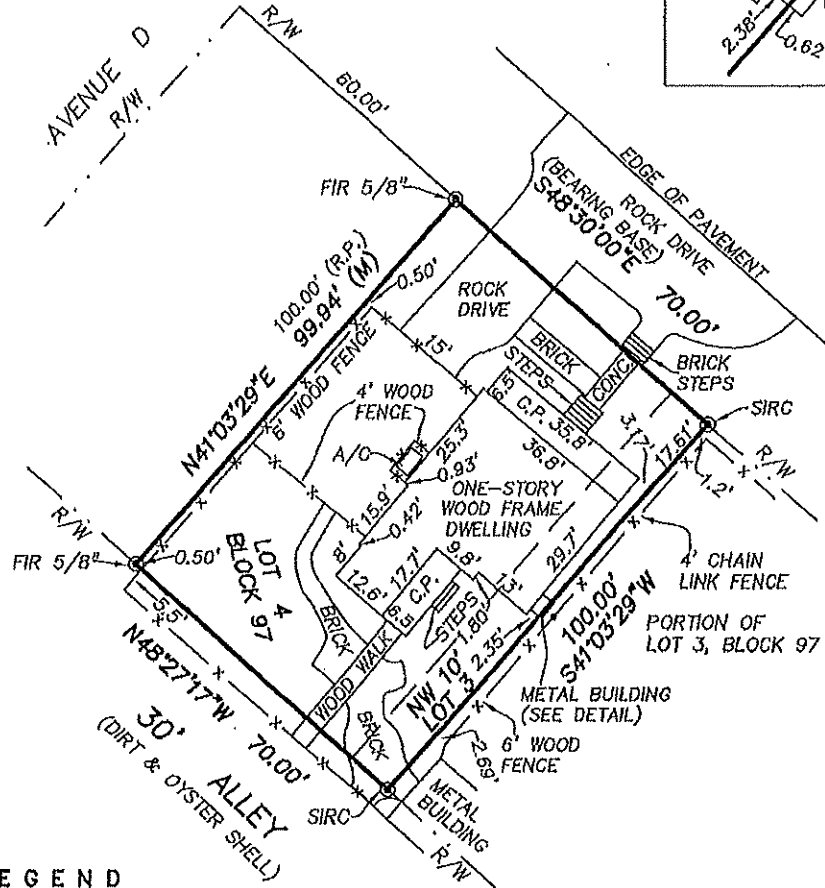
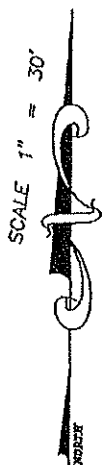
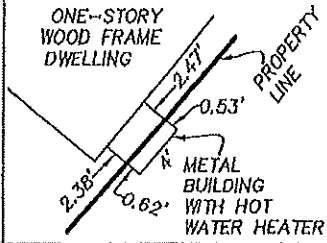
The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No: 4201

TR & A	THURMAN RODDENBERRY & ASSOCIATES, INC		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 110 • 325 SHELDON STREET • GOTHOPPY, FLORIDA 32051 PHONE NUMBER: 904-943-2534 FAX NUMBER: 904-943-2113 CH # 7160		
DATE: 02/08/21	DRAWN BY: B.R./AD	N.D. 645, pg. 27	COUNTY: FRANKLIN
FILE: 14033.DWG	DATE OF LAST FIELD WORK: 02/05/21	JOB NUMBER: 14-033	

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 LAURIE DOWELL,
 CADENCE BANK,
 KRISTY BRANCH BANKS, P.A.,
 OLD REPUBLIC NATIONAL TITLE INSURANCE CO.

DETAIL: NOT TO SCALE



LEGEND

- R/W RIGHT-OF-WAY
- M MEASURED
- RP RECORD PLAT
- SIRC SET 5/8" IRON ROD AND CAP (#7160)
- FIR FOUND IRON ROD
- CONC. CONCRETE
- C.P. COVERED PORCH

LEGAL DESCRIPTION:

Lot 4 and the Northwesterly 10.00 feet of Lot 3, Block 97 of THE CITY OF APALACHICOLA, as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwesterly right of way boundary of 15th Street having an assumed bearing of South 48 degrees 30 minutes 00 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.


I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 81-17, Florida Administrative Code).

The undersigned surveyor has not been provided a current title opinion or abstract of title affecting title or boundary to the subject property. It is possible there are deeds, records, unrecorded deeds, easements or other instruments which could affect the boundaries.

FLOOD ZONE INFORMATION:

Subject property is located in Zone X as per Flood Insurance Rate Map Community Panel No: 120089 0526E, index date: June 17, 2002, Franklin County, Florida.

JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4261

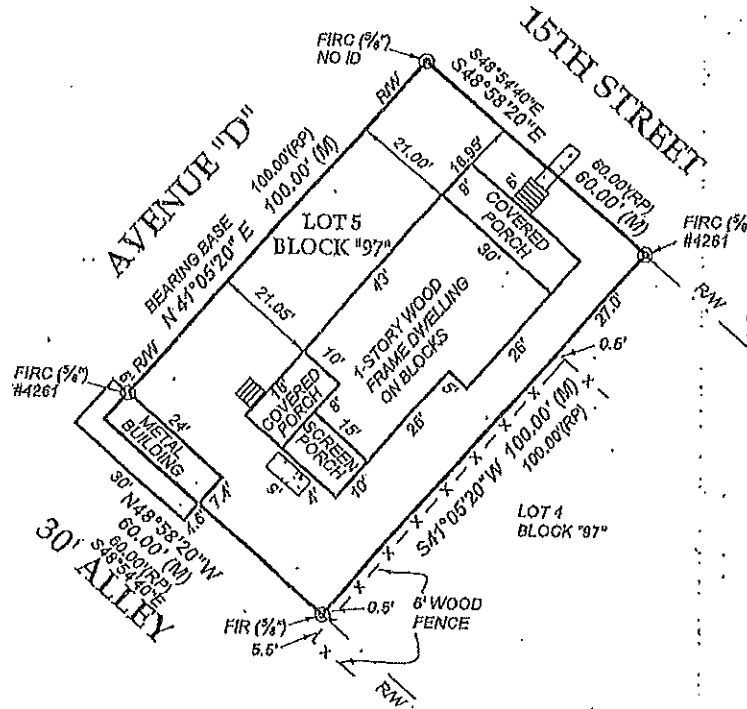
 THURMAN RODDENBERRY & ASSOCIATES, INC PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 125 BILDSON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 850-964-1551 FAX NUMBER: 850-964-1193 LU #710			
FILE: 14033.DWG	DATE OF LAST FIELD WORK: 01/30/14	JOB NUMBER: 14-033	

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 ROY A. SCARBOROUGH,
 ALBERTELLI LAW,
 FIDELITY NATIONAL TITLE INSURANCE COMPANY

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.



LEGAL DESCRIPTION:

Lot 5, Block "97" of THE CITY OF APALACHICOLA, a subdivision as per map or plat in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

LEGEND

FCM	FOUND CONCRETE MONUMENT
RP	RECORD PLAT
RW	RIGHT-OF-WAY
M	MEASURED
SIRC	SET 5/8" RE-ROD #7160
FIRC	FOUND IRON ROD AND CAP

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southerly right-of-way boundary of Avenue "D" being North 41 degrees 05 minutes 20 seconds East per DOT R/W Map Section 49540-2607.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 6107-6, Florida Administrative Code).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4261

FLOOD ZONE INFORMATION:

Subject property is located in Zone "X", as per Flood Insurance Rate Map Community Panel No: 120088 0526E
 Index date: June 17, 2002, Franklin County, Florida.

THURMAN RODDENBERRY & ASSOCIATES, INC. PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 110 • 195 SHELTON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER (904) 251-1331 FAX NUMBER (904) 251-1331 Lic # 712			
DATE: 11/29/12	DRAWN BY: MJD	N.B. #51	COUNTY: Franklin
FILE: 94416.DWG	DATE OF LAST FIELD WORK: 11/28/12	JOB NUMBER: 94-416	

#5

139 Bay Ave
Swimming Pool



CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION

HISTORIC DISTRICT ONLY

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Therpa W. McKenzie
Address 832 Georgia Ave
City Chattanooga State TN Zip 374022284
Phone (423) 718-2837

Contractors Name: Brett Byrd/Byrds construction
State License # CGC1508260 City License # _____
Email Address byrdsconstruction@yahoo.com
Phone (850) 653-8723 / 850-653-7046 cell

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

New Construction

Addition

Alteration/Renovation

Relocation

Demolition

Fence

Repair (Extensive)

Variance

Other Pool

PROPERTY INFORMATION:

Street Address: 139 bay avenue City & State Apalachicola FL Zip 32320

Historic District Non-Historic District Zoning District _____

Parcel #: 01-095-08W-8330-0046-0010 Block(s) 4C Lot(s) 1-5

FEEMA Flood Zone/Panel #: _____
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25 Side: 7 1/2 Lot Coverage: _____

Water Available: Sewer Available: Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Tammy Owens
Permitting and Development Coordinator
(850) 658-1522
cityofapalachicola@gmail.com

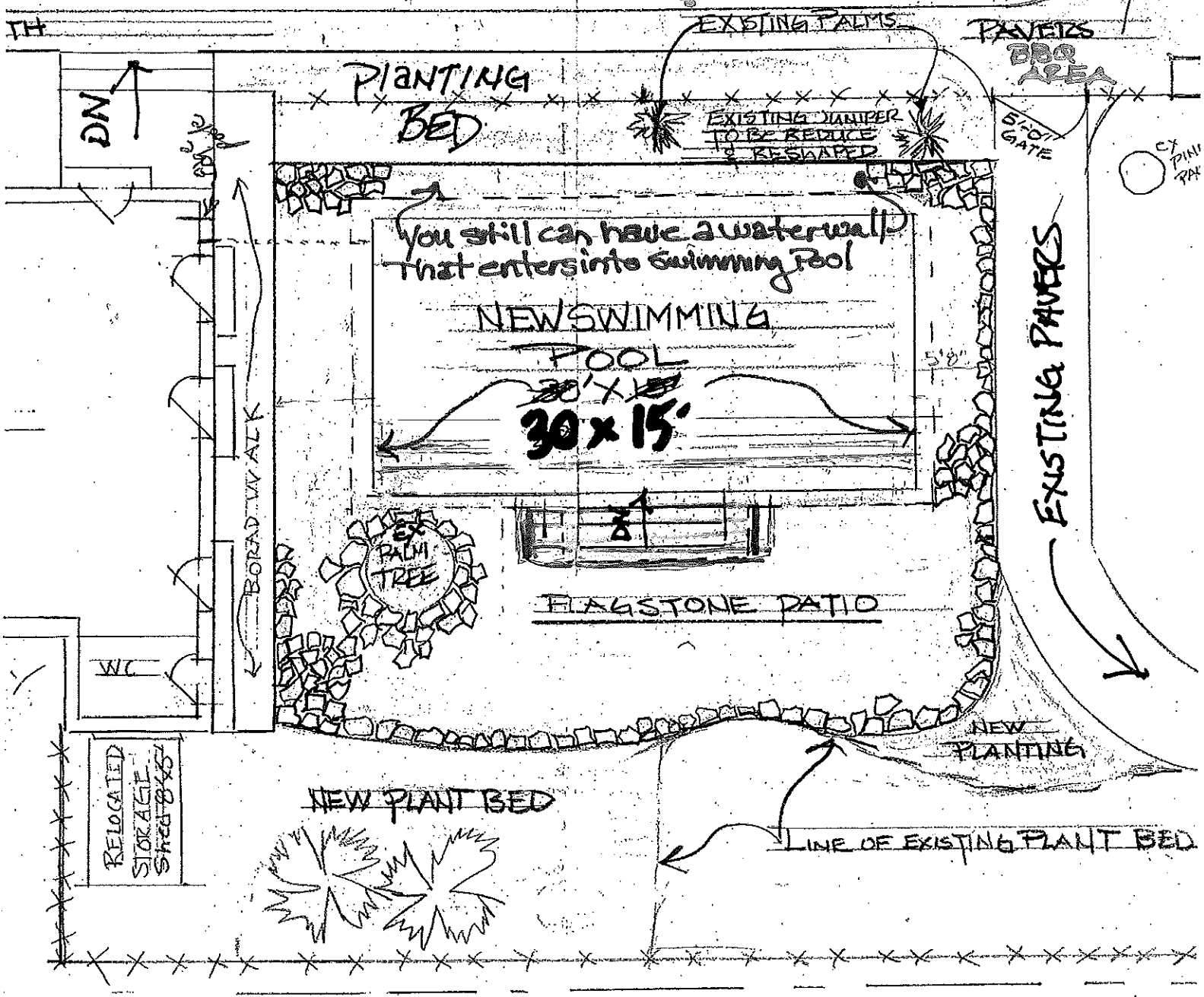
McKenzie

Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

139 Bay Ave.
 In ground pool between guest house and main house
 pavers to go around pool. (Existing)
 Fence in yard around pool.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing ✓	Byrd Construction	Coated Aluminum	
Driveways/Sidewalks			
Other Pool	Cox Pool	gunnite	

VEG TO TIE INTO
EXISTING PATH AROUND HOUSE



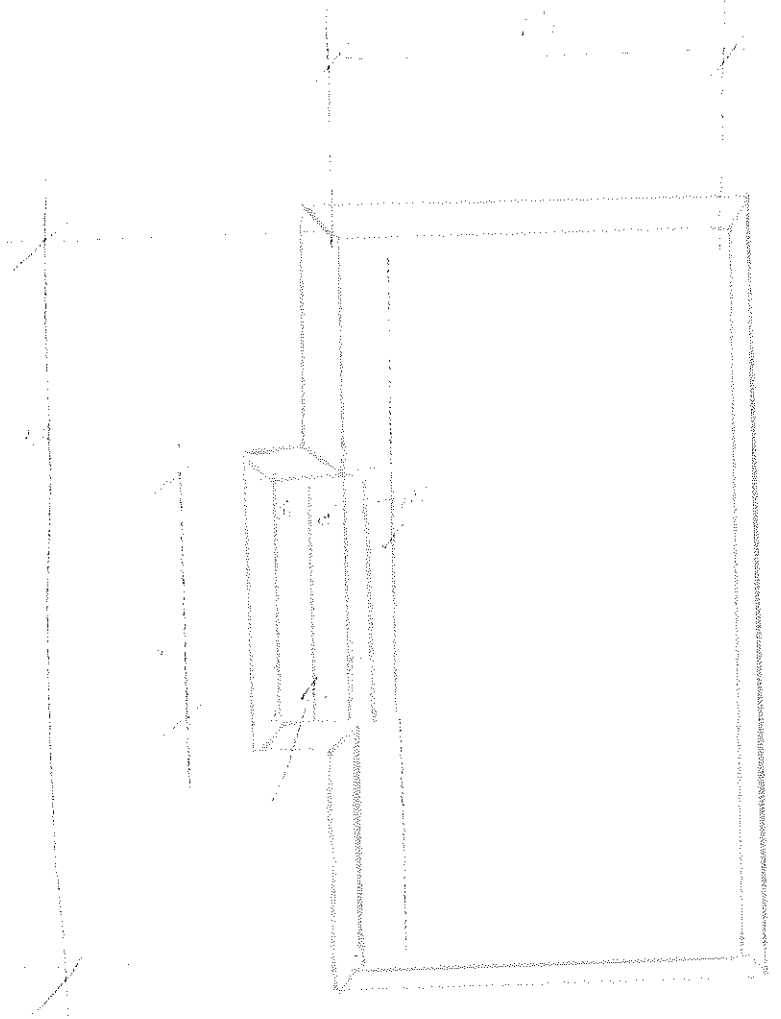
ARY POOL & FIRE PIT

RPE MCKENZIE

FLORIDA 9/2020

SCALE 1/8" = 1'-0"

171



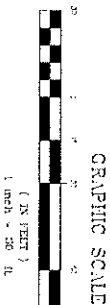
**PLAT OF BOUNDARY AND TOPOGRAPHICAL SURVEY CERTIFIED TO:
W. THORPE MCKENZIE**

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwesterly boundary of subject parcel having an assumed bearing of North 48 degrees 53 minutes 55 seconds West.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. Elevations shown hereon were established by NAVD 88 Datum.

LEGAL DESCRIPTION:
 The following is a description of the CITY OF FORT LAUDERDALE, FLA. as per map of said city and shown in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

- LEGEND**
- RW RIGHT OF WAY
 - M MEASURED
 - R.P. RECORDED PLAT
 - FIR FOUND IRON ROD
 - FIRC FOUND IRON ROD & CAP
 - SIRC SET IRON ROD & CAP
 - FIP FOUND IRON PIPE



FLOOD ZONE INFORMATION:

Subject property is located in Zone X-0-29c and AE (EL. 131) as per Flood Insurance Rate Map Community Panel No. 120083 0225 F. Issue date: February 05, 2014; Franklin County, Florida.

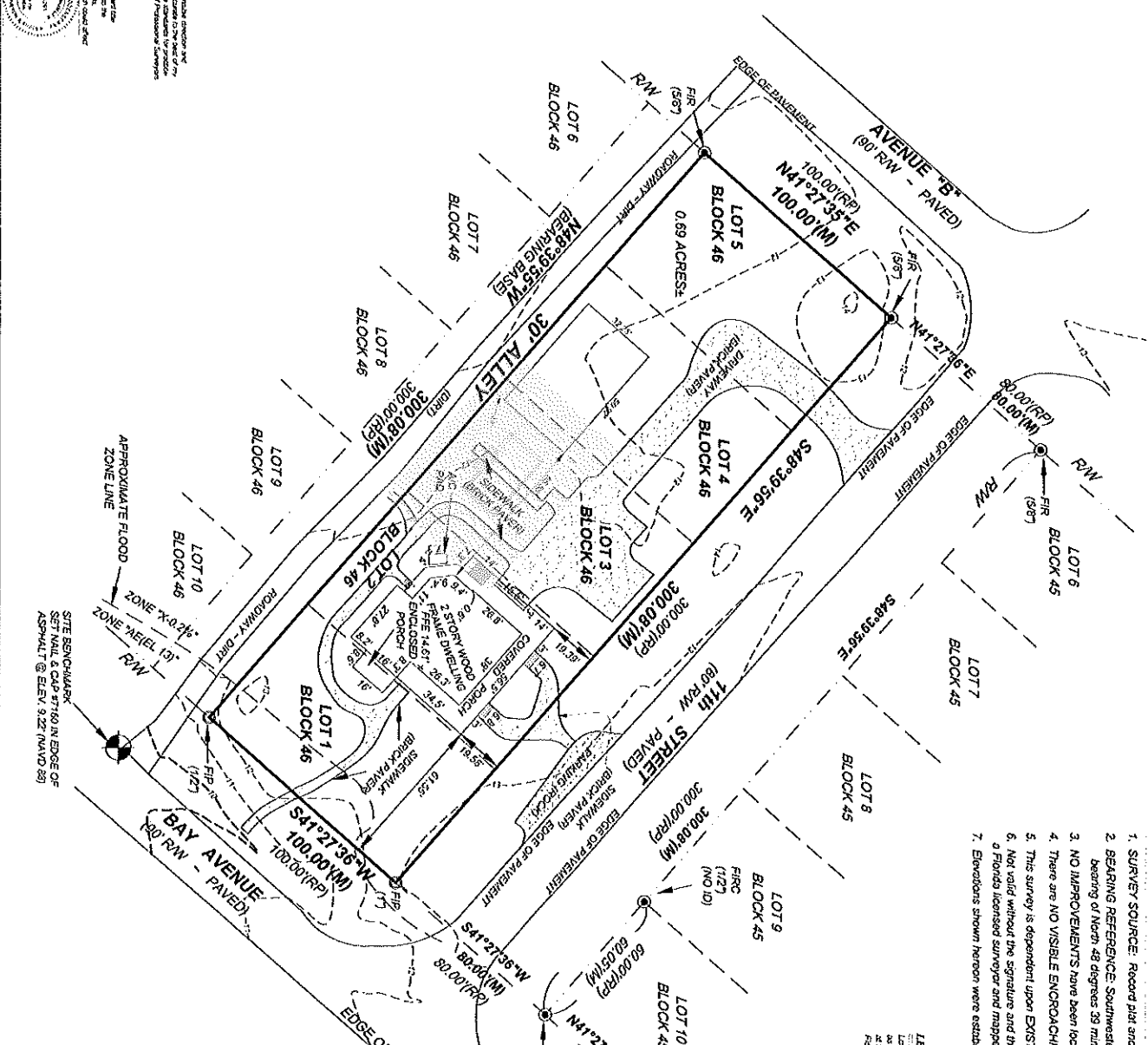
TR & A
THURMAN RODDENBERRY & ASSOCIATES, INC.
 PROFESSIONAL SURVEYORS AND MAPPERS
 716 EAST 10th • 715 SHERIDAN STREET • SUITE 1000 • FORT LAUDERDALE, FL 33404
 PHONE: 954-566-5444 FAX: 954-566-5444

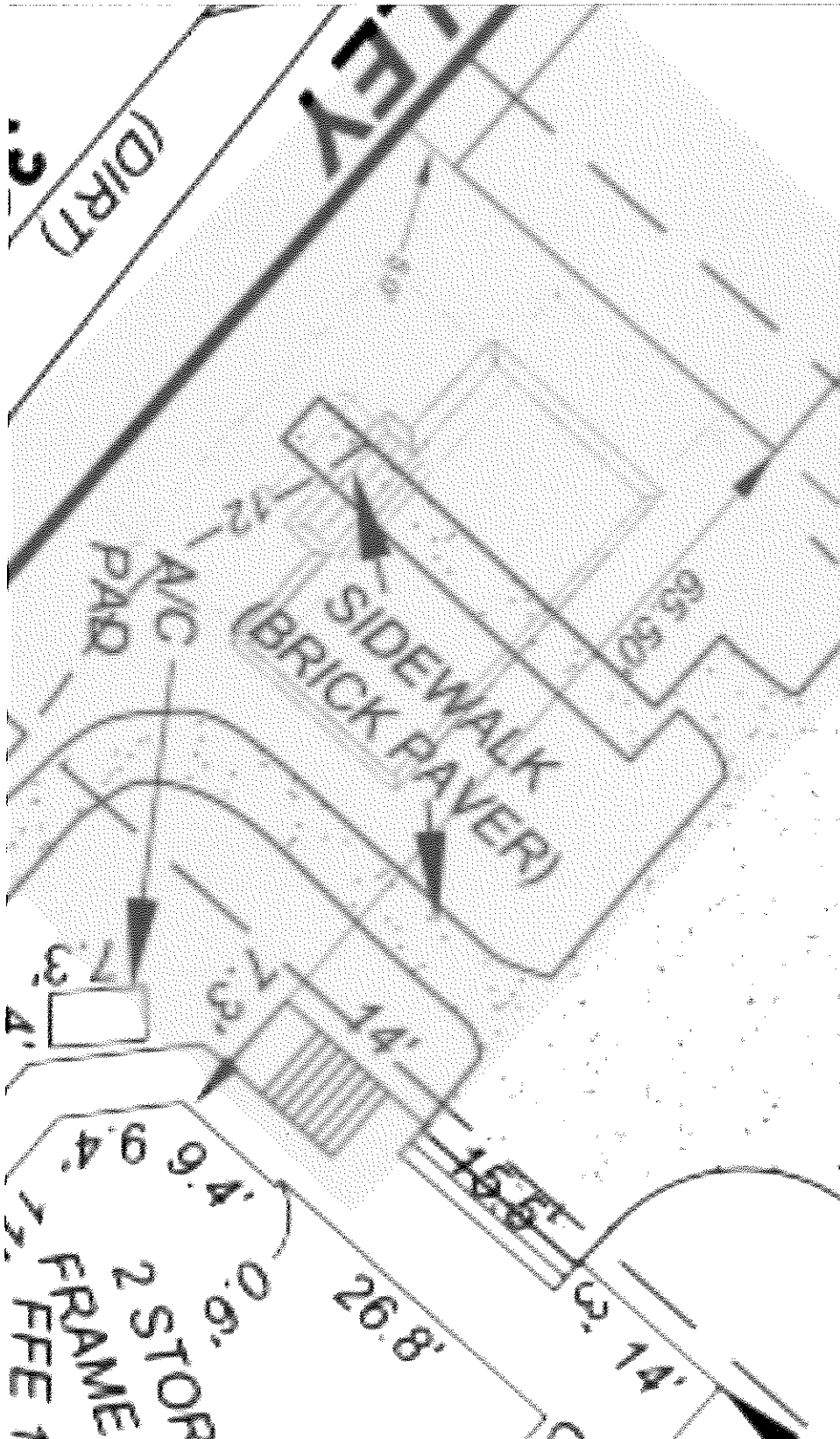
DATE: 02/25/19	DESK: BY: MD	NO. PLAT:	COUNTY: FRANKLIN
FILE: 1832.DWG	CALL OF LAST FIELD WORK: 05/28/19	JOB NUMBER: 18-326	



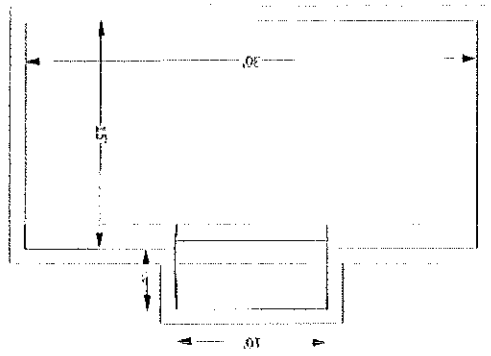
I, Thorpe McKenzie, hereby certify that this was approved under my responsible direction and I am a duly Licensed Professional Surveyor and Mapper in the State of Florida. My license number is 120083. I am not aware of any other persons who have been employed by me in the performance of this survey. I am not aware of any other persons who have been employed by me in the performance of this survey. I am not aware of any other persons who have been employed by me in the performance of this survey.

W. THORPE MCKENZIE
 PROFESSIONAL SURVEYOR AND MAPPER
 LICENSE NO. 120083
 STATE OF FLORIDA

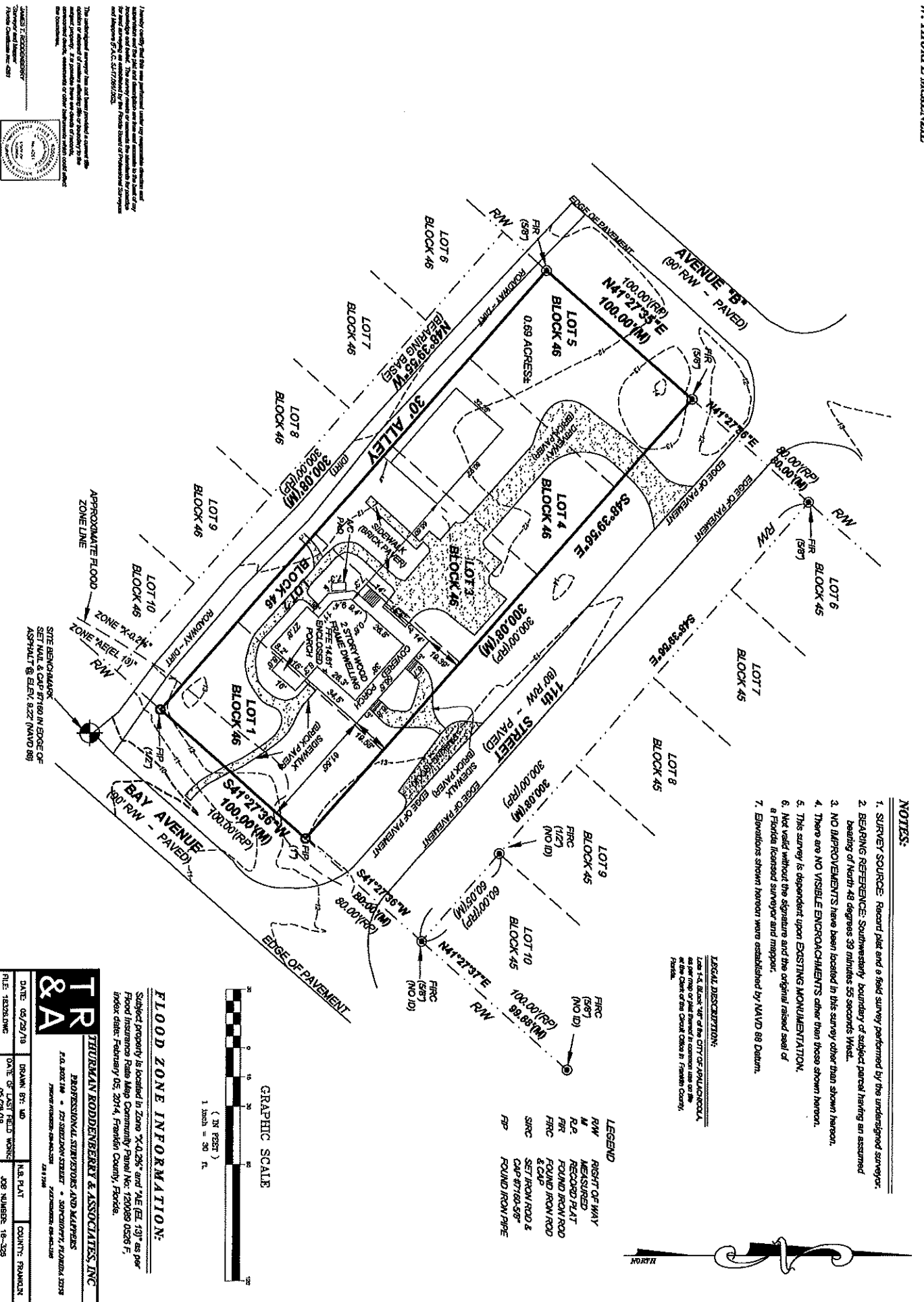




Scale: 1/8 in. per ft.



**PLAT OF BOUNDARY AND TOPOGRAPHICAL SURVEY CERTIFIED TO:
W. THORPE MCENZIE**



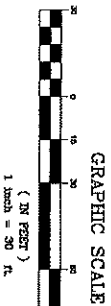
NOTES:

1. SURVEY SOURCE: Record Plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwesterly boundary of subject parcel having an assumed bearing of North 48 degrees 39 minutes 55 seconds West.
3. NO IMPROVEMENTS have been located in the survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapmaker.
7. Elevations shown hereon were established by NAVD 88 Datum.

LEGAL DESCRIPTION:
This is a plan of a CITY OF PALM BEACH as the City of Palm Beach in Florida County, Florida.

LEGEND

- R/W RIGHT OF WAY
- M MEASURED
- R.P. RECORDED PLAT
- F.R. FOUND IRON ROD
- F.R.C. FOUND IRON ROD & CAP
- S.R.C. SET IRON ROD & CAP 97-00-58"
- R.P. FOUND IRON PIPE
- F.R.C. (S&T) (NO ID)
- F.R.C. (NO ID)
- F.R.C. (NO ID)



FLOOD ZONE INFORMATION:

Subject property is located in Zone "X-0.25" and "AE 1.0T" as per Flood Insurance Rate Map Community Panel No. 120089 (05/07/17), issue date: February 05, 2014, Florida County, Florida.

THURMAN KODDENBERG & ASSOCIATES, INC.

PROFESSIONAL SURVEYORS AND MAPPERS
P.O. BOX 104 • 252 REDBANK STREET • SEVENTH FL. PALM BEACH, FLORIDA 33480
PHONE: 561-833-0900 • FAX: 561-833-0901

T & A

DATE: 05/29/18 DRAWN BY: JLD
DATE OF LAST FIELD WORK: 05/29/18
JOB NUMBER: 18-329
COUNTY: PALM BEACH



**PLAT OF BOUNDARY AND TOPOGRAPHICAL SURVEY CERTIFIED TO:
W. THORPE MCKENZIE**

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwesterly boundary of subject parcel having an assumed bearing of North 48 degrees 59 minutes 55 seconds West.
3. NO IMPROVEMENTS have been located in this survey other than those herein.
4. There are NO VISIBLE ENCROACHMENTS other than those shown herein.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. Elevations shown herein were established by NAVD 88 Datum.

LEGAL DESCRIPTION:
Lot 1-5, Block 46 of the CITY OF JACKSONVILLE, as the same or part thereof is shown on the plat of the Court Order in Franklin County, Florida.



- LEGEND**
- R/W RIGHT OF WAY
 - M MEASURED
 - R.P. RECORD PLAT
 - FIR FOUND IRON ROD
 - SIRC SET IRON ROD & CAP #1760-58"
 - PIP FOUND IRON PIPE



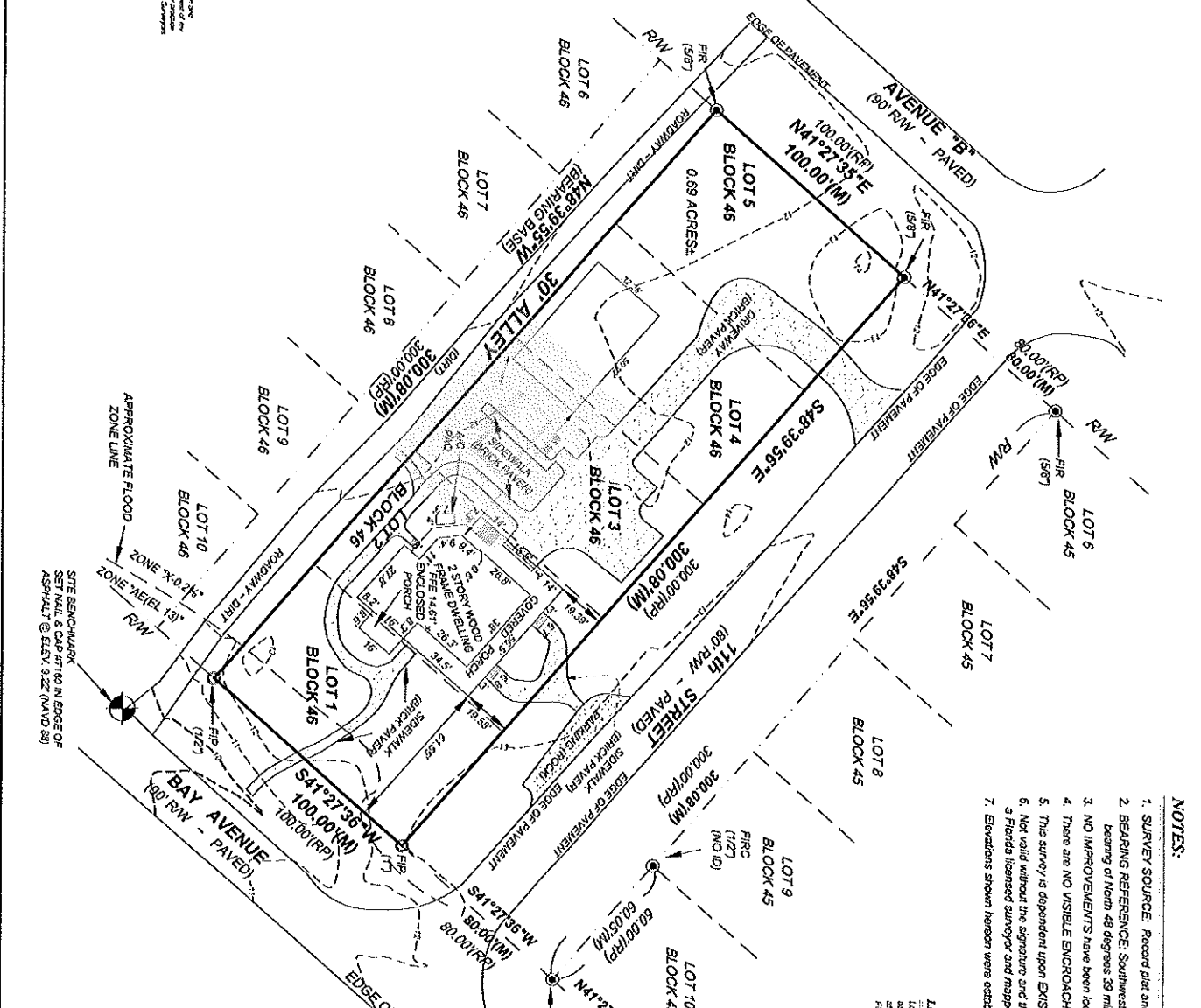
FLOOD ZONE INFORMATION:

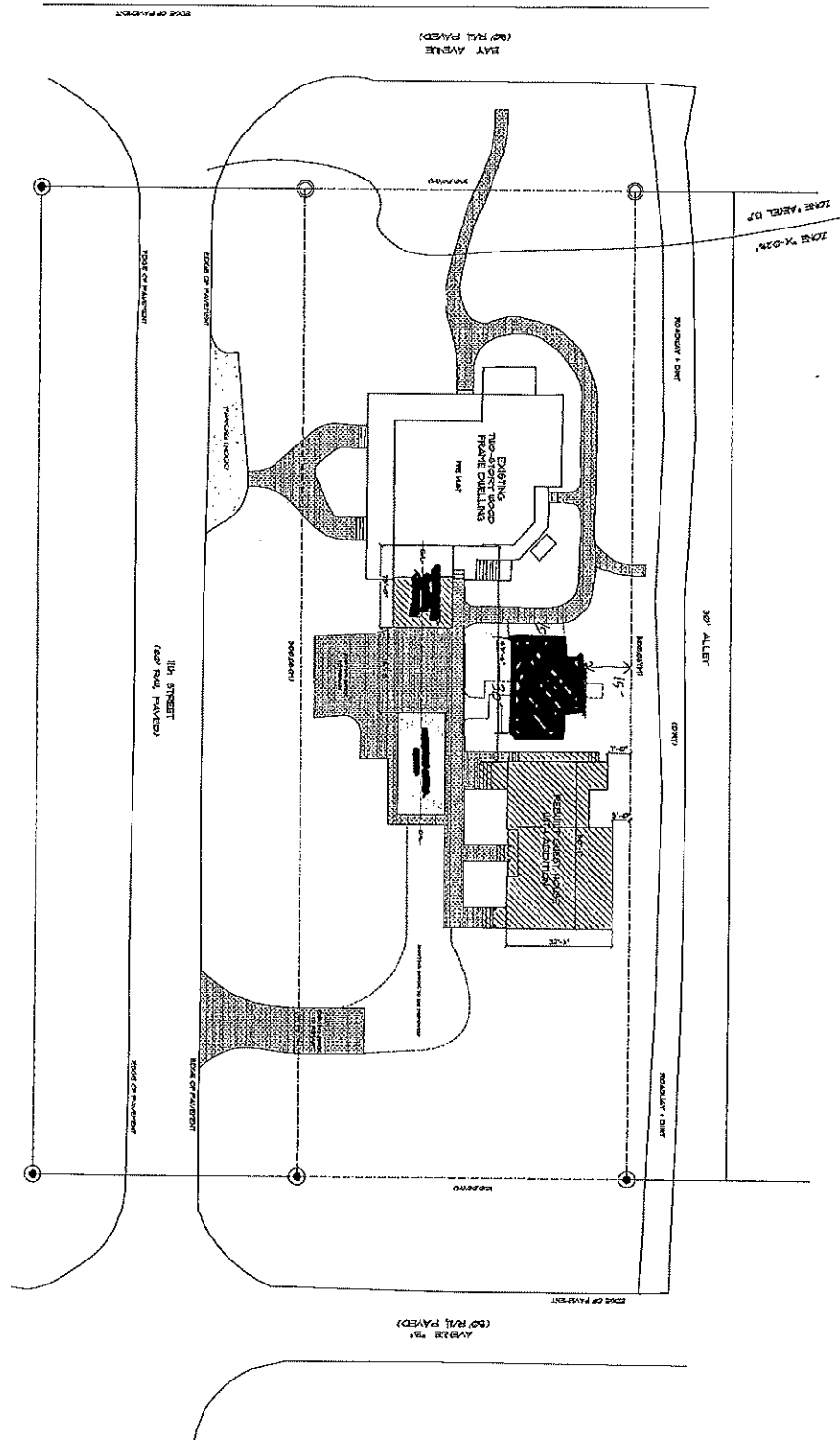
Subject property is located in Zone X-0-250' and 24E IEL 131' as per Flood Insurance Rate Map Community Panel No. 120089 0225 F.
Index date: February 05, 2014, Franklin County, Florida.

TR & A
THURMAN RODDENBERRY & ASSOCIATES, INC.
PROFESSIONAL SURVEYORS AND MAPPERS
P.O. BOX 198 • 125 STATION STREET • SHELBYVILLE, KY 40381
PHONE: 502-638-2222 FAX: 502-638-2222

DATE: 05/29/19 DRAWN BY: MD SCALE: AS SHOWN COUNTY: FRANKLIN
FILE: 18022006 JOB NUMBER: 18-226

The undersigned surveyor has not been provided a certified copy of the original survey plat and a field survey performed by the undersigned surveyor. The surveyor is not responsible for the accuracy of the original survey plat and a field survey performed by the undersigned surveyor. The surveyor is not responsible for the accuracy of the original survey plat and a field survey performed by the undersigned surveyor.





Site Plan



SCALE: A0.1

DATE: 10/11/11
DRAWN BY: [illegible]
REVISIONS: [illegible]

THOMAS E. POPE, P.A.
POPE-SCARBROUGH-ARCHITECTS
(305) 296 3611 610 White St. Key West FL

McKenzie Guest House
139 Bay Ave Apalachicola, FL



#6

87 Ave D

Driveway



CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION -HISTORIC DISTRICT ONLY-	Official Use Only Application # _____ City Representative _____ Date Received _____
---	---

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner: <u>Charles Hart</u> Address: <u>87 Avenue D</u> City: <u>Apalachicola</u> State <u>FL</u> Zip <u>32320</u> Phone: <u>(850) 296-4148</u>	Contractors Name: <u>Jason White Construction</u> State License # _____ City License # _____ Email Address _____ Phone: <u>(850) 670-3500</u>

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

<input type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Other: <u>Landscape/ Driveway renovation</u>
--	--

PROPERTY INFORMATION:

Street Address: 87 Avenue D City & State: Apalachicola FL Zip: 32320

Historic District Non-Historic District Zoning District: _____

Parcel #: 01-095-08W-8330-0023-0090 Block(s): 23 Lot(s): 9-10

IFEMA Flood Zone/Panel #: _____
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property: Front: _____ Rear: _____ Side: _____ Lot Coverage: _____ Water Available: _____ Sewer Available: _____ Taps Paid _____	This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued. Certificate of Appropriateness Approval: _____ Chairperson, Apalachicola Planning & Zoning Board
---	---

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCF.

Tammy Owens
 Permitting and Development Coordinator
 (850) 658-1522
 cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

See included site plan by Frank Douglas of Tallahassee Nurseries.
 Sitework to be done by Jason White Construction.
 Paver work to be done by Fred Baab (B+B Pavers)

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks		Pavers	
Other Landscape/ Plants/Sod			

CERTIFICATION

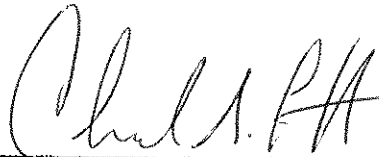
By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

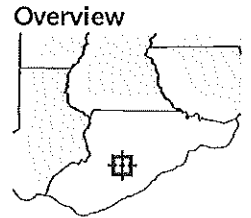
1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE




5/15/2021

SIGNATURE OF APPLICANT





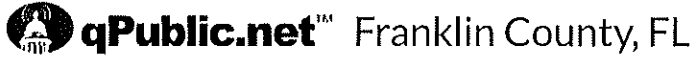
Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0023-0090	Alternate ID	08W09S01833000230090	Owner Address	HART CHARLES S
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		235 COURTSIDE DRIVE
Property Address	87 AVE D	Acreage	n/a		BIRMINGHAM, AL 35242
	APALACHICOLA				
District	3				
Brief Tax Description	BLOCK 23 LOTS 9-10				
	(Note: Not to be used on legal documents)				

Date created: 5/21/2021
 Last Data Uploaded: 5/21/2021 7:42:50 AM

Developed by  **Schneider**
 GEOSPATIAL



Parcel Summary

Parcel ID 01-09S-08W-8330-0023-0090
Location Address 87 AVE D
 APALACHICOLA 32320
Brief Tax Description* BLOCK 23 LOTS 9-10 CITY OF APALACHICOLA ORB 246/129 ORB 320/59 1007/139 1263/287
 *The Description above is not to be used on legal documents.
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 1-9S-8W
Tax District Apalachicola (District 3)
Millage Rate 20.2323
Acres 0.000
Homestead N

[View Map](#)

Owner Information

Primary Owner
 Hart Charles S
 235 Courtside Drive
 Birmingham, AL 35242

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	120.00	FF	0	0

Residential Buildings

Building 1
Type HISTORICAL
Total Area 2,782
Heated Area 2,402
Exterior Walls WD FR STUC; WD FR STUC
Roof Cover TIN ROOF
Interior Walls DRYWALL; CUST PANEL
Frame Type WOOD FRAME
Floor Cover CLAY TILE
Heat AIR DUCTED
Air Conditioning CENTRAL
Bathrooms 2
Bedrooms 3
Stories 1
Effective Year Built 1960

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0610	SHED WD	1	0x0x0	168	SF	2013
0080	DECK	1	0x0x0	200	SF	1995
0320	CONCRETE	1	0x0x0	150	UT	0
0580	BRICK WALK	1	0x0x0	602	SF	1995
	WOOD FENCE	1	0x0x0	960	UT	1995
	STEPS	1	0x0x0	40	UT	1995
	STORAGE	1	0x0x0	96	UT	1995

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/17/2020	\$495,000	WD	1263	287	Qualified (Q)	Improved	VOGT	HART
N	03/10/2010	\$250,000	WD	1007	139	Qualified (Q)	Improved	PIERCE	VOGT
N	06/15/1990	\$43,350	WD	320	59	Qualified (Q)	Improved	MEYER	PIERCE

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$133,623	\$133,623	\$133,623	\$133,623	\$133,623
Extra Features Value	\$10,048	\$10,048	\$10,048	\$10,048	\$10,048
Land Value	\$120,000	\$120,000	\$76,200	\$84,000	\$72,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$263,671	\$263,671	\$219,871	\$227,671	\$215,671
Assessed Value	\$263,671	\$263,671	\$217,461	\$212,988	\$208,607
Exempt Value	\$0	\$0	\$50,000	\$50,000	\$50,000
Taxable Value	\$263,671	\$263,671	\$167,461	\$162,988	\$158,607
Maximum Save Our Homes Portability	\$0	\$0	\$2,410	\$14,683	\$7,064

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

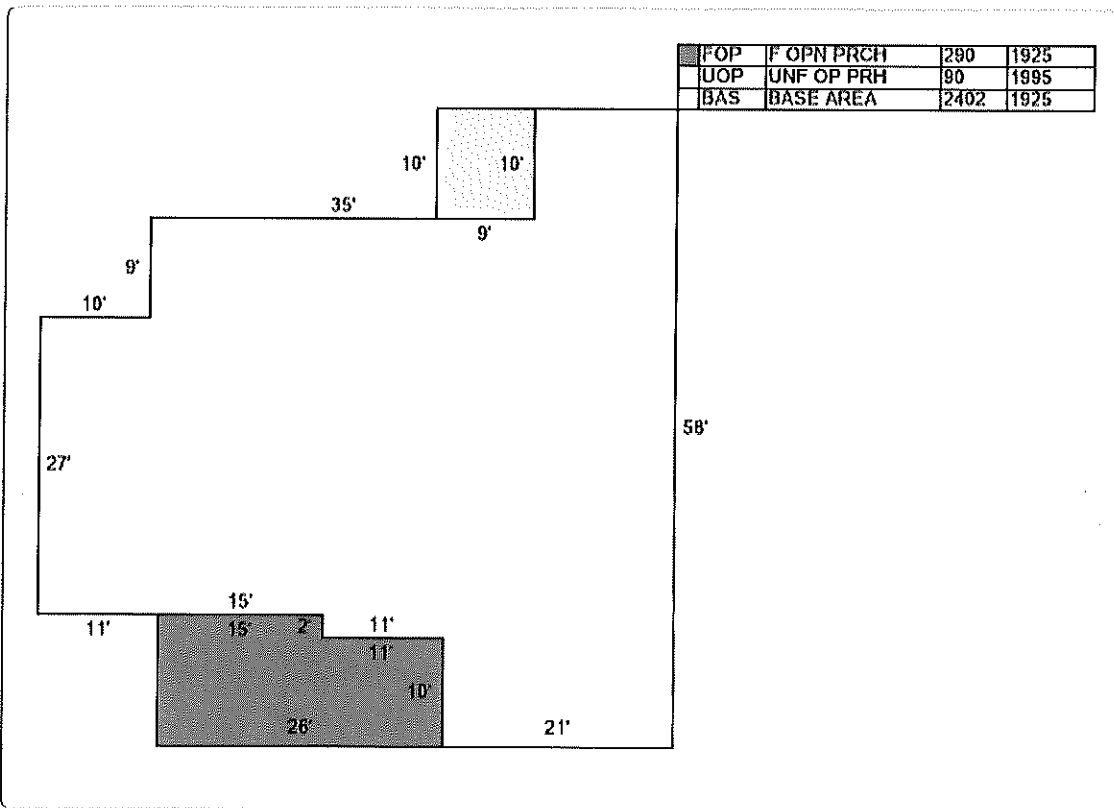
TRIM Notice 2020

2020 TRIM Notice (PDF)

TRIM Notice 2019

2019 TRIM Notice (PDF)

Sketches



No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Last Data Upload: 5/21/2021, 7:42:50 AM



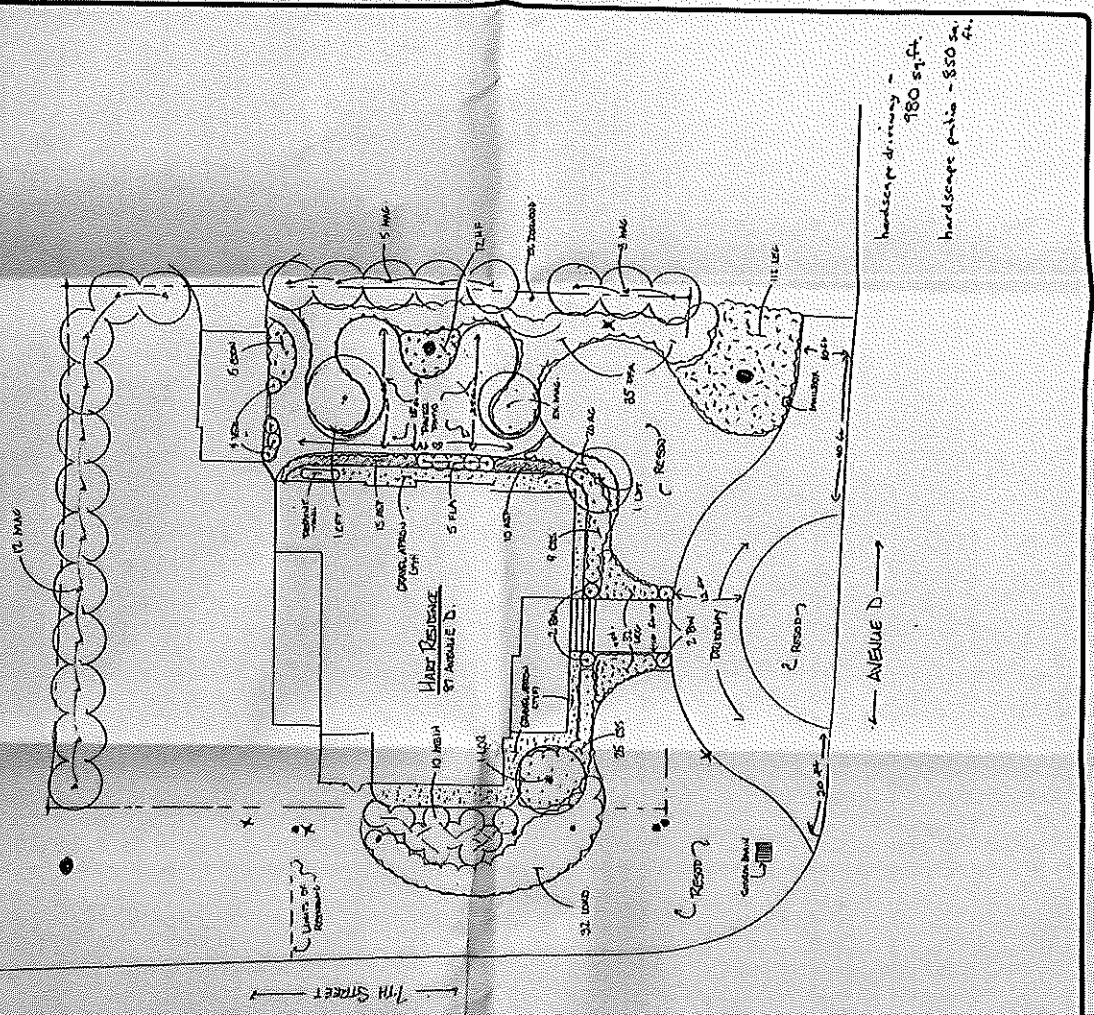
Version 2.3.121



Tallahassee Nurseries
 2011 Thomaston Road, Tallahassee, FL 32308
 (850) 385-8190

CHARLES HART
 87 Avenue D
 APALACHICOLA, FL 32310

DATE	5/26/21
BY	CH
PROJECT	17th Street
SCALE	1" = 10'



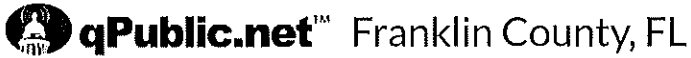
landscape driveway - 180 sq. ft.
 landscape patio - 850 sq. ft.

PLANT KEY

ABBR	PLANT NAME	QTY	SIZE	SPACING
AG	Agapanthus Lily	30	1 gal	2' o.c.
ASP	Aspidistra 'Cast Iron'	25	1/2 cumps	2' o.c.
BW	Bonewood Japanese	4	1/2' dbb	as shown
CFT	Chinese Fringe Tree	1	30 gal	as shown
COOH	Coontie Palm	5	3 gal	3' o.c.
CS	Cornelia 'Shi-Shi Gathering'	34	3 gal	3' o.c.
FLA	Florida Anise	5	7 gal	4' o.c.
H	Holly Fern	40 RL	1 gal	3' o.c.
LEG	Linopon 'Emerald Goddess'	150	1 gal	2' o.c.
LOLO	Lomatium 'Kashius Deluxe'	32	3 gal	4' o.c.
LOQ	Loquat Tree	1	30 gal	as shown
LPT	Ligustrum 'Peach Tree'	1	42 gal	as shown
MAG	Magnolia 'OD Blanchard'	20	100 gal	as shown
MBH	Majestic Beauty Indian Hawthorn	10	7 gal	5' o.c.
PFA	Purple Fennel Azalea	20	3 gal	5' o.c.
VSS	Viburnum 'Spring Bouquet'	4	7 gal	4' o.c.

LANDSCAPE PLAN
 SCALE: 1" = 10'

NOTES
 ● EXISTING TREES / PALM
 X TREES TO BE REMOVED



Parcel Summary

Parcel ID 01-09S-08W-8330-0023-0090
 Location Address 87 AVE D
 APALACHICOLA 32320
 Brief Tax Description* BLOCK 23 LOTS 9-10 CITY OF APALACHICOLA ORB 246/129 ORB 320/59 1007/139 1263/287
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Hart Charles S
 235 Courtside Drive
 Birmingham, AL 35242

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	120.00	FF	0	0

Residential Buildings

Building 1
 Type HISTORICAL
 Total Area 2,782
 Heated Area 2,402
 Exterior Walls WD FR STUC; WD FR STUC
 Roof Cover TIN ROOF
 Interior Walls DRYWALL; CUST PANEL
 Frame Type WOOD FRAME
 Floor Cover CLAY TILE
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 3
 Stories 1
 Effective Year Built 1960

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0610	SHED WD	1	0x0x0	168	SF	2013
0080	DECK	1	0x0x0	200	SF	1995
0320	CONCRETE	1	0x0x0	150	UT	0
0580	BRICK WALK	1	0x0x0	602	SF	1995
	WOOD FENCE	1	0x0x0	960	UT	1995
	STEPS	1	0x0x0	40	UT	1995
	STORAGE	1	0x0x0	96	UT	1995

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/17/2020	\$495,000	WD	1263	287	Qualified (Q)	Improved	VOGT	HART
N	03/10/2010	\$250,000	WD	1007	139	Qualified (Q)	Improved	PIERCE	VOGT
N	06/15/1990	\$43,350	WD	320	59	Qualified (Q)	Improved	MEYER	PIERCE

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$133,623	\$133,623	\$133,623	\$133,623	\$133,623
Extra Features Value	\$10,048	\$10,048	\$10,048	\$10,048	\$10,048
Land Value	\$120,000	\$120,000	\$76,200	\$84,000	\$72,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$263,671	\$263,671	\$219,871	\$227,671	\$215,671
Assessed Value	\$263,671	\$263,671	\$217,461	\$212,988	\$208,607
Exempt Value	\$0	\$0	\$50,000	\$50,000	\$50,000
Taxable Value	\$263,671	\$263,671	\$167,461	\$162,988	\$158,607
Maximum Save Our Homes Portability	\$0	\$0	\$2,410	\$14,683	\$7,064

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

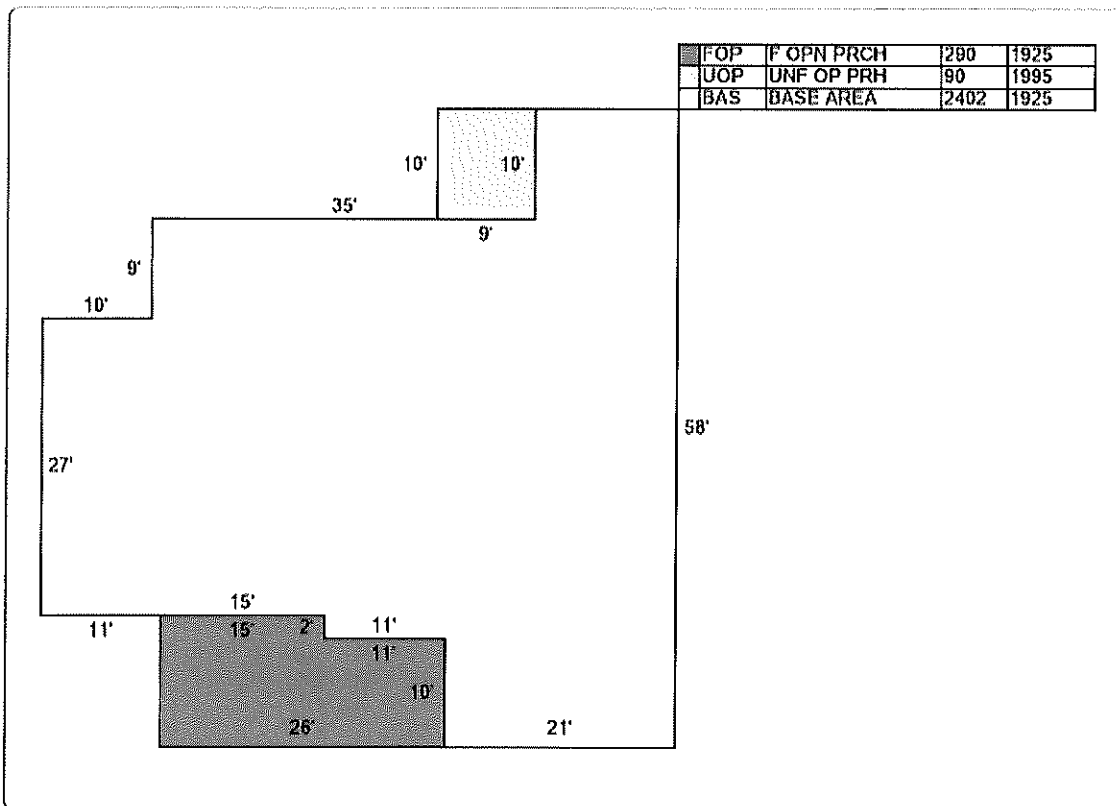
TRIM Notice 2020

2020 TRIM Notice (PDF)

TRIM Notice 2019

2019 TRIM Notice (PDF)

Sketches



No data available for the following modules: Commercial Buildings.

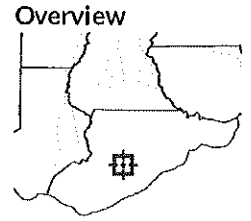
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.




[User Privacy Policy](#)
[GDPR Privacy Notice](#)



Last Data Upload: 6/9/2021, 7:42:46 AM

Version 2.3.124



- Legend**
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	01-09S-08W-8330-0023-0090	Alternate ID	08W09S01833000230090	Owner Address	HART CHARLES S
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		235 COURTSIDE DRIVE
Property Address	87 AVED	Acreage	n/a		BIRMINGHAM, AL 35242
	APALACHICOLA				
District	3				
Brief Tax Description	BLOCK 23 LOTS 9-10				
	(Note: Not to be used on legal documents)				

Date created: 6/9/2021
Last Data Uploaded: 6/9/2021 7:42:46 AM

#7

180 Fred Meyer

SHED

NON-HISTORIC

CITY OF APALACHICOLA <small>CITY OF APALACHICOLA, FLORIDA, INCORPORATED 1904</small> <small>STATION 6220 ERROR CORRECT</small>		Official Use Only Application # _____ City Representative _____ Date Received _____
OWNER INFORMATION		CONTRACTOR INFORMATION
Owner: <u>Johnny F. McLaughlin</u> Address: <u>249 Fred Meyer St.</u> City: <u>Apalachicola</u> State: <u>FL</u> Zip: <u>32320</u> Phone: <u>(850) 653-6471</u>		Contractors Name: <u>SEIS</u> State License # _____ City License # _____ Email Address _____ Phone (____) _____
Approval Type: <input type="checkbox"/> Staff Approval Date: _____ <input type="checkbox"/> Board Approval <input type="checkbox"/> Board Denial Date _____ *Reason for Denial _____		
PROJECT TYPE		
<input type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition		<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Other: <u>Storage Shed</u>
PROPERTY INFORMATION: Street Address: <u>SAME</u> City & State: <u>Apalachicola</u> Zip: <u>32320</u> <input type="checkbox"/> Historic District <input checked="" type="checkbox"/> Non-Historic District Zoning District: _____ Parcel #: _____ Block(s) <u>246</u> Lot(s) <u>10-15</u> FEMA Flood Zone/Panel #: _____ <small>(For AE, AO, AH or VE Please complete attached Flood Application)</small>		
OFFICIAL USE ONLY		
Setback requirement of Property: Front: _____ Rear: _____ Side: _____ Lot Coverage: _____ Water Available: <input checked="" type="checkbox"/> Sewer Available: <input checked="" type="checkbox"/> Taps Paid _____		This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued. Certificate of Appropriateness Approval: _____ Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Tummy Owens
 Permitting and Development Coordinator
 (850) 658-1522
cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		Hardy Board	
Doors	1 door	Pre-hung steel Door	
Windows	2	2' x 2' (2)	
Roofing		metal	
Trim		YES	
Foundation		3/4 Plywood	
Shutters		NO	
Porch/Deck		NO	
Fencing		NO	
Driveways/Sidewalks		NO	
Other		NO	

W

EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Couch Wagoner Blvd. 850-653-1522
APPLICATION FOR BUILDING PERMIT

DATE: 5-20-21 Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: Martha McLaurin Email: jean.mclaurin@yahoo.com

ADDRESS: 180 Johnny F. McLaurin
249 FRED MEYER ST

CITY, STATE & ZIP CODE: Apalachicola Fla 32320 PHONE # 850-653 6471

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: N/A SELF Email: _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

STATE LICENSE NUMBER: 180 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 249 FRED MEYER ST.

PURPOSE OF PERMIT: To BUILD STORAGE SHED

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID# 01-095-8W-8330-0246-0100

LEGAL DESCRIPTION OF PROPERTY: Greater APALACHICOLA BIK-246 Lots 7-15
OR 224/113 or 157/527

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: N/A

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to cityofapalachicola@gmail.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Roof Sign Pole Barn
 Temp Pole Demolition Other _____
 Addition, Alteration or Renovation to building. _____

Distance from property lines: Front 98 ft Rear 87 ft L. Side 12 ft
 R. Side 76 ft
 Cost of Construction \$ \$5380.50 Square Footage 288
 EPI _____ Flood Zone _____ Lowest Floor Elevation 1 ft
 Area Heated/Cooled N/A # Of Stories _____ # Of Units _____
 Type of Roof Metal Type of Walls CDP Plywood Type of Floor wood - Plywood 3/4"
 Extreme Dimensions of: Length 24' Height 10' Width 12'

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

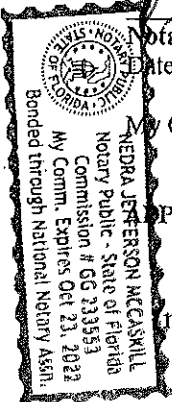
OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Johnnie M. Lavin 5-20-21
 Signature of Owner or Agent Date

N/A SELF
 Signature of Contractor Date

Wisc) Martha J. Metcalfe 5-20-21
Nedra M. Cardwell
 Notary as to Owner or Agent

Notary as to Contractor
 Date: _____



Date: 5-20-21
 My Commission expires: 10/23/22

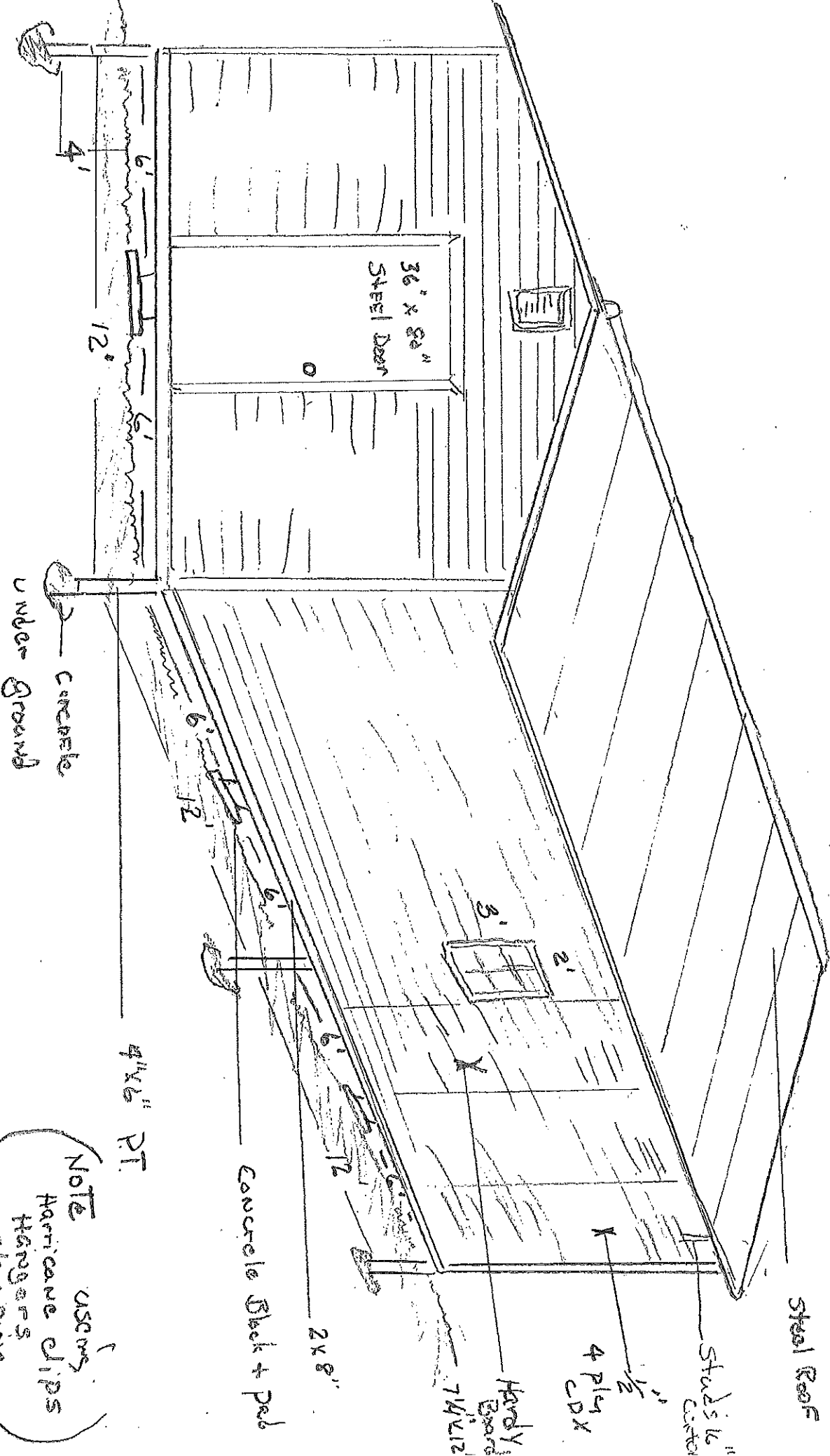
My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: cityofapalachicola@gmail.com or drop off in City drop box)
 make checks payable to EPCI - 192 Coach Wagoner Blvd. Apalachicola, FL 32320)

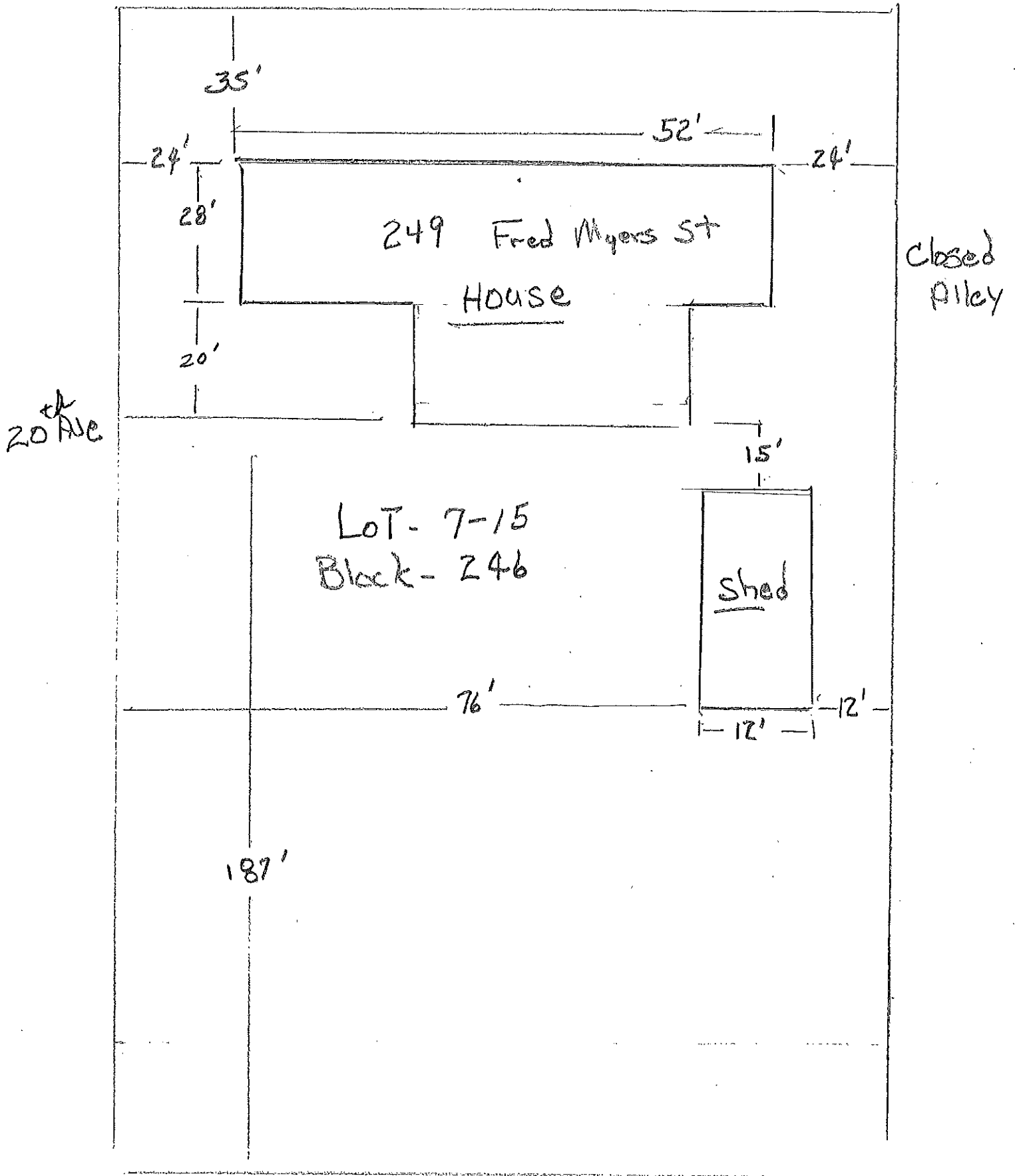
John & Maura
249 Fred Meyer St
Ft. Collins, CO

288 sq' ft

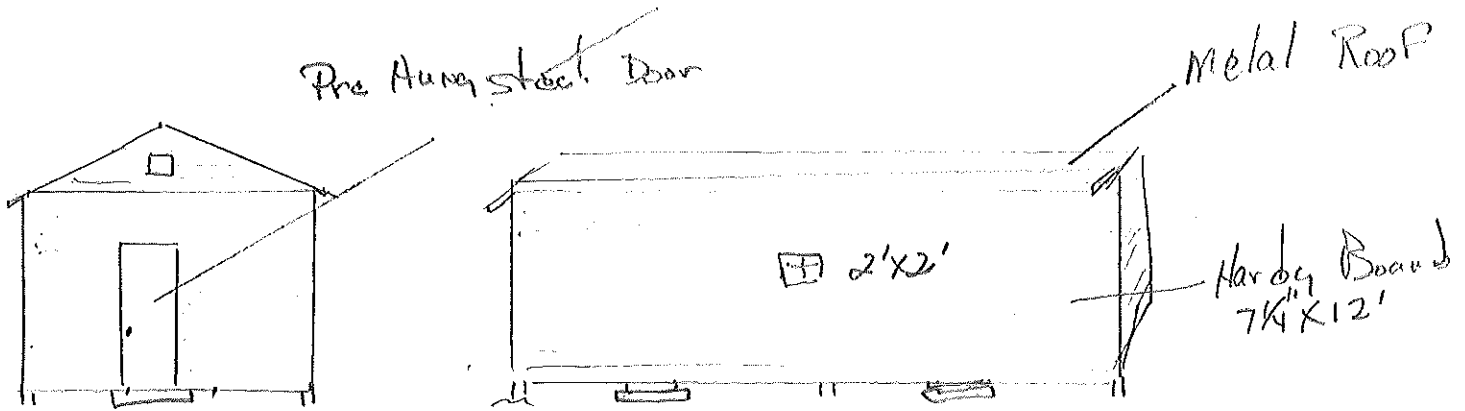
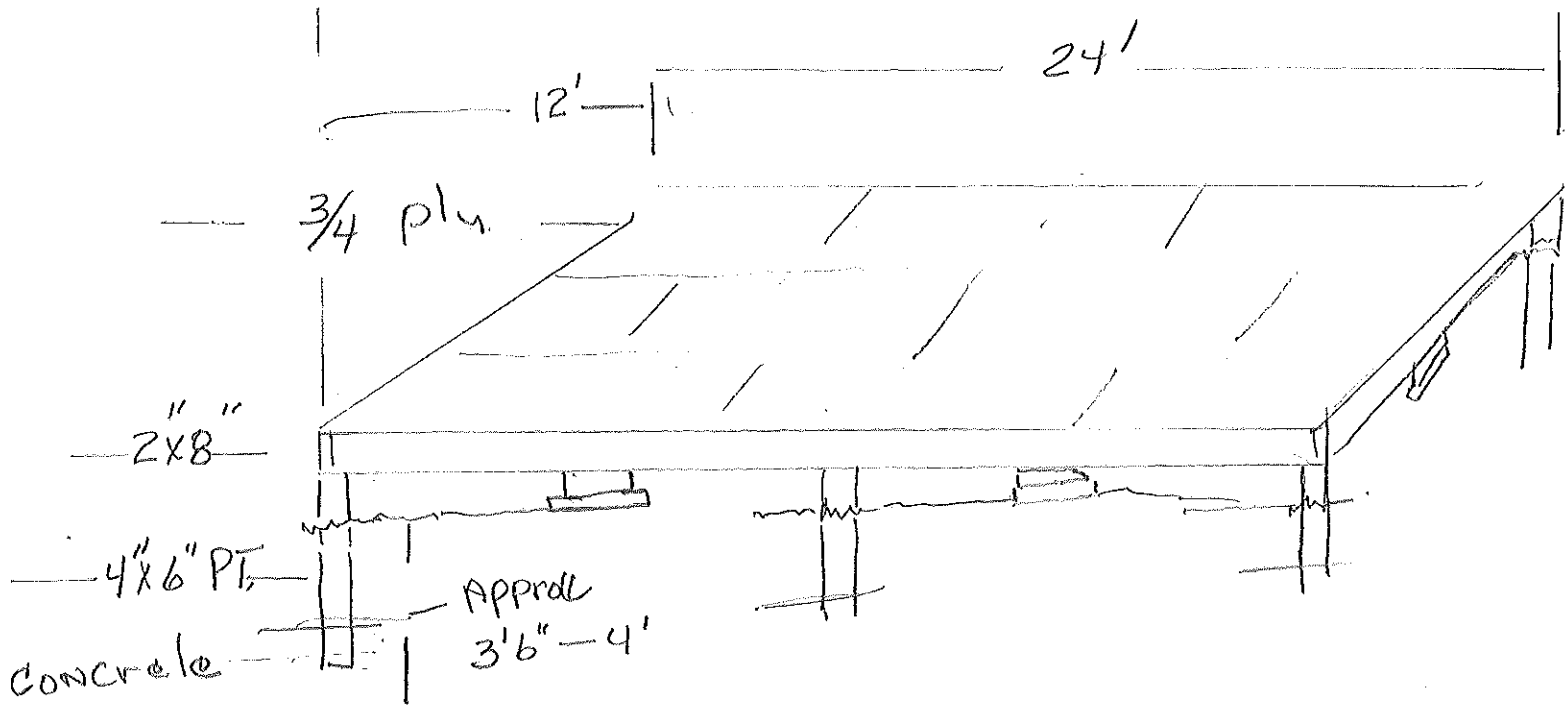


(NOTE USCM's Hurricane clips Straps)

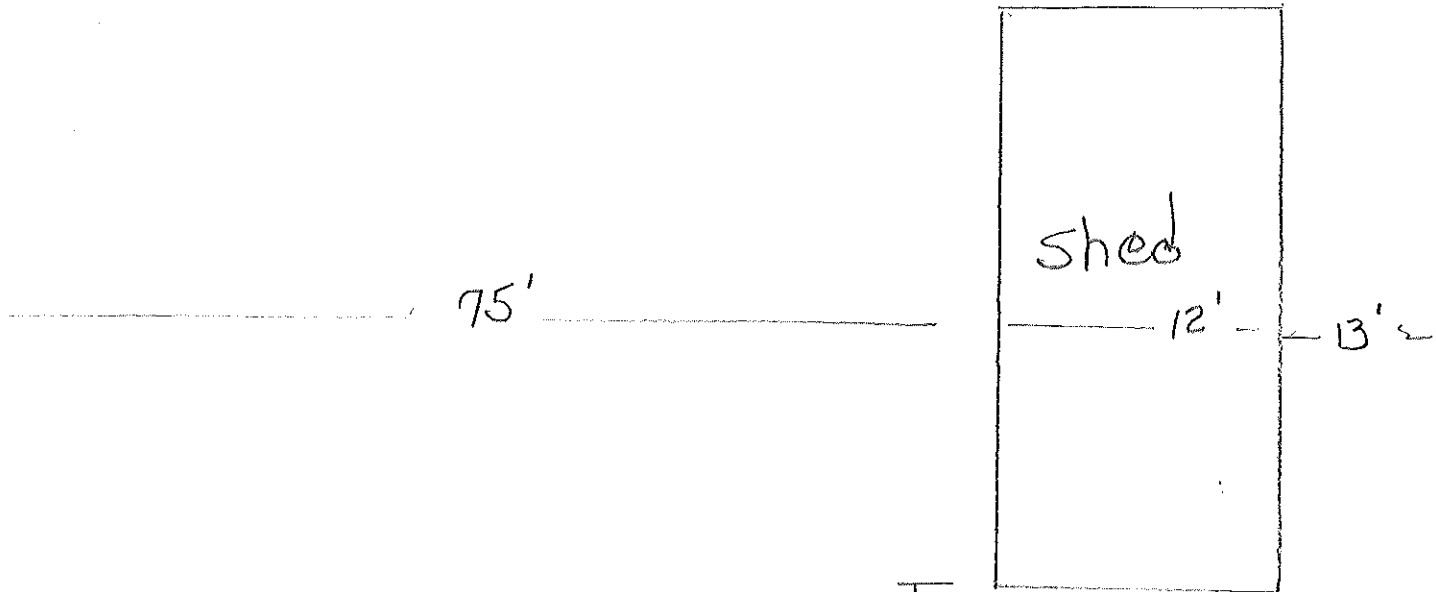
Fred Meyers St.



Foundation



going to use Hangers, Strapping - Hurricane clips

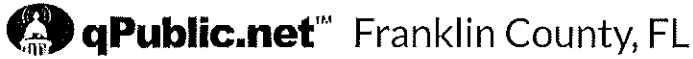


Property



120'





Parcel Summary

Parcel ID 01-09S-08W-8330-0246-0100
 Location Address 180 FRED MEYER
 32320
 Brief Tax Description* GREATER APALACHICOLA BLOCK 246 LOTS 10 THRU 15 ALSO LOTS 7 THRU 9 OR/224/113 OR/157/527
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead Y

[View Map](#)

Owner Information

Primary Owner
[McLaurin, Martha Jean](#)
 P O Box 691
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000155	SFR GREATER APALACH	270.00	FF	0	0

Residential Buildings

Building 1
 Type CITY OF AP
 Total Area 2,373
 Heated Area 1,845
 Exterior Walls COMMON BRK
 Roof Cover COMP SHNGL
 Interior Walls DRYWALL
 Frame Type N/A
 Floor Cover CARPET
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 0
 Stories 1
 Effective Year Built 1977

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0280	POOL RES ABOVE AVER	1	0x0x0	1	UT	0
0650	CON DR WAY	1	0x0x0	636	UT	0
0610	SHED WD	1	0x0x0	160	UT	0
0320	CONCRETE	1	0x0x0	437	UT	0
0410	WD FENCE	1	0x0x0	320	UT	0
0170	FPLC BELOW AVERAGE	1	0x0x0	1	UT	0
0610	SHED WD	1	0x0x0	24	UT	0
0080	DECK	1	0x0x0	315	SF	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	00/01/1976	\$2,000	WD	136	616	Qualified (Q)	Vacant		

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$101,428	\$102,191	\$88,899	\$88,899	\$90,207
Extra Features Value	\$6,909	\$6,909	\$6,909	\$6,909	\$6,909
Land Value	\$54,000	\$54,000	\$40,500	\$40,500	\$40,500
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$162,337	\$163,100	\$136,308	\$136,308	\$137,616
Assessed Value	\$120,755	\$118,040	\$115,839	\$113,456	\$111,122
Exempt Value	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000
Taxable Value	\$70,755	\$68,040	\$65,839	\$63,456	\$61,122
Maximum Save Our Homes Portability	\$41,582	\$45,060	\$20,469	\$22,852	\$26,494

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

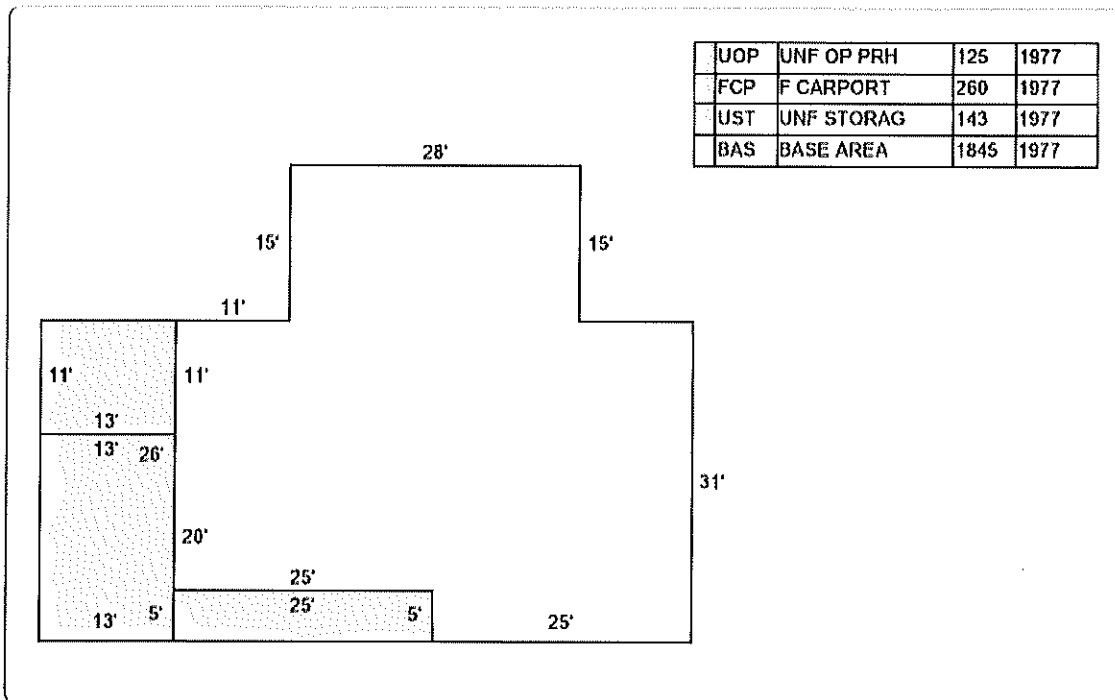
TRIM Notice 2020

2020 TRIM Notice (PDF)

TRIM Notice 2019

2019 TRIM Notice (PDF)

Sketches



No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

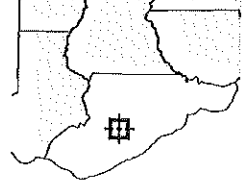
Last Data Upload: 5/21/2021, 7:42:50 AM

Version 2.3.121








Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0246-0100	Alternate ID	08W09S01833002460100	Owner Address	MCLAURIN MARTHA JEAN
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		P O BOX 691
Property Address	180 FRED MEYER	Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	GREATER APALACHICOLA (Note: Not to be used on legal documents)				

Date created: 5/21/2021
 Last Data Uploaded: 5/21/2021 7:42:50 AM

Developed by  Schneider
 GEOSPATIAL

#8

189 Ave E

Detached Garage

✓✓

CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION -HISTORIC DISTRICT-		Official Use Only Application # _____ City Representative _____ Date Received _____
OWNER INFORMATION		CONTRACTOR INFORMATION
Owner <u>PAUL FUERSCHBACH</u> Address <u>189 AVENUE E</u> City <u>APALACHICOLA</u> State <u>FL</u> Zip <u>32320</u> Phone <u>(505) 328-4409</u>		(OWNER) State License # _____ City License # _____ County License # _____ Email Address _____ Phone (_____) _____
Approval Type: <input type="checkbox"/> Staff Approval Date: _____ <input type="checkbox"/> Board Approval <input type="checkbox"/> Board Denial Date _____ *Reason for Denial _____		
PROJECT TYPE		
<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Attention/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input type="checkbox"/> Other: _____	DETACHED GARAGE REVISION (from 4/20/20 approved)
PROPERTY INFORMATION:		
Street Address: <u>189 AVENUE E</u> City & State: <u>APALACHICOLA FL</u> Zip <u>32320</u> <input checked="" type="checkbox"/> Historic District <input type="checkbox"/> Non-Historic District Zoning District: <u>DIR</u> Parcel #: <u>01-095-08W-8330-0099-0010</u> Block(s) <u>99</u> Lot(s) <u>1 & 2</u> FEMA Flood Zone/Panel #: _____ (For AE, AO, AH or VE Please complete attached Flood Application)		
OFFICIAL USE ONLY		
Setback requirement of Property: Front: _____ Rear: _____ Side: _____ Lot Coverage: _____ Water Available: _____ Sewer Available: _____ Taps Paid: _____	This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued. Certificate of Appropriateness Approval: _____ Chairperson, Apalachicola Planning & Zoning Board	

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official connected to handle the City of Apalachicola Building Permits, EPCL.

Cortni Bankston
 Permitting and Development Coordinator
 (850) 668-1522 ext 205 Phone
 (850) 658-5023 Cell
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

- ① DETACHED GARAGE 22' X 22' TO BE BUILT AT BACK OF MAIN HOUSE. ROOF ATTCH TO MAIN HOUSE
- ② EXISTING CONCRETE SLAB TO BE REMOVED (20' X 26')

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		HANDICAP SIDING 6" EXP.	
Doors		2 BKT GAR. DOORS 36" SIDE DOOR	
Windows		4 2030 SW	
Roofing		METAL ROOF TO MATCH HOUSE	
Trim		1X4 TRIM	
Foundation		CONCRETE BLOCK STEM WALL 3 COURSES	
Shutters			
Porch/Deck		NONE	
Fencing		4" WHITE WOOD AROUND HVAC	
Driveways/Sidewalks		GRAVEL DRIVE CONCRETE WALKWAY TO POOL	FROM GARAGE
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

5-14-2021

SIGNATURE OF APPLICANT



EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Coach Wagoner Blvd. 850-653-1522
APPLICATION FOR BUILDING PERMIT

DATE: 4-29-2021 Permit # _____ Permit Fee _____

OWNER'S NAME: PAUL FUERSCHACK Email: philmar@g.com

ADDRESS: 189 AVENUE E

CITY, STATE & ZIP CODE: APALACHICOLA PHONE # 505-328-4709

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: OWNER Email: SAME

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: 189 AVENUE E

PURPOSE OF PERMIT: DETACHED GARAGE

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 01-095-08W-8330-0099-0010

HISTORIC DISTRICT
DIR

LEGAL DESCRIPTION OF PROPERTY: Block 99 LOT 1 & 2

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: DONNA CRODWIN DESIGN / DAVID BATES ENGINEERING

ADDRESS: 22913 COURT RD 234, HINGO SPAINS, FL 32104 / 151 GIRWA NORTH MONTICELLO FL 32388
CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to cityofapalachicola@gmail.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Roof Sign Pole Barn
 Temp Pole Demolition Other Garage
 Addition, Alteration or Renovation to building.

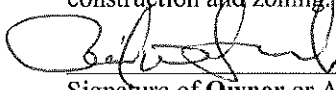
Distance from property lines: Front 83'4" Rear 51'10" L. Side 61'1"
 R. Side 15'10"
 Cost of Construction \$ 42,000 Square Footage 63,200
 EPI _____ Flood Zone X Lowest Floor Elevation _____
 Area Heated/Cooled 0 # Of Stories 1 # Of Units _____
 Type of Roof METAL Type of Walls FRAME/BLOCK Type of Floor CONCRETE
 Extreme Dimensions of: Length 22 Height 17'11" Width 22


JCC Est:
 22
 X 22
 ~484 SF
 X 130.58
 63,200.72
 2.0

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

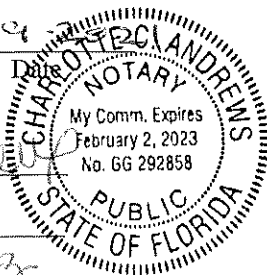
NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.


 Signature of Owner or Agent _____ Date 4-20-22


 Notary as to Owner or Agent _____
 Date: 4-29-22

My Commission expires: 2-2-23



Signature of Contractor _____ Date _____

Notary as to Contractor _____
Date: _____

My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: cityofapalachicola@gmail.com or drop off in City drop box)
 (make checks payable to EPCI – 192 Coach Wagoner Blvd. Apalachicola, FL 32320)
 850.653.1522

6



Parcel Summary

Parcel ID 01-09S-08W-8330-0099-0010
 Location Address 189 AVE E
 APALACHICOLA 32320
 Brief Tax Description* BL 99 LOTS 1 2 OR 108 83 OR/185/211 OR 372/112 OR 222/466 OR 295/234 1054/269 1062/628 1062/629 1245/194
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead Y

[View Map](#)

Owner Information

Primary Owner
 Fuerschbach Phillip & Marcie H
 189 Ave E
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	60.00	FF	0	0
000000	VAC RES	60.00	FF	0	0

Residential Buildings

Building 1
 Type CITY OF AP
 Total Area 4,509
 Heated Area 2,289
 Exterior Walls BELOW AVG.
 Roof Cover COMP SHNGL
 Interior Walls WALL BD/WD
 Frame Type N/A
 Floor Cover PINE WOOD
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 0
 Bedrooms 0
 Stories 0
 Effective Year Built 1956

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
1037	CONCRETE STEPS	1	8 x 4 x 0	32	SF	1955
0300	STEPS	1	0 x 0 x 0	67	SF	1955
0320	CONCRETE	1	24 x 21 x 0	504	SF	1992
0320	CONCRETE	1	21 x 8 x 0	168	UT	1992

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	06/28/2019	\$100	WD	1245	194	Unqualified (U)	Improved	FUERSCHBACH	FUERSCHBACH/FUERSCHBACH
N	03/21/2012	\$100	WD	1062	629	Unqualified (U)	Improved	FEDERAL HOME LOAN	FUERSCHBACH
N	03/21/2012	\$100	WD	1062	628	Unqualified (U)	Improved	JPMORGAN CHASE BANK	FEDERAL HOME LOAN
N	01/31/2012	\$100	CT	1054	269	Unqualified (U)	Improved	ROBINSON	JPMORGAN CHASE BANK
N	06/02/1989	\$61,200	WD	295	234	Qualified (Q)	Improved	GORDON ETAL	ROBINSON

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$69,849	\$70,588	\$61,771	\$61,771	\$63,038
Extra Features Value	\$1,136	\$1,136	\$1,136	\$1,136	\$1,136
Land Value	\$98,100	\$98,100	\$98,100	\$102,000	\$82,500
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$169,085	\$169,824	\$161,007	\$164,907	\$146,674
Assessed Value	\$158,773	\$155,225	\$152,348	\$149,234	\$146,184
Exempt Value	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000
Taxable Value	\$108,773	\$105,225	\$102,348	\$99,234	\$96,184
Maximum Save Our Homes Portability	\$10,312	\$14,599	\$8,659	\$15,673	\$490

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

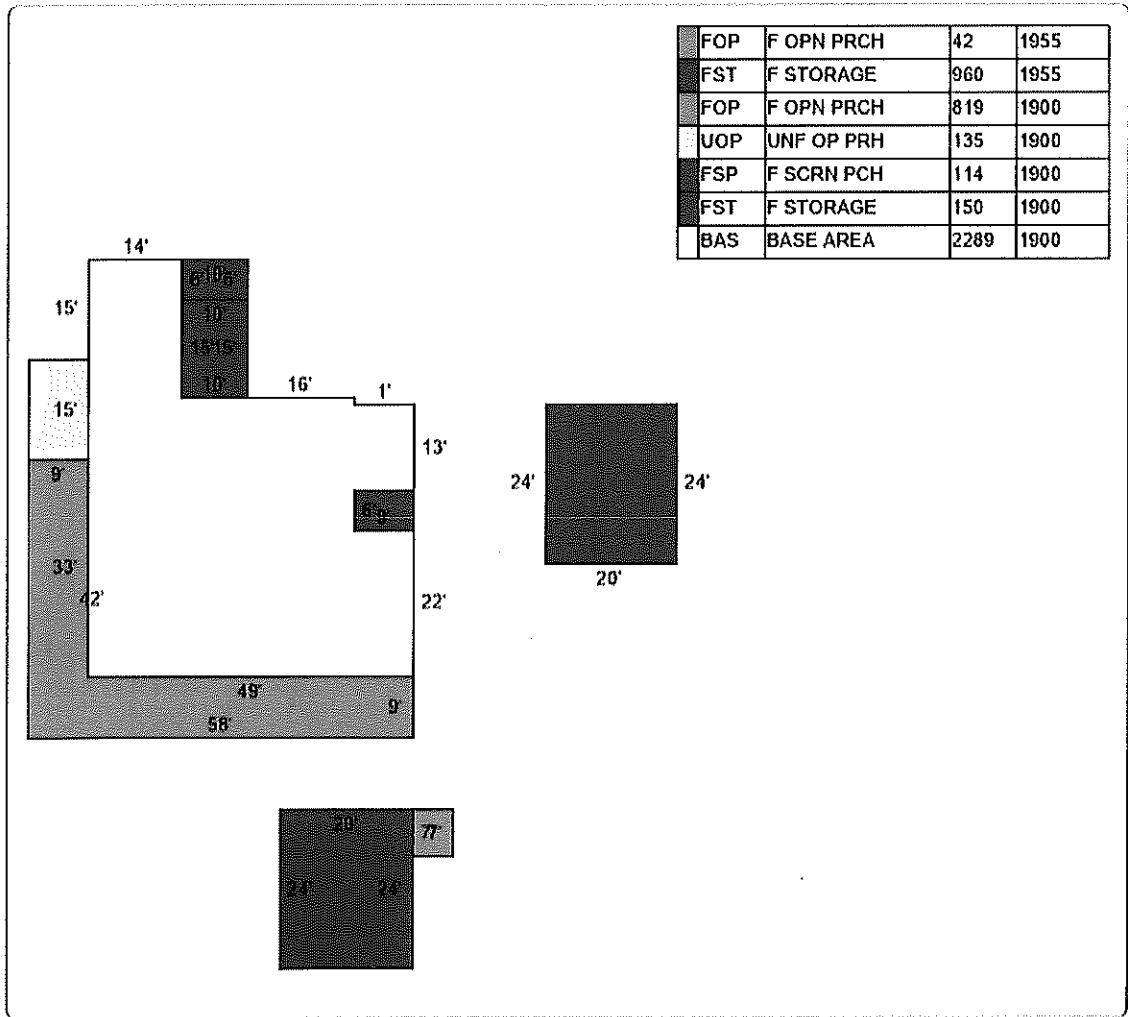
TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)

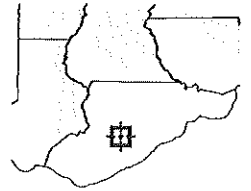
Sketches






No data available for the following modules: Commercial Buildings.



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0099-0010	Alternate ID	08W09S01833000990010	Owner Address	FUERSCHBACH PHILLIP & MARCIE H
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		189 AVE E
Property Address	189 AVE E	Acreage	n/a		APALACHICOLA, FL 32320
	APALACHICOLA				
District	3				
Brief Tax Description	BL 99				
	(Note: Not to be used on legal documents)				

Date created: 6/9/2021
 Last Data Uploaded: 6/9/2021 7:42:46 AM

Developed by  **Schneider**
 GEOSPATIAL

Google Maps 189 FL-30
189 Ave. E

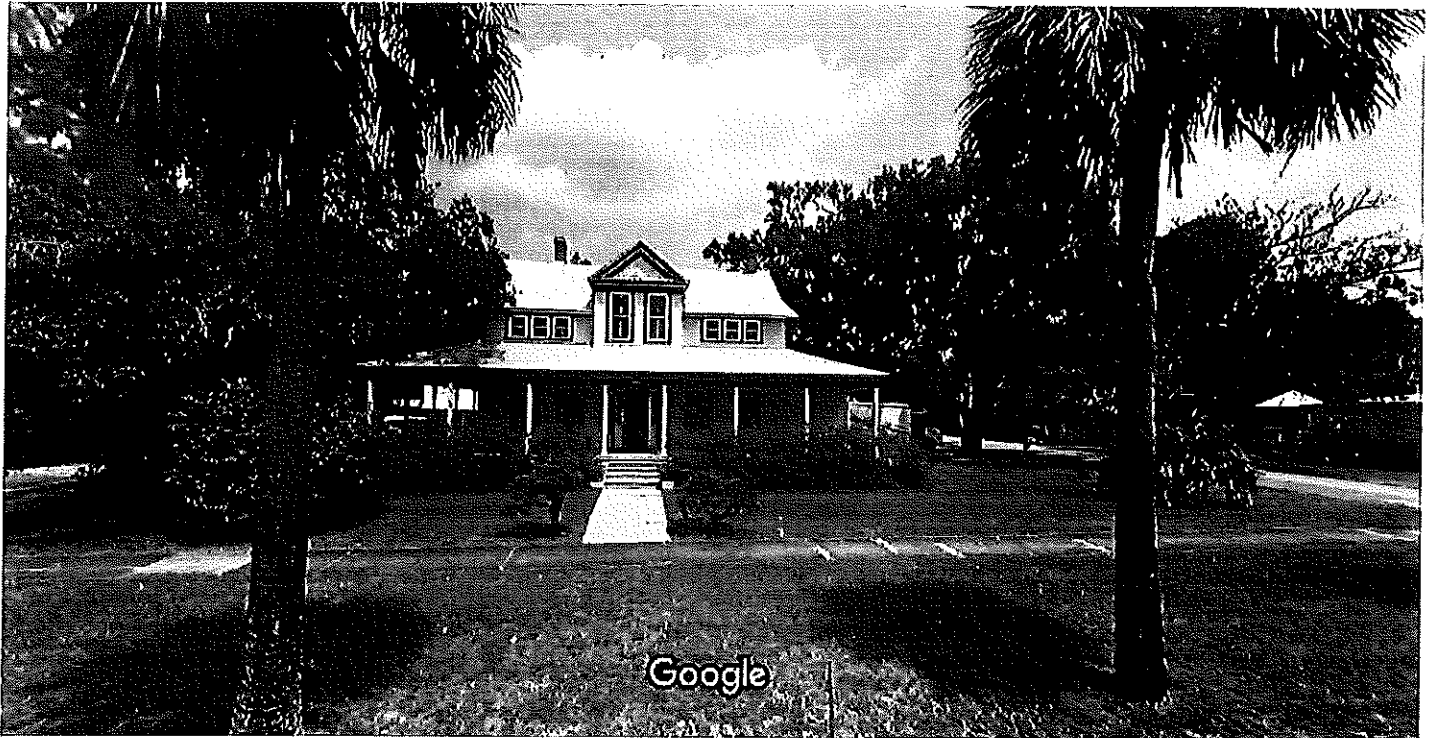
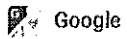
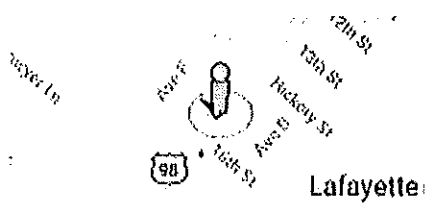


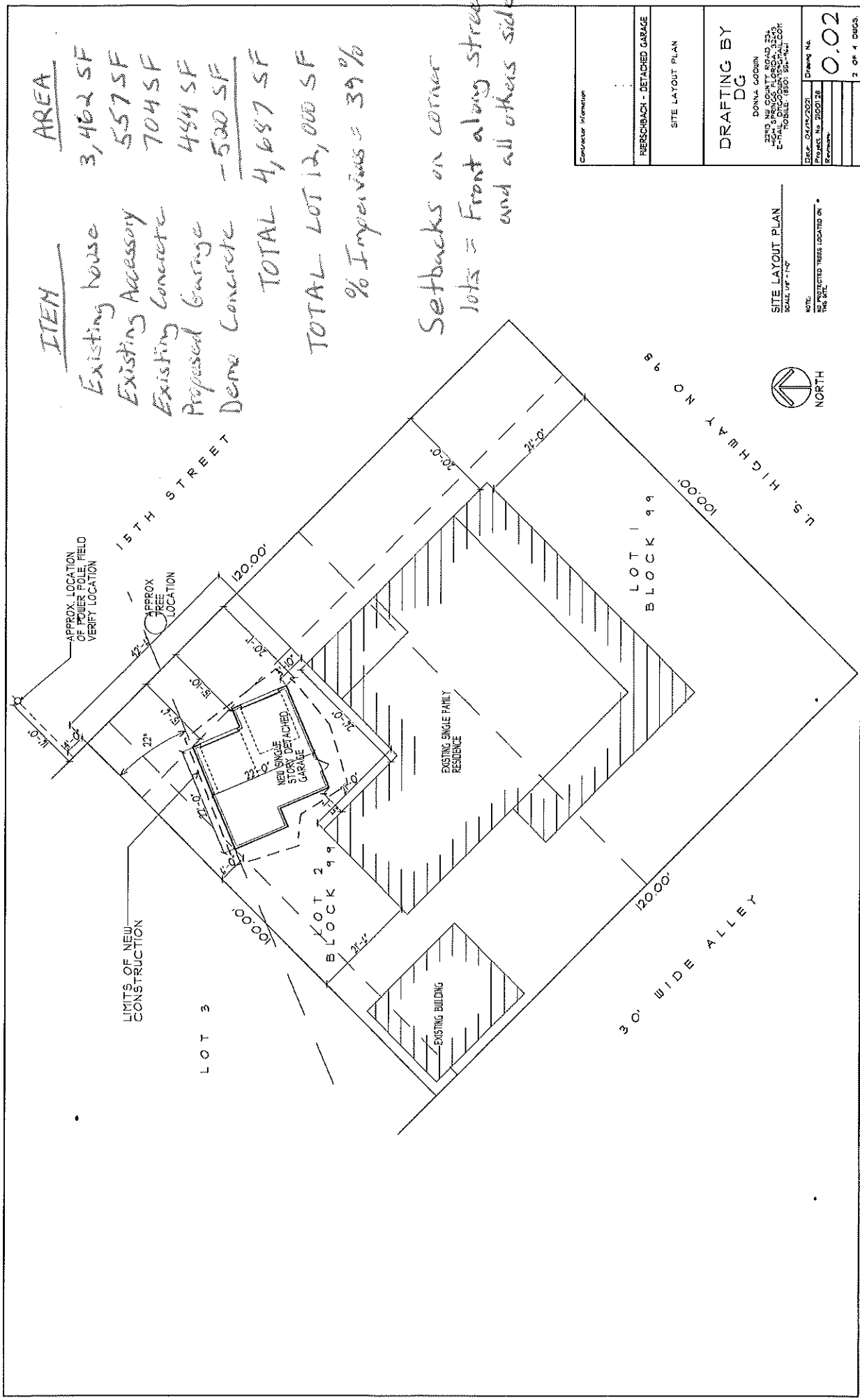
Image capture: Jun 2019 © 2020 Google

Apalachicola, Florida



Street View





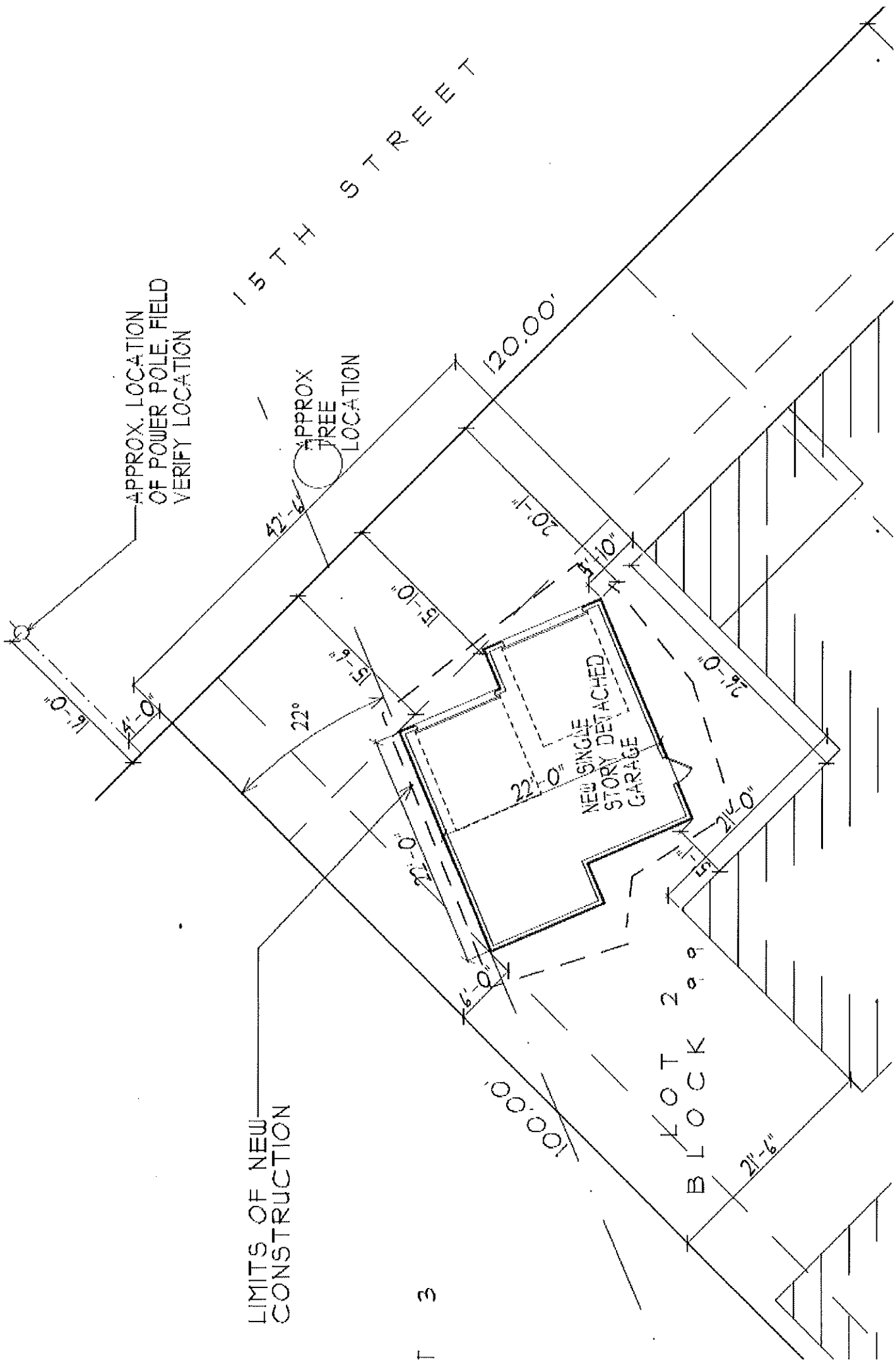
ITEM	AREA
Existing House	3,462 SF
Existing Accessory	557 SF
Existing Concrete	704 SF
Proposed Garage	484 SF
Demo Concrete	-500 SF
TOTAL	4,687 SF
TOTAL LOT 12, 000 SF	
% Impervious = 39%	

Setbacks on corner lots = Front along streets and all others side

Contract Number	
PERSCHBACH - DETACHED GARAGE	
SITE LAYOUT PLAN	
DRAFTING BY	DG
DESIGNED BY	DONNA GOODIN
DATE	04/12/2012
PROJECT NO.	2012012A
SCALE	AS SHOWN
DRAWING NO.	0.02
2 OF 4 SHEETS	

SITE LAYOUT PLAN
SCALE 1/4" = 1'-0"
NOTE: UNPROTECTED TREES LOCATED ON THE SITE.

SITE PLAN 189 AVE E



APPROX. LOCATION
OF POWER POLE, FIELD
VERIFY LOCATION

APPROX
TREE
LOCATION

LIMITS OF NEW
CONSTRUCTION

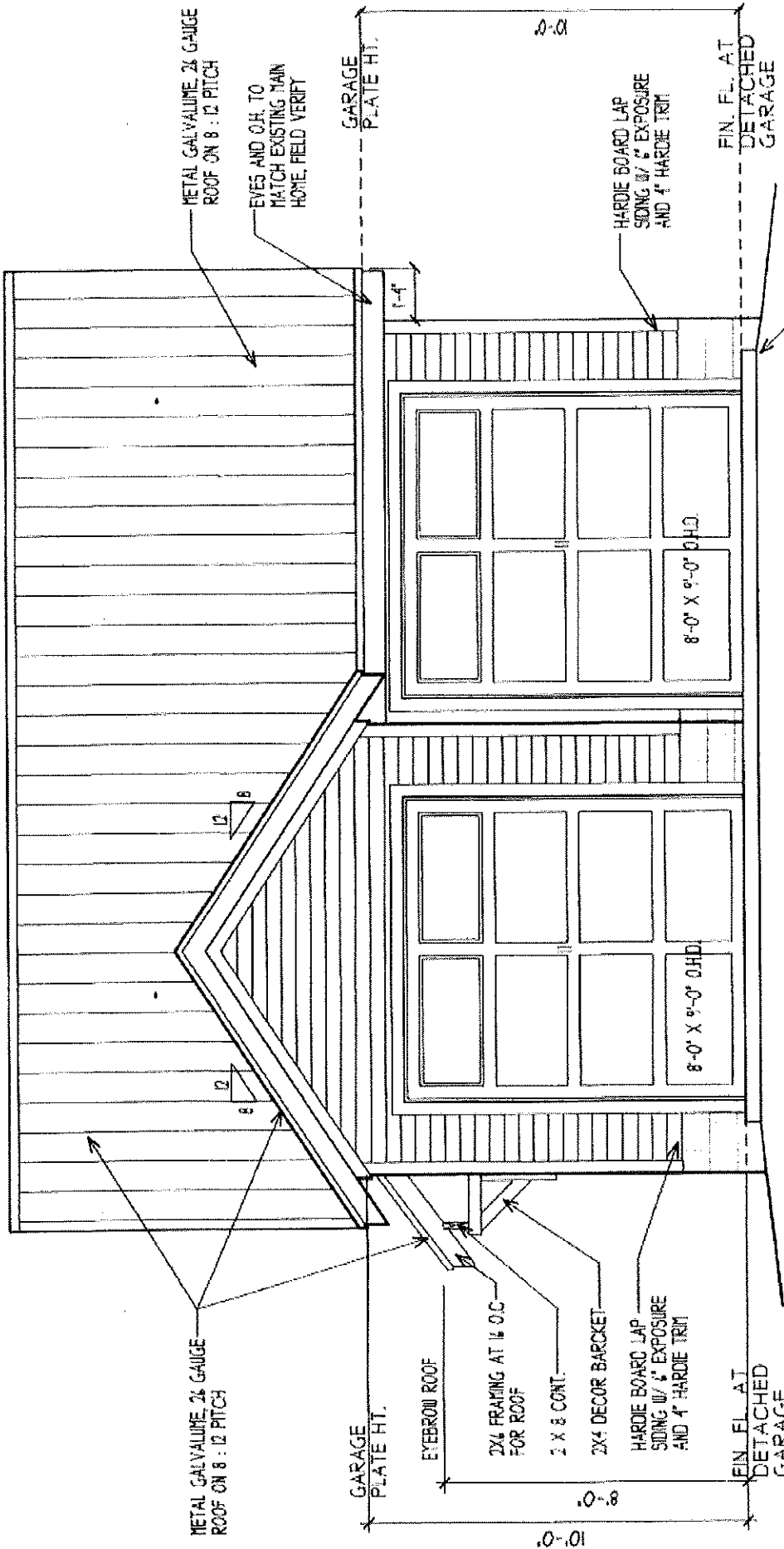
NEW SINGLE
STORY DETACHED
GARAGE

15TH STREET

LOT 3
BLOCK 299

189 AVE E
SITE PLAN ROOM

CONT. RIDGE VENT



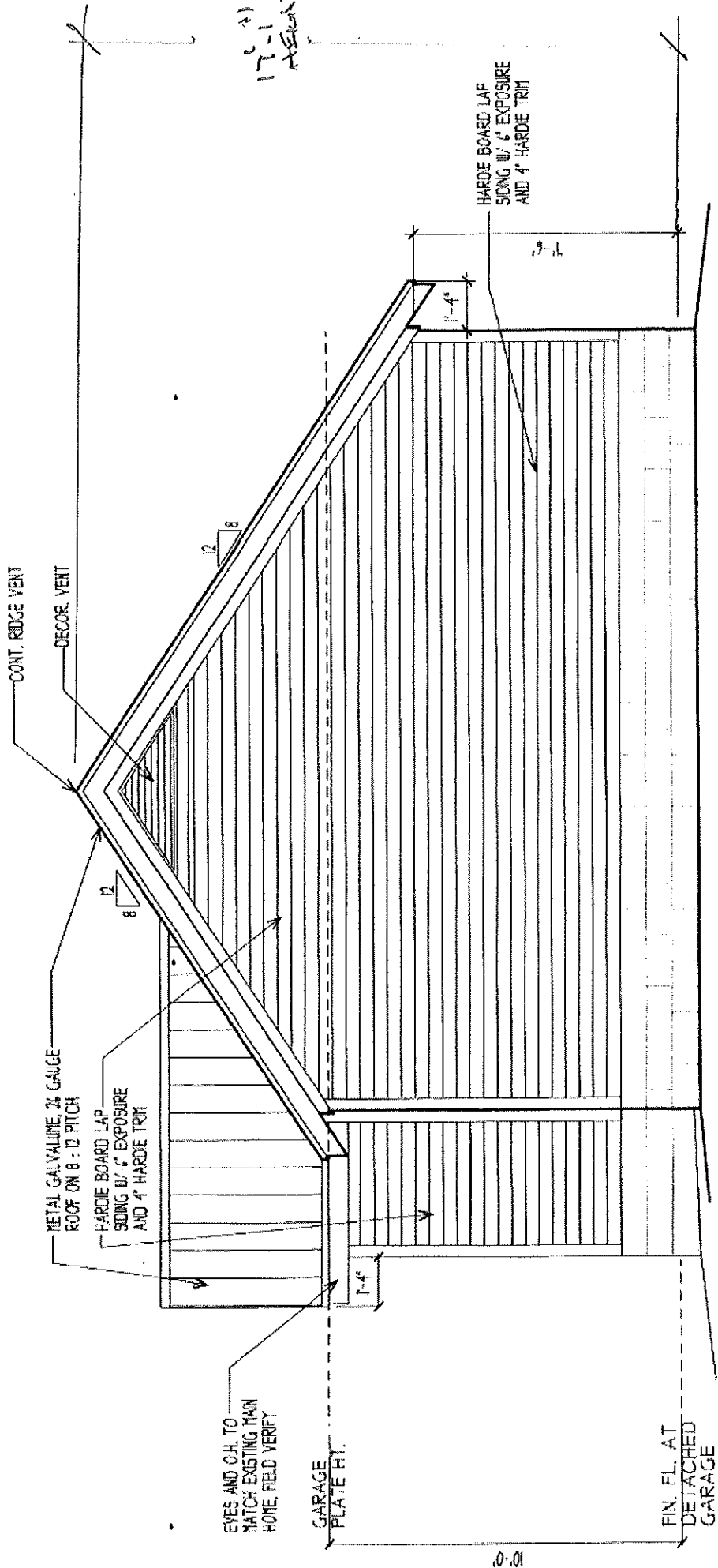
FRONT ELEVATION

SCALE: 1/4"=1'-0"



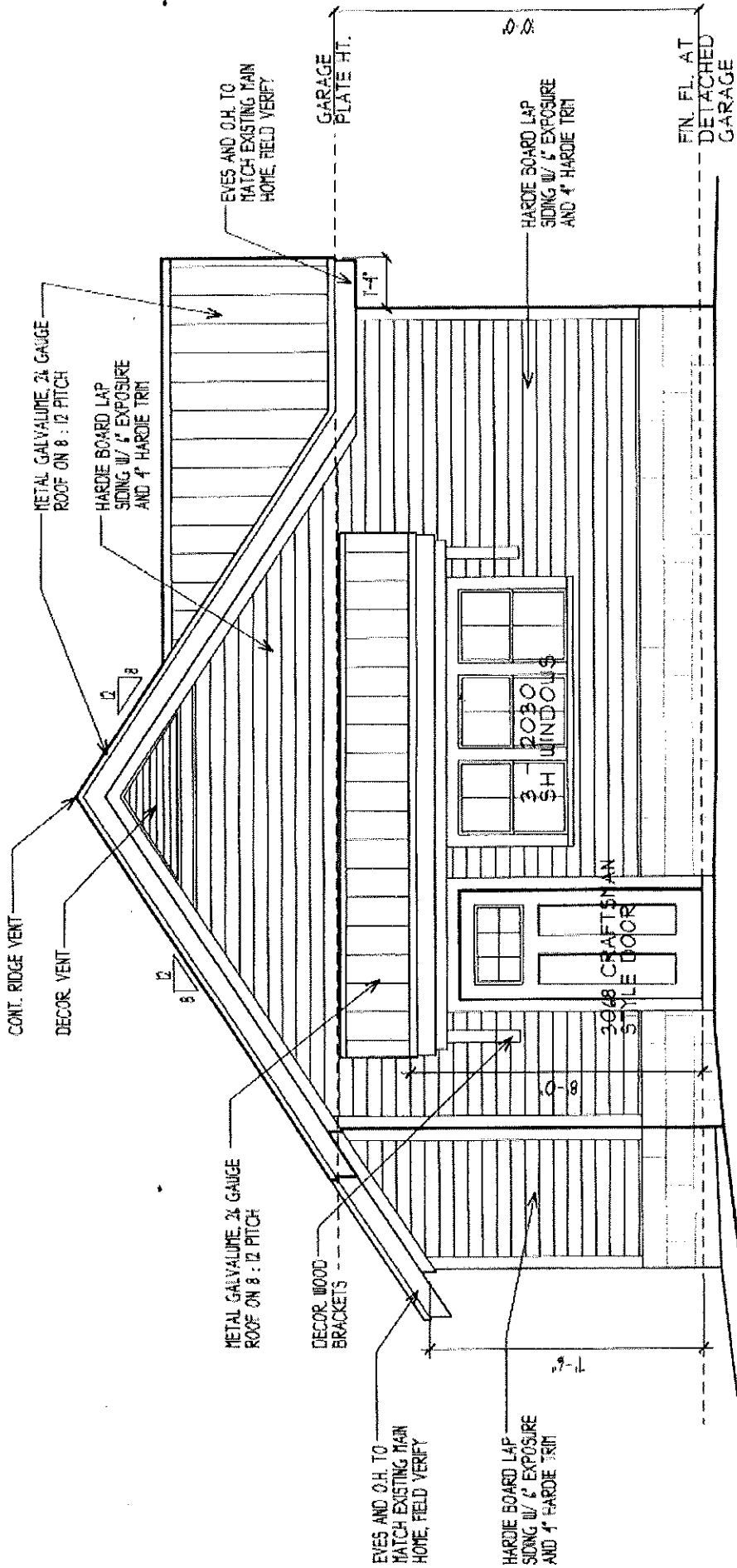
15TH ST SIDE

17-11
1/2" = 1'-0"



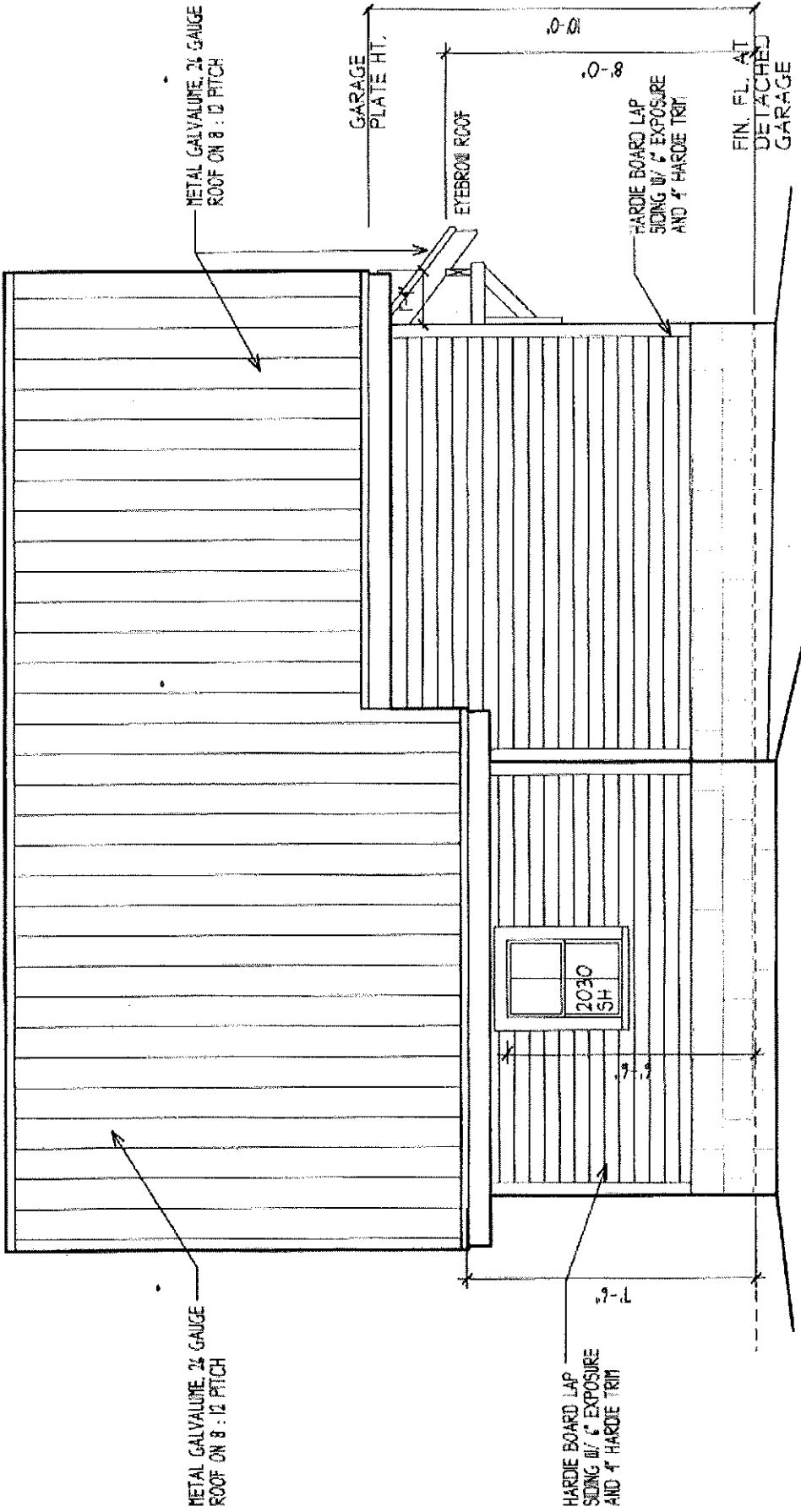
RIGHT ELEVATION

4
2.01 SCALE: 1/4"=1'-0"



2 LEFT ELEVATION
 2.01 SCALE: 1/4"=1'-0"

CONT. RIDGE VENT



REAR ELEVATION

3

SCALE: 1/4"=1'-0"

#9

BIK 217 Lots 13#4

Mobile Home

✓✓

EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Coach Wagoner Blvd.
APPLICATION FOR BUILDING PERMIT

DATE: 5-27-01 Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: Shuler Brothers Rentals, Inc. Email: Mshuler@shulerlawfl.com

ADDRESS: 34 4th street

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # 850-653-1757

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): N/A

ADDRESS: N/A

CITY, STATE & ZIP CODE: N/A PHONE # N/A

CONTRACTOR'S NAME: Ironwood Homes, Inc. Email: felliciaetheridge17@gmail.com

ADDRESS: 3483 S. Byron Butler Parkway

CITY, STATE & ZIP CODE: Perry, FL 32348 PHONE # 850-838-9090

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: Lots 13 & 14, Block 217, Apalachicola, FL Corner 15th and 23rd

PURPOSE OF PERMIT: Installation of mobile home

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 01-095-08W-8330-0017-0010

LEGAL DESCRIPTION OF PROPERTY: See above

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: N/A

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: N/A

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: People's South Bank

ADDRESS: _____ CITY, STATE & ZIP: Apalachicola, FL

WATER SYSTEM PROVIDER applied for with city SEWER SYSTEM PROVIDER: applied for with city

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to cityofapalachicola@gmail.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

- Single Family
- Multi-Family
- Temp Pole
- Addition, Alteration or Renovation to building.
- Townhouse
- Swimming Pool
- Demolition
- Commercial
- Storage
- Other _____
- Industrial
- Sign
- Shed
- Pole Barn

Distance from property lines: Front 15 Rear 15 L. Side 15
 R. Side 13
 Cost of Construction \$ 83,000.00 Square Footage 936 sf
 EPI _____ Flood Zone X Lowest Floor Elevation _____
 Area Heated/Cooled _____ # Of Stories _____ # Of Units _____
 Type of Roof _____ Type of Walls _____ Type of Floor _____
 Extreme Dimensions of: Length _____ Height _____ Width _____

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

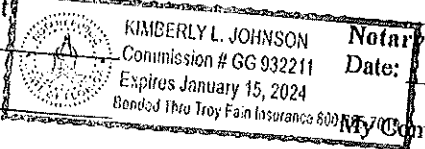
NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Sharon H. Schuler, Pres. 5-27-21
 Signature of Owner or Agent Date

 Signature of Contractor Date

[Signature]
 Notary as to Owner or Agent
 Date: 5/27/21



Notary as to Contractor
 Date: _____
 My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.
 (email to: cityofapalachicola@gmail.com or drop off in City drop box)
 (make checks payable to EPCI – 192 Coach Wagoner Blvd, Apalachicola, FL 32320)



Parcel Summary

Parcel ID 01-09S-08W-8330-0217-0010
 Location Address 335 EARL KING
 32320
 Brief Tax Description* BL 217 LOTS 1 THRU 28 INC 12/184 570/148 1103/385 RESERVING LIFE ESTATE
 *The Description above is not to be used on legal documents.
 Property Use Code MOBILE HOM (000200)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Shuler Brothers Rentals Inc
 40 4th Street
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000102	SFR/MH	420.00	FF	0	0
000102	SFR/MH	420.00	FF	0	0

Residential Buildings

Building 1
 Type MOB HME LO
 Total Area 980
 Heated Area 980
 Exterior Walls AVERAGE
 Roof Cover MINIMUM
 Interior Walls DRYWALL
 Frame Type WOOD FRAME
 Floor Cover SHT VINYL
 Heat FORCED AIR
 Air Conditioning CENTRAL
 Bathrooms 1
 Bedrooms 0
 Stories 1
 Effective Year Built 1970

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	09/18/2013	\$100	WD	1103	385	Unqualified (U)	Improved	SHULER	SHULER BROTHERS RENTALS INC
N	00/01/1972	\$12,000	WD	109	260	Qualified (Q)	Vacant		

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$13,142	\$8,636	\$8,636	\$8,636	\$8,636
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$168,000	\$168,000	\$100,170	\$100,170	\$100,170
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$181,142	\$176,636	\$108,806	\$108,806	\$108,806
Assessed Value	\$131,656	\$119,687	\$108,806	\$108,806	\$108,806
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$131,656	\$119,687	\$108,806	\$108,806	\$108,806
Maximum Save Our Homes Portability	\$49,486	\$56,949	\$0	\$0	\$0

*Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

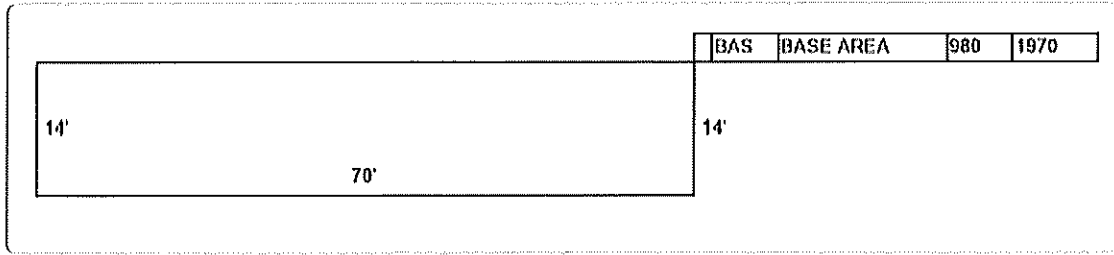
TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

TRIM Notice 2019

2019 TRIM Notice (PDF)

Sketches



No data available for the following modules: Commercial Buildings, Extra Features.

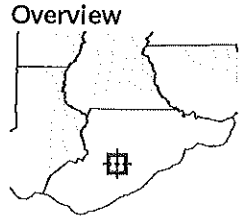
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Developed by
 Schneider
GEOSPATIAL

Last Data Upload: 6/9/2021, 7:42:46 AM

Version 2.3.124

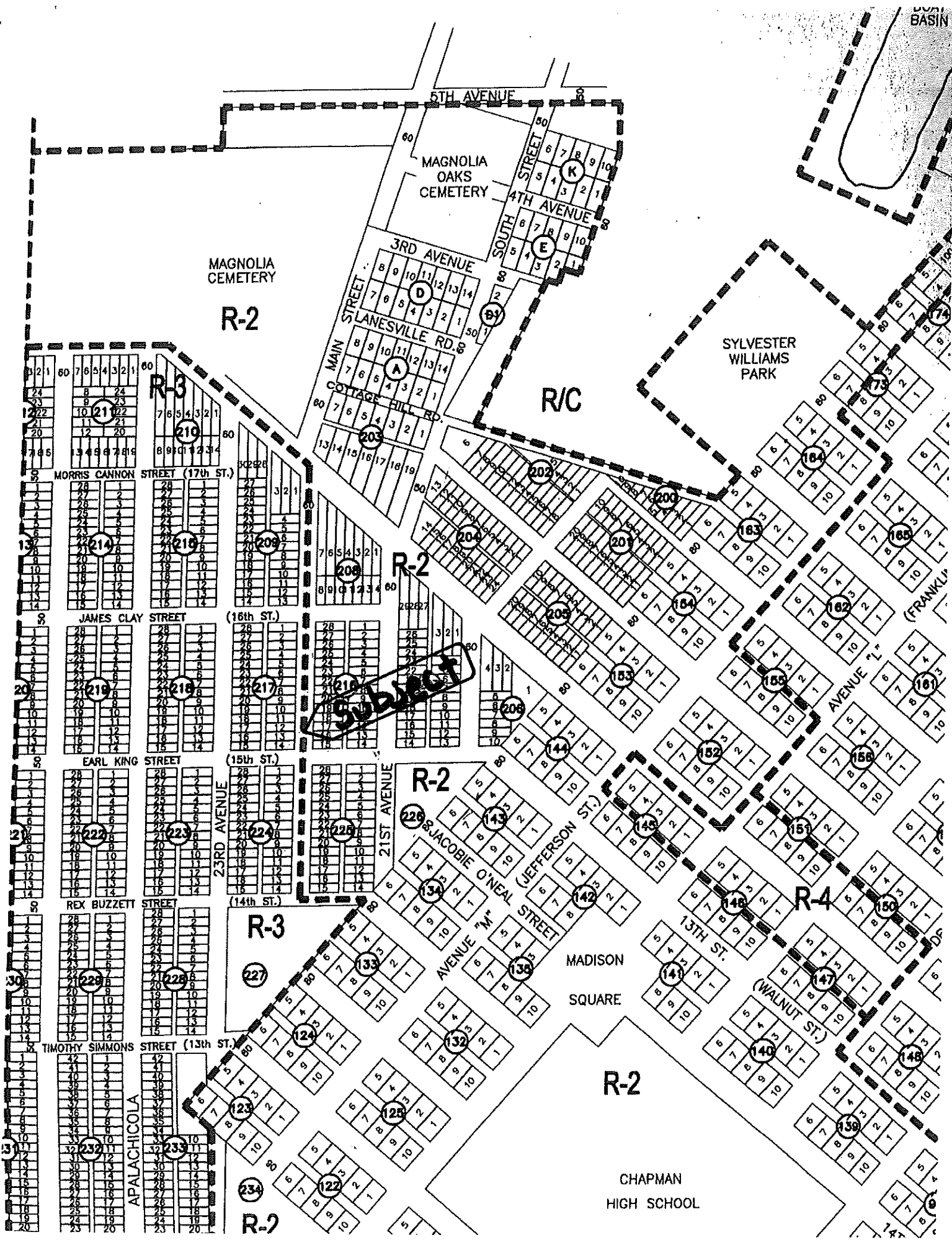


- Legend**
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	01-09S-08W-8330-0217-0010	Alternate ID	08W09S01833002170010	Owner Address	SHULER BROTHERS RENTALS INC
Sec/Twp/Rng	1-9S-8W	Class	MOBILEHOM		40 4TH STREET
Property Address	335 EARL KING	Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 217 LOTS 1 THRU 28 INC (Note: Not to be used on legal documents)				

Date created: 6/9/2021
 Last Data Uploaded: 6/9/2021 7:42:46 AM

Developed by  **Schneider**
 GEOSPATIAL



5TH AVENUE

MAGNOLIA OAKS CEMETERY

MAGNOLIA CEMETERY

R-2

3RD AVENUE

LANESVILLE RD. S

COITAGE HILL RD.

R/C

SYLVESTER WILLIAMS PARK

R-3

MORRIS CANNON STREET (17th ST.)

JAMES CLAY STREET

EARL KING STREET

REX BUZZETT STREET

TIMOTHY SIMMONS STREET (13th ST.)

APALACHICOLA

(16th ST.)

(15th ST.)

(14th ST.)

(13th ST.)

R-2

R-2

R-2

R-3

R-2

R-4

CHAPMAN HIGH SCHOOL

SUBJECT



WATER BASIN

(FRANKLIN ST.)

AVENUE "L"

JEFFERSON ST.

WALNUT ST.

13TH ST.

14TH ST.

MADISON SQUARE

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

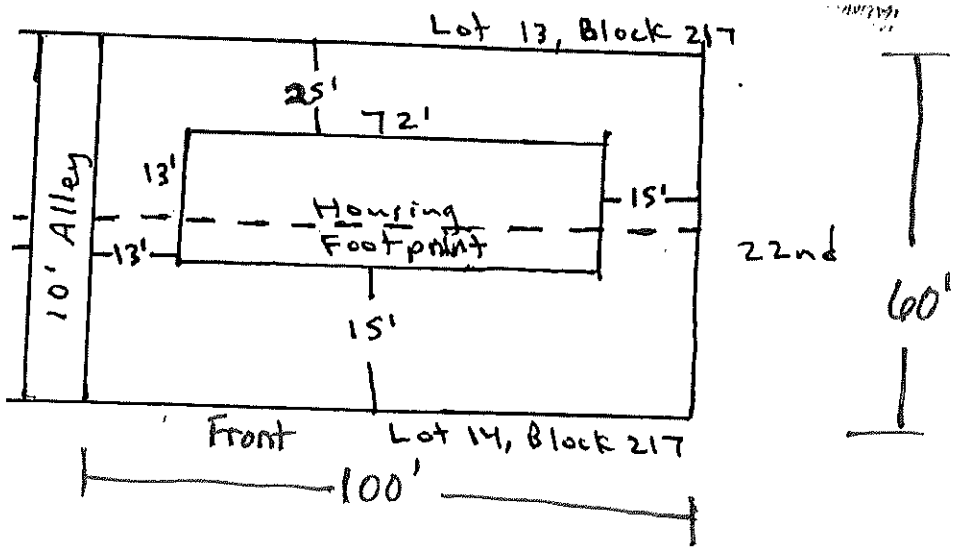
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

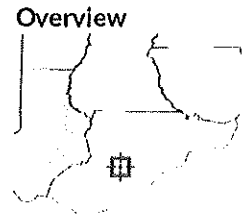
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31









1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31





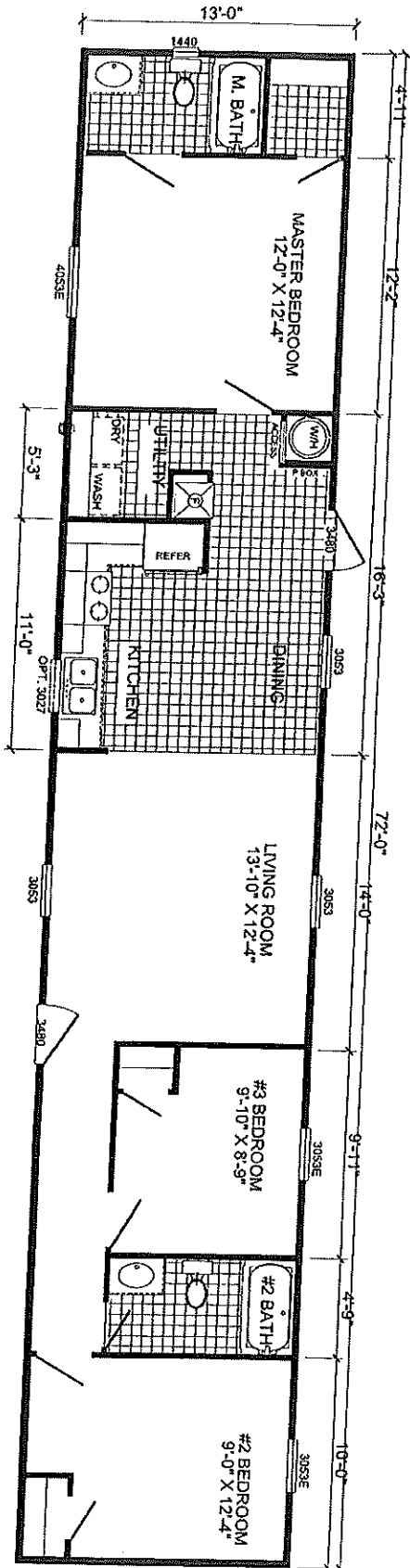
Legend

-  Parcels
-  Roads
-  City Labels
- Flood Map**
-  X: Outside 500 Year Flood
-  A: 100 Year Special Flood Area
-  AE: SFHA with base flood elevation BFI
-  VE: Coastal SFHA with BFE & velocity wave action
-  Openwater

Parcel ID	01-09S-08W-8330-0217-0010	Alternate ID	08W09S01833002170010	Owner Address	SHULER BROTHERS RENTALS INC
Sec/Twp/Rng	1-9S-8W	Class	MOBILE HOM		40 4TH STREET
Property Address	335 EARL KING	Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 217 LOTS 1 THRU 28 INC				
	(Note: Not to be used on legal documents)				

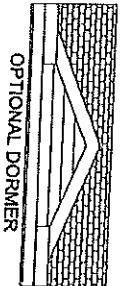
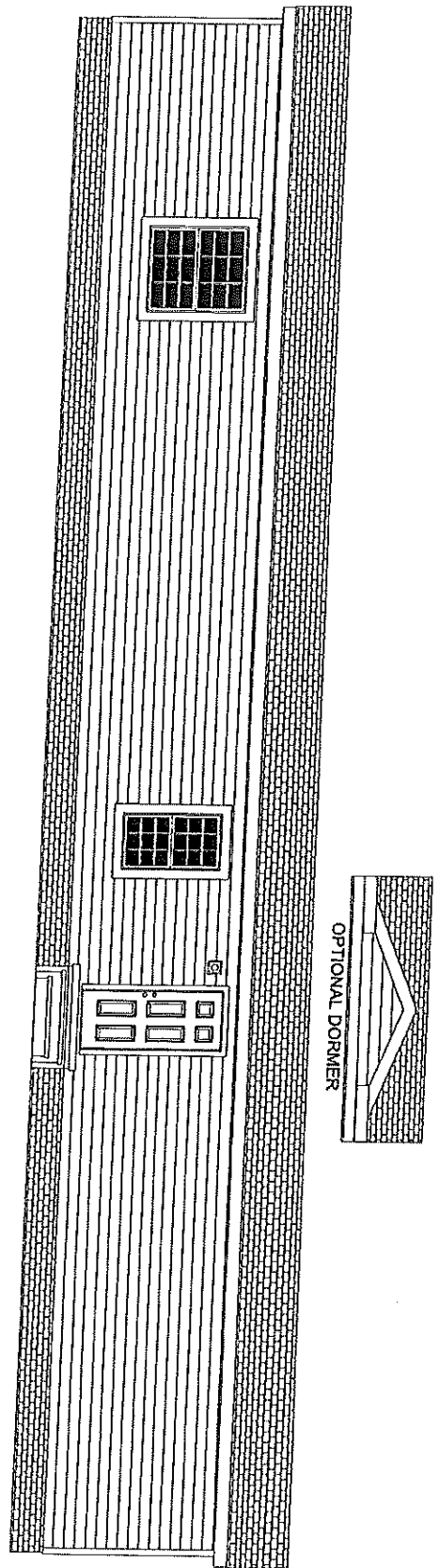
Date created: 5/28/2021
 Last Data Uploaded: 5/28/2021 7:42:37 AM

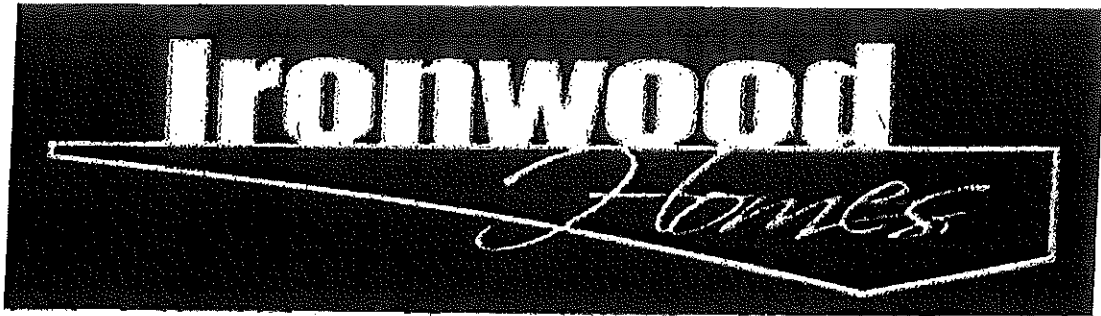
Developed by  **Schneider**
 GEOSPATIAL



3-BEDROOM / 2-BATH
14 X 72 - Approx. 936 Sq. Ft.

Date: 10-30-2014
 * All room dimensions include closets and square footage figures are approximate.





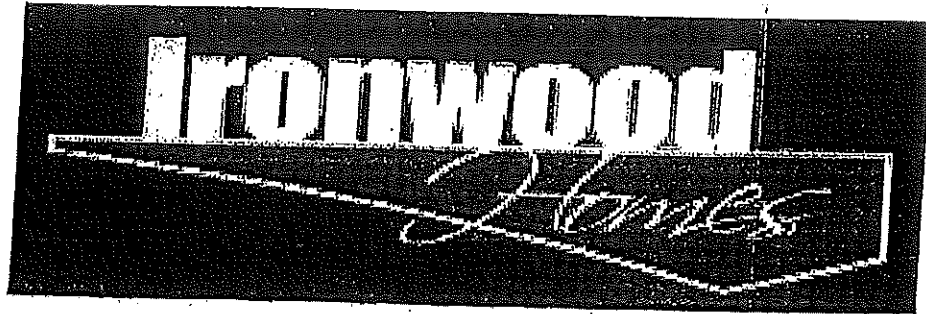
3483 Hwy 19 S Perry, Fl 32348

P: 850.838-9090

F:850.838-9091

Dealer Info:

- Build time 18 to 20 weeks once assigned**
- Houses will be dropped shipped from Factory; installer will be at site**
- Punch list items will be handled through Dealer with Factory**
- Appliance and AC warranty are attached**
- Site prep requirements are attached**



3483 Hwy 19 S Perry, Fl 32348

P: 850.838.9090

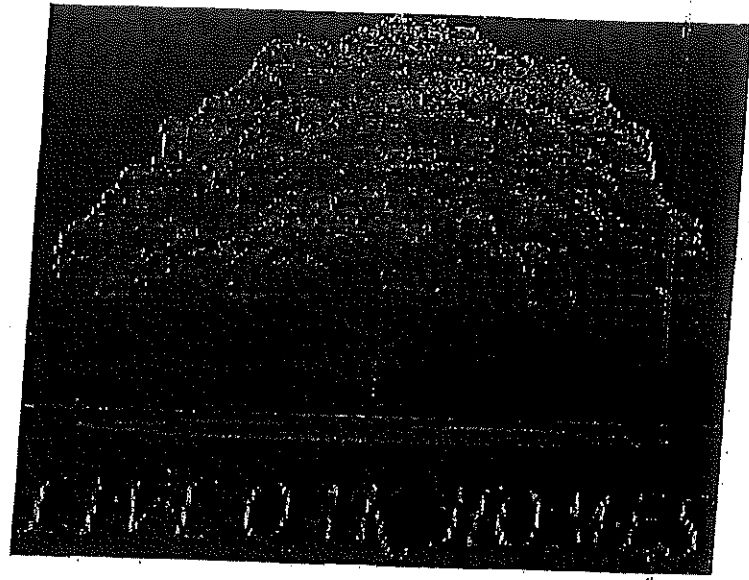
F: 850.838.9091

Home Details

Appliances: Frigidaire

Roof: Asphalt Shingles

Interior Finishes: VOG Drywall



Required Site Prep

Prepare the Site

A properly prepared site is critical to a good quality installation and the long term structural stability of the home. This chapter explains the process of planning the site, evaluating the soil, and preparing the site for construction of the home's support system.

Table of Contents

- ▼ STEP 1. PLAN SITE ACCESS (p. 13)
- ▼ STEP 2. DETERMINE HOME LOCATION AND LAYOUT (p. 13)
- ▼ STEP 3. CLEAR AND GRADE THE SITE (p. 14)
- ▼ STEP 4. DETERMINE SOIL CONDITIONS (p. 14)
- ▼ STEP 5. DETERMINE SOIL BEARING CAPACITY AND FROST LINE (p. 15)
- ▼ STEP 6. DETERMINE GROUND ANCHOR HOLDING CAPACITY (p. 16)

STEP 1. PLAN SITE ACCESS

Planning the route to the site is typically the responsibility of the retailer or transportation company. Whoever is responsible must secure state permits from the states through which the home will pass.

In planning the route, avoid obstructions that might interfere with the passage of the home, such as low hanging wires and trees, low overpasses, and bridges not suitable for the load. Contact the utility company if wires need to be moved. Do not allow branches, bushes, or other foliage to scrape against the home as the home is moved to the site. Avoid ditches, berms, steep slopes, and soft ground. Identify and fill any holes and soft spots into which the transporter's wheels may sink. Avoid moving over steep changes in grade (20 degrees or more).

If required, provide for home storage and staging areas on the site. Plan the delivery and staging of home sections and materials so that after all deliveries are complete, home sections and materials can be accessed for use and installed in the appropriate sequence. Orient home sections so they do not have to be rotated or excessively maneuvered during the installation process. Plan for temporary needs, such as dumpsters, portable toilets, crew parking, delivery vehicle drop-offs and concrete mixer deliveries.

Before moving the manufactured home to the site, inform the LAHJ and make sure the site is prepared and utilities are available.

STEP 2. DETERMINE HOME LOCATION AND LAYOUT

The home location may have already been determined by others. If not, plan the home location and layout in compliance with the regulations researched in Getting Started, STEP 6. CHECK LOCAL CODES AND SECURE PERMITS (p. 8). Contact utilities for locations of existing infrastructure, such as underground cables, pipes, and electrical lines.

When planning the site improvements, consider the following:

- The home location should be level.
- Avoid contact with large trees, steep slopes, poorly drained areas, and potential flood zones.
- Preserve trees and shrubs for shade, visual screens, and windbreaks.
- Plan the driveway, parking areas, septic, well, other structures, and utility
- Consider future additions, such as screen rooms, porches, and awnings.



Site Preparation. The home manufacturer has no control over the site planning and installation of the home unless the manufacturer is responsible for the home's installation. Final responsibility for site preparation, including soil stability and frost heave control, lies with the installer. An improperly prepared site may result in the denial of a foundation-related warranty claim.



Fire separation. Comply with any LAHJ fire separation requirements or the requirements NFPA 501A, 2003 edition (Chapter 6).

APPROVED BY

3 9 2017
NIA INC.
FEDERAL MANUFACTURED HOME
CONSTRUCTION AND SAFETY STANDARDS

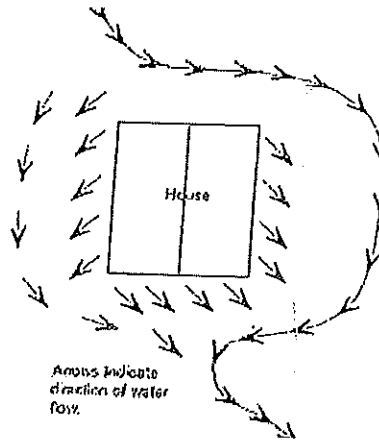
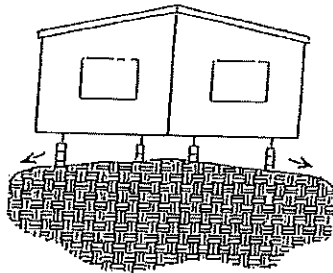


- Site the home away from natural water paths.

STEP 3. CLEAR AND GRADE THE SITE

Trim overhanging foliage considering future growth, potential storms, swaying in wind and snow/ice-weighted branches. Remove organic material such as vegetation, wood, roots, twigs, dead branches, grass, and brush from directly under the home. Remove any debris that could become termite infested from the site and surrounding area. Remove all other debris from the home location, including roots from beneath footing locations. Properly dispose of all items.

Crown the site (Figure 4) away from the foundation for the first ten feet with a minimum slope of 1/2 inch per foot. Where property lines, walls, slopes, or other physical conditions prohibit this slope, provide the site with drains, swales, or grading to drain water away from the structure. Any fill required to grade the site should be inorganic "controlled fill" applied in a maximum of four inch layers, compacted between each layer to at least 90% of its maximum relative density. Direct runoff away from the site using ditches and berms (Figure 5). If the home will have skirting, start grading from two feet in from the edge of the home.



Grade the ground so that water under porches, decks, and recessed entries flows away from the home. If proper grading is not possible, use other methods such as a drain tile and automatic sump pump system to remove any water that may collect under the home.

The home is suitable for the installation of gutters and downspouts. When gutters and downspouts are installed, direct runoff away from the home.

STEP 4. DETERMINE SOIL CONDITIONS

Examine the soil type under the proposed home location to make sure it is suitable for placement of a home. The design of the home's support system, including footing/pier spacing and size, will in part be determined by the bearing capacity of the soil, and if ground anchors are used, by the soil's withdrawal strength.

The soil under every portion of the support system must meet the following criteria:

- The soil must be firm and undisturbed (not previously excavated) or fill compacted to at least 90% of its maximum relative density. Uncompacted fill will settle over time, causing the home to shift and become uneven.
- Fill must not contain large debris. This too will settle over time.
- The soil must not be comprised of organic clays or peat. Organic material can decay, causing settlement, and also may harbor pests that can infest the home.



Site drainage. Moisture under the home can res structural damage to floor system and other parts of the home. Fail to provide adequate slope/drainage can re: moisture-related probl such as mold, mildew, erosion.

Figure 4. Crown the soil der the home to prevent ter ponding

Figure 5. Direct runoff at from the home

APPROVED BY
NIA INC. 8 9 2017
FEDERAL MANUFACTURED HOME
CONSTRUCTION AND SAFETY STANDARDS



Soil. Inadequate soil bear capacity or a support sys tem mismatched to the s characteristics can result excessive or differential settlement of the home, which can cause the hon to go out of level, resultir in jammed doors and wic dows, cracks in finishes and ruptured plumbing

- The water table must be below the lowest level of the planned support system/foundation. A soil's bearing capacity can be greatly reduced when it is saturated with water. Note that water tables may vary with seasonal or climatic conditions. Consult a geologist or the LAHJ if you are unsure of the water table level.
- The soil must not be a highly expansive type. Expansive soils can expand when they become saturated with water, causing the home to shift and become unlevel. If soils are expansive, contact a registered engineer, or registered architect to assist with the design of the foundation system.

connections.

STEP 5. DETERMINE SOIL BEARING CAPACITY AND FROST LINE

The soil under a home must be capable of withstanding the loads imposed by the weight of the home, its support system and furnishings, as well as any loads imposed by wind, snow, or other climatic conditions.

SOIL-BEARING CAPACITY

Determine the soil-bearing capacity in pounds per square foot (psf) before designing a support system. The higher the capacity (psf), the more weight the soil can hold without unduly compressing. As the soil-bearing capacity increases, footings can be reduced in size or spaced farther apart.

Use one or more of the following methods to determine the site's soil bearing capacity:

- Test the soil. Hire a registered geologist, registered engineer, or registered architect to determine the soil classification and maximum allowable soil bearing capacity by testing the soil in accordance with generally accepted engineering practice.
- Obtain soil records. The local office of the U.S. Department of Agriculture's Natural Resources Conservation Service (www.nrcs.usda.gov) and/or the LAHJ may have test results and/or soil analyses on file for the area.
- Conduct a pocket penetrometer test. Use a pocket penetrometer to estimate allowable soil-bearing capacity as follows:
 1. Select a location that will be under a footing.
 2. Clear an area of a minimum of one square foot at least four inches deep or to the depth of the bottom of the planned footing.
 3. Using the instructions provided with the pocket penetrometer, take at least five readings.
 4. Discard the high and low readings and average the remaining readings. Round this result down to the nearest soil-bearing value shown in the right column of Table 4.
 5. Confirm that the rounded result matches the soil description on Table 4.
- Determine soil-bearing value by visual examination. If one of the options above is not available, the values on Table 4 can be used to establish soil-bearing capacity by visual examination. This method provides lower capacity values than the options above. Accurate soil identification typically requires special training or expertise. An engineer or building code official may be able to assist in classifying the soil found on the site.



Soil bearing capacity. Support systems on soils with bearing capacities less than 1,000 psf must be designed by a registered engineer or registered architect and approved by the LAHJ.

Limitations of pocket penetrometers. Pocket penetrometers do not work on sand or gravel. Use Table 4 to determine allowable pressure for these types of soils. If you encounter a layer of gravel, test the soil under the gravel. Do not put the penetrometer on stones larger than its tip as this will provide an inaccurate reading.

APPROVED BY

 FEDERAL MANUFACTURED HOUSING
 CONSTRUCTION AND SAFETY STANDARDS

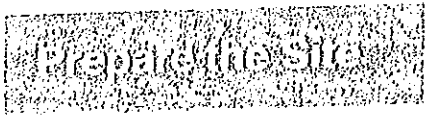


TABLE 4. SOIL-BEARING CAPACITY BY SOIL TYPE

Soil Type (and classification)	Allowable Pressure (psf)
Rock or hard pan (class 1)	4,000
Sandy gravel and gravel; very dense and/or cemented sands; coarse gravel/cobbles; preloaded silts, clays and coral (class 2)	2,000
Sand; silty sand; clayey sand; silty gravel; medium dense coarse sands; sandy gravel; very silt silt; sand clays (class 3)	1,500
Clay, sandy clay, silty clay, clayey silt (classes 4A and 4B)	1,000
Uncompacted fill, peat, organic clays (class 5)	Professional testing required

Note to table: No allowances made for overburden pressure, embedment depth, water table height, or settlement problems.

Use default capacity. Use an allowable pressure of 1,600 psf, unless site-specific information requires the use of lower values based on soil classification and type according to Table 4.

Note that soil types may vary across a home site. In this case, the soil with the lowest bearing capacity should be assumed when designing the support system. Keep a record of the soil-bearing capacity value; it will be used later to design the home's support system.

FROST LINE

In climates subject to ground freezing, consult the LAHJ, a registered engineer, or registered architect to determine the depth of the frost line. Figure 6 may be used as a guideline when there is no specific local determination. Keep a record of the frost depth; it will be used later to design the home's support system.

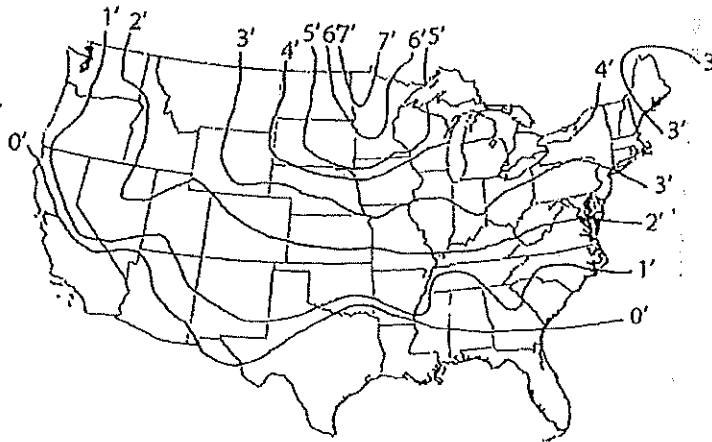


Figure 6. Average frost penetration depth (in feet)



STEP 6. DETERMINE GROUND ANCHOR HOLDING CAPACITY

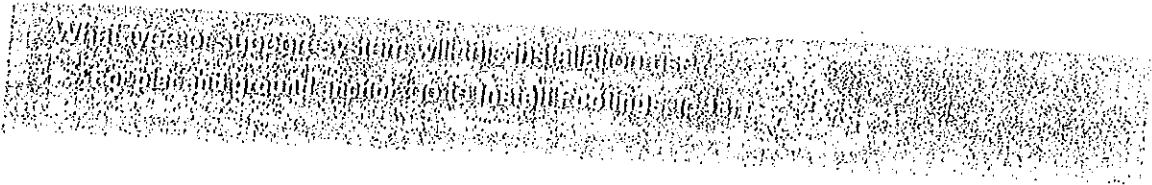
When using auger-type ground anchors to tie down the home, first, use a torque probe to determine the anchor-holding strength of the soil on the site.

Use a torque probe with a shaft of sufficient length to test the soil at the depth of the anchor helical plate. Auger the probe into the ground, and following the probe manu-



Torque Probe. Before the torque probe, check with the utility company for the location of underground cables or pipe to avoid contact with the probe shaft.

facturer's Instructions, take the torque wrench reading in the area where the anchors will be installed and at the depth of the anchor helix. If the soil varies in consistency across the site, then use the lowest reading. Based on this reading, consult the anchor manufacturer's charts to select the anchor type(s).



#10

BIK 217 Lots 15+16

Mobile Home

✓✓

EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Conch Wagoner Blvd.
APPLICATION FOR BUILDING PERMIT

DATE: 5-27-21 Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: Shuler Brothers Rentals, Inc. Email: Mshuler@shulerlawfl.com

ADDRESS: 34 4th street

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # 850-653-1757

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): N/A

ADDRESS: _____ N/A

CITY, STATE & ZIP CODE: _____ N/A PHONE # _____ N/A

CONTRACTOR'S NAME: Ironwood Homes, Inc. Email: feliciaetheridge17@gmail.com

ADDRESS: _____ 3483 S. Byron Butler Parkway

CITY, STATE & ZIP CODE: Perry, FL 32348 PHONE # 850-838-9090

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: Lot 15 1/2, Block 217, Apalachicola, FL Corner 15th and 23rd

PURPOSE OF PERMIT: Installation of mobile Home

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 01-095-08W-8330-0217-0010

LEGAL DESCRIPTION OF PROPERTY: See above

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____ N/A

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____ N/A

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: People's South Bank

ADDRESS: _____ CITY, STATE & ZIP: Apalachicola, FL

WATER SYSTEM PROVIDER: existing City SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: existing

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to cityofapalachicola@gmail.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

Single Family ___ Townhouse ___ Commercial ___ Industrial ___ Shed
 ___ Multi-Family ___ Swimming Pool ___ Storage ___ Sign ___ Pole Barn
 ___ Temp Pole ___ Demolition ___ Other _____
 ___ Addition, Alteration or Renovation to building. _____

Distance from property lines: Front 15 Rear 15 L. Side 15
 R. Side 13
 Cost of Construction \$ 83,000.00 Square Footage 936 sf
 EPI _____ Flood Zone X Lowest Floor Elevation _____
 Area Heated/Cooled _____ # Of Stories _____ # Of Units _____
 Type of Roof _____ Type of Walls _____ Type of Floor _____
 Extreme Dimensions of: Length _____ Height _____ Width _____

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

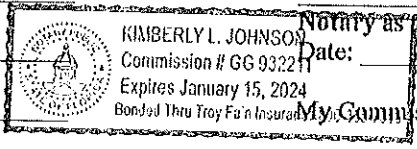
NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Shamar K. Shuler, Pres. 5-27-21
 Signature of Owner or Agent Date

 Signature of Contractor Date

[Signature]
 Notary as to Owner or Agent
 Date: 5/27/21



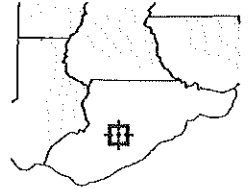
Notary as to Contractor
 Date: _____
 My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.




(email to: cityofapalachicola@gmail.com or drop off in City drop box)
 (make checks payable to EPCI – 192 Coach Wagoner Blvd. Apalachicola, FL 32320)



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0217-0010	Alternate ID	08W09S01833002170010	Owner Address	SHULER BROTHERS RENTALS INC
Sec/Twp/Rng	1-9S-8W	Class	MOBILE HOM		40 4TH STREET
Property Address	335 EARL KING	Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 217 LOTS 1 THRU 28 INC				
	(Note: Not to be used on legal documents)				

Date created: 6/9/2021
 Last Data Uploaded: 6/9/2021 7:42:46 AM

Developed by  **Schneider**
 GEOSPATIAL



Parcel Summary

Parcel ID 01-09S-08W-8330-0217-0010
Location Address 335 EARL KING 32320
Brief Tax Description* BL 217 LOTS 1 THRU 28 INC 12/184 570/148 1103/385 RESERVING LIFE ESTATE
Property Use Code MOBILE HOM (000200)
Sec/Twp/Rng 1-9S-8W
Tax District Apalachicola (District 3)
Millage Rate 20.2323
Acreage 0.000
Homestead N

View Map

Owner Information

Primary Owner
Shuler Brothers Rentals Inc
40 4th Street
Apalachicola, FL 32320

Land Information

Table with 6 columns: Code, Land Use, Number of Units, Unit Type, Frontage, Depth. Rows show SFR/MH with 420.00 units and 0 frontage/depth.

Residential Buildings

Building 1
Type MOB HME LO
Total Area 980
Heated Area 980
Exterior Walls AVERAGE
Roof Cover MINIMUM
Interior Walls DRYWALL
Frame Type WOOD FRAME
Floor Cover SHT VINYL
Heat FORCED AIR
Air Conditioning CENTRAL
Bathrooms 1
Bedrooms 0
Stories 1
Effective Year Built 1970

Sales

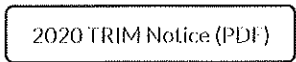
Table with 10 columns: Multi Parcel, Sale Date, Sale Price, Instrument, Book, Page, Qualification, Vacant/Improved, Grantor, Grantee. Shows sales from 2013 and 1972.

Valuation

Table with 7 columns: Building Value, Extra Features Value, Land Value, Land Agricultural Value, Agricultural (Market) Value, Just (Market) Value, Assessed Value, Exempt Value, Taxable Value, Maximum Save Our Homes Portability. Values range from \$0 to \$181,142.

*Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

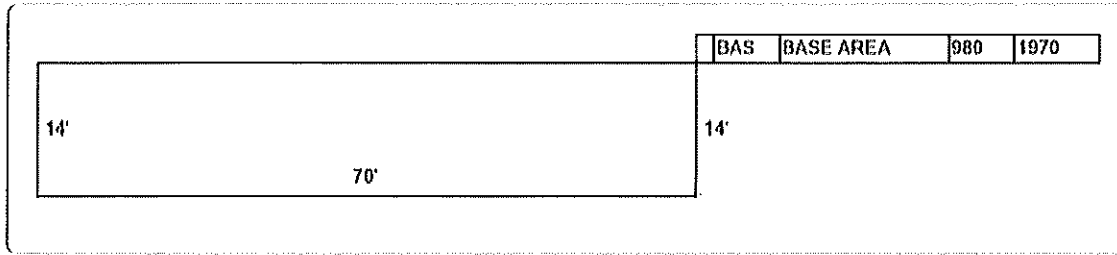
TRIM Notice 2020



TRIM Notice 2019

2019 TRIM Notice (PDF)

Sketches



No data available for the following modules: Commercial Buildings, Extra Features.

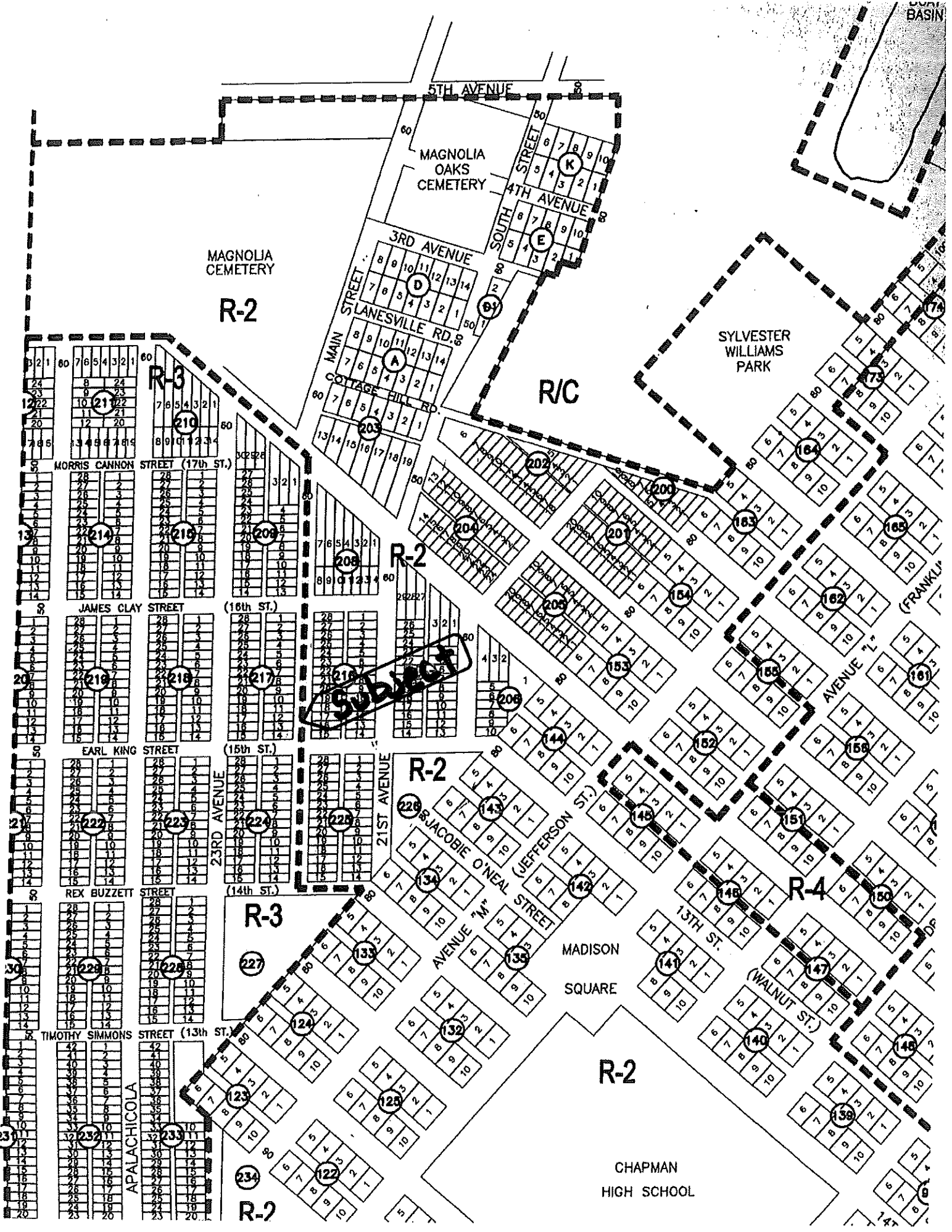
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)



Last Data Upload: [6/9/2021, 7:42:46 AM](#)

Version 2.3.124



5TH AVENUE

MAGNOLIA OAKS CEMETERY

MAGNOLIA CEMETERY

R-2

4TH AVENUE

3RD AVENUE

LANESVILLE RD.

R/C

SYLVESTER WILLIAMS PARK

R-3

MAIN STREET

COTTAGE HILL RD.

R-2

MORRIS CANNON STREET (17th ST.)

JAMES CLAY STREET (16th ST.)

EARL KING STREET (15th ST.)

REX BUZZETT STREET (14th ST.)

TIMOTHY SIMMONS STREET (13th ST.)

APALACHICOLA

23RD AVENUE

21ST AVENUE

R-2

JACOBIE O'NEAL STREET

JEFFERSON ST.

AVENUE M

MADISON SQUARE

13TH ST.

WALNUT ST.

R-2

CHAPMAN HIGH SCHOOL

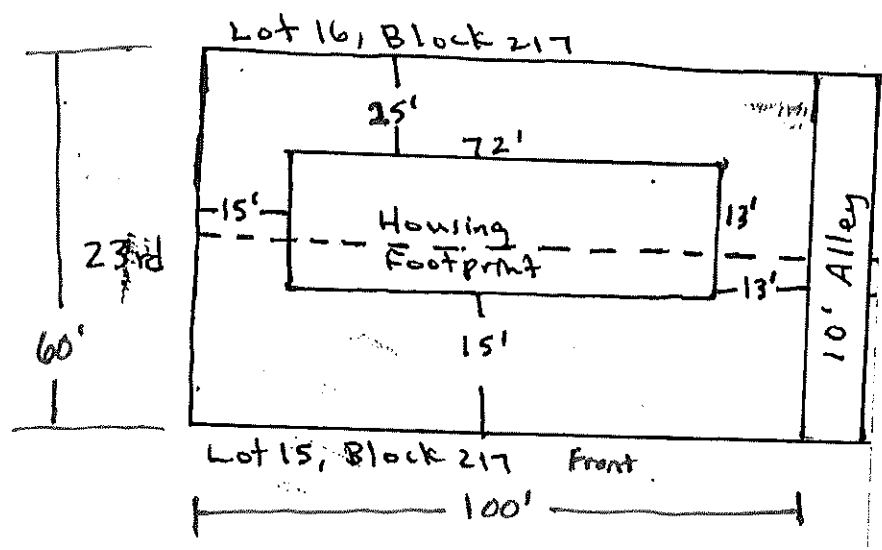
SUBJECT

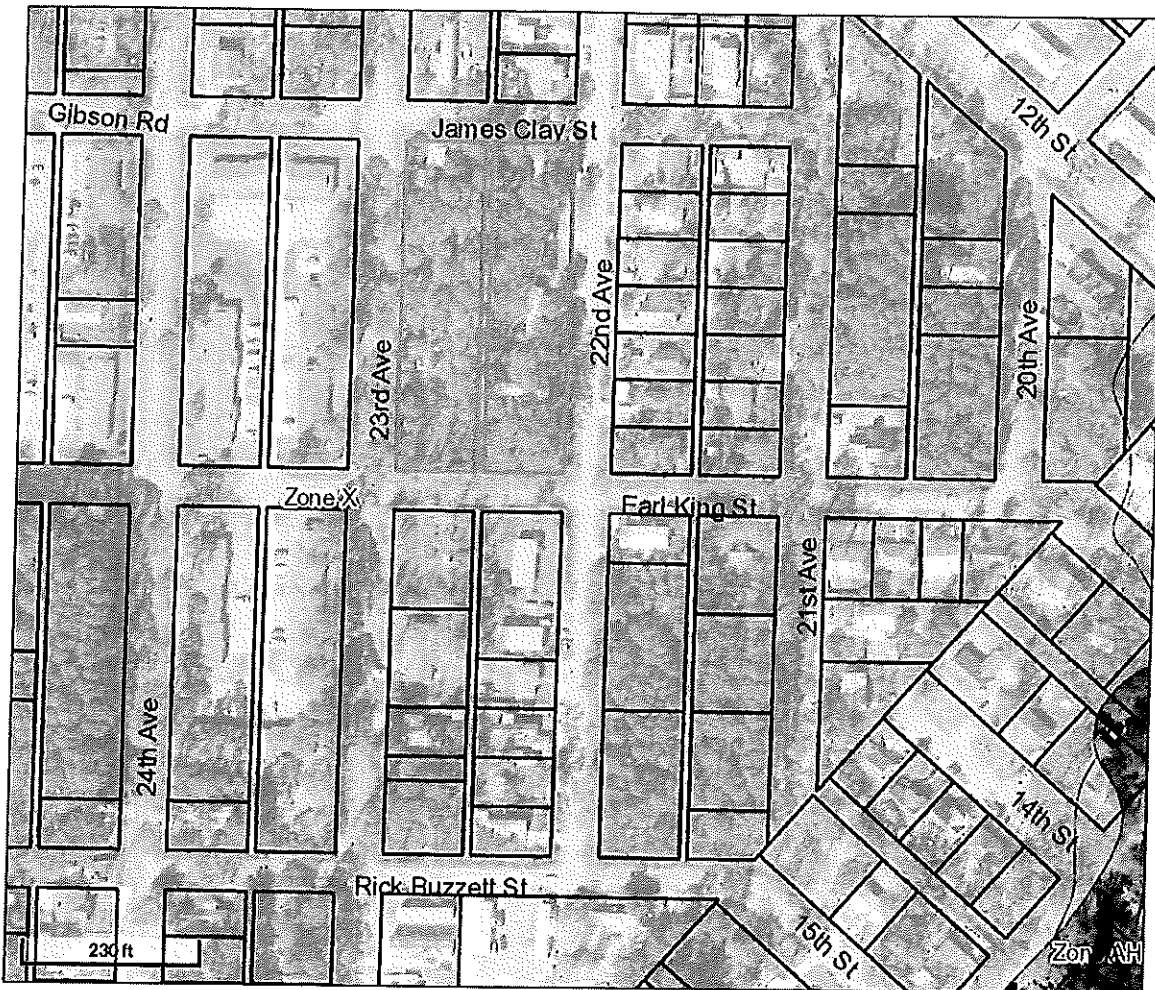
R-3

R-4

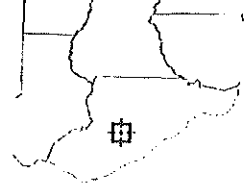
R-2

CURT BASIN





Overview



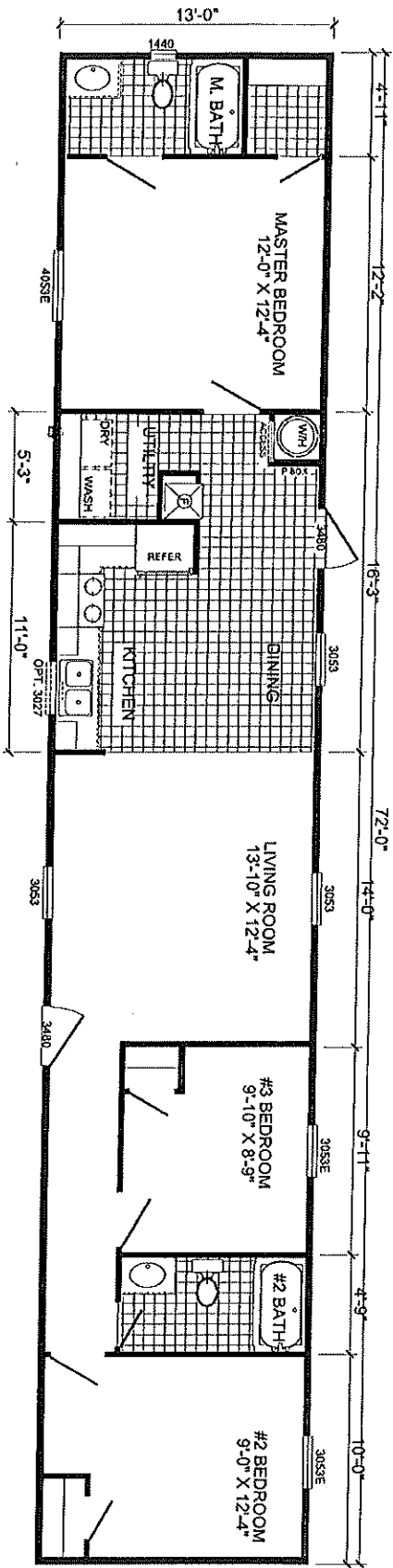
Legend

- Parcels
- Roads
- City Labels
- Flood Map**
 - X: Outside 500 Year Flood
 - A: 100 Year Special Flood Area
 - AE: SFHA with base flood elevation BFI
 - VE: Coastal SFHA with BFE & velocity wave action
 - Openwater

Parcel ID	01-09S-08W-8330-0217-0010	Alternate ID	08W09S01833002170010	Owner Address	SHULER BROTHERS RENTALS INC
Sec/Twp/Rng	1-9S-8W	Class	MOBILE HOM		40 4TH STREET
Property Address	335 EARL KING	Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 217 LOTS 1 THRU 28 INC (Note: Not to be used on legal documents)				

Date created: 5/28/2021
 Last Data Uploaded: 5/28/2021 7:42:37 AM

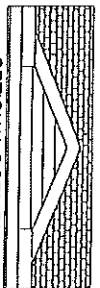
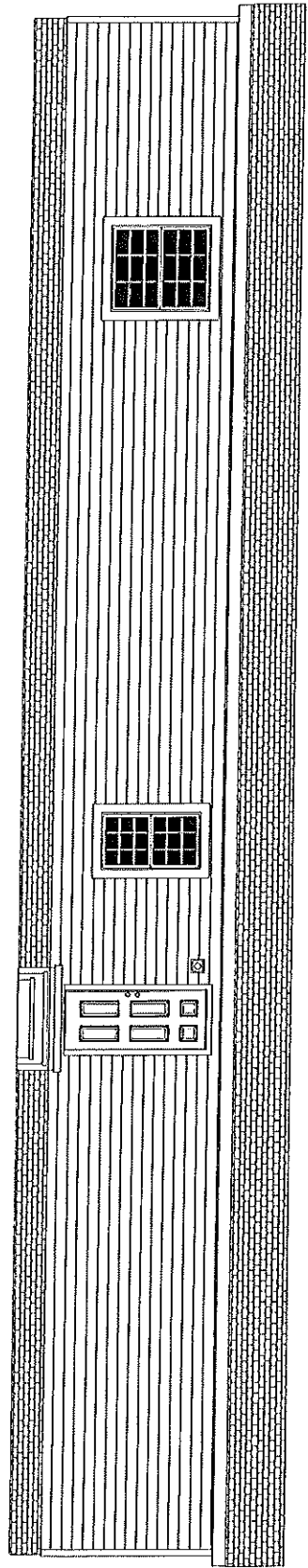
Developed by Schneider
 GEOSPATIAL



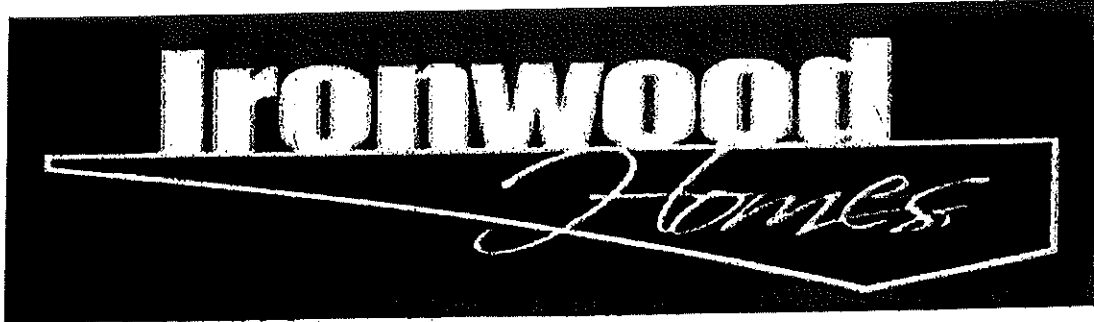
3-BEDROOM / 2-BATH
14 X 72 - Approx. 936 Sq. Ft.

Date: 10-30-2014

All room dimensions include closets and square footage figures are approximate.



OPTIONAL DORMER



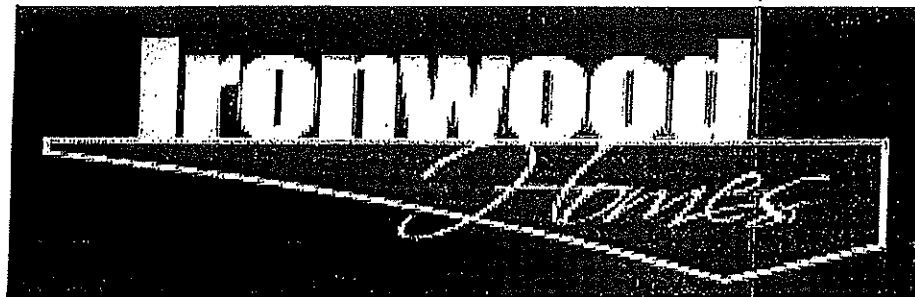
3483 Hwy 19 S Perry, Fl 32348

P: 850.838-9090

F:850.838-9091

Dealer Info:

- Build time 18 to 20 weeks once assigned**
- Houses will be dropped shipped from Factory; installer will be at site**
- Punch list items will be handled through Dealer with Factory**
- Appliance and AC warranty are attached**
- Site prep requirements are attached**



3483 Hwy 19 S Perry, FL 32348

P: 850.838.9090

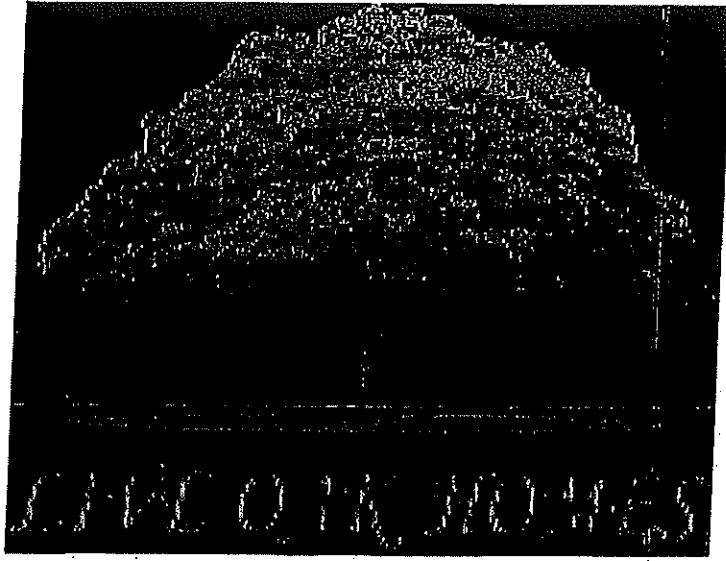
F: 850.838.9091

Home Details

Appliances: Frigidaire

Roof: Asphalt Shingles

Interior Finishes: VOG Drywall



Required Site Prep

Prepare the Site

A properly prepared site is critical to a good quality installation and the long term structural stability of the home.

This chapter explains the process of planning the site, evaluating the soil, and preparing the site for construction of the home's support system.

Follow these steps in the following order:

- ▼ STEP 1. PLAN SITE ACCESS (p. 13)
- ▼ STEP 2. DETERMINE HOME LOCATION AND LAYOUT (p. 13)
- ▼ STEP 3. CLEAR AND GRADE THE SITE (p. 14)
- ▼ STEP 4. DETERMINE SOIL CONDITIONS (p. 14)
- ▼ STEP 5. DETERMINE SOIL BEARING CAPACITY AND FROST LINE (p. 15)
- ▼ STEP 6. DETERMINE GROUND ANCHOR HOLDING CAPACITY (p. 16)

STEP 1. PLAN SITE ACCESS

Planning the route to the site is typically the responsibility of the retailer or transportation company. Whoever is responsible must secure state permits from the states through which the home will pass.

In planning the route, avoid obstructions that might interfere with the passage of the home, such as low hanging wires and trees, low overpasses, and bridges not suitable for the load. Contact the utility company if wires need to be moved. Do not allow branches, bushes, or other foliage to scrape against the home as the home is moved to the site. Avoid ditches, berms, steep slopes, and soft ground. Identify and fill any holes and soft spots into which the transporter's wheels may sink. Avoid moving over steep changes in grade (20 degrees or more).

If required, provide for home storage and staging areas on the site. Plan the delivery and staging of home sections and materials so that after all deliveries are complete, home sections and materials can be accessed for use and installed in the appropriate sequence. Orient home sections so they do not have to be rotated or excessively maneuvered during the installation process. Plan for temporary needs, such as dumpsters, portable toilets, crew parking, delivery vehicle drop-offs and concrete mixer deliveries.

Before moving the manufactured home to the site, inform the LAHJ and make sure the site is prepared and utilities are available.

STEP 2. DETERMINE HOME LOCATION AND LAYOUT

The home location may have already been determined by others. If not, plan the home location and layout in compliance with the regulations researched in *Getting Started*, STEP 5. CHECK LOCAL CODES AND SECURE PERMITS (p. 8). Contact utilities for locations of existing infrastructure, such as underground cables, pipes, and electrical lines.

When planning the site improvements, consider the following:

- The home location should be level.
- Avoid contact with large trees, steep slopes, poorly drained areas, and potential flood zones.
- Preserve trees and shrubs for shade, visual screens, and windbreaks.
- Plan the driveway, parking areas, septic, well, other structures, and utility
- Consider future additions, such as screen rooms, porches, and awnings.



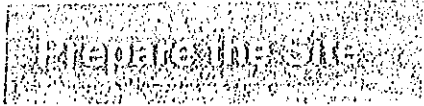
Site Preparation. The home manufacturer has no control over the site planning and installation of the home unless the manufacturer is responsible for the home's installation. Final responsibility for site preparation, including soil stability and frost heave control, lies with the installer. An improperly prepared site may result in the denial of a foundation-related warranty claim.



Fire separation. Comply with any LAHJ fire separation requirements or the requirements NFPA 501A, 2003 edition (Chapter 6).

APPROVED BY

NIA INC. 3 9 2017
FEDERAL MANUFACTURED HOME
CONSTRUCTION AND SAFETY STANDARDS

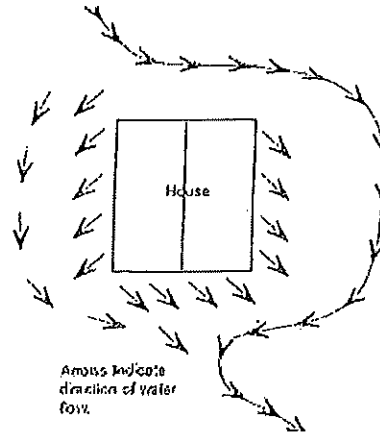
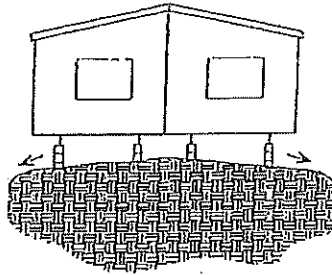


- Site the home away from natural water paths.

STEP 3. CLEAR AND GRADE THE SITE

Trim overhanging foliage considering future growth, potential storms, swaying in wind and snow/ice-weighted branches. Remove organic material such as vegetation, wood, roots, twigs, dead branches, grass, and brush from directly under the home. Remove any debris that could become termite infested from the site and surrounding area. Remove all other debris from the home location, including roots from beneath footing locations. Properly dispose of all items.

Crown the site (Figure 4) away from the foundation for the first ten feet with a minimum slope of 1/2 inch per foot. Where property lines, walls, slopes, or other physical conditions prohibit this slope, provide the site with drains, swales, or grading to drain water away from the structure. Any fill required to grade the site should be inorganic "controlled fill" applied in a maximum of four inch layers, compacted between each layer to at least 90% of its maximum relative density. Direct runoff away from the site using ditches and berms (Figure 5). If the home will have skirting, start grading from two feet in from the edge of the home.



Grade the ground so that water under porches, decks, and recessed entries flows away from the home. If proper grading is not possible, use other methods such as a drain tile and automatic sump pump system to remove any water that may collect under the home.

The home is suitable for the installation of gutters and downspouts. When gutters and downspouts are installed, direct runoff away from the home.

STEP 4. DETERMINE SOIL CONDITIONS

Examine the soil type under the proposed home location to make sure it is suitable for placement of a home. The design of the home's support system, including footing/pier spacing and size, will in part be determined by the bearing capacity of the soil, and if ground anchors are used, by the soil's withdrawal strength.

The soil under every portion of the support system must meet the following criteria:

- The soil must be firm and undisturbed (not previously excavated) or fill compacted to at least 90% of its maximum relative density. Uncompacted fill will settle over time, causing the home to shift and become unlevel.
- Fill must not contain large debris. This too will settle over time.
- The soil must not be comprised of organic clays or peat. Organic material can decay, causing settlement, and also may harbor pests that can infest the home.



Site drainage. Moisture under the home can result in structural damage to the floor system and other parts of the home. Failure to provide adequate slope/drainage can result in moisture-related problems such as mold, mildew, or erosion.

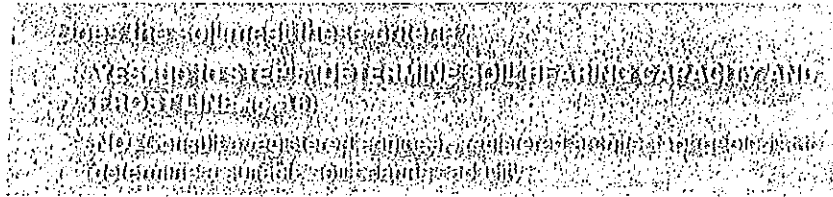
Figure 4. Crown the soil under the home to prevent water ponding

Figure 5. Direct runoff away from the home



Soil. Inadequate soil bearing capacity or a support system mismatched to the soil characteristics can result in excessive or differential settlement of the home, which can cause the home to go out of level, result in jammed doors and windows, cracks in finishes and ruptured plumbing

- The water table must be below the lowest level of the planned support system/foundation. A soil's bearing capacity can be greatly reduced when it is saturated with water. Note that water tables may vary with seasonal or climatic conditions. Consult a geologist or the LAHJ if you are unsure of the water table level.
- The soil must not be a highly expansive type. Expansive soils can expand when they become saturated with water, causing the home to shift and become unlevel. If soils are expansive, contact a registered engineer, or registered architect to assist with the design of the foundation system.



STEP 5. DETERMINE SOIL BEARING CAPACITY AND FROST LINE

The soil under a home must be capable of withstanding the loads imposed by the weight of the home, its support system and furnishings, as well as any loads imposed by wind, snow, or other climatic conditions.

SOIL-BEARING CAPACITY

Determine the soil-bearing capacity in pounds per square foot (psf) before designing a support system. The higher the capacity (psf), the more weight the soil can hold without unduly compressing. As the soil-bearing capacity increases, footings can be reduced in size or spaced farther apart.

Use one or more of the following methods to determine the site's soil bearing capacity:

- Test the soil. Hire a registered geologist, registered engineer, or registered architect to determine the soil classification and maximum allowable soil bearing capacity by testing the soil in accordance with generally accepted engineering practice.
- Obtain soil records. The local office of the U.S. Department of Agriculture's Natural Resources Conservation Service (www.nrcs.usda.gov) and/or the LAHJ may have test results and/or soil analyses on file for the area.
- Conduct a pocket penetrometer test. Use a pocket penetrometer to estimate allowable soil-bearing capacity as follows:
 1. Select a location that will be under a footing.
 2. Clear an area of a minimum of one square foot at least four inches deep or to the depth of the bottom of the planned footing.
 3. Using the instructions provided with the pocket penetrometer, take at least five readings.
 4. Discard the high and low readings and average the remaining readings. Round this result down to the nearest soil-bearing value shown in the right column of Table 4.
 5. Confirm that the rounded result matches the soil description on Table 4.
- Determine soil-bearing value by visual examination. If one of the options above is not available, the values on Table 4 can be used to establish soil-bearing capacity by visual examination. This method provides lower capacity values than the options above. Accurate soil identification typically requires special training or expertise. An engineer or building code official may be able to assist in classifying the soil found on the site.

connections.



Soil bearing capacity. Support systems on soils with bearing capacities less than 1,000 psf must be designed by a registered engineer or registered architect and approved by the LAHJ.

Limitations of pocket penetrometers. Pocket penetrometers do not work on sand or gravel. Use Table 4 to determine allowable pressure for these types of soils. If you encounter a layer of gravel, test the soil under the gravel. Do not put the penetrometer on stones larger than its tip as this will provide an inaccurate reading.

APPROVED BY

 3/9/2017
 FEDERAL REHABILITATED HOME
 CONSTRUCTION AND SAFETY STANDARDS

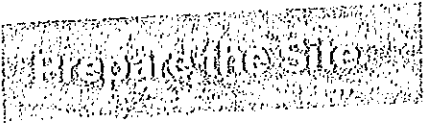


TABLE 4. SOIL-BEARING CAPACITY BY SOIL TYPE

Soil Type (and classification)	Allowable Pressure (psf)
Rock or hard pan (class 1)	4,000
Sandy gravel and gravel; very dense and/or cemented sands; coarse gravel/cobbles; preloaded silts, clays and coral (class 2)	2,000
Sand; silty sand; clayey sand; silty gravel; medium dense coarse sands; sandy gravel; very stiff silt, sand clays (class 3)	1,500
Clay, sandy clay, silty clay, clayey silt (classes 4A and 4B)	1,000
Uncompacted fill, peat, organic clays (class 5)	Professional testing required

Note to table: No allowances made for overburden pressure, embedment depth, water table height, or settlement problems.

Use default capacity. Use an allowable pressure of 1,500 psf, unless site-specific information requires the use of lower values based on soil classification and type according to Table 4.

Note that soil types may vary across a home site. In this case, the soil with the lowest bearing capacity should be assumed when designing the support system. Keep a record of the soil-bearing capacity value; it will be used later to design the home's support system.

FROST LINE

In climates subject to ground freezing, consult the LAHJ, a registered engineer, or registered architect to determine the depth of the frost line. Figure 6 may be used as a guideline when there is no specific local determination. Keep a record of the frost depth; it will be used later to design the home's support system.

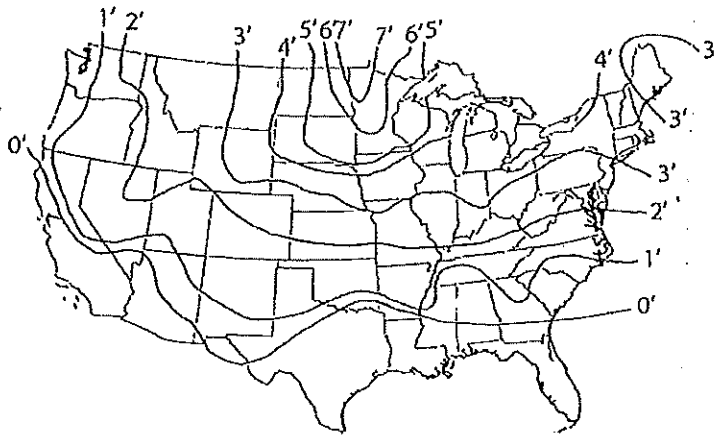
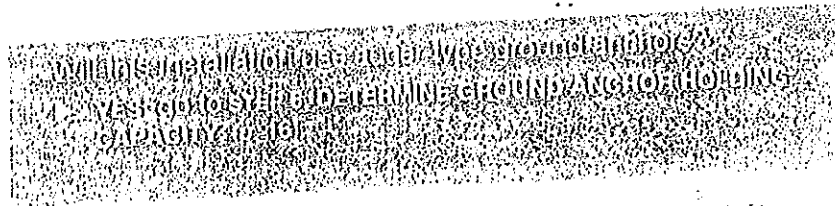


Figure 6. Average frost penetration depth (in feet)



STEP 6. DETERMINE GROUND ANCHOR HOLDING CAPACITY

When using auger-type ground anchors to tie down the home, first, use a torque probe to determine the anchor-holding strength of the soil on the site.

Use a torque probe with a shaft of sufficient length to test the soil at the depth of the anchor helical plate. Auger the probe into the ground, and following the probe manu-

APPROVED BY
NIA INC. 3 9 2017
 FEDERAL MANUFACTURED HOME
 CONSTRUCTION AND SAFETY STANDARDS



Torque Probe. Before the torque probe, check with the utility company for the location of underground cables or pipe to avoid contact with the probe shaft.

#11

Decks + Fences

228, 230, 232, 236 8th St

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

-HISTORIC DISTRICT ONLY-

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

Owner Apalachicola Historical Rentals
Address 1224 Albion Ave
City Tallahassee State FL Zip 32301
Phone (850) 694 1555

CONTRACTOR INFORMATION

Contractors Name: Construct Group Se
State License # CC1513032 City License # _____
Email Address constructgroupse@yahoo.com
Phone (850) 694-1555

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: Decks

non-permitting projects
FENCE

PROPERTY INFORMATION:

Street Address: 226 - 228 - 230 - 252 8th St. City & State: Apalachicola Zip 32520

Historic District | Non-Historic District Zoning District _____

Parcel #: 01-095-08W-8330-0165-0020 Block(s) _____ Lot(s) _____

NEMA Flood Zone/Panel #: X
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid: _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Tommy Owens
Permitting and Development Coordinator
(850) 658-1522
cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Construction of Privacy fences for each house
+ decks on 228-250-252

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck		PT wood	
Fencing		PT wood	
Driveways/Sidewalks			
Other			

CERTIFICATION

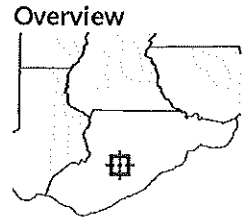
By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submitted requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submitted may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.




5-19-2021

DATE


SIGNATURE OF APPLICANT



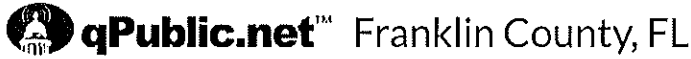
Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0165-0020	Alternate ID	08W09S01833001650020	Owner Address	APALACHICOLA HISTORICAL
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		RENTALS, LLC
Property Address	228 8TH STREET	Acreage	n/a		1224 ALBAN AVENUE
					TALLAHASSEE, FL 32301
District	3				
Brief Tax Description	BL 165 NW 1/2 OF LOT 2-ALL (Note: Not to be used on legal documents)				

Date created: 6/9/2021
 Last Data Uploaded: 6/9/2021 7:42:46 AM

Developed by  **Schneider**
 GEOSPATIAL



Parcel Summary

Parcel ID 01-09S-08W-8330-0165-0020
 Location Address 228 8TH STREET
 32320
 Brief Tax Description* BL 165 NW 1/2 OF LOT 2-ALL LOT 3 & SE 17.5 FT OF LOT 4 OR/125/382 OR 347/294 APALACHICOLA OR 415/332 1288/463 1288/465
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Apalachicola Historical
 Rentals, LLC
 1224 Alban Avenue
 Tallahassee, FL 32301

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000801	THE HILL - APALACH	97,50	FF	0	0

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0450	OLD HOUSE	1	15 x 38 x 0	570	UT	1982
0450	OLD HOUSE	1	15 x 40 x 0	600	UT	1982
0450	OLD HOUSE	1	15 x 40 x 0	600	UT	1982
0450	OLD HOUSE	1	15 x 40 x 0	600	UT	1982

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	01/28/2021	\$150,000	QC	1288	465	Unqualified (U)	Vacant	PIERCE ANTHONY /PIERCE AKA CLARK	PIERCE ANTHONY
N	01/28/2021	\$100	WD	1288	463	Unqualified (U)	Vacant	PIERCE	APALACHICOLA HISTORICAL RENTAL,LLC
N	06/18/1993	\$10,200	WD	415	332	Qualified (Q)	Improved	NIMMO	PIERCE
N	05/21/1991	\$18,020	WD	347	294	Unqualified (U)	Improved	MCCASKILL	NIMMO

Valuation

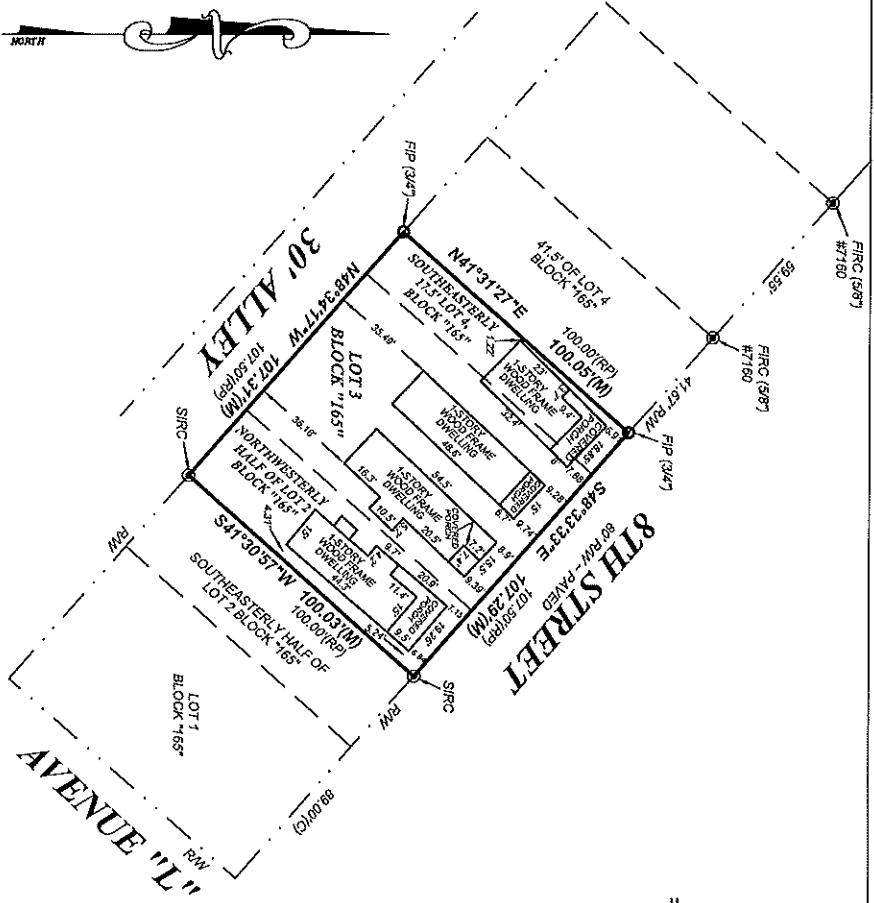
	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$5,100	\$5,100	\$5,100	\$5,100	\$5,100
Land Value	\$53,625	\$53,625	\$39,000	\$48,750	\$34,125
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$58,725	\$58,725	\$44,100	\$53,850	\$39,225
Assessed Value	\$48,254	\$43,867	\$39,879	\$36,254	\$32,958
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$48,254	\$43,867	\$39,879	\$36,254	\$32,958
Maximum Save Our Homes Portability	\$10,471	\$14,858	\$4,221	\$17,596	\$6,267

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020

2020 TRIM Notice (PDF)

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
HOME BY HAND, INC.

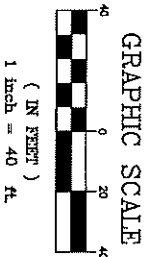


NOTES:

1. SURVEY SOURCE: record plat, and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwesterly right-of-way boundary of 8th Street having an assumed bearing of South 49 degrees 33 minutes 33 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than those shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

LEGEND

FCM	FOUND CONCRETE MONUMENT
R/W	RIGHT-OF-WAY
M	MEASURED
	HOT TO SCALE
△	POINT NOT SET OR FOUND
SIRC	SET (S87) IRON ROD AND CAP #7160
PRC	FOUND (S87) IRON ROD AND CAP



FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No. 120090 0528F-1 index date: February 5, 2014, Franklin County, Florida.

TR & A
PROFESSIONAL SURVEYORS AND MAPPERS
240 BOX 701 • 12531 REDBURN STREET • SPRINGFIELD, FLORIDA 32089
Phone: (904) 688-1111 Fax: (904) 688-1110

THURMAN RODDENBERRY & ASSOCIATES, INC.
PROFESSIONAL SURVEYORS AND MAPPERS
240 BOX 701 • 12531 REDBURN STREET • SPRINGFIELD, FLORIDA 32089
Phone: (904) 688-1111 Fax: (904) 688-1110

DATE: 09/17/15	DRAWN BY: JMD	SCALE: English
FILE: 15288.DWG	DATE OF LAST FIELD WORK: 08/16/15	JOB NUMBER: 15-288

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey was made and executed in accordance with the laws and regulations of the State of Florida, Chapter 471, Florida Statutes, and the rules and regulations of the Board of Professional Surveyors and Mappers, F.S.C. 471.05(1).

The undersigned surveyor has not been provided a current file opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of record, unrecorded mortgages, assignments of other instruments, unrecorded liens or other matters that may affect the boundaries.

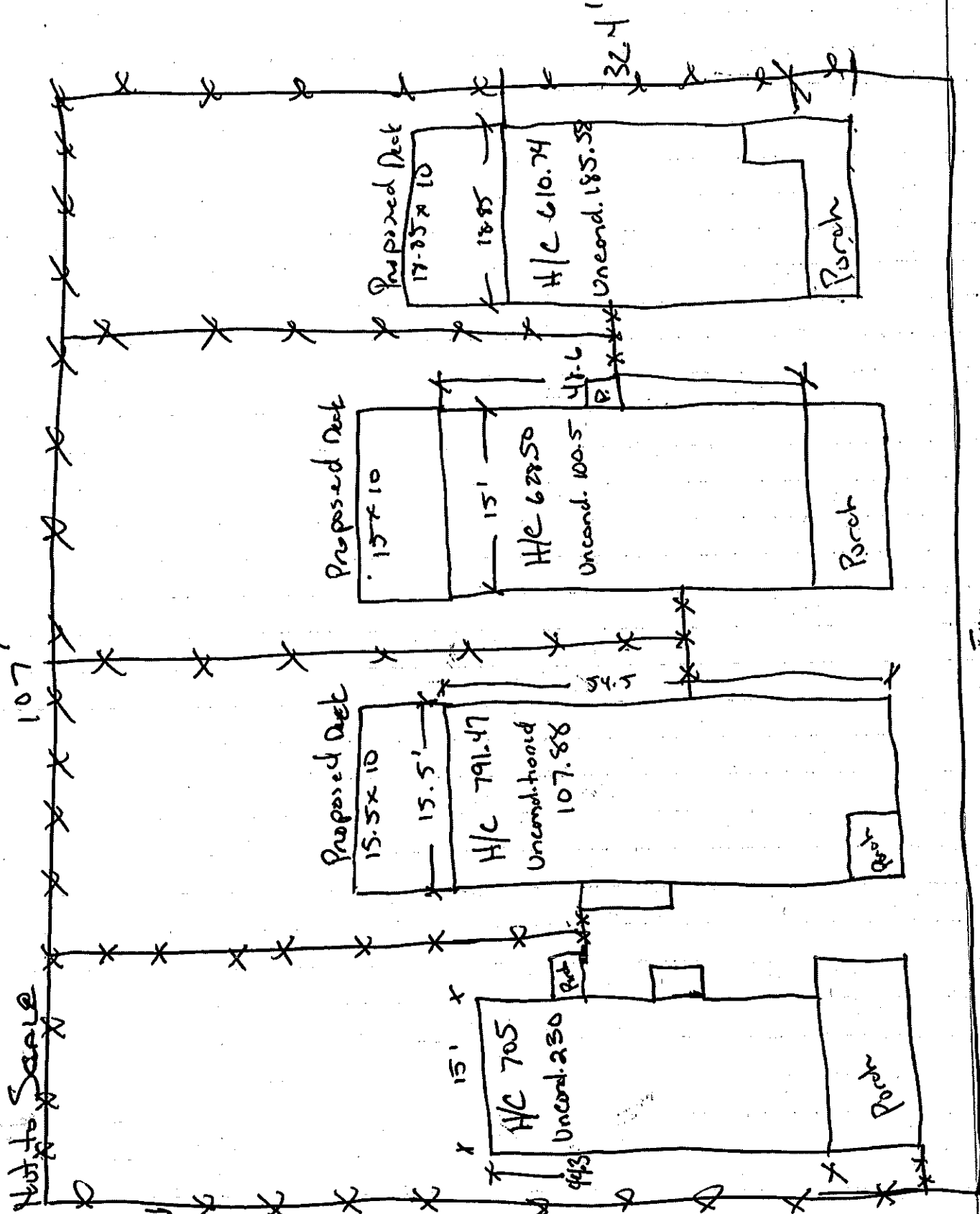
[Signature]
THURMAN RODDENBERRY
Professional Surveyor and Mapper
Florida Certificate No. 003

Drawing Not to Scale

See Survey for additional info

All dimensions are taken from Survey

120



Legend ~~XXXXXX~~ Proposed Fence

Site Information

Site Dimensions

107 x 100

Site Sq ft

10,700 sq ft

Allowable Impervious 40%

4280 sq ft

Existing Impervious

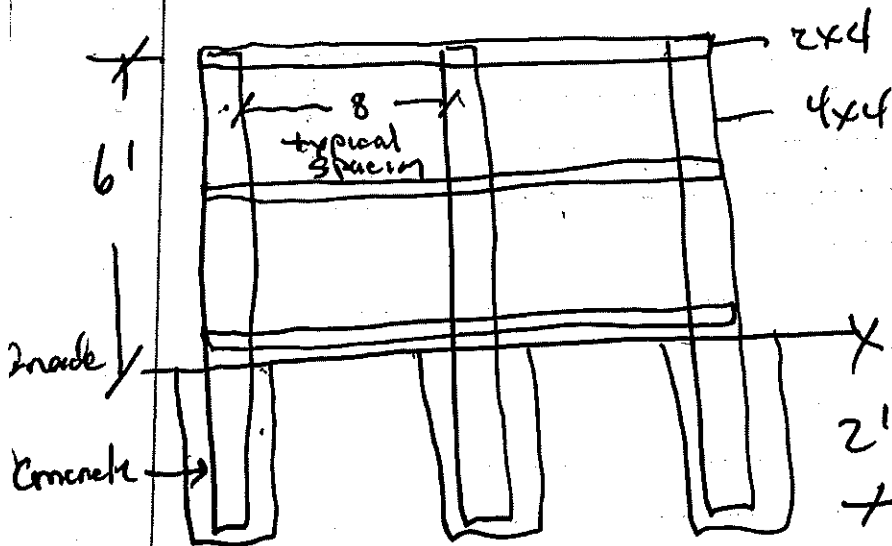
3509.67 sq ft

Proposed additional Impervious

493.5 sq ft

Total Sq ft of Impervious
after construction

5) Fence Detail



4x4 Posts

1x6 Vertical Fence Boards

2x4 Horizontal Members

#12

BIK 1 Lot 7
New Residence
& FENCE

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

HISTORIC DISTRICT ONLY

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

Owner Mrs. & Catherine Carlton
Address 12814 Saddle Club Circle
City Tampa State FL Zip 33635
Phone (813) 378-3975

CONTRACTOR INFORMATION

Contractor Name Construct Group SE Inc
State License # CC-1513032 City License # _____
Email Address Constructgroupse@yahoo.com
Phone (813) 694-5555

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- | | |
|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Repair (Extensive) |
| <input type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Relocation | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Demolition | |

PROPERTY INFORMATION

Street Address: _____ City & State Apalachicola FL Zip 32520

Historic District Non-Historic District Zoning District _____

Parcel #: 01-095-08W-8330-0007-0070 Block(s) 7 Lot(s) 7

FEMA Flood Zone/Panel #: _____
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25 Sides: 75 Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

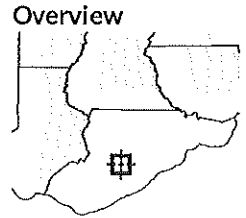
NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCJ.

Tummy Owens
Permitting and Development Coordinator
(850) 658-1522
cityofapalachicola@gmail.com

Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

New Residential Home

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	Michael	Cementitious Siding	
Doors	Therme-Tru	Fiberglass	
Windows	Mingon	Vinyl	
Roofing	Bobby Jones	Metal Standing Seam	
Trim	Michael	Cementitious	
Foundation	Block Slab		
Shutters	—		
Porch/Deck	Concrete		
Fencing	—		
Driveways/Sidewalks	Gravel		
Other			

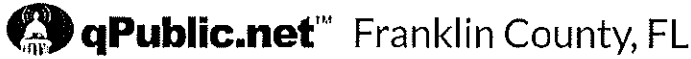


- Legend**
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	01-09S-08W-8330-0007-0070	Alternate ID	08W09S01833000070070	Owner Address	CARLTON NEIL BARRY & CATHERINE
Sec/Twp/Rng	1-9S-8W	Class	VACANT		12814 SADDLE CLUB CIRCLE
Property Address	CITY OF APALACH	Acreage	n/a		#101
					TAMPA, FL 33635
District	3				
Brief Tax Description	BLOCK 7 LOT 7 OR/88/58				
	(Note: Not to be used on legal documents)				

Date created: 6/9/2021
 Last Data Uploaded: 6/9/2021 7:42:46 AM

Developed by  **Schneider**
 GEOSPATIAL



Parcel Summary

Parcel ID 01-09S-08W-8330-0007-0070
Location Address CITY OF APALACH
Brief Tax Description* BLOCK 7 LOT 7 OR/88/58 243/308 636/585 639/628 1168/28 1213/644 1273/48
 *The Description above is not to be used on legal documents.
Property Use Code VACANT (000000)
Sec/Twp/Rng 1-9S-8W
Tax District Apalachicola (District 3)
Millage Rate 20.2323
Acreage 0.000
Homestead N

[View Map](#)

Owner Information

Primary Owner
 Carlton Neff Barry & Catherine
 12814 Saddle Club Circle
 #101
 Tampa, FL 33635

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	60.00	FF	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	08/06/2020	\$99,000	WD	1273	48	Qualified (Q)	Vacant	MCLAREN	CARLTON
N	03/06/2018	\$100,000	WD	1213	644	Qualified (Q)	Vacant	FELTUS INCLUDES PARCEL 6	MCLAREN
N	05/18/2000	\$75,000	WD	639	628	Unqualified (U)	Vacant	LOGAN	FELTUS INCLUDES PARCEL 6
N	03/31/2000	\$10,000	WD	636	585	Unqualified (U)	Vacant	RHODES	LOGAN

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$38,100	\$38,100	\$38,100	\$42,000	\$31,500
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$38,100	\$38,100	\$38,100	\$42,000	\$31,500
Assessed Value	\$38,100	\$38,100	\$38,100	\$34,650	\$31,500
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$38,100	\$38,100	\$38,100	\$34,650	\$31,500
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$7,350	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

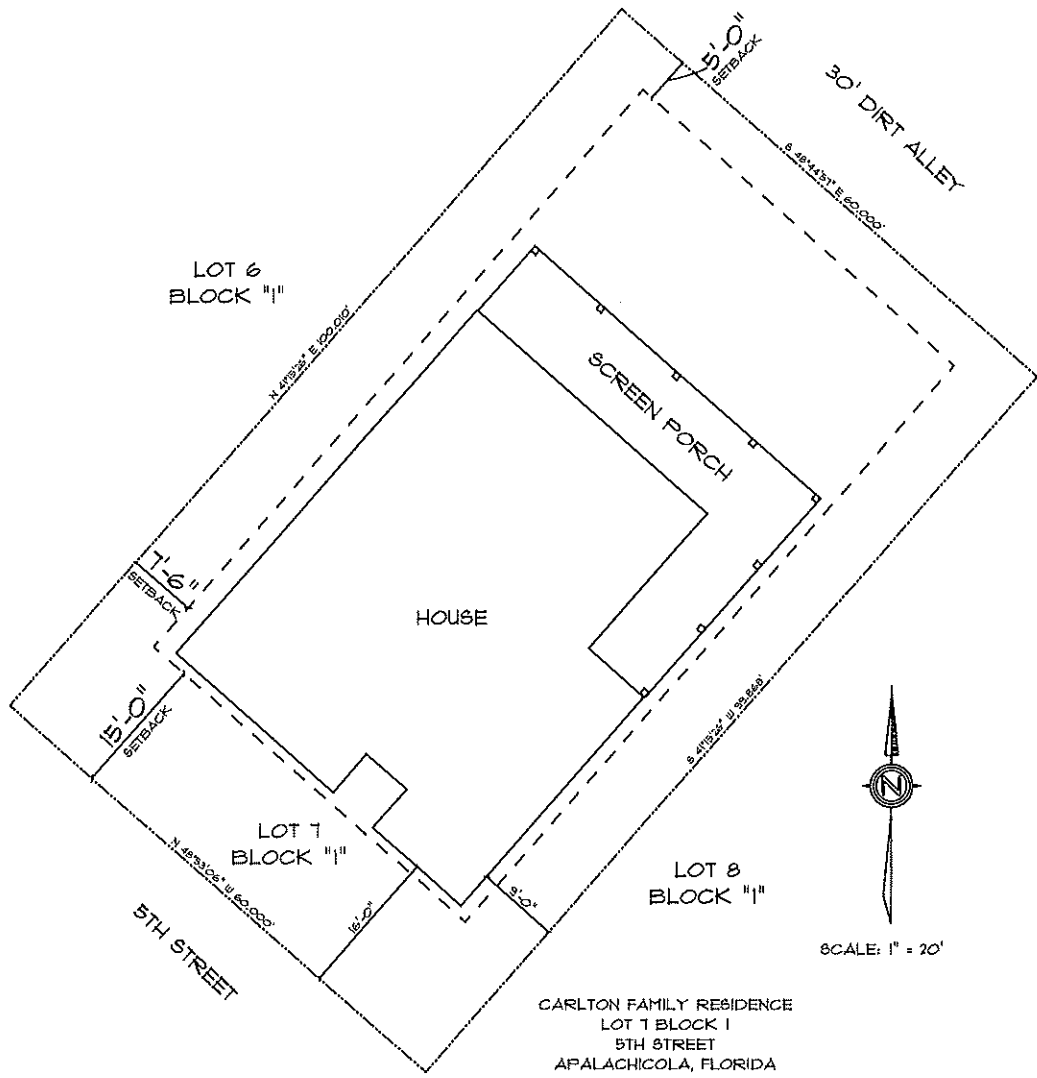
TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

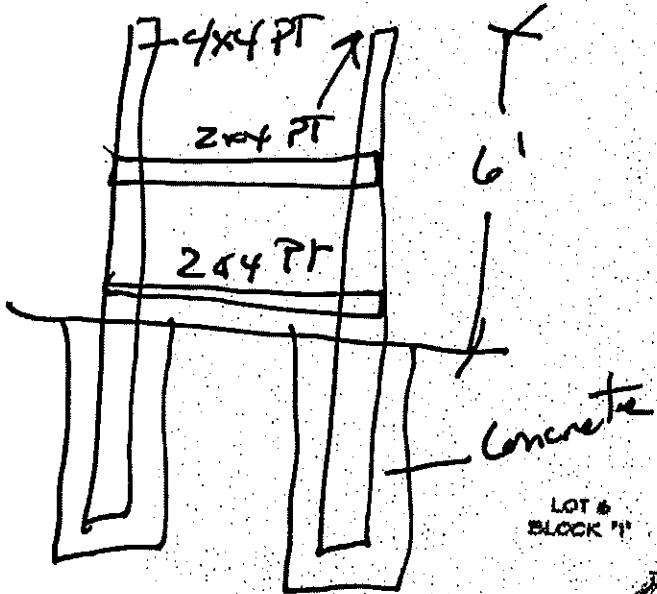


SCALE: 1" = 20'

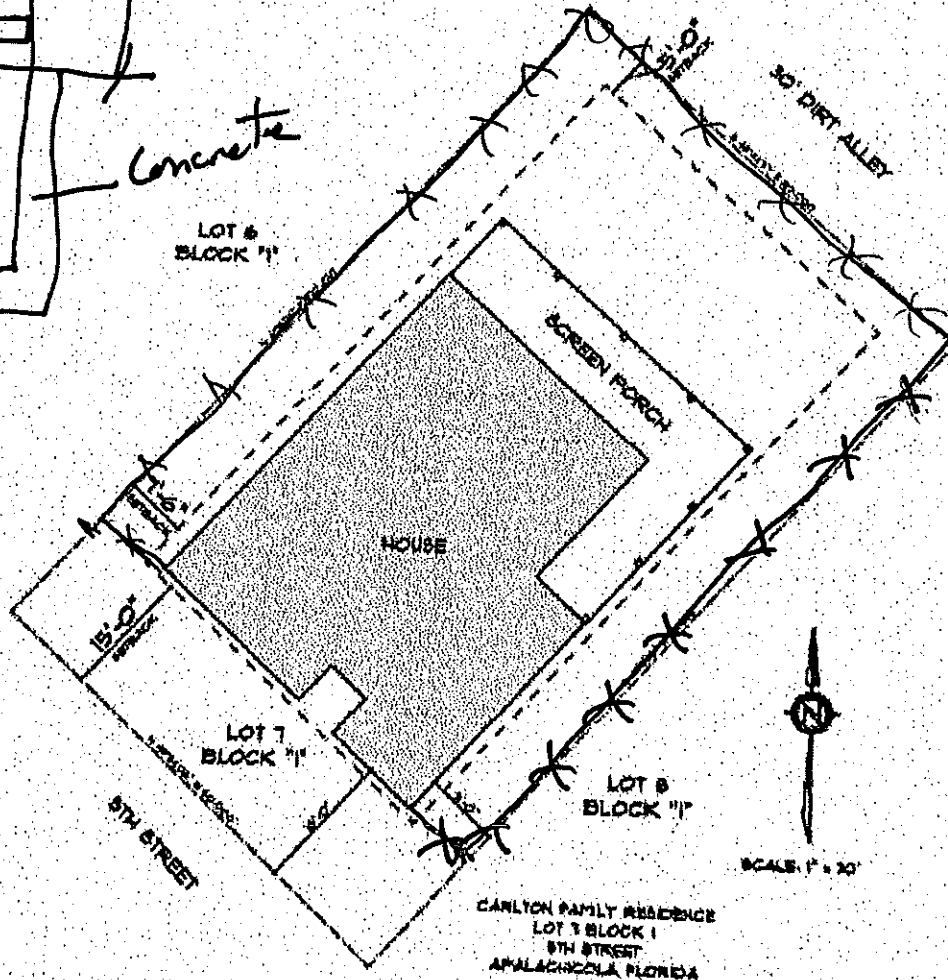
CARLTON FAMILY RESIDENCE
 LOT 1 BLOCK 1
 5TH STREET
 APALACHICOLA, FLORIDA

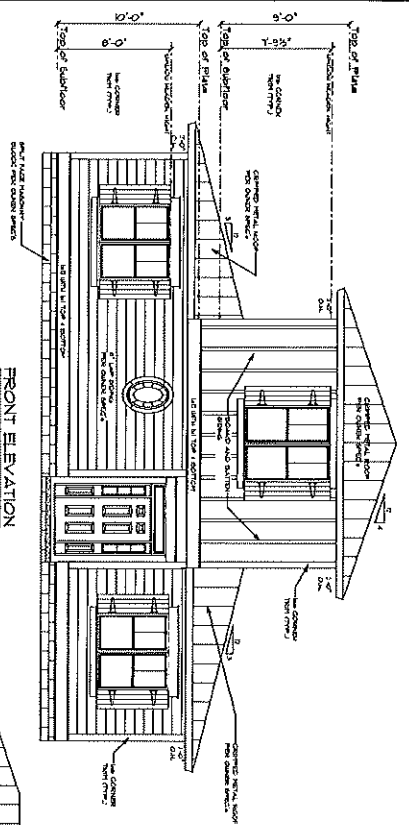
To: Glen Coxwell constructgroupse@yahoo.com

Legend ~~XXXX~~ 6' TALL Fence wooden

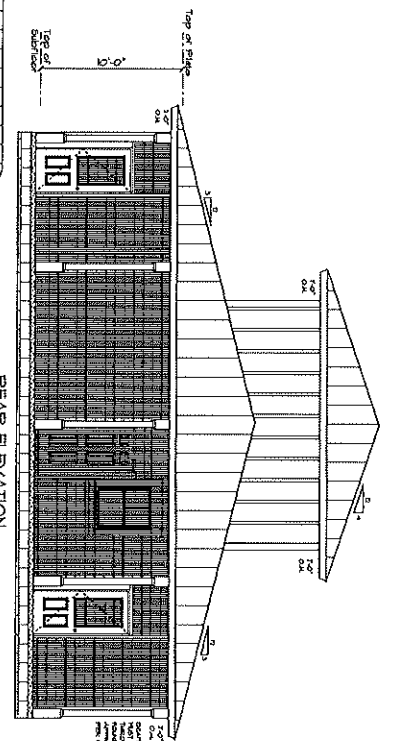


1x6 Fence Boards or corrugated metal Panels

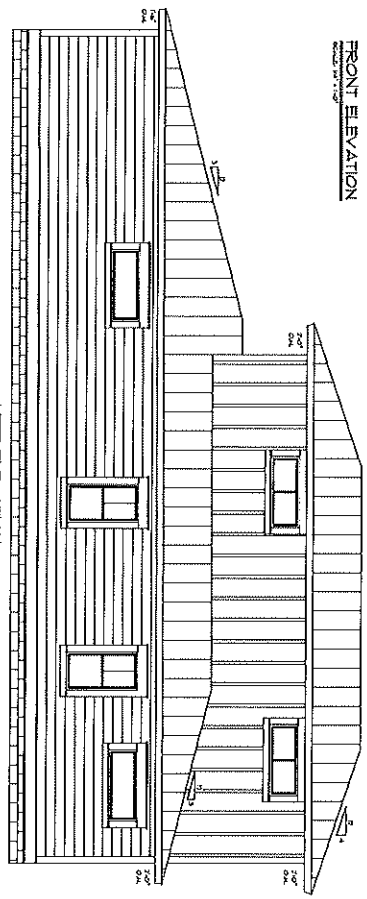




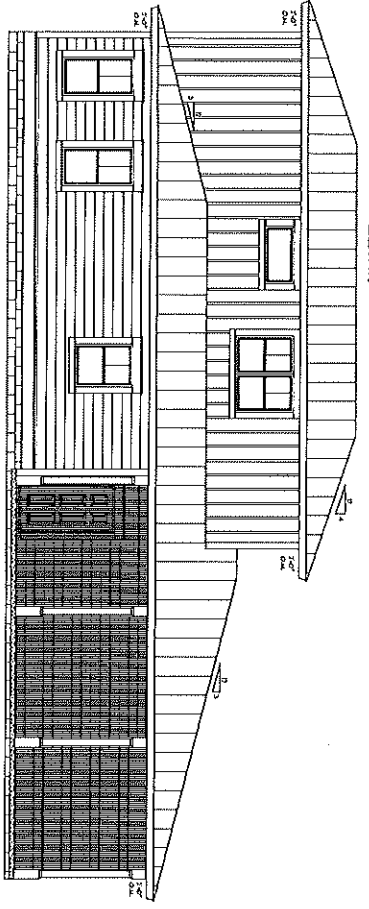
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



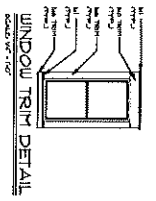
REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



WINDOW TRIM DETAIL
SCALE: 1/4" = 1'-0"

CARLTON FAMILY RESIDENCE
LOT #1 BLOCK "1"
5th STREET 1/2 G AVE
APALACHICOLA, FLORIDA

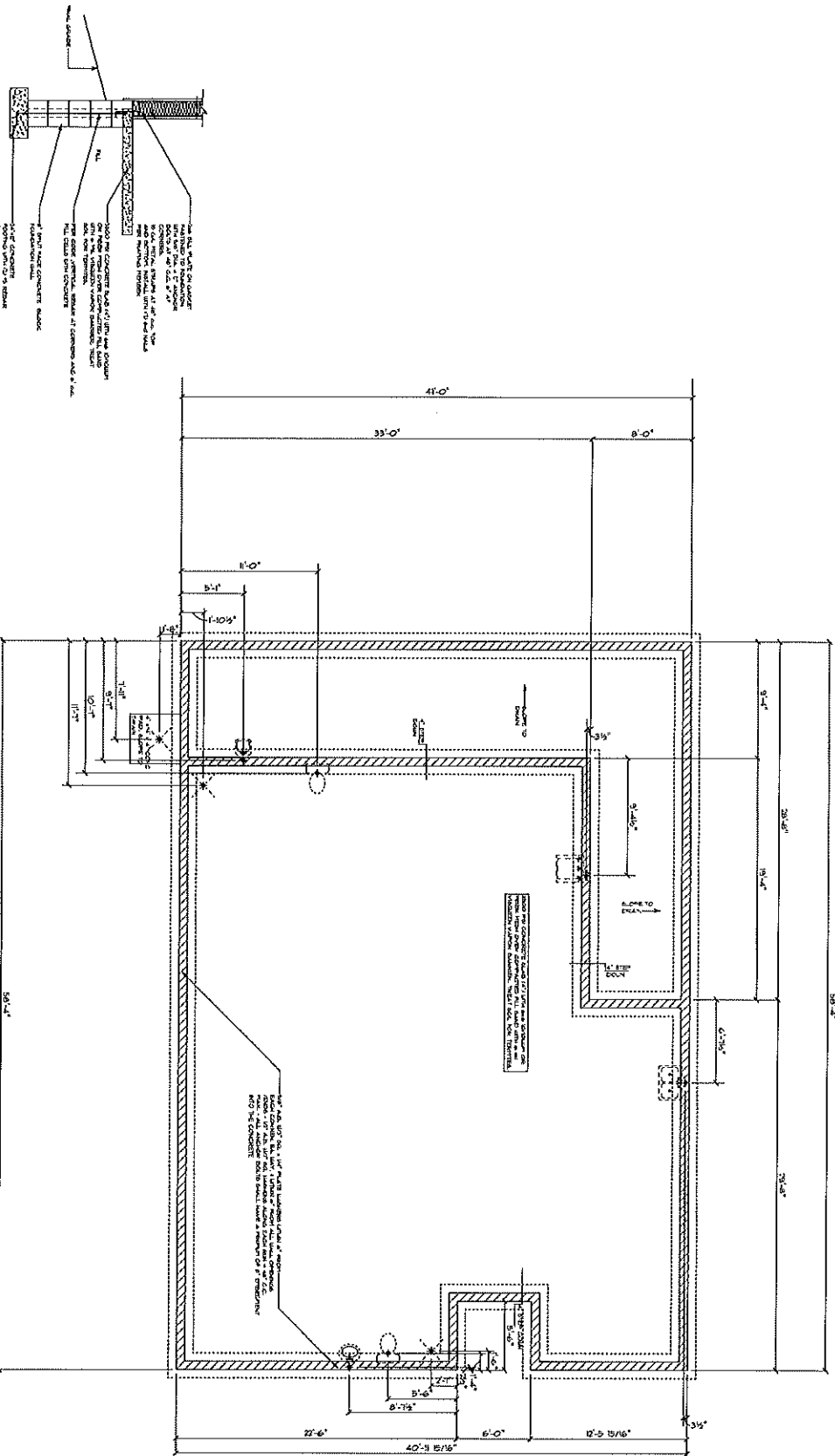
DATE: 01/02/2011
PROJECT: CARLTON FAMILY RESIDENCE
DESIGNED BY: T.E.S.
DRAWN BY: T.E.S.
CHECKED BY: T.E.S.
DATE: 01/02/2011

A-1r
ELEVATIONS

NO.	DATE	REVISION

BLANK RESIDENTIAL DESIGN
DESIGNER: T.E.S.
DATE: 01/02/2011

NOT TO SCALE
ALL DIMENSIONS ARE APPROXIMATE
BASED ON FIELD SURVEY
AND CONSTRUCTION
NOTES
NO PART OF THIS DRAWING
IS TO BE REPRODUCED
OR TRANSMITTED IN ANY
FORM OR BY ANY MEANS
ELECTRONIC OR MECHANICAL
INCLUDING PHOTOCOPYING,
RECORDING, OR BY ANY
INFORMATION STORAGE
RETRIEVAL SYSTEM
WITHOUT THE WRITTEN
PERMISSION OF THE
DESIGNER



**SPLIT FACE BLOCK STEM WALL
SLAB AND FOUNDATION
SECTION**

1/4" = 1'-0"

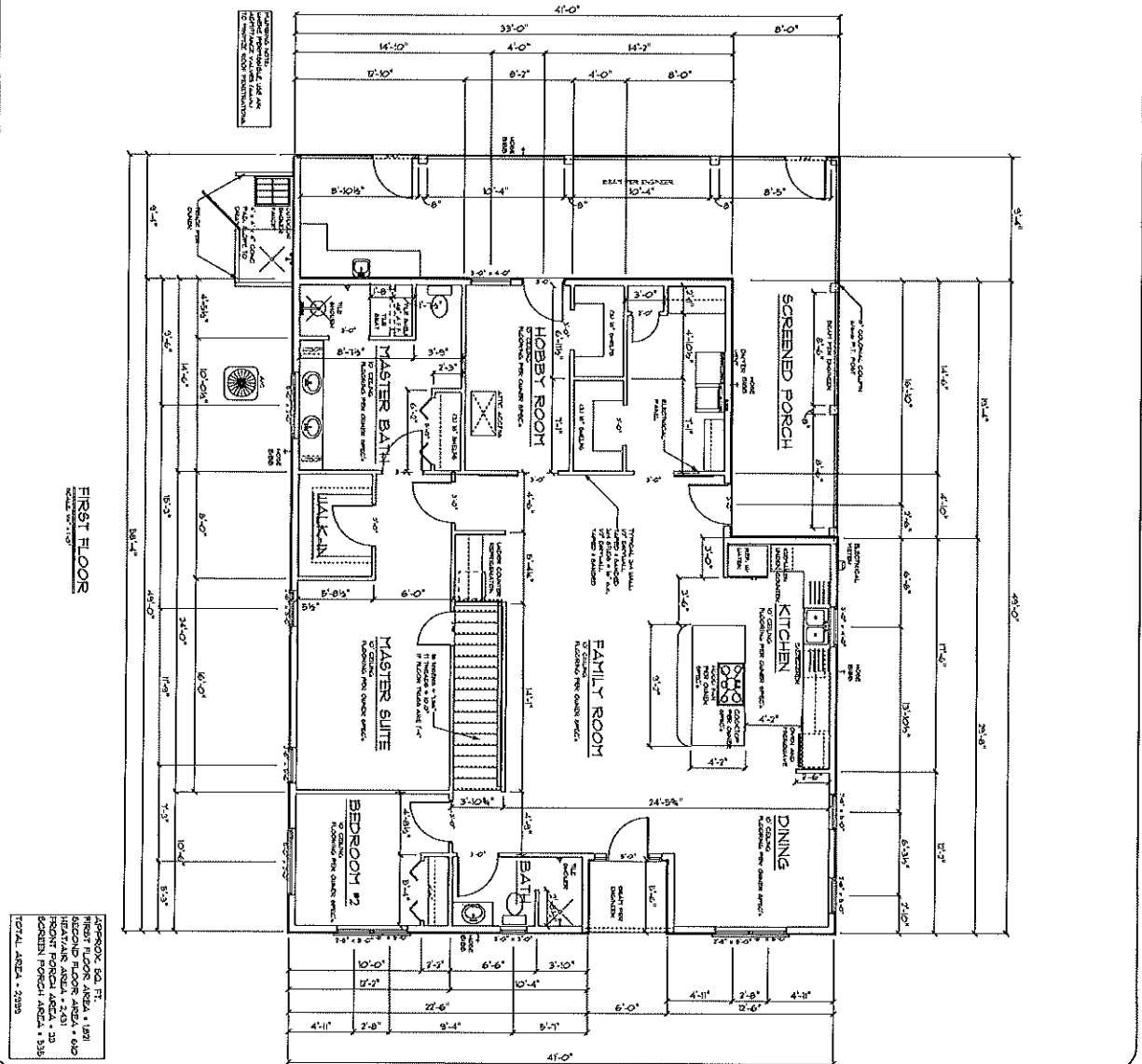
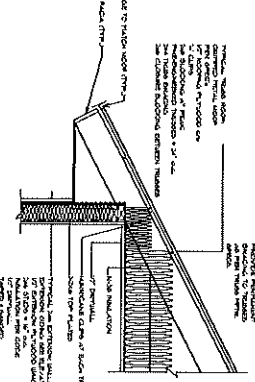
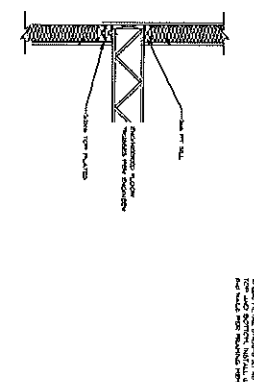
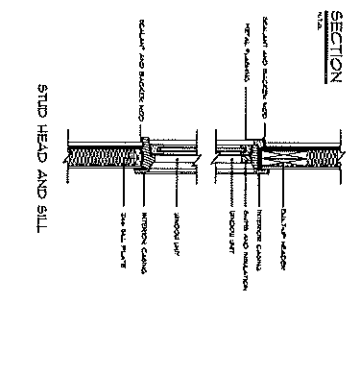
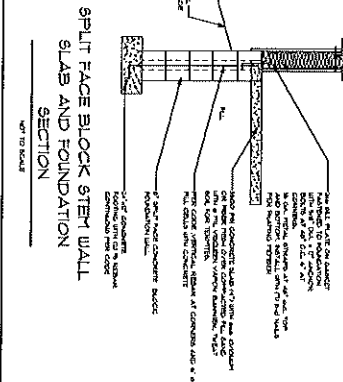
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

CARLTON FAMILY RESIDENCE
LOT #1 BLOCK "1"
5th STREET + G AVE
APALACHICOLA, FLORIDA

DATE: 5/10/2021
BY: CASLTON
CHECKED BY: TBS
DATE: 5/10/21
A-2r
FOUNDATION PLAN

NO	DATE	REVISION

SOULT
RESIDENTIAL
DESIGN

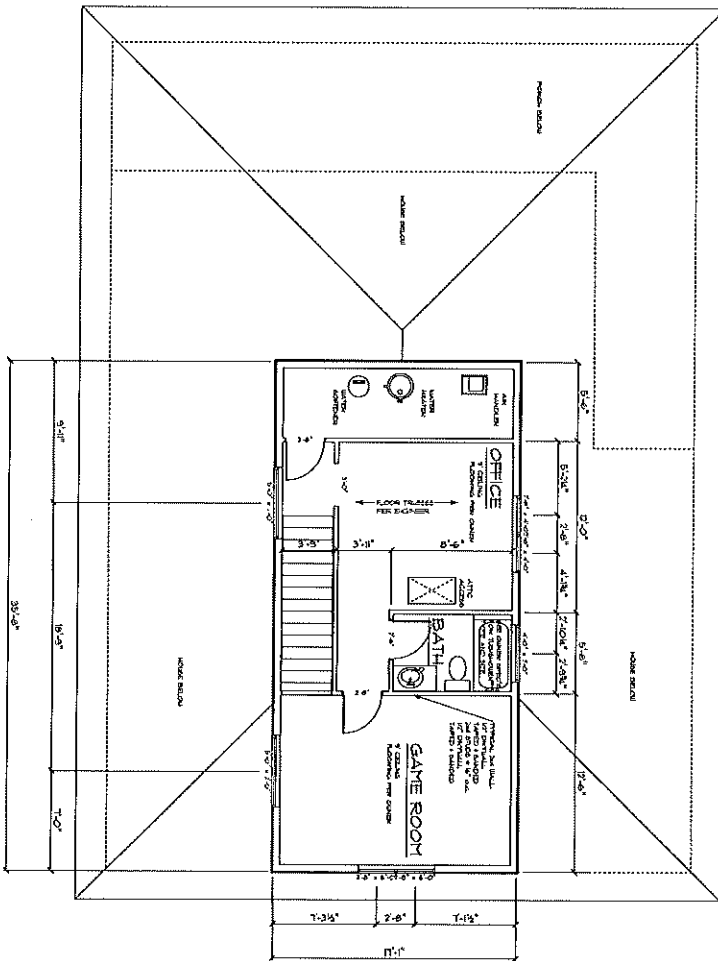


APPROX. SQ. FT.
 FIRST FLOOR AREA • 1,811
 SECOND FLOOR AREA • 600
 FRONT PORCH AREA • 23
 SCREEN PORCH AREA • 138
 TOTAL AREA • 2,572

CARLTON FAMILY RESIDENCE
 LOT #1 BLOCK 1st
 5th STREET & G AVE
 APALACHICOLA, FLORIDA

DATE: 5/10/02
 PROJECT NO.: CARLTON
 DESIGNER: TEB
 CHECKED BY: TEB
 DRAWN BY: TEB
 A-3P
 FIRST FLOOR PLAN

NO.	DATE	REVISION



SECOND FLOOR
Scale: 1/8" = 1'-0"

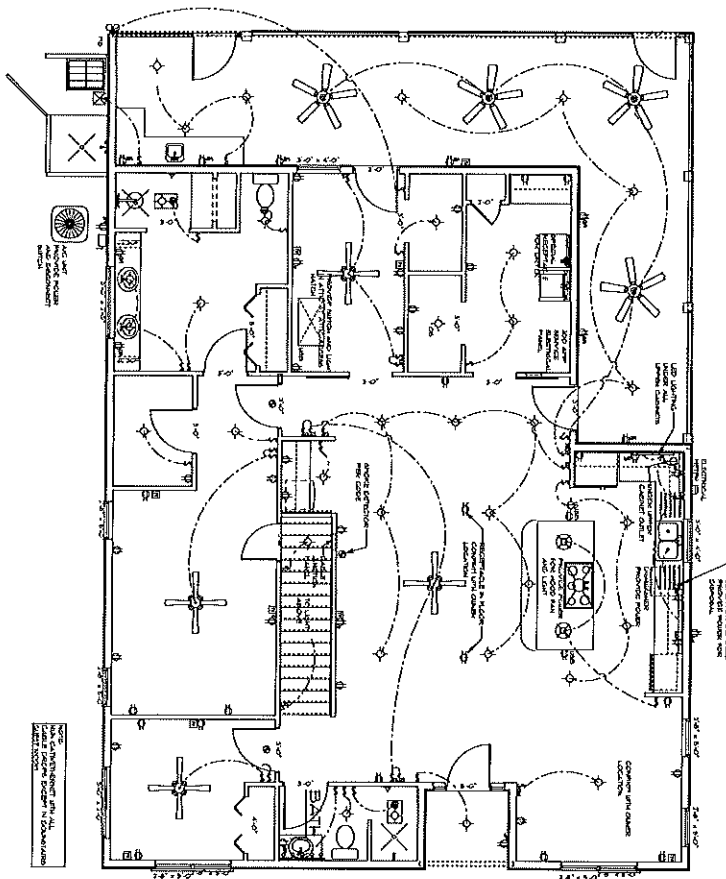
CARLTON FAMILY RESIDENCE

LOT #1 BLOCK "I"
5th STREET & G AVE
APALACHICOLA, FLORIDA

DATE: 5/10/2021
 PROJECT NO.: CARLTON
 DESIGNED BY: TTB
 CHECKED BY: TTB
 DATE NO.: A-4r
 SECOND FLOOR PLAN

NO.	DATE	REVISION

DESIGN: TTB
 CHECKED: TTB
 DATE: 5/10/21



ELECTRICAL PLAN

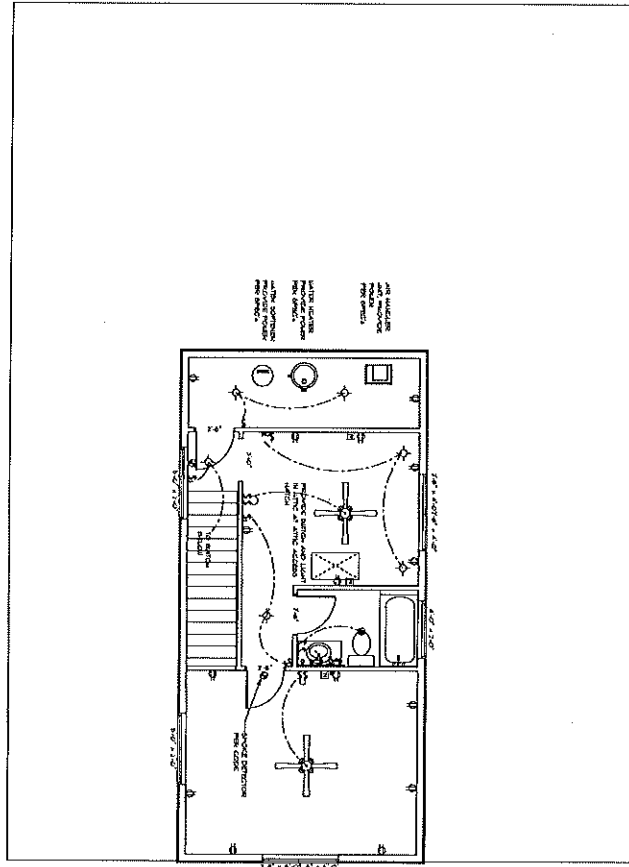
CARLTON FAMILY RESIDENCE
 LOT #1 BLOCK "1"
 5th STREET & G AVE
 APALACHICOLA, FLORIDA

DATE: 5/10/2021
 PROJECT NO.:
 DESIGN NO.:
 DRAWN BY: TEB
 CHECKED BY: TEB
 DOC. NO.:
A-Sp
 FIRST FLOOR
 ELECTRICAL

NO	DATE	REVISION

GREAT
 RESIDENTIAL
 DESIGN
 1000 W. UNIVERSITY BLVD.
 SUITE 200
 TAMPA, FL 33606

ELECTRICAL PLAN



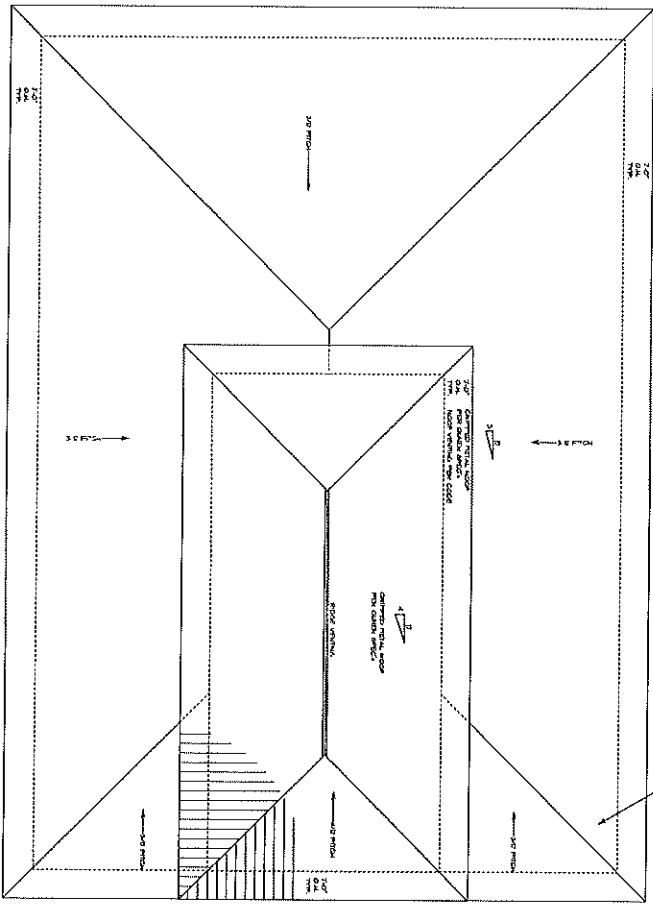
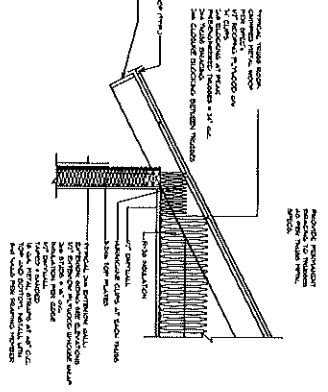
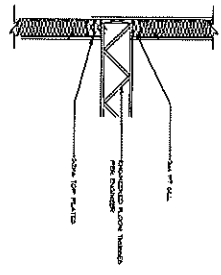
ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE LOCAL ELECTRICAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

DATE: 5/10/2021
 PROJECT NO.: 2021001
 DRAWING NO.: 0101
 DESIGNED BY: TEB
 CHECKED BY: TEB
 TITLE: SECOND FLOOR ELECTRICAL

CARLTON FAMILY RESIDENCE
 LOT #1 BLOCK "1"
 5th STREET & G AVE
 APALACHICOLA, FLORIDA

NO.	DATE	REVISION

SECTION



ROOF PLAN

DATE: 5/10/2021
 PROJECT NO.: CARLTON
 DRAWN BY: TBS
 CHECKED BY: TBS
 DATE: 5/10/21
A-71r
 ROOF PLAN

CARLTON FAMILY RESIDENCE
 LOT #1 BLOCK "B"
 5th STREET & G AVE
 APALACHICOLA, FLORIDA

NO.	DATE	REVISION

DESIGN: TBS
 CHECKED: TBS
 DATE: 5/10/21

#13

72 13th St

New Residence

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

-HISTORIC DISTRICT ONLY-

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

Owner Aught and Sheree S. Van Lierop
Address 12998 SW CR 275
City Blountstown State FL Zip 32424
Phone (850) 209-1743

CONTRACTOR INFORMATION

Contractors Name: America's Home Place, Inc.
State License # CRC1330787 City License # _____
Email Address thudson@americashomeplace.com
Phone (850) 899-9028

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

New Construction

Addition

Alteration/Renovation

Relocation

Demolition

Fence

Repair (Extensive)

Variance

Other _____

PROPERTY INFORMATION:

Street Address: 72 13th Street City & State Apalachicola, FL Zip 32320

Historic District Non-Historic District Zoning District _____

Parcel #: 01-095-08W-8330-0086-0030 Block(s) 86 Lot(s) 3

FEMA Flood Zone/Panel #: Zone X .2
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25 Side: 7.5 Lot Coverage: _____

Water Available: Yes Sewer Available: Yes Taps Paid Yes

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Tammy Owens
Permitting and Development Coordinator
(850) 658-1522
cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Home is 2 single story on a raised 32" foundation.
 Home is 55' by 42' 8", w/ front porch.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	Hardie	lap siding	13192-R6
	Hardie	shake	
Doors	Therma-tru	exterior swinging	13459-R6
		sliding	
Windows	MI	single hung impact	17999-R8
		vinyl	
Roofing	Certainteed	Landmark	5444-R16
		charcoal Black	
Trim	Hardie	Boards	13192-R6
Foundation	concrete	concrete	N/A
		raised slab 32"	
Shutters	N/A	N/A	N/A
	N/A	N/A	
Porch/Deck		wood P.T. deck boards	
Fencing	N/A	N/A	N/A
	N/A	N/A	
Driveways/Sidewalks	N/A	N/A	N/A
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

4/7/21
DATE

TJ/12
SIGNATURE OF APPLICANT

Parcel Summary

Parcel ID 01-09S-08W-8330-0086-0030
Location Address 72 13TH STREET
 32320
Brief Tax Description* BL 86 LOT 3 OR/96/235 1187/134 1187/135 1187/136 1188/80 1246/676 1246/677 1246/679 1246/680 1296/463
*The Description above is not to be used on legal documents.
Property Use Code VACANT (000000)
Sec/Twp/Rng 1-9S-8W
Tax District Apalachicola (District 3)
Millage Rate 20.2323
Acreage 0.000
Homestead N

[View Map](#)

Owner Information

Primary Owner
 Van Lierop Dwight & Sheree
 P.O. Box 545
 Blountstown, FL 32424

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	60.00	FF	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/07/2021	\$100	QC	1296	463	Unqualified (U)	Vacant	DEAD MULE HILL PROPERTIES, LLC	VAN LIEROP
N	07/31/2019	\$85,000	PR	1246	680	Unqualified (U)	Vacant	ELLER AS PERSONAL REP	DEAD MULE HILL PROPERTIES, LLC
N	01/01/1970	\$10,000	WD	96	235	Qualified (Q)	Improved		

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$60,000	\$60,000	\$38,100	\$42,000	\$36,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$60,000	\$60,000	\$38,100	\$42,000	\$36,000
Assessed Value	\$46,101	\$41,910	\$38,100	\$39,600	\$36,000
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$46,101	\$41,910	\$38,100	\$39,600	\$36,000
Maximum Save Our Homes Portability	\$13,899	\$18,090	\$0	\$2,400	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

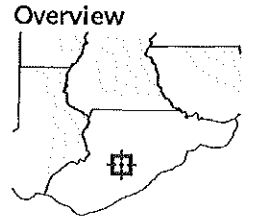
TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.



- Legend
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	01-09S-08W-8330-0086-0030	Alternate ID	08W09S01833000860030	Owner Address	VAN LIEROP DWIGHT & SHEREE
Sec/Twp/Rng	1-9S-8W	Class	VACANT		P.O. BOX 545
Property Address	72 13TH STREET	Acreage	n/a		BLOUNTSTOWN, FL 32424
District	3				
Brief Tax Description	BL 86 LOT 3 OR/96/235 (Note: Not to be used on legal documents)				

Date created: 6/9/2021
 Last Data Uploaded: 6/9/2021 7:42:46 AM

Developed by  **Schneider**
 GEOSPATIAL

FLOOD PLAIN MANAGEMENT
PERMIT APPLICATION REVIEW

DATE: _____

PERMIT #: _____

NAME: Dwight and Sherree S. Van Lierop
MAILING ADDRESS: 12498 CR 275 SW CITY/STATE/ZIP: Blountstown, FL 32424
PHONE: (850) 201-1743

STREET ADDRESS: 72 13th Street Apalachicola, FL 32320
LEGAL DESCRIPTION: Lot 3, Block 86, of the city of Apalachicola
PARCEL I.D.#: 01-095-08W-8330-0086-0030

DESCRIBE DEVELOPMENT: New residential

RESIDENTIAL: COMMERCIAL: _____ NEW STRUCTURE: SUBSTANTIAL IMPROVEMENT: _____

FLOOD ZONE INFORMATION: ZONE X .2

PANEL NO.: _____ FIRM ZONE: _____ BEI: _____ GRADE ELEVATION: _____

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE:
AND/OR TOP OF THE BOTTOM FLOOR _____ (PER PLANS)

SQUARE FEET OF ENCLOSURE BELOW BEI: 0 (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, America's Home Place, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014; my/our property may be adversely affected by those changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: 72 13th Street PARCEL I.D.#: 01-095-08W-8330-0086-0030
EFFECTIVE FLOOD ZONE: X PRELIMINARY FLOOD ZONE: X

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel.

[Signature]
Signature of owner or developer

Date

Material used for enclosure below BFE: solid wall/breakaway wall , flow through vents _____ (sq ft of vent opening), screen wire, lattice or louvers: _____

Type of foundation: Raised Mono slab
Pile Support
Concrete block stem wall
Other

Application meets all requirements designated in the flood plain management ordinance _____ Date.

Inspections:

Foundation meets the requirement for the flood zone designation:

Under construction elevation certificate has been submitted and meets elevation standards for flood zone

Enclosures below the BFE are designed as required by the flood plain management ordinance: _____

Final elevation certificate has been submitted and all aspects of the structure meet designated flood zone requirements: _____

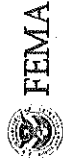
All Mechanical and A/C equipment meet the required elevation for the designated BFE: _____

Final inspection on structure meets all requirements designated in the flood plain management ordinance: _____ Date.

Flood Plain Administrator Date

National Flood Hazard Layer FIRMette

84°59'46"W 29°43'31"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

Without Base Flood Elevation (BFE)
Zone A, V, A99
With BFE or Depth Zone AE, AO, AH, VE, AR
Regulatory Floodway

0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile (Zone X)

Future Conditions 1% Annual Chance Flood Hazard (Zone X)
Area with Reduced Flood Risk due to Levee. See Notes, Zone X
Area with Flood Risk due to Levee (Zone D)

OTHER AREAS OF FLOOD HAZARD

NO SCREEN
Area of Minimal Flood Hazard (Zone X)
Effective LOMRs

OTHER AREAS

Area of Undetermined Flood Hazard (Zone X)
Channel, Culvert, or Storm Sewer
Levee, Dike, or Floodwall

GENERAL STRUCTURES

20.2 Cross Sections with 1% Annual Chance
17.5 Water Surface Elevation
8 Coastal Transect
39 Base Flood Elevation Line (BFE)
Limit of Study
Jurisdiction Boundary
Coastal Transect Baseline
Profile Baseline
Hydrographic Feature

OTHER FEATURES

Digital Data Available
No Digital Data Available
Unmapped

MAP PANELS

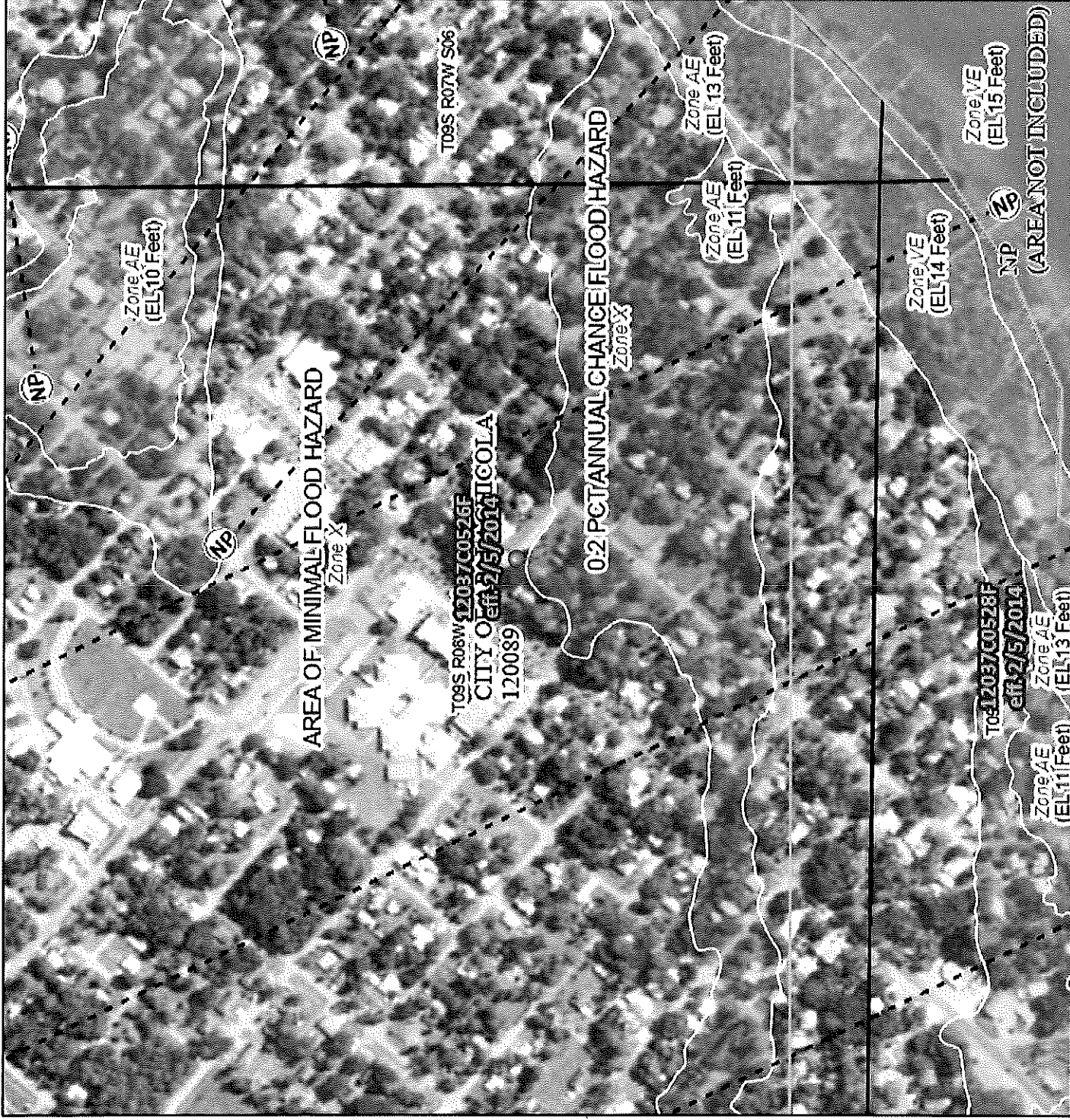


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 6/7/2021 at 2:55 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

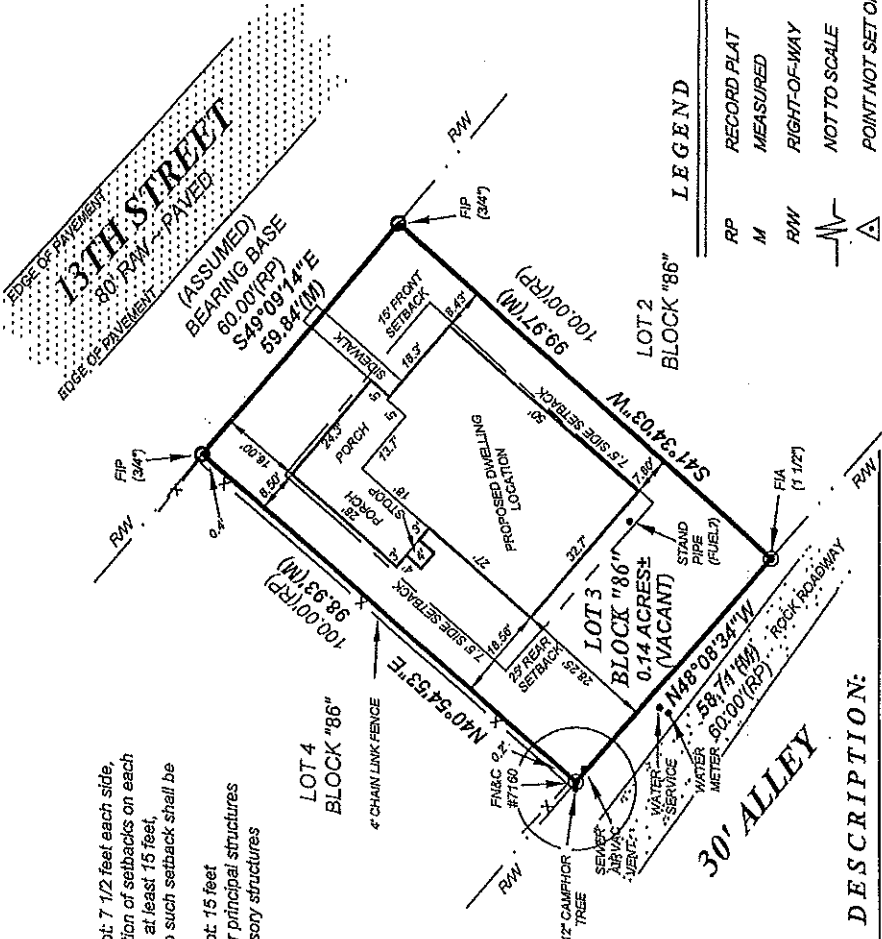


84°59'8"W 29°42'59"N

**PLAT OF SPECIFIC PURPOSE TO SHOW
SITE PLAN CERTIFIED TO:
DWIGHT VAN LIEROP**



Front: 15 ft.
Side - Interior Lot: 7 1/2 feet each side,
or any combination of setbacks on each
side that equals at least 15 feet,
provided that no such setback shall be
less than 5 feet.
Side - Corner Lot: 15 feet
Rear: 25 feet for principal structures
5 feet for accessory structures



LEGEND

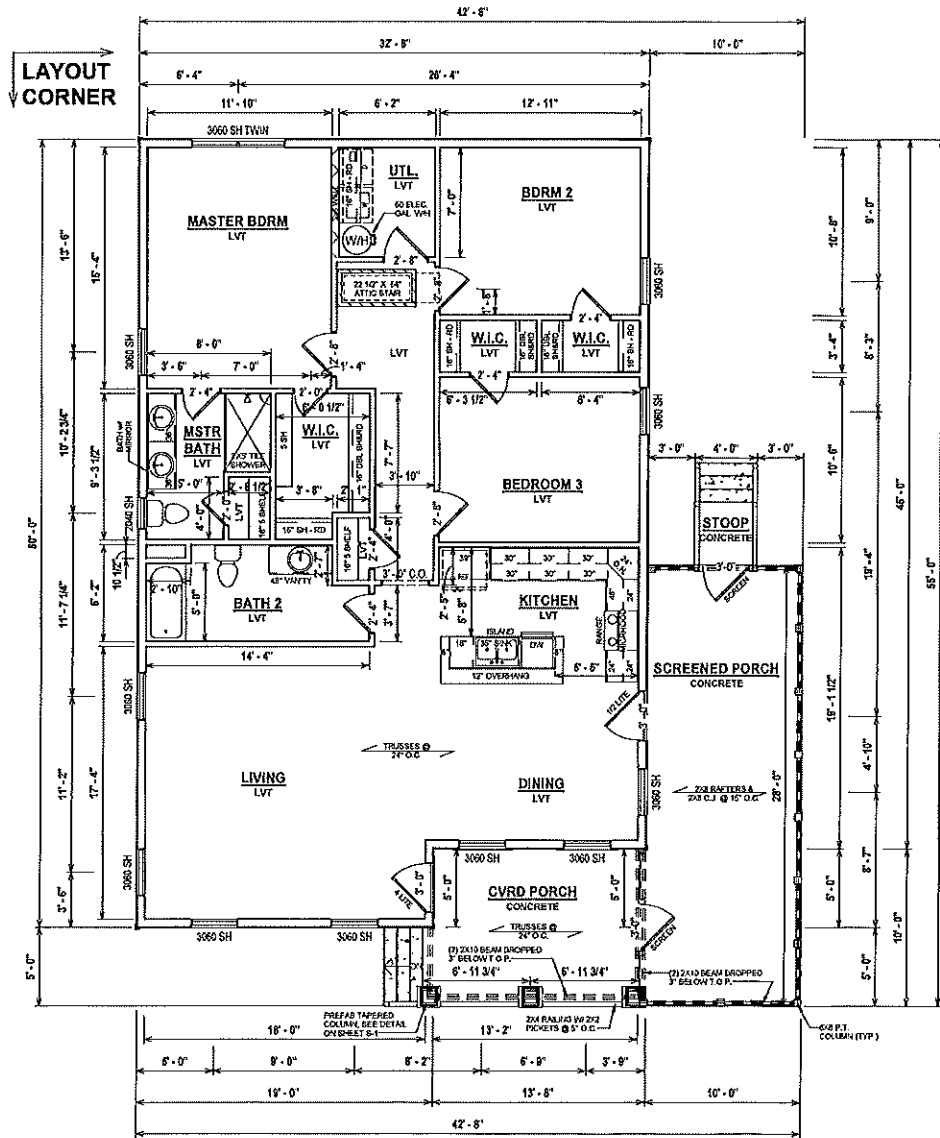
RP	RECORD PLAT
M	MEASURED
RW	RIGHT-OF-WAY
—	NOT TO SCALE
△	POINT NOT SET OR FOUND
SNC	SET NAIL & CAP #7160
FIA	FOUND IRON AXLE-1.5"
FIP	FOUND IRON PIPE

LEGAL DESCRIPTION:

Lot 3, Block "86" of THE CITY OF APALACHICOLA, a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: South boundary of subject parcel having an assumed bearing of South 41 degrees 13 minutes 09 seconds West
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. FLOOD ZONES and SETBACKS depicted hereon are not to be



1 FIRST FLOOR PLAN
1/8" = 1'-0"

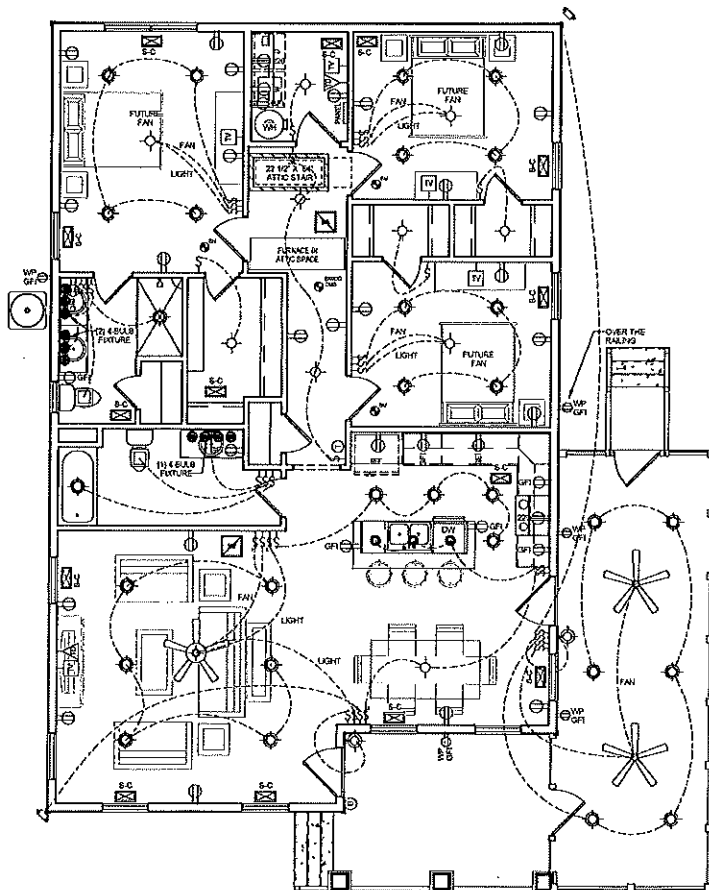
GENERAL NOTE:

- MIN 9'-1 1/8" CEILING
- ALL LOAD BEARING WALLS TO HAVE (2) 2X10 HEADS OTHERWISE NOTED
- STANDARD FIRST FLOOR TO BE FRAMED DOWN EXCEPT AS NOTED
- 7/16" O.S.B. AND HOLD DIMENSIONS ARE TO SUBTRACT 1/2" FROM EXTERIOR WINDOW LOCATION IF OPENING SHEATHING INSTALLATION
- ALL INTERIOR DOORS ON WALLS OR R.O.S. ADJOINING WALL UNDIMENSIONED
- NUMBER OF STAIR TREADS VARY AS A RESULT OF CODES, STANDARDS
- ALL SHELVING TO BE HEIGHT OFF FLOOR: SINGLE-68" DOUBLE 42" & 84"
- ALL PLUMBING FIXTURE REPRESENTATION OF ONLY, ACTUAL STYLE FIXTURES MAY VARY
- ALL TUBS/SHOWERS, FLANGE
- INSTALL A 24" WIDE WALL PORCH, STOOP, & DECK INCLUDED WITH SLAB FINISH RAILINGS ARE A FORK PORCH IS OVER 30" H

SPECIAL NOTE

- 2x6 EXTERIOR WALLS
- STORAGE SHELVING I
- 140 MPH WINDZONE
- 5/8" OSB EXTERIOR WALLS
- 5/8" CDX PLYWOOD ROOF
- IMPACT RESISTANT
- 2 TO 3 EXTRA RUNS OF VINYL
- PORCH AND STOOP FINISH INCLUDED WITH SLAB FINISH RAILINGS IS FORCED PORCH IS OVER 32" H
- SPECIAL PRICING FOR

OPT. PAPER SIZE: for 1/4" = 1'-0"
FINAL CONSTR



ELECTRICAL NOTES:

BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY ARO-FAULT CIRCUIT INTERRUPTER, ART. 210-12(B) 2016 NEC

CONFORM ELECTRICAL WIRING & COMPONENTS TO CURRENT NEC PROVISIONS OF 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE

OUTLET LOCATIONS ARE REPRESENTATION ONLY

ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE

ALL WALL MOUNTED T.V. UTILETS 60" A.F.F. UNLESS OTHERWISE NOTED

HVAC NOTES:

- FURN. NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE. IN ACCORDANCE WITH ALL APPLICABLE CODES
- BUILDER & HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS OR LINES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT & CENTRALLY LOCATED AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10'-0" AWAY MIN. FROM DRYER VENT

SPECIAL PRICING FOR 3 GFI EXTERIOR PLUGS FOR SIDE OF HOUSE (2 IN SCREEN ROOM AND 1 BEHIND)

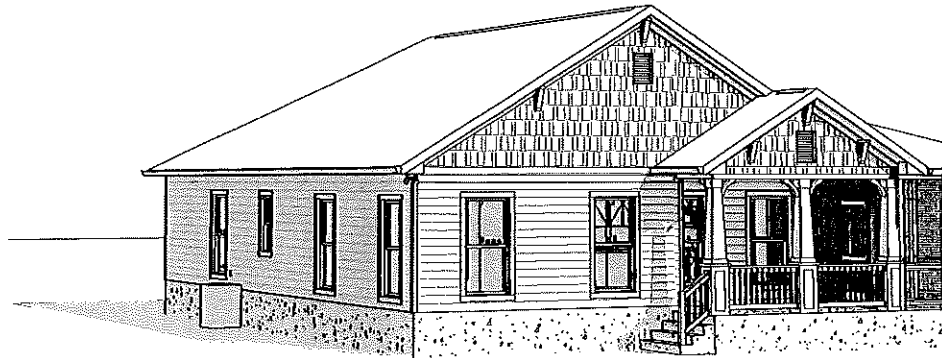
ELI
Ceiling Fan
Ceiling Fan
Detector - C
Detector - C
Detector - E
Fan - Bath
Fan - Bath
Light - Cab
Light - Cab
Light - Fluo
Light - Fluo
Light - Fluo
Light - Fluo
Light - Fluo
Light - Fluo
Light - Wall
Light - Wall
Med - CAT
Med - Door
Med - Phon
Med - Ther
Outlet
Outlet - Dry
Outlet - Flo
Outlet - Fluo
Outlet - GFI
Outlet - Eng
Panel
Switch
Switch - 3V
Switch - 4V

① FLOOR ELECTRICAL & HVAC PLAN
1/8" = 1'-0"

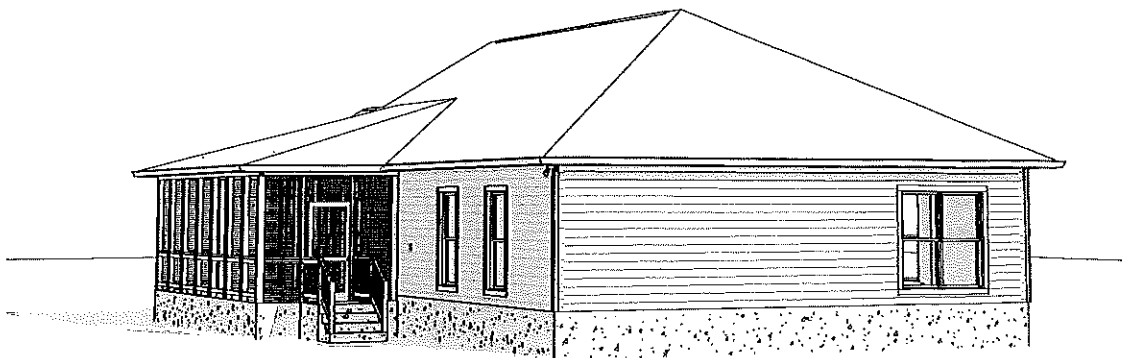
OPT. PAPER SIZE: for 1/4" = 1'-0"
FINAL CONSTR

SHEET LIST - CONSTRUCTION

Sheet Number	Sheet Name
C-0	COVER SHEET
E-1	FRONT & REAR ELEVATIONS
E-2	LEFT & RIGHT ELEVATIONS
E-3	ROOF OVERVIEW PLAN
F-1	FOUNDATION PLAN
F-1.1	FOUNDATION DETAILS
F-2	FLOOR PLAN
H-1	FLOOR ELECTRICAL & HVAC PLAN
S-1	DETAILS & SECTIONS
S-2	DETAILS & SECTIONS



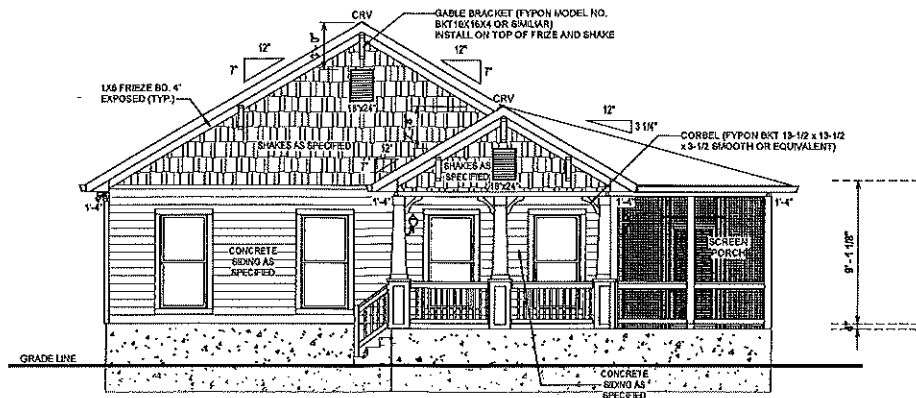
FRONT 3D VIEW



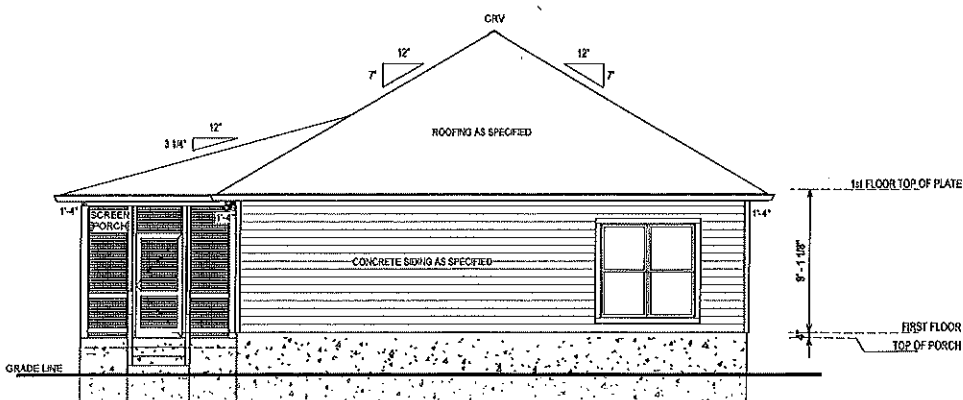
REAR 3D VIEW

OPT. PAPER SIZE: for 1/4" = 1'-0"

FINAL CONSTR



① FRONT ELEVATION
1/8" = 1'-0"



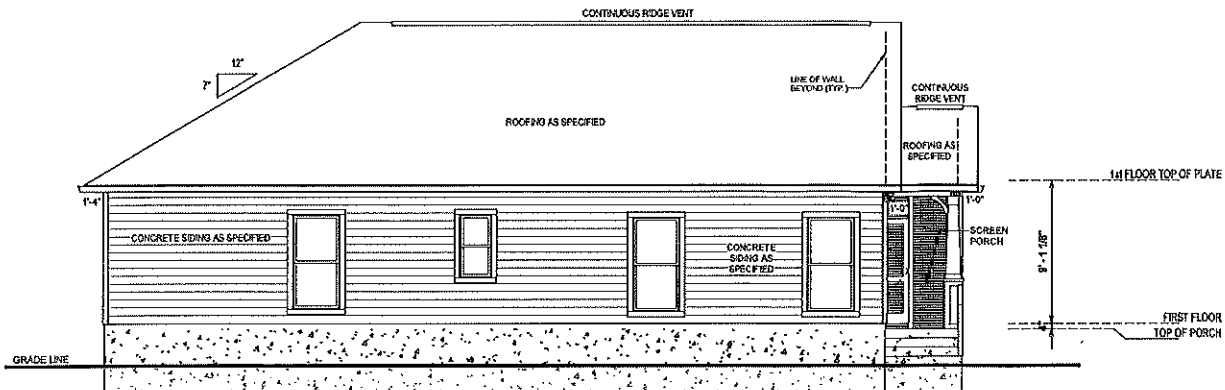
② REAR ELEVATION
1/8" = 1'-0"

GENERAL NOTES

- MIN. 6'-1 1/8" CEILING HEIGHT O
 - 7/16" O.S.B. AND HOUSEWRAP I
 - ROOF OVERHANGS, AS NOTED, SHEATHING TO RAFTER TAILS F BE DETERMINED ON SITE; FOUR AS REPRESENTATION ONLY PORCH, STOOP, & DECK HANDF INCLUDED w/ SLAB FOUNDATIO
- NOTE: RAILINGS ARE A FORCEE PORCH IS OVER 32" HIGH

FINAL GRADE TO BE I

OPT. PAPER SIZE: for 1/4" = 1'-0"
FINAL CONSTR



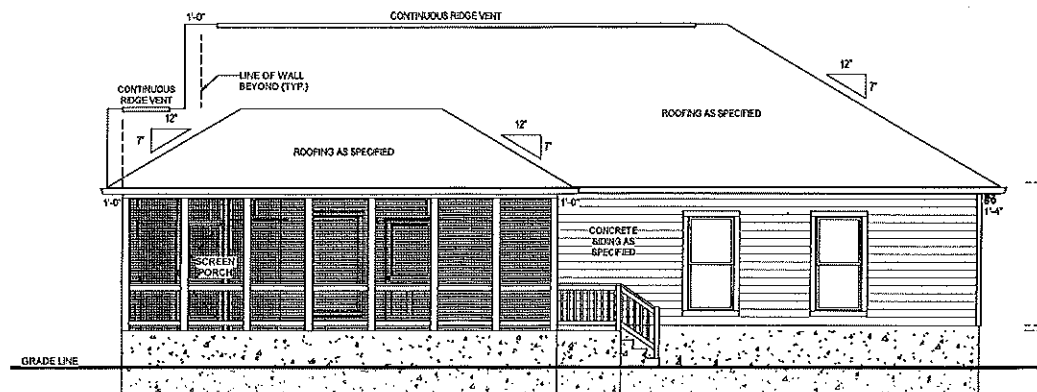
① LEFT ELEVATION
1/8" = 1'-0"

GENERAL NOTE

- MIN. 9'-1 1/8" CEILING
- 7/16" O.S.B. AND HOU
- ROOF OVERHANGS, / SHEATHING TO RAFTS BE DETERMINED ON I AS REPRESENTATION PORCH, STOOP, & DE INCLUDED w/ SLAB FC

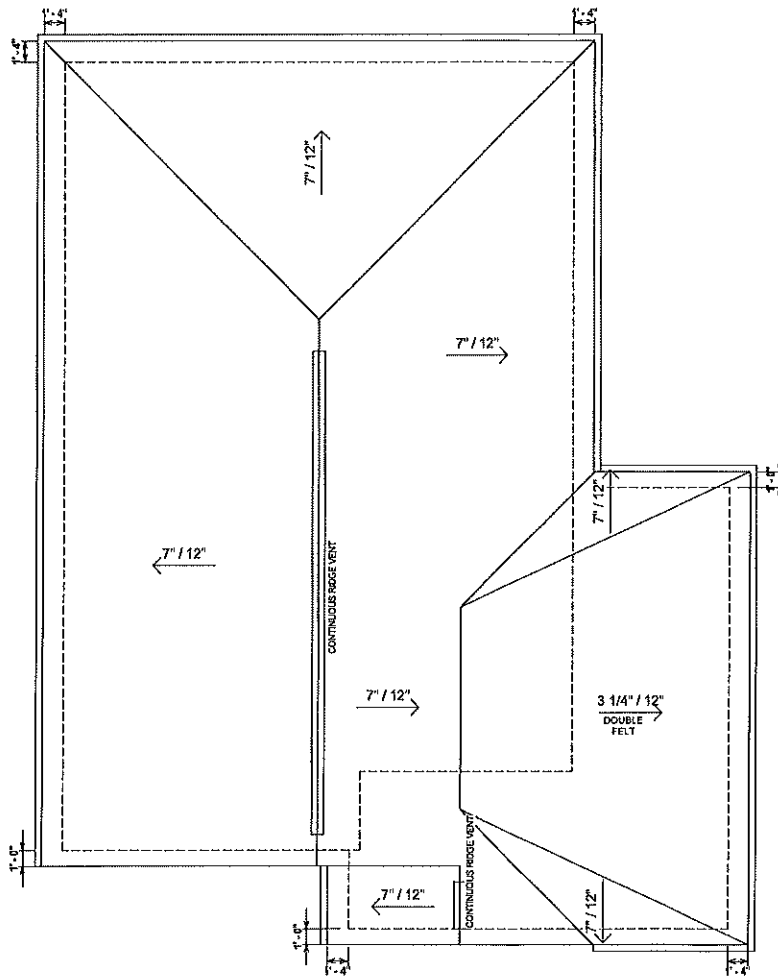
NOTE: RAILINGS ARE PORCH IS OVER 32" H

FINAL GRADE TO



② RIGHT ELEVATION
1/8" = 1'-0"

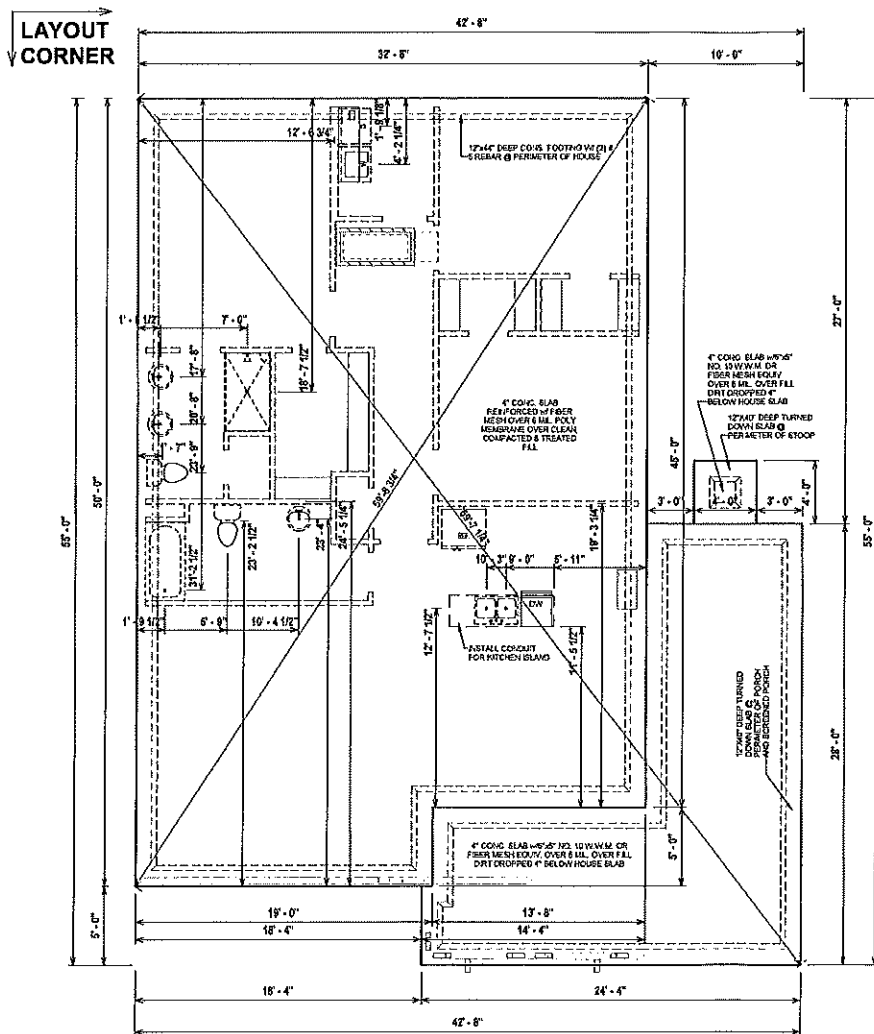
OPT. PAPER SIZE: for 1/4" = 1'-0"
FINAL CONSTR



7:12 OWH = 5 1/4"

① ROOF OVERVIEW PLAN
1/8" = 1'-0"

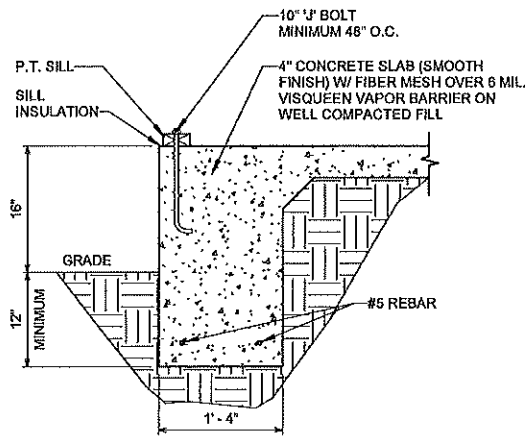
OPT. PAPER SIZE: for 1/4" = 1'-0"
FINAL CONSTR



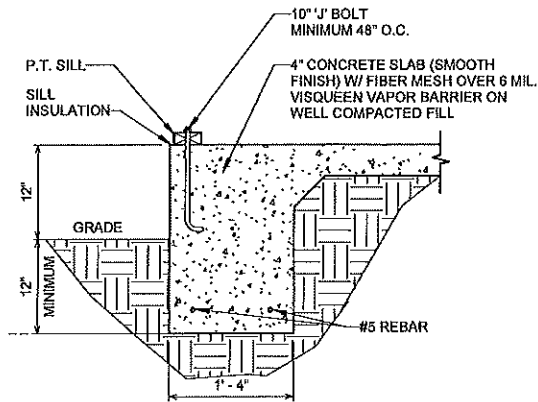
FOUNDATION INSPECTIO
 A FOUNDATION SURVEY SHALL BE PI
 AND A COPY OF THE SURVEY SHALL
 SITE FOR THE BUILDING INSPECTOR.
 ALL PROPERTY MARKERS SHALL BE
 A STRING STRETCHED FROM MARKS
 TO VERIFY REQUIRED SETBACKS.

① FOUNDATION PLAN
 1/8" = 1'-0"

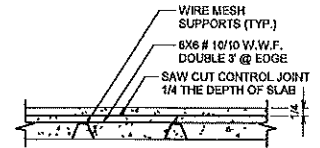
OPT. PAPER SIZE: for 1/4" = 1'-0"
FINAL CONSTR



① 1 STORY RAISED MONOSLAB DETAIL
3/4" = 1'-0"



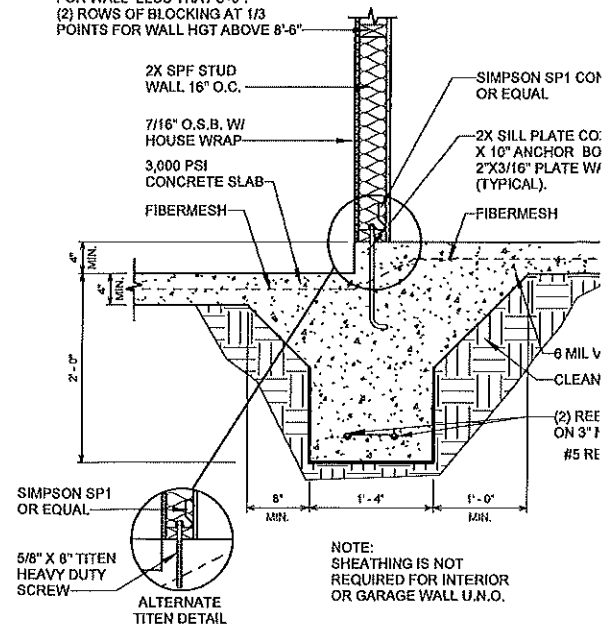
② RAISED PORCH MONOSLAB DETAIL
3/4" = 1'-0"



- NOTES:
- FOR A 4" SLAB, CUT 1"
 - CUT MUST BE MADE WITHIN 12 HOURS OF CONCRETE PLACEMENT.
 - AREAS SHOULD NOT EXCEED 300 SQ. FT.

③ CONTROL JOINT DETAIL
3/4" = 1'-0"

- (1) ROW 2X BLOCKING AT MID HGT. FOR WALL LESS THAN 8'-6".
(2) ROWS OF BLOCKING AT 1/3 POINTS FOR WALL HGT ABOVE 8'-6"



④ BEARING WALL AT STEP
3/4" = 1'-0"

OPT. PAPER SIZE for 1/4" = 1'-0"
FINAL CONSTR

ROOF SYSTEM

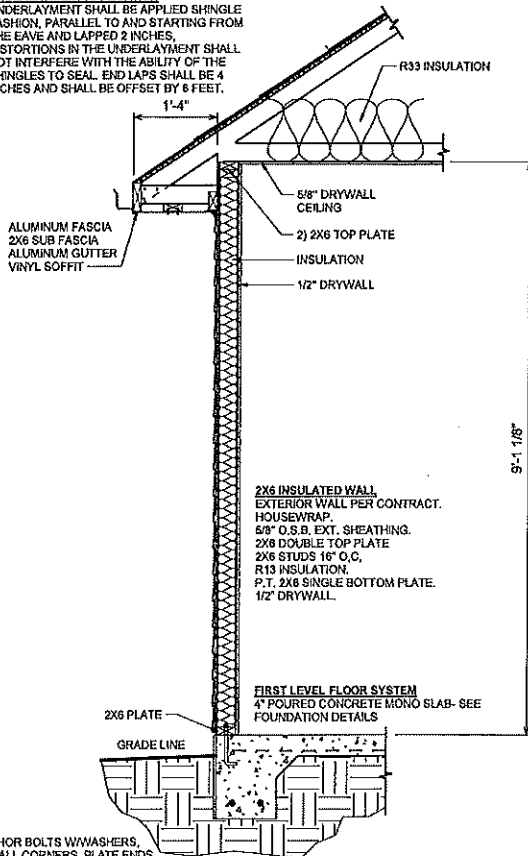
ROOF COVERING AS SPECIFIED DOUBLE LAYER OF SYNTHETIC UNDERLAYMENT WITH 7/16" OSB SHEATHING NAILED AND CLIPPED PRE ENGINEERED ROOF TRUSSES PER PRINT R-33 INSULATION IN FLAT AREAS R-39 INSULATION IN SLOPED AREAS

UNDERLAYMENT MATERIALS

UNDERLAYMENT MATERIALS TO COMPLY WITH ASTM D226, D4869 TYPE III OR TYPE IV SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.

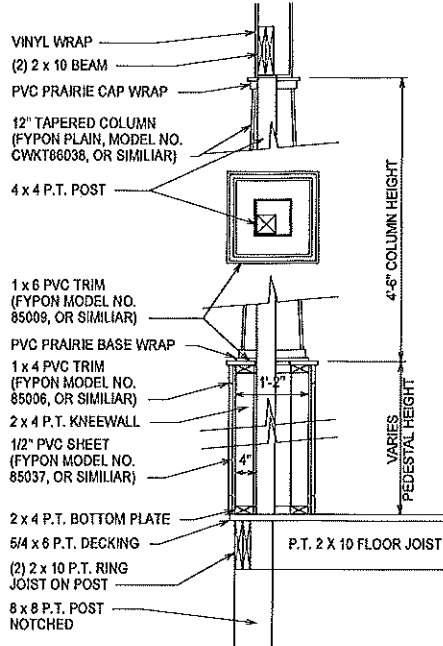
UNDERLAYMENT APPLICATION

UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES AND SHALL BE OFFSET BY 6 FEET.



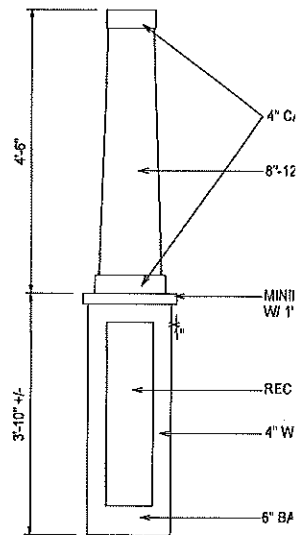
NOTE:
1/2" X 10' ANCHOR BOLTS WITH WASHERS, WITHIN 6" OF ALL CORNERS, PLATE ENDS AND EACH SIDE OF AN OPENING, THEN SPACED A MINIMUM OF 4'-0" O.C. OR AS REQUIRED.

① 1 STORY WALL SECTION ON SLAB - FL
1/2" = 1'-0"

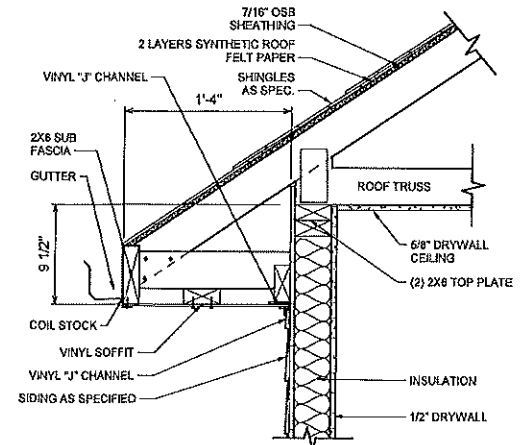


③ PEDESTAL DETAIL
1/2" = 1'-0"

PEDESTAL DETAIL
N.T.S.



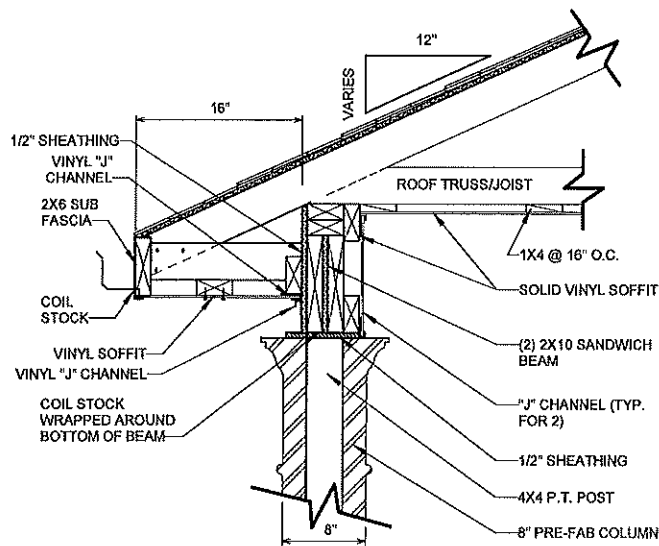
COLUMN DETAIL
N.T.S.



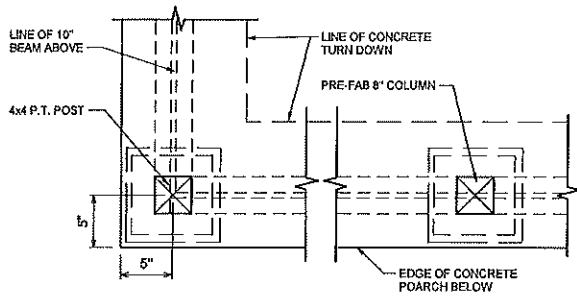
② 400.1 RAFTER TAIL AT SIDING WALL - FL
1" = 1'-0"

OPT. PAPER SIZE: (for 1/4" = 1'-0")

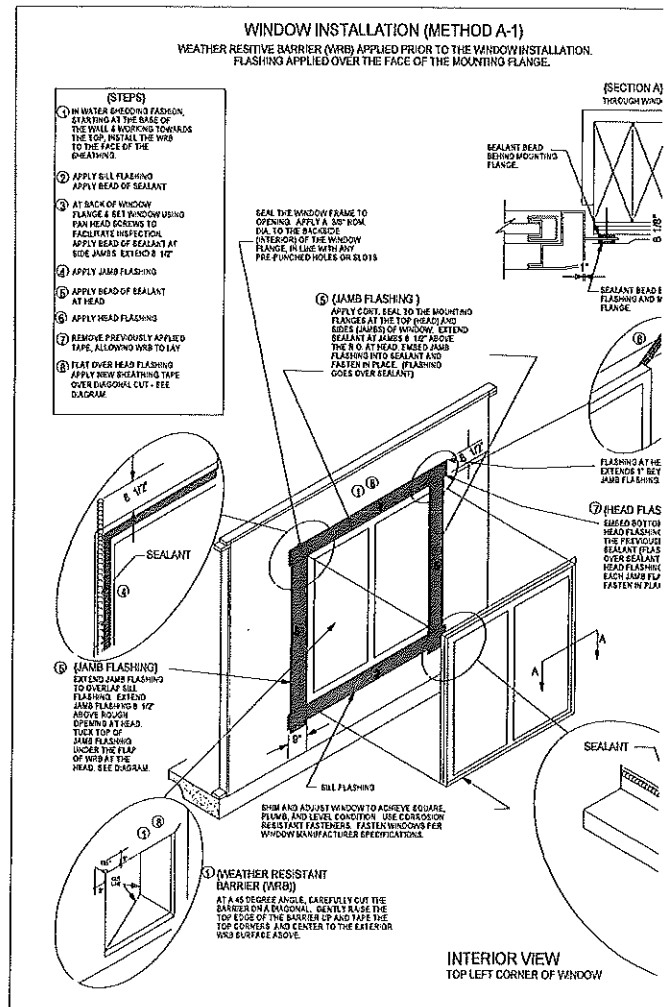
FINAL CONSTR



① 8" COLUMN PORCH SOFFIT DETAIL - FL
1" = 1'-0"



② 820.2 PORCH 8" COLUMN FRAMING ON SLAB
1" = 1'-0"



③ WINDOW INSTALLATION (TYPICAL)
3/16" = 1'-0"