

**CITY OF APALACHICOLA**  
PLANNING & ZONING BOARD  
REGULAR MEETING  
MONDAY, JANUARY 13<sup>TH</sup>, 2020  
Community Center/ City Hall -1 Bay Avenue  
Agenda

**Regular Meeting - 6:00 P.M.**

1. Approval of December 9th, 2019 Regular Meeting Minutes
2. Review, Discussion and Decision for a New 12' x 48' 6" Porch **(Historic District)( R-1) @74 Avenue K Block 180, Lot 6** For—Andy Stivers—Owner; Contractor: Hutchinson Design & Construction, Inc.
3. Review, Discussion and Decision for a New Single Family Residence with tree removal **(R-2) @ 270 Acola Avenue Block 5, Lots 7 & 8** For—Doug Lawrence—Owner; Contractor: Gulf Coast Field Services, LLC.
4. Review, Discussion and Decision for a New Single Family Residence with a shed. **(Historic District)(R-1) @ 59 15<sup>th</sup> St.** Block 96, Lot 6. For—Thomas & Rennie Edwards—Owner; Contractor: Gary Ulrich Construction Inc.
5. Review, Discussion and Decision for remodeling & relocating an accessory structure from 48 4<sup>th</sup> St. to 49 Ave. D & tree removal. **(Historic District)(R-1) @ 59 Avenue D Block 9, ½ of Lot 10 & ½ of Lot 9.** For—Steven Etchen—Owner; Contractor: Ducky Johnson
6. Review, Discussion and Decision for a New Single Family Residence with tree removal **(Historic District)(R-2). @ 232 6<sup>th</sup> St. Block 175, Lot 3.** For—Pete Wingate—Owner; Contractor: Owner.
7. Review, Discussion and Decision for a New Single Family Residence with a shed **(R-1). @ 27 Myrtle Ave. Block 8, Lot 16.** For—Al & Donna Ingle—Owner; Contractor: Owner.
8. Review, Discussion and Decision for a shed **(R-1). @ 250.5 Hwy 98.** For—Jay Chesley—Owner; Contractor: Owner.

**CITY OF APALACHICOLA**  
PLANNING & ZONING BOARD  
REGULAR MEETING  
MONDAY, JANUARY 13<sup>TH</sup>, 2020  
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9. Review, Discussion and Decision for a New Single Family Residence **(R-2)**. @ **171 20<sup>th</sup> St. Block 247, Lots 26 & 27**. For—DGHG, LLC—Owner; Contractor: Galloway Construction
  
10. Review, Discussion and Decision for a New Single Family Residence **(R-2)**. @ **229 Fred Meyer St. Block 247, Lots 16 & 17**. For—DGHG, LLC—Owner; Contractor: Galloway Construction
  
11. Review, Discussion and Decision for a New Single Family Residence **(R-2)**. @ **159 20<sup>th</sup> St. Block 247, Lots 20 & 21**. For—DGHG, LLC—Owner; Contractor: Galloway Construction



**CITY OF APALACHICOLA**  
**PLANNING & ZONING BOARD**  
**REGULAR MEETING**  
**MONDAY, DECEMBER 9<sup>TH</sup>, 2019**  
**Community Center/City Hall - 1 Bay Avenue**  
**AGENDA**

**Regular Meeting – 6:00 P.M.**

1. Approval of November 12th, 2019 Regular Meeting Minutes. **Motion to approve: Constance Peck, second by Elizabeth Milliken. Motion carried.**
  
2. Review, Discussion and Decision for a 3 FT. High Fence **(Historic District)(C-2) @ 165/ 171 7<sup>th</sup> St. Block 178, Lots 9 & 30' x 50' of Lot 10** For –**John Fitzhugh**—Owner; Contractor: Owner. **Motion to approve: Constance Peck, second by Elizabeth Milliken. Motion carried.**
  
3. Review, Discussion and Decision for a 10' x 14' Shed with Attached 10' x 6' Covered Carport Area **(Historic District)(R-1) @226 9<sup>th</sup> St. Block 162, Lot 2** For—**Janine Gedmin**—Owner; Contractor: To Be Determined. **Motion to approve: Constance Peck, second by Elizabeth Milliken. Motion carried.**
  
4. Review, Discussion and Decision for new siding, new windows, a 12' x 24' Back Porch Addition & 11' x 26' Front Porch Addition. **(Historic District)(R-1) @ 24 12<sup>th</sup> St. Block 51, Lots 4 & 5 & Half of Lot 3.** For—**Alison & William Green**—Owner; Contractor: Titus Alcorn Construction Corp. **Motion to approve: Constance Peck, second by Elizabeth Milliken. Motion carried.**

**Motion to Adjourn: Constance Peck, second by Elizabeth Milliken. Motion carried.**

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Chairperson Signature / Date



Building Dept. Review Summary

P&Z Meeting October 14, 2019

Address: 74 Avenue K Corner Lot

Zoning: R-1

Historic District: Yes

Block: 180

Lot: 6

Project Description: New Porch 12' x 48' 6" 582 Sq. Ft.

Flood Zone: X

Lot Size: 60' x 100'

Impervious Surface Proposed: 29% Allowed: 40%

Height Proposed: No Changes to Existing Peak of Roof Allowed: 35' Complies with LDC

Main Structure (House with Porch)

Setbacks Required: Front (Ave. K): 15' Rear: 25' Front (6<sup>th</sup> St.): 15' Left: 5'

Setbacks proposed: Front (Ave. K): 17.78' Rear: 25' Front (6<sup>th</sup> St.): 16.32' Left: 6.8'

Setbacks Proposed: Complies with LDC

EPCI  
APALACHICOLA BUILDING DEPARTMENT



APPLICATION FOR BUILDING PERMIT

Official Use Only  
DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: ANDY STIVERS  
ADDRESS: 74 AVE K, APALACHICOLA, FL  
CITY, STATE & ZIP CODE: 32320 PHONE # 404-840-8424

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: JOE HUTCHINSON HUTCHINSON DESIGN+CONSTRUCTION, INC.  
ADDRESS: 315 PARADISE LN, APALACHICOLA, FL  
CITY, STATE & ZIP CODE: 32320 PHONE # 850-653-3175  
STATE LICENSE NUMBER: CGC062212 CELL # 850-653-5088  
COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 74 AVE K, APALACHICOLA, FL 32320  
PROPOSED USE OF SITE: RESIDENCE

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # \_\_\_\_\_  
LEGAL DESCRIPTION OF PROPERTY: LOT 6, BLOCK "180"

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS: \_\_\_\_\_

BONDING COMPANY: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family     Townhouse     Commercial     Industrial  
 Duplex     Swimming Pool     Storage     Sign  
 Multi-Family     Demolition     Other

Addition, Alteration or Renovation to building HURRICANE MICHAEL DAMAGED ROOF REPLACE OVER HOUSE AND NEW 12' X 44' PORCH

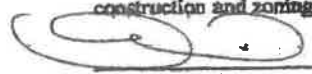
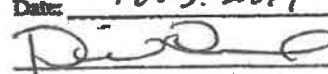
Distance from property lines: Front 40' Rear 6' 8" L. Side 37'  
R. Side 17'


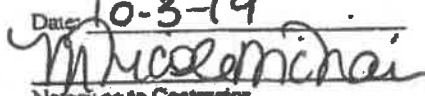
Cost of Construction \$ \_\_\_\_\_ Square Footage PORCH 528 SQ FT  
EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
Area Heated/Cooled NONE # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
Type of Roof GABLE Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

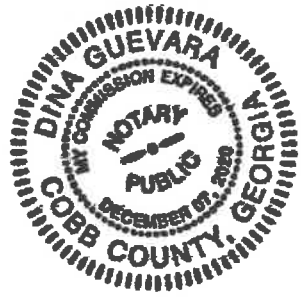
**NOTICE:** EPC/C: The EPC/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

  
Signature of Owner or Agent  
Date: 10-3-2019  
  
Notary as to Owner or Agent  
My Commission expires: 12/07/2020

  
Signature of Contractor  
Date: 10-3-19  
  
Notary as to Contractor  
My Commission expires: 01/30/21

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL



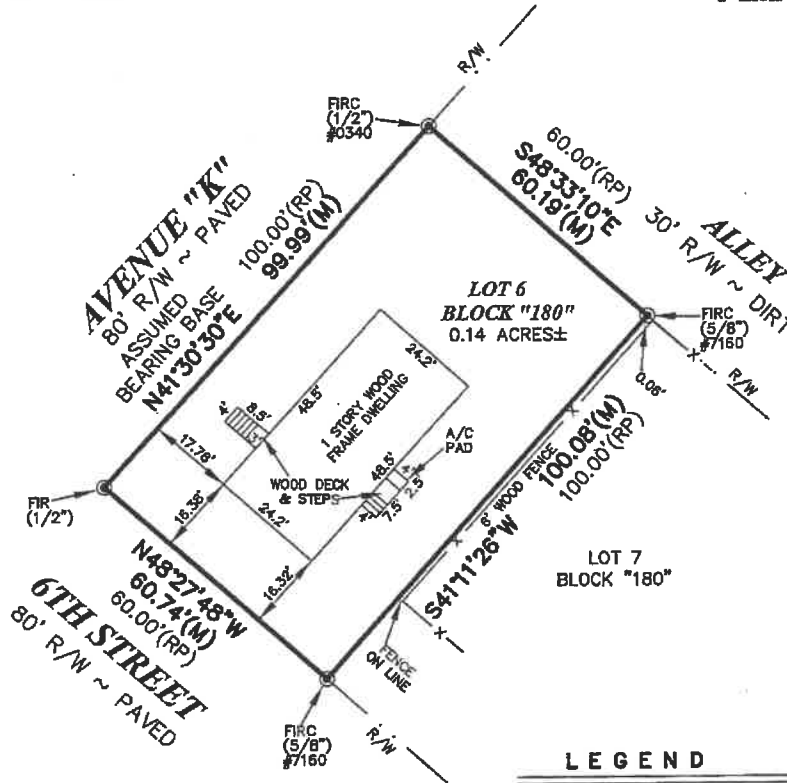


**PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
 ANDREW R. STIVERS and ANNE H. GOEHRING,  
 ALLIANT,  
 KRISTY BRANCH BANKS, P.A.,  
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**

**GRAPHIC SCALE**



( IN FEET )  
 1 inch = 30 ft.



**LEGAL DESCRIPTION:**  
 Lot 6, Block "180" of THE CITY OF APALACHICOLA, a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

**LEGEND**

- FCM FOUND CONCRETE MONUMENT
- R/W RIGHT-OF-WAY
- M MEASURED
- NOT TO SCALE
- POINT NOT SET OR FOUND
- SIRC SET (5/8") IRON ROD AND CAP #7160
- FIRC FOUND IRON ROD AND CAP
- RP RECORD PLAT
- FIR FOUND IRON ROD

**NOTES:**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northwestly right-of-way boundary of "Avenue K" having an assumed bearing of North 41 degrees 30 minutes 30 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

**FLOOD ZONE INFORMATION:**

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0526F index date: February 5, 2014, Franklin County, Florida.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title of boundary to the subject property. If it is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

*James T. Roddenberry*

JAMES T. RODDENBERRY  
 Surveyor and Mapper  
 Florida Certificate No: 4251

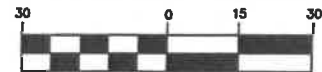
**TR & A THURMAN RODDENBERRY & ASSOCIATES, INC**  
 PROFESSIONAL SURVEYORS AND MAPPERS  
 P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358  
 PHONE NUMBER: 850-943-2534 FAX NUMBER: 850-943-1195  
 LB # 7140

DATE: 05/31/18	DRAWN BY: BB	N.B.598 PG.62	COUNTY: Franklin
FILE: 18278.DWG	DATE OF LAST FIELD WORK: 05/30/18	JOB NUMBER: 18-278	

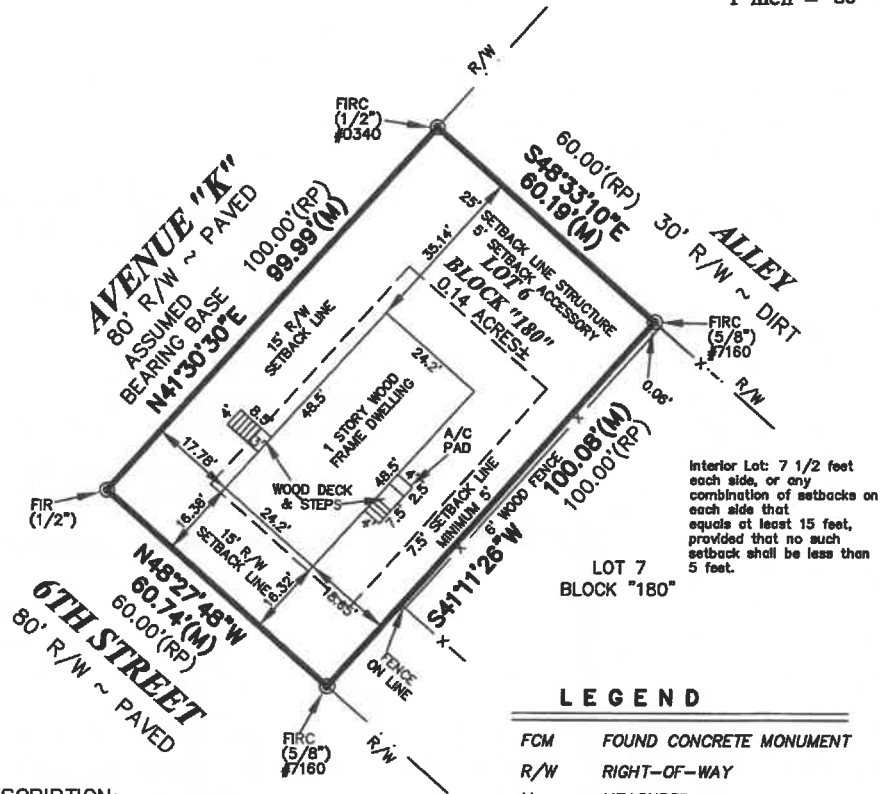


**PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
 ANDREW R. STIVERS and ANNE H. GOHRING,  
 ALLIANT,  
 KRISTY BRANCH BANKS, P.A.,  
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**

**GRAPHIC SCALE**



( IN FEET )  
 1 inch = 30 ft.



Interior Lot: 7 1/2 feet each side, or any combination of setbacks on each side that equals at least 15 feet, provided that no such setback shall be less than 5 feet.

**LEGAL DESCRIPTION:**  
 Lot 6, Block "180" of THE CITY OF APALACHICOLA, a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

- FCM FOUND CONCRETE MONUMENT
- R/W RIGHT-OF-WAY
- M MEASURED
- NOT TO SCALE
- POINT NOT SET OR FOUND
- SIRC SET (5/8") IRON ROD AND CAP #7160
- FIRC FOUND IRON ROD AND CAP
- RP RECORD PLAT
- FIR FOUND IRON ROD

**NOTES: REVISED 02/14/19; UPDATED BUILDING SETBACKS - MD**

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2. BEARING REFERENCE: Northwestern right-of-way boundary of "Avenue K" having an assumed bearing of North 41 degrees 30 minutes 30 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. All SETBACKS are to be verified with the Franklin County Building Department prior to any on site construction.

**FLOOD ZONE INFORMATION:**

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0526F index date: February 5, 2014, Franklin County, Florida.

REVISED 06/05/18: ADDED SETBACKS-BB

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

**TR & A THURMAN RODDENBERRY & ASSOCIATES, INC**  
 PROFESSIONAL SURVEYORS AND MAPPERS  
 P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPFF, FLORIDA 32358  
 PHONE NUMBER: 850-943-3538 FAX NUMBER: 850-943-1183  
 LB 9 7160

DATE: 05/31/18	DRAWN BY: BB	N.B.598 PG.62	COUNTY: Franklin
FILE: 18276.DWG	DATE OF LAST FIELD WORK: 05/30/18	JOB NUMBER: 18-276	

**JAMES T. RODDENBERRY**  
 Surveyor and Mapper  
 Florida Certificate No: 4261

*[Handwritten signature]*

# AVENUE "K"

80' R/W ~ PAVED

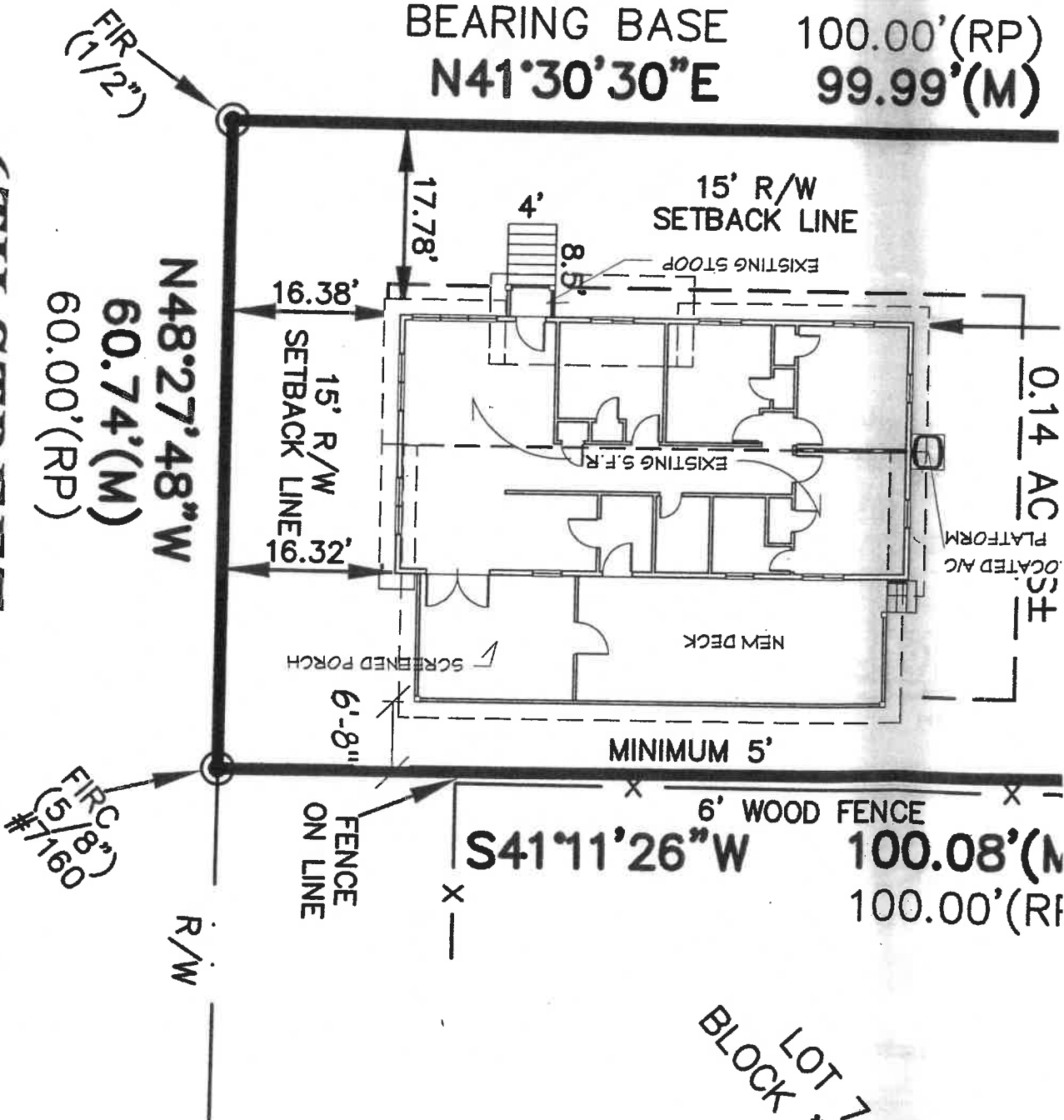
ASSUMED

BEARING BASE 100.00'(RP)

N41°30'30"E 99.99'(M)

80' R/W ~ PAVED  
**6TH STREET**

N48°27'48"W  
60.74'(M)  
60.00'(RP)



LOT 7  
BLOCK "18"

# STIVERS ADDITION

74 AVENUE K, APALACHICOLA, FL 32320

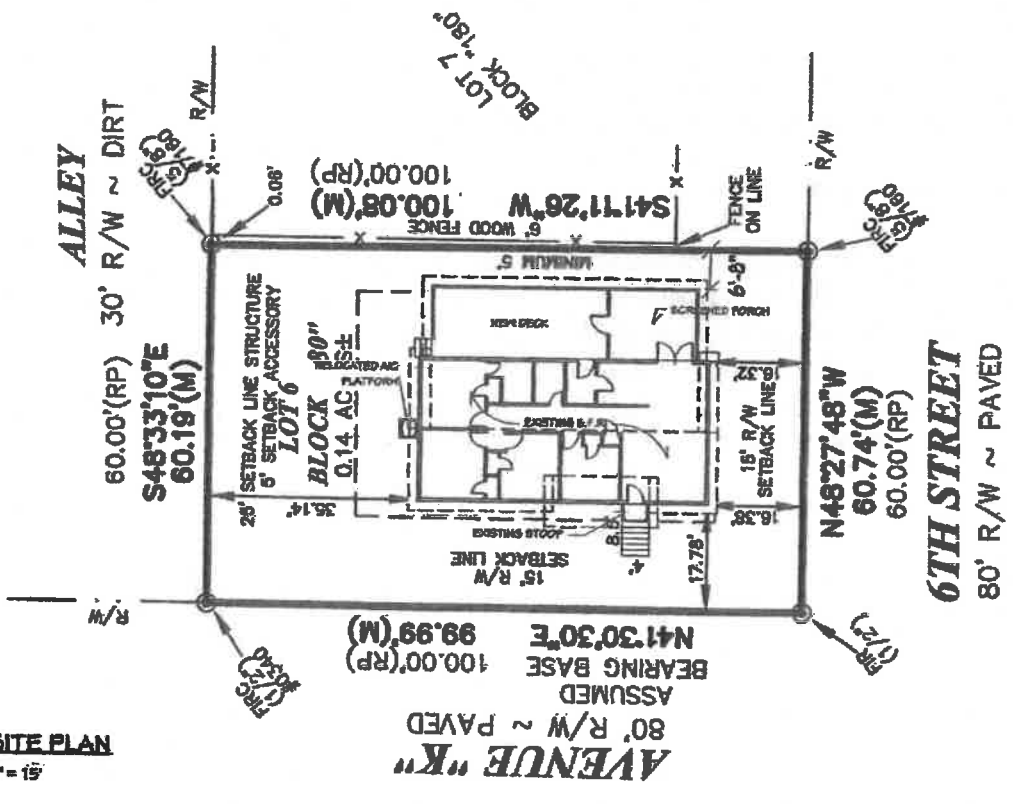
## DRAWING INDEX

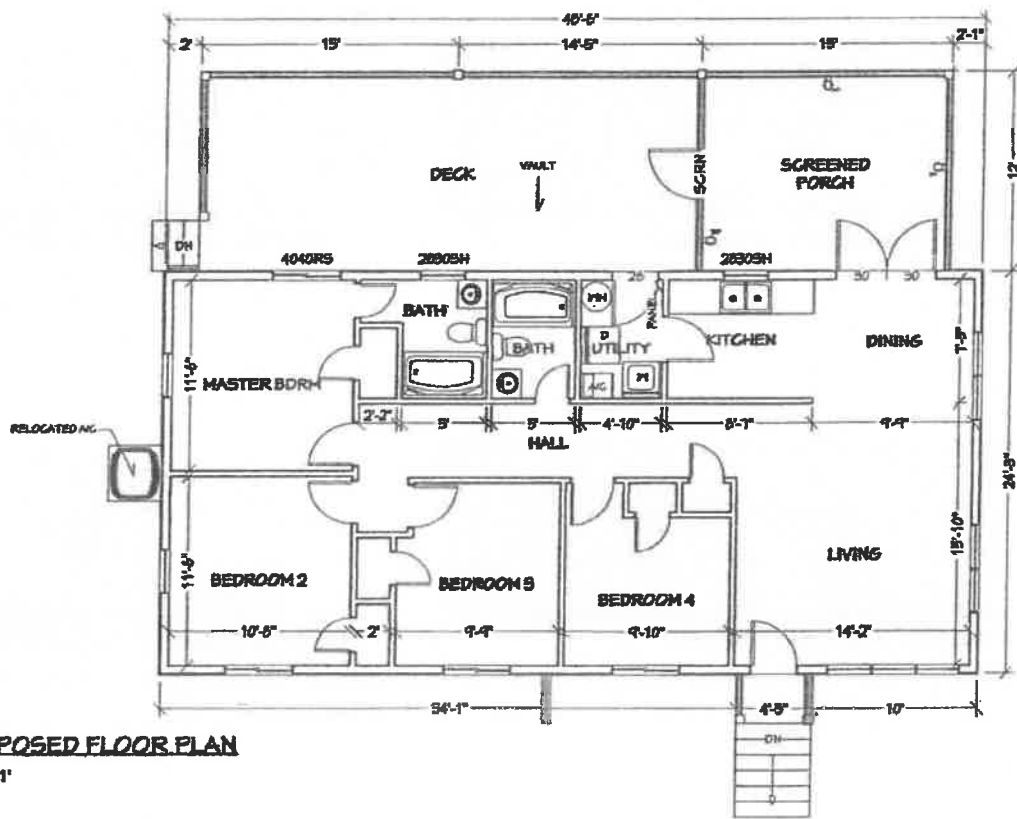
- A-1 PROPOSED SITE PLAN
- A-2 PROPOSED FLOOR PLAN
- A-3 PROPOSED ELEVATIONS
- A-4 FLOOR AND ROOF FRAMING
- A-5 SECTION
- A-6 RIDGE DETAIL



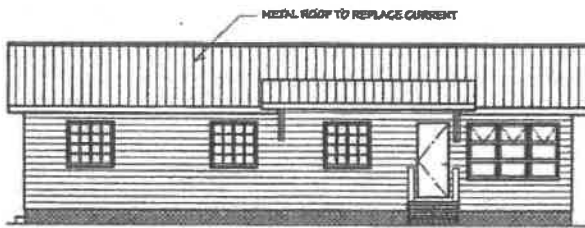
date	01/20/14
rev	4
drawn	LEE BENOIT

professional seal



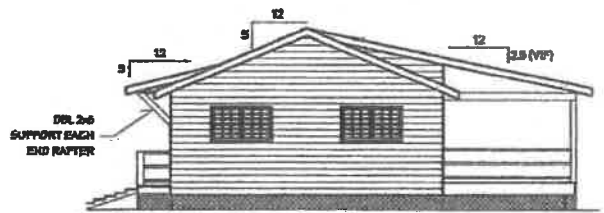


**PROPOSED FLOOR PLAN**  
 3/16" = 1'



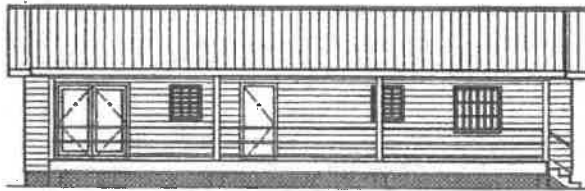
**PROPOSED FRONT ELEVATION**

1/8" = 1'



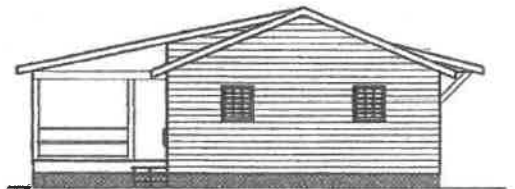
**PROPOSED RIGHT ELEVATION**

1/8" = 1'



**PROPOSED REAR ELEVATION**

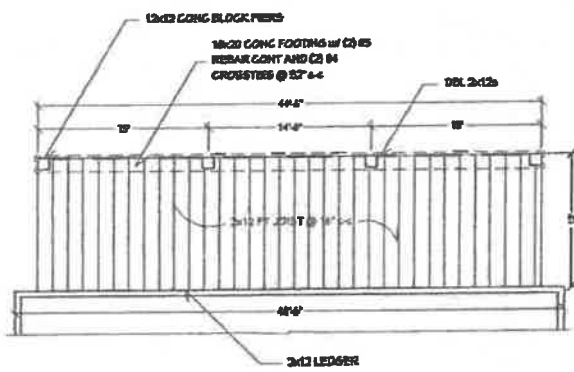
1/8" = 1'



**PROPOSED LEFT ELEVATION**

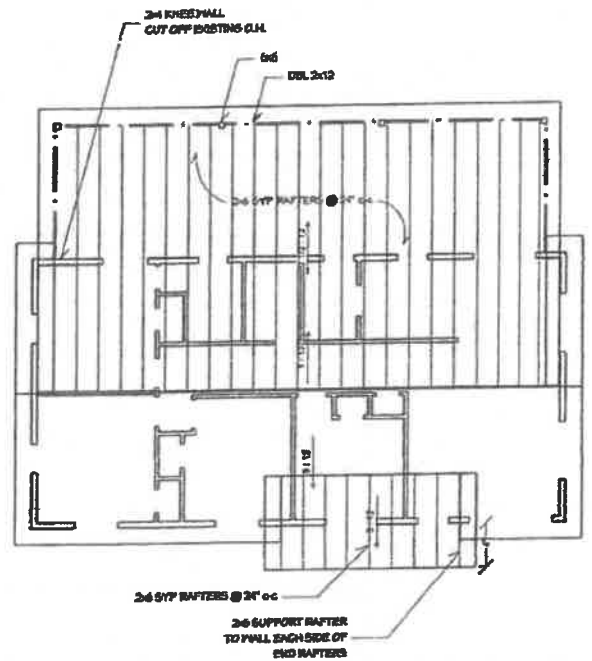
1/8" = 1'





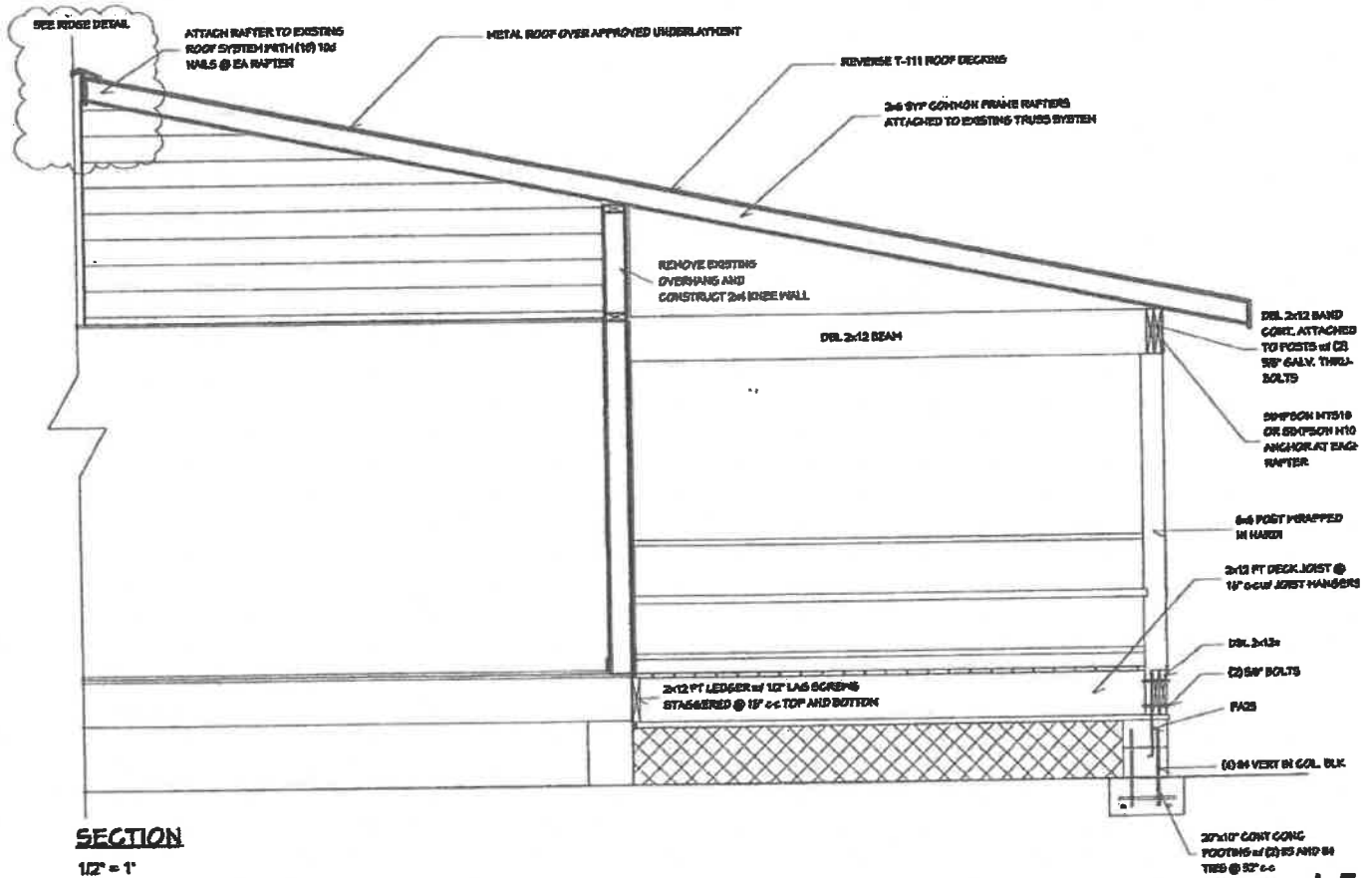
**FOUNDATION/FLOOR FRAMING**

1/8" = 1'

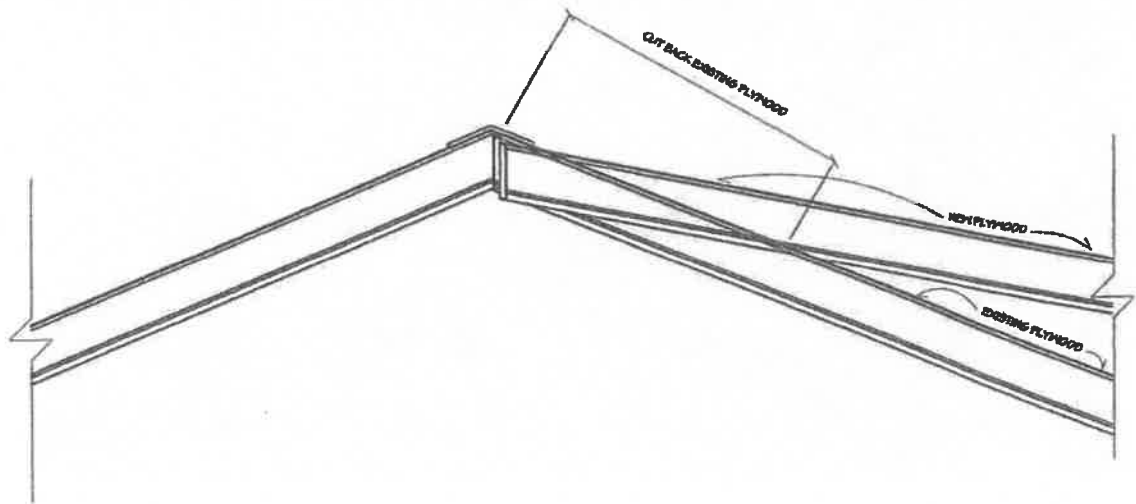


**ROOF FRAMING**

1/8" = 1'



**SECTION**  
 1/2" = 1'



**RIDGE DETAIL**  
1" = 1'



**Overview**



**Legend**

-  **Parcels**
-  **Roads**
-  **City Labels**

<b>Parcel ID</b>	01-095-08W-8330-0180-0060	<b>Alternate ID</b>	08W09501833001800060	<b>Owner Address</b>	STIVERS ANDREW R &
<b>Sec/Twp/Rng</b>	1-95-8W	<b>Class</b>	SINGLE FAM		GOEHRING ANNE H
<b>Property Address</b>	.	<b>Acreage</b>	n/a		1496 SANIT FRANCIS AVE
					EAST POINT, GA 30344

**District** 3  
**Brief Tax Description** BL 180 LOT 6  
*(Note: Not to be used on legal documents)*

Date created: 10/3/2019  
Last Data Uploaded: 10/3/2019 7:05:23 AM

Developed by  **Schneider**  
GEOSPATIAL



Parcel Summary

Parcel ID: 01-09S-08W-8330-0180-0060  
 Location Address: 32320  
 Brief Tax Description\*: BL 180 LOT 6 OR QQ/321 92/543 OR 467/117 709/160 1220/448  
 \*The Description above is not to be used on legal documents.  
 Property Use Code: SINGLE FAM (000100)  
 Sec/Twp/Rng: 1-9S-8W  
 Tax District: Apalachicola (District 3)  
 Millage Rate: 24.853  
 Acreage: 0.000  
 Homestead: N

View Map

Owner Information

Primary Owner:  
 Stivers Andrew R &  
 Goehring Anne H  
 1496 Sanit Francis Ave  
 East Point, GA 30344

Code: 000801 Land Use: THE HILL - APALACH  
 Number of Units: 60.00  
 Frontage: 0  
 Depth: 0

Residential Buildings

Building 1  
 Type: SF APALACH  
 Total Area: 1,128  
 Heated Area: 1,128  
 Exterior Walls: VINYL SIDE  
 Roof Cover: COMP SHINGL  
 Interior Walls: DRYWALL  
 Frame Type: N/A  
 Floor Cover: SH1 VINYL; CARPET  
 Heat: AIR DUCTED  
 Window: WINDOW  
 Bathrooms: 2  
 Bedrooms: 3  
 Stories: 1  
 Effective Year Built: 1996

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0300	STEPS	1	3x12x0	36	UT	1996
0510	FO PORCH	1	2x4x0	8	UT	1996
0510	FO PORCH	1	2x4x0	8	UT	1996

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

User Privacy Policy  
GDPR Privacy Notice

Last Data Upload: 10/3/2019, 7:05:23 AM



Version 2.3.7







Building Dept. Review Summary

P&Z Meeting November 12th, 2019

Address: 270 Acola Rd.

Zoning: R-2

Historic District: No

Block: 5

Lot: 70

Project Description: New Single Family 2,608 sq. ft.

Flood Zone: AE 11

Lot Size: 60' x 100'

Impervious Surface Proposed: 35.16% Allowed: 40%

Height Proposed: 34' 11" Allowed: 35' **Comply with LDC.**

**Main Structure**

Setbacks Required: Front: 15 Rear 25' Right : 7' 6" Left: 7' 6" or combination of 15' no less than 5

Setbacks proposed: Front : 15' Rear: 25' 4" Right: 5' Left: 10'

Setbacks Proposed: **Comply with LDC.**



**Parcel Summary**

Parcel ID 01-09S-08W-8370-0005-0070  
 Location Address  
 Brief Tax Description\* BL 5 PHILACO SHORES LOTS 7 8 OR/614/712 1231/211  
 \*The Description above is not to be used on legal documents.  
 Property Use Code VACANT (000000)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

[View Map](#)



**Owner Information**

Primary Owner  
 Gulf Coast Field Services,LLC  
 102 Derondo Street  
 Panama City Bch, FL 32413

Code	Land Use	Number of Units	Frontage	Depth
000100	SFR	60.00	0	0

**Sales**

Multi Parcel	Sale Date	Sale Price
N	11/16/2018	\$30,000

**Valuation**

	2019 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0
Land Value	\$22,500	\$21,000	\$21,000	\$21,000
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0
Just (Market) Value	\$22,500	\$21,000	\$21,000	\$21,000
Assessed Value	\$22,500	\$5,918	\$5,380	\$4,891
Exempt Value	\$0	\$0	\$0	\$0
Taxable Value	\$22,500	\$5,918	\$5,380	\$4,891
Maximum Save Our Homes Portability	\$0	\$15,082	\$15,620	\$16,109

\*Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

**TRIM Notices**

2019 TRIM Notice

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.  
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Version 2.3.8



**Overview**



**Legend**

- Parcels
- Roads
- City Labels

<b>Parcel ID</b>	01-095-08W-8370-0005-0070	<b>Alternate ID</b>	08W09501837000050070	<b>Owner Address</b>	GULF COAST FIELD SERVICES,LLC
<b>Sec/Twp/Rng</b>	1-9S-8W	<b>Class</b>	VACANT		102 DERONDO STREET
<b>Property Address</b>		<b>Acreage</b>	n/a		PANAMA CITY BCH, FL 32413
<b>District</b>	3				
<b>Brief Tax Description</b>	BL 5 PHILACO SHORES				

(Note: Not to be used on legal documents)

Date created: 10/7/2019  
Last Data Uploaded: 10/7/2019 7:06:31 AM

Developed by 

DATE 11/08/17	DRAWN BY BB	N.B.608 PLS1	COUNTY FRANKLIN	JOB NUMBER: 18-503
FILE 18503JWG	DATE OF LAST FIELD WORK 11/09/18			

**THURMAN RODDENBERRY & ASSOCIATES, INC.**  
 PROFESSIONAL SURVEYORS AND MAPPERS  
 P.O. BOX 100 • 121 SHALDON STREET • SOPCHOPPY, FLORIDA 32558  
 PHONE NUMBER: 850.968.3198 FAX NUMBER: 850.968.1103  
 L.S. # 7146



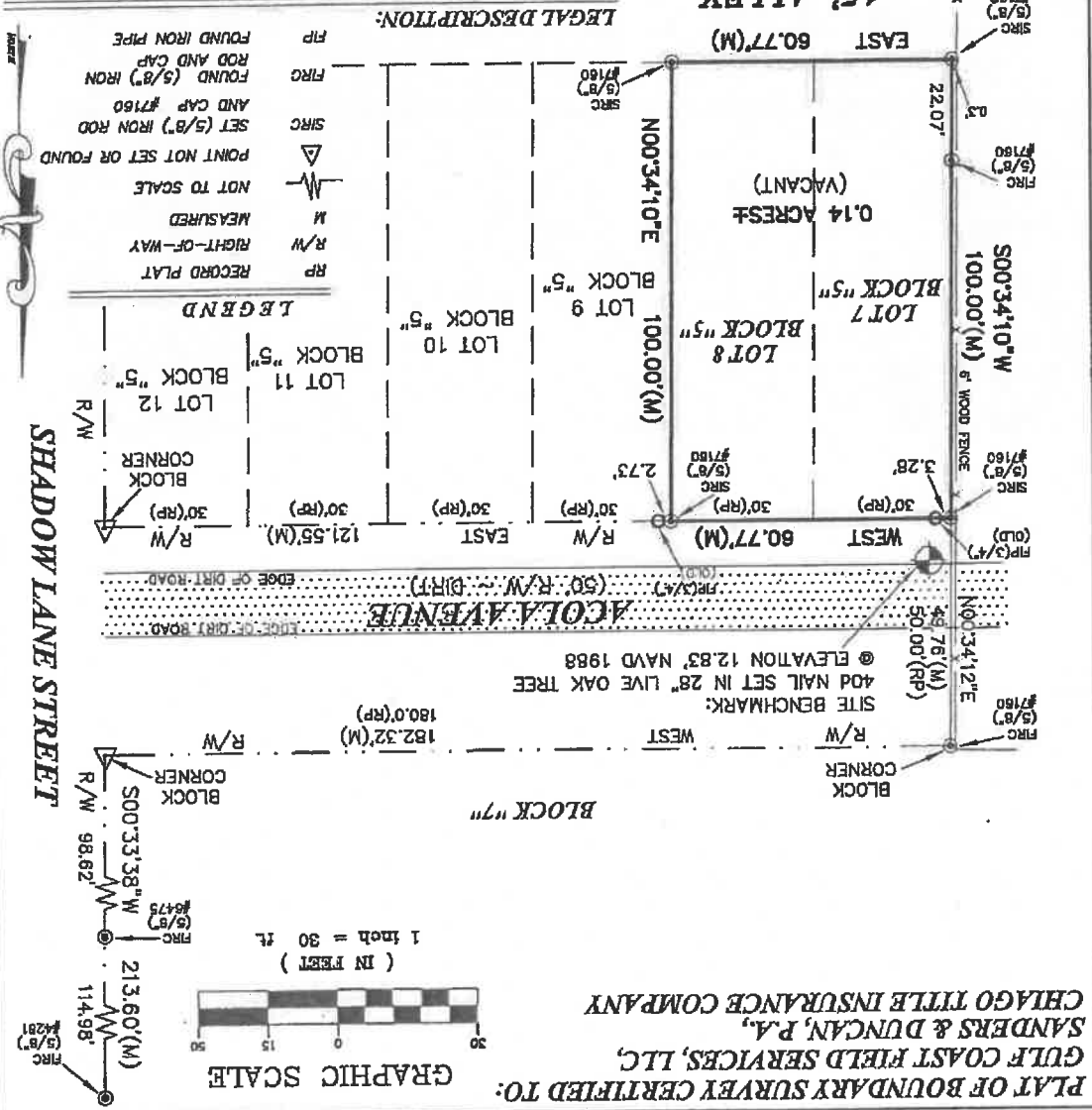
James T. Roddenberry, Surveyor and Mapper, Florida Certificate No. 4261. The undersigned surveyor has not been practicing as a surveyor in the State of Florida since the date of the last field work performed. I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey was made in accordance with the standards for professional land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 11-1.001, 11-1.002).

Subject property is located in Zone "AE (EL. 11)" as per Flood Insurance Rate Map Community Panel No: 120090 0509F, index date: February 5, 2014, Franklin County, Florida.

**FLOOD ZONE INFORMATION:**

1. SURVEY SOURCE: RECORD PLAT and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southern right-of-way boundary of ACOLA STREET
3. NO IMPROVEMENTS have been located in this survey other than those shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

NOTES: LOT 7 & 8, BLOCK "5" of PHILACO SHORES, a subdivision as per map of plat thereof recorded in Plat Book 1, Page 18, of the Public Records of Franklin County, Florida



PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
 GULF COAST FIELD SERVICES, LLC,  
 SANDERS & DUNCAN, P.A.,  
 CHICAGO TITLE INSURANCE COMPANY

**CITY OF APALACHICOLA  
TREE APPLICATION  
REMOVAL OR ALTERATION OF PROTECTED TREE**

Applicants Name: DOUG & YORI LAWRENCE (Please print)  
 Property Owners Name: J. SAHLE Phone: 850-658-6001  
 Property Address: 270 ACORA AVE City, State, Zip: APALACHICOLA FL 32320  
 General Contractor (Tree Contractor): RICKY MOSELEY Phone: 850-899-5623  
 Applicants Signature/Date: Doug Lawrence 1-10-10-19  
YORI Lawrence

1. Protected trees - Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4' to 16'	Greater than 16' to less than 35'	35' and larger (Patriarch Tree)
Bald & Pond Cypress			
Eastern & Southern Red Cedar	2		
Live Oak	2		
Longleaf Pine	2		
Pecan			
Sabal Palm	2		
Slash Pine			
Southern Magnolia	1		
Sycamore			
Water Oak			
<b>Total</b>			

Size is measured at breast height (4.5 feet above ground surface)

2. Reason(s) for removal or alteration (Mark all that apply with "X")

Owner's Private Property	
<b>Removal: New Construction</b>	<b>Alteration: New Construction</b>
<input checked="" type="checkbox"/> Tree located within or too close to footprint of proposed new building or addition	<input checked="" type="checkbox"/> Limbs and branches encroaching where structure is to be built
<b>Removal: No New Construction</b>	<b>Alteration: No New Construction</b>
Tree roots damaging building foundation or underground utilities	Limbs and branches rubbing on side or roof of building
Imminent hazard to property or human safety	Imminent hazard to property or human safety
Diseased or pest-infested tree	Diseased or pest-infested tree
Storm damaged tree (other than City declared emergency; e.g. lightning)	Storm-damaged tree (other than during City declared emergency; e.g. lightning)
Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
City Property (City street right-of-ways adjacent to private property)	
<b>Removal: Requested by Private Property Owner</b>	<b>Alteration: Requested by Private Property Owner (Significant cutting of limbs &amp; branches)</b>
<input checked="" type="checkbox"/> Tree located where access to private property is proposed (driveway, etc.)	Imminent hazard to property or human safety
Imminent hazard to property or human safety	
Diseased or pest-infested tree	
Storm damaged tree (other than City declared emergency; e.g. lightning)	
Requested by City Department	
Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard)	Growth encroaching on street or alley

3. Please attach a map with the following drawn to scale:

a. Locations of the following:

1. Lot boundaries
2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
3. Types & Sizes of protected trees (measured at breast height in inches)
4. Protected trees that are proposed to be removed or altered

**OFFICE USE ONLY**

Permit Processing Fee (\$50.00 or \$100.00)	
<b>Reforestation Fund</b>	
Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)	
Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)	
Non Patriarch Tree Total (\$250.00 Max)	
Number of Trees 35" and larger x \$1,000.00	
Reforestation Fund Total	

**Planning and Zoning Board (When Development plan is submitted):**

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
Chairperson, Planning and Zoning Board

\_\_\_\_\_  
Date

**Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)**

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
Code Enforcement Officer or Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
City Manager or Designee

\_\_\_\_\_  
Date

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only

DATE: _____	Permit # _____	Permit Fee _____
-------------	----------------	------------------

OWNER'S NAME: Gulf Coast Field Services (Doug Lawrence)

ADDRESS: 102 Derondo St

CITY, STATE & ZIP CODE: Panama City PHONE # 850.303.1789

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): NA

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Doug Lawrence - Owner

ADDRESS: 102 Derondo St

CITY, STATE & ZIP CODE: P. C, FL PHONE # 850.303.1789

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: TBD Acola Ave

PROPOSED USE OF SITE: Single Family Residential

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  NO

PROPERTY PARCEL ID # 01-D9S-08W-8370-0005-0070

LEGAL DESCRIPTION OF PROPERTY: BLK 5 Philaco Shores Lots 7+8

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: NA

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: City SEWER SYSTEM PROVIDER: City

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family      \_\_\_ Townhouse      \_\_\_ Commercial      \_\_\_ Industrial  
 \_\_\_ Duplex      \_\_\_ Swimming Pool      \_\_\_ Storage      \_\_\_ Sign  
 \_\_\_ Multi-Family      \_\_\_ Demolition      \_\_\_ Other  
 \_\_\_ Addition, Alteration or Renovation to building \_\_\_\_\_

Distance from property lines: Front 15'    Rear 25'    L. Side 10'  
 R. Side 10'  
 Cost of Construction \$ 350,000.    Square Footage 2700  
 EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
 Type of Roof metal    Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
 Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent \_\_\_\_\_

Signature of Contractor \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Notary as to Owner or Agent \_\_\_\_\_

Notary as to Contractor \_\_\_\_\_

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.



Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

NO ADJACENT STRUCTURES  
2 1/2 STORY WOOD FRAMED HOUSE ON A MONO SLAB  
APPROX 2700 sq ft

Project Scope	Manufacturer	Product Description	Fl. Product Approval #
Siding	HARDI		FL13192.2
Doors	THERMA TRU	3080 - 5080 - 6080	FL 8604.19 FL 7630.2 FL 7630.2
Windows	MI	IMPACT 1620	FL 21637
Roofing	METAL	SV SCREW DOWN GALVALUME	FL10319.4
Trim	HARDI		FL13192.2
Foundation	CONCRETE	3000 PST	
Shutters	N/A		
Porch/Deck	PRESSURE TREATED		
Fencing	N/A		
Driveways/Sidewalks	PAVERS		
Other			

## Florida Product approval Numbers

Hardi Lap siding – FL13192.2

Hardi Shake shingles – FL13192.3

Hardi Trim – FL13192.2

Hardi Soffit – FL13265.1

Hardi Panels – FL13223.1

MI windows – 1620 series – Impact – FL21637

ThermaTru Exterior doors – 5080 & 6080 – FL7630.2  
3080 – FL8604.19

Metal screw down roof – FL10319.4

---

CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

OWNER INFORMATION

Buff Coast Field Services  
Owner Doug Lawrence  
Address 102 Derondo St  
City Panama City State FL Zip 32413  
Phone 850-303-1789

CONTRACTOR INFORMATION

Doug Lawrence - Owner  
State License # \_\_\_\_\_  
City License # \_\_\_\_\_ County License # \_\_\_\_\_  
Email Address joniparsons1232@comcast.net  
Phone 803-1789

Approval Type: |  Staff Approval Date: \_\_\_\_\_ |  Board Approval |  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence              |
| <input type="checkbox"/> Addition                    | <input type="checkbox"/> Repair (Extensive) |
| <input type="checkbox"/> Alteration/Renovation       | <input type="checkbox"/> Variance           |
| <input type="checkbox"/> Relocation                  | <input type="checkbox"/> Other: _____       |
| <input type="checkbox"/> Demolition                  |   |

PROPERTY INFORMATION:

Street Address: TBD Acola Ave City & State Apalachicola Zip \_\_\_\_\_

|  Historic District |  Non-Historic District Zoning District \_\_\_\_\_

Parcel #: 01-09S-08W-8370-0005-0070 Block(s) 5 Lot(s) 7+8

FEMA Flood Zone/Panel #: AE  
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25' Side: 10 Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official requested to handle the City of Apalachicola Building Permits, EPC.

Curtis Bankston  
Permitting and Development Coordinator  
(850) 658-1522 (ext 205) Phone  
(850)658-5028 Cell  
[curtisbankston@cityofapalachicola.com](mailto:curtisbankston@cityofapalachicola.com)

## CERTIFICATION

By Signing below, I certify that the information furnished in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is/are the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submitted may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

10/3/19

SIGNATURE OF APPLICANT





**Parcel Summary**

Parcel ID 01-09S-08W-8370-0005-0070  
 Location Address  
 Brief Tax Description\* BL 5 PHILACO SHORES LOTS 7 8 OR/614/712 1231/211  
 \*The Description above is not to be used on legal documents.  
 Property Use Code VACANT (000000)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Gulf Coast Field Services,LLC  
 102 Derondo Street  
 Panama City Bch, FL 32413

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	60.00	FF	0	0

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	11/16/2018	\$30,000	WD	1231	211	Qualified (Q)	Improved	COOK	GULF COAST FIELD SERVICES,LLC

**Valuation**

	2019 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$22,500	\$21,000	\$21,000	\$21,000	\$21,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$22,500	\$21,000	\$21,000	\$21,000	\$21,000
Assessed Value	\$22,500	\$5,918	\$5,380	\$4,891	\$4,446
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$22,500	\$5,918	\$5,380	\$4,891	\$4,446
Maximum Save Our Homes Portability	\$0	\$15,082	\$15,620	\$16,109	\$16,554

\*Just (Market) Value\* description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

**TRIM Notices**

2019 TRIM Notice

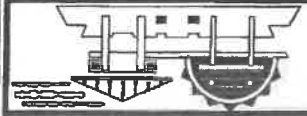
No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

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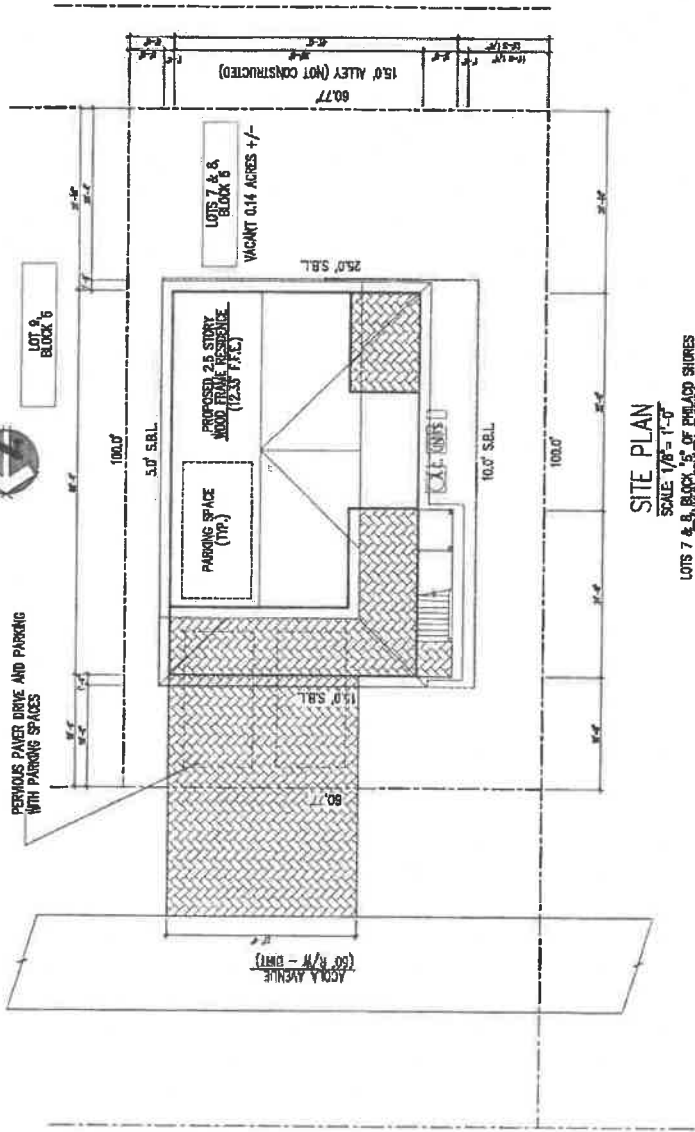
Version 2.3.7



DATE	12.05.2016
REVISION	3
T.O.D.	A-1
PROJECT	LAWRENCE RESIDENCE

**LAWRENCE RESIDENCE**  
 LOTS 7 & 8  
 FRANKLIN COUNTY, FL

Tyler R. Poin- Architect  
 329 West Street Drive  
 32741  
 (850) 231-8066  
 (850) 728-5697



**SITE PLAN**  
 SCALE 1/8" = 1'-0"  
 LOTS 7 & 8, BLOCK 5<sup>th</sup> OF PALMWOOD SQUARES  
 FRANKLIN COUNTY, FLORIDA

**FRANKLIN COUNTY CERTIFICATION**  
 I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA AND AM NOT PROVIDING ENGINEERING SERVICES TO ANY OTHER PARTY. I AM NOT PROVIDING ARCHITECTURAL SERVICES TO ANY OTHER PARTY. I AM NOT PROVIDING LANDSCAPE ARCHITECTURE SERVICES TO ANY OTHER PARTY. I AM NOT PROVIDING ANY OTHER PROFESSIONAL SERVICES TO ANY OTHER PARTY.

**MISCELLANEOUS CALCULATIONS:**

ITEM	DESCRIPTION	AMOUNT	UNIT	REMARKS
1	AREA		SQ. FT.	
2	VOLUME		CU. YD.	
3	PERCENT		%	
4	PERCENT		%	
5	PERCENT		%	
6	PERCENT		%	
7	PERCENT		%	
8	PERCENT		%	
9	PERCENT		%	
10	PERCENT		%	
11	PERCENT		%	
12	PERCENT		%	
13	PERCENT		%	
14	PERCENT		%	
15	PERCENT		%	
16	PERCENT		%	
17	PERCENT		%	
18	PERCENT		%	
19	PERCENT		%	
20	PERCENT		%	

**DRAWING INDEX**

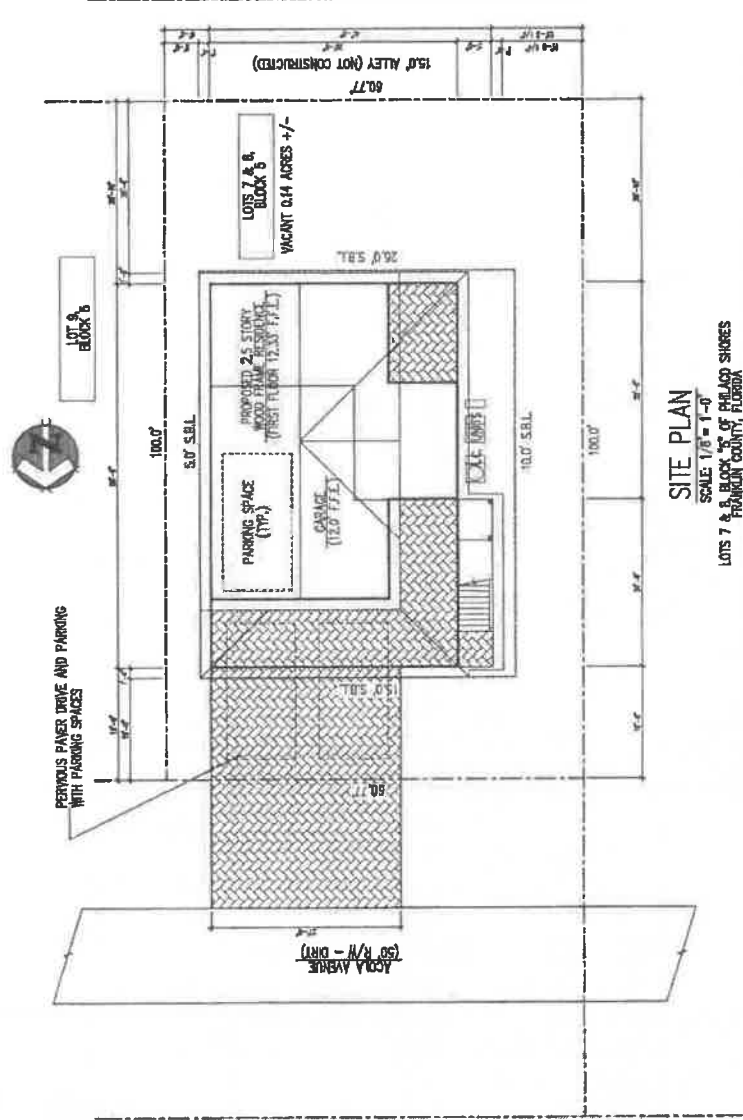
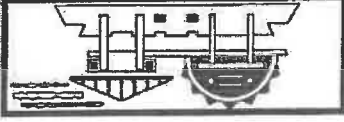
- A-1 DRAWING INDEX
- A-2 MISCELLANEOUS CALCULATIONS
- A-3 FRANKLIN COUNTY CERTIFICATION
- A-4 FLOOR PLANS WITH ELECTRICAL PLANS
- A-5 EXTERIOR ELEVATIONS
- A-6 ROOF PLAN
- A-7 FOUNDATION PLAN
- A-8 SECTION
- A-9 STRUCTURAL DETAILS & NOTES
- A-10 STRUCTURAL DETAILS & NOTES



**Iyer R. Dain- Architect**  
 325 West Shore Drive  
 Fort Lauderdale, Florida 33304  
 Tel: (954) 251-8058  
 Fax: (954) 788-5837

**LAWRENCE RESIDENCE**  
 LOTS 07 & 08  
 PHILADELPHIA SHORES  
 FRANKLIN COUNTY, FL

NO. 1	DATE: 12/15/18
NO. 2	DATE: 12/15/18
NO. 3	DATE: 12/15/18
NO. 4	DATE: 12/15/18
NO. 5	DATE: 12/15/18



**SITE PLAN**  
 SCALE: 1/8" = 1'-0"  
 LOTS 7 & 8, BLOCK 6 OF PHILADELPHIA SHORES  
 FRANKLIN COUNTY, FLORIDA

**FRANKLIN COUNTY CERTIFICATION**  
 I, the undersigned, being duly qualified and licensed as a Professional Engineer in the State of Florida, do hereby certify that the above is a true and correct copy of the original drawings as filed in my office, and that the same conform to the requirements of the Florida Statutes, Chapter 471, Part 1, and the rules and regulations of the Board of Professional Engineers, Florida.

**MISCELLANEOUS CALCULATIONS**

DATE:	12/15/18
PROJECT:	LAWRENCE RESIDENCE
CLIENT:	FRANKLIN COUNTY
LOCATION:	PHILADELPHIA SHORES
SCALE:	1/8" = 1'-0"
DESIGNER:	Iyer R. Dain
CHECKED:	
APPROVED:	

**DRAWING INDEX**

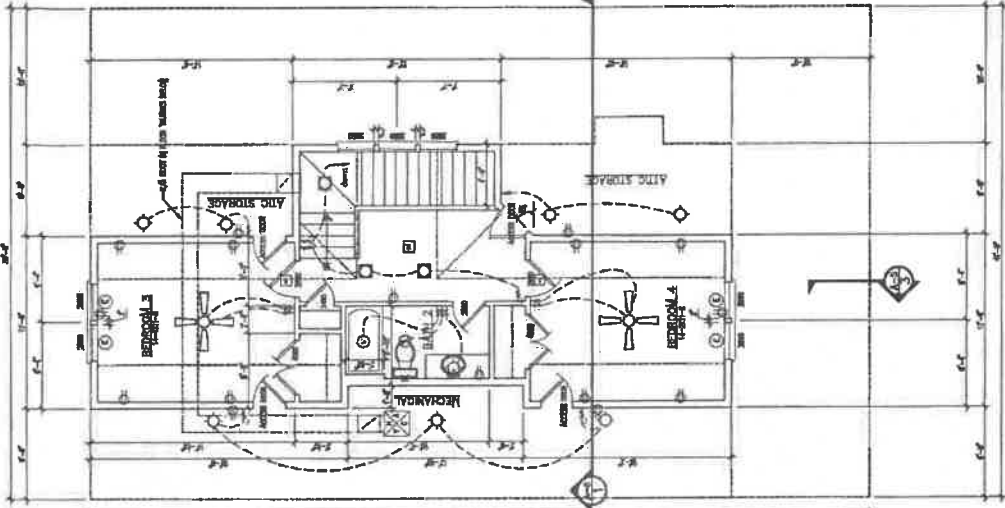
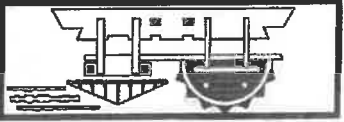
A-1	DRAWING BOOK
A-2	MISCELLANEOUS CALCULATIONS
A-3	FRANKLIN COUNTY CERTIFICATION
A-4	FLOOR PLANS WITH ELECTRICAL PLANS
A-5	EXTERIOR ELEVATIONS
A-6	ROOF PLAN
A-7	SECTION
A-8	FOUNDATION PLAN
A-9	PAVING PLAN
A-10	SECTION
A-11	STRUCTURAL DETAILS & NOTES
A-12	STRUCTURAL DETAILS & NOTES
A-13	STRUCTURAL DETAILS & NOTES



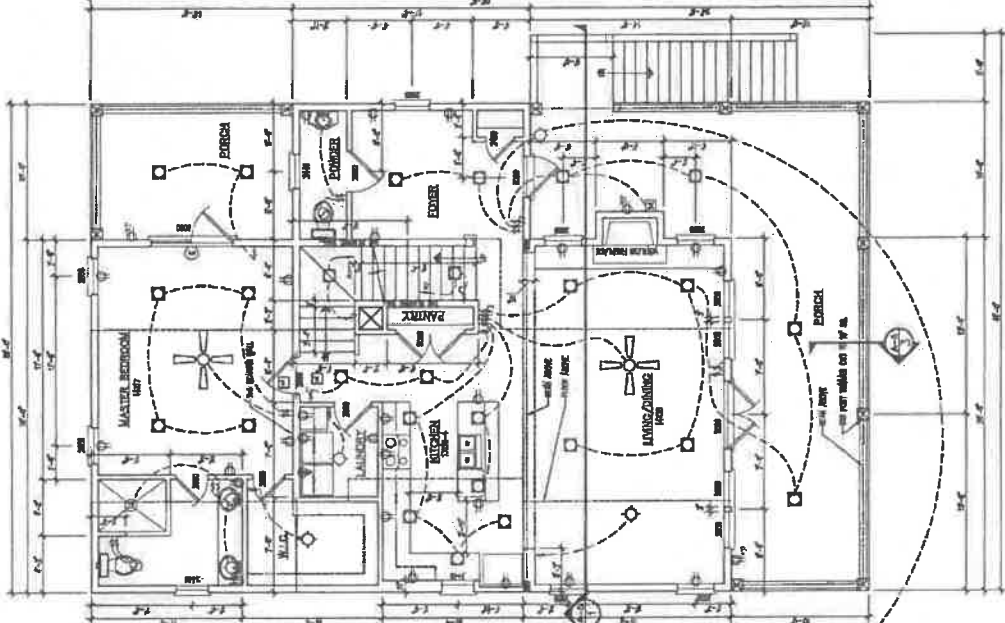
Iyer, R. Doin-Architect  
 1205 West Shore Drive  
 Fort City, Florida 32838  
 (407) 251-0066

LAWRENCE RESIDENCE  
 LOTS 07 & 08  
 PALM BEACH  
 PALM BEACH COUNTY, FL

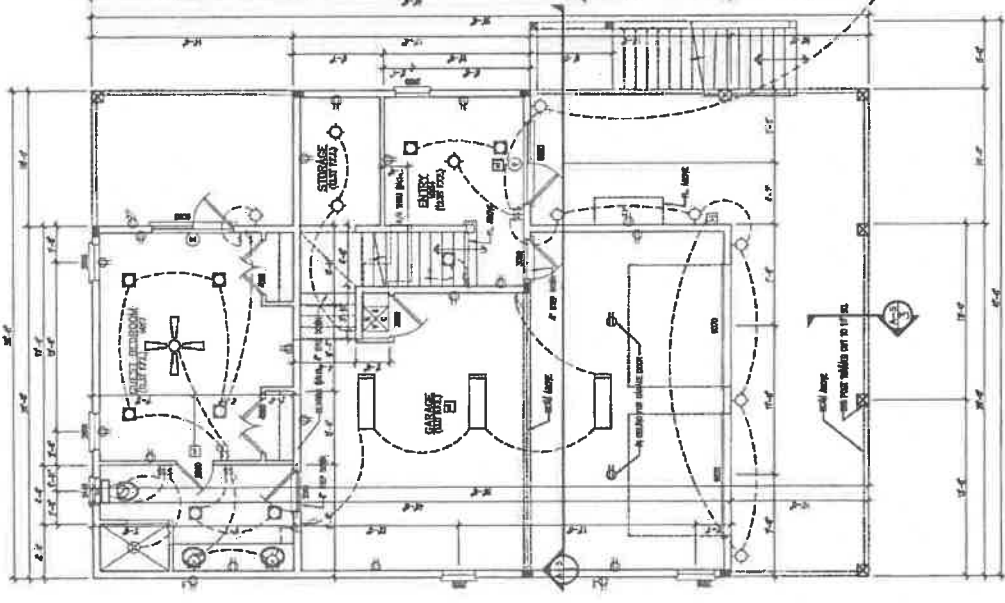
DATE	12.05.2018	5
NO.	100	A-2
PROJECT	LAWRENCE RESIDENCE	



THIRD FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

**NOTES:**  
 1. All spaces to close with a door in winter rain.  
 2. Master Bath replace a corner glass.  
 3. Kitchen remove door in floor.  
 4. Check the full section with 2' door when make the wall a mirror.  
 5. All doors are 2' x 6' with 1 1/2" thick door leaf.

DATE	12.05.2018	5
NO.	100	A-2
PROJECT	LAWRENCE RESIDENCE	



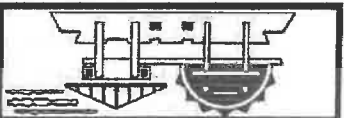




Iyer, R. Doin - Architect  
 P.L.C.  
 325 West Sarno Drive  
 West Palm Beach, Florida  
 33411  
 (561) 231-9085  
 Fax (561) 753-8087

LAWRENCE RESIDENCE  
 LOTS 07 & 08  
 PHILADELPHIA  
 FRANKLIN COUNTY, FL

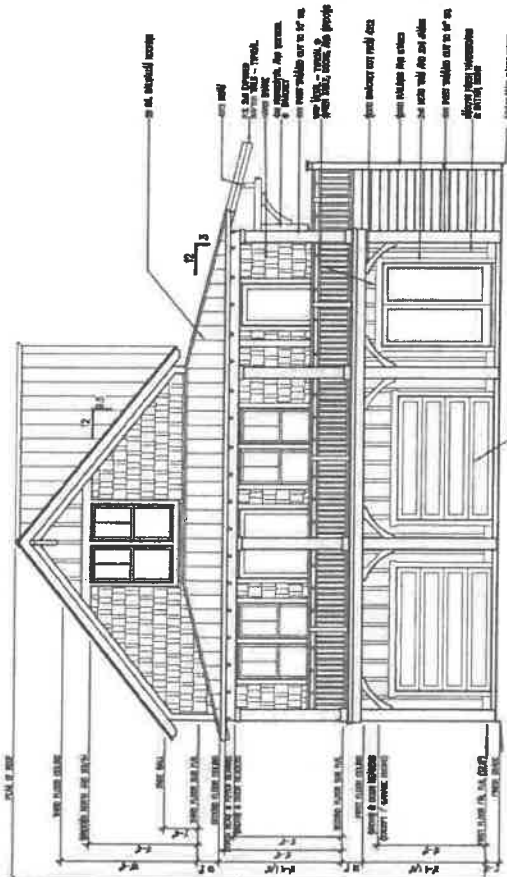
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PROJECT	03-23-17
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NO.	5



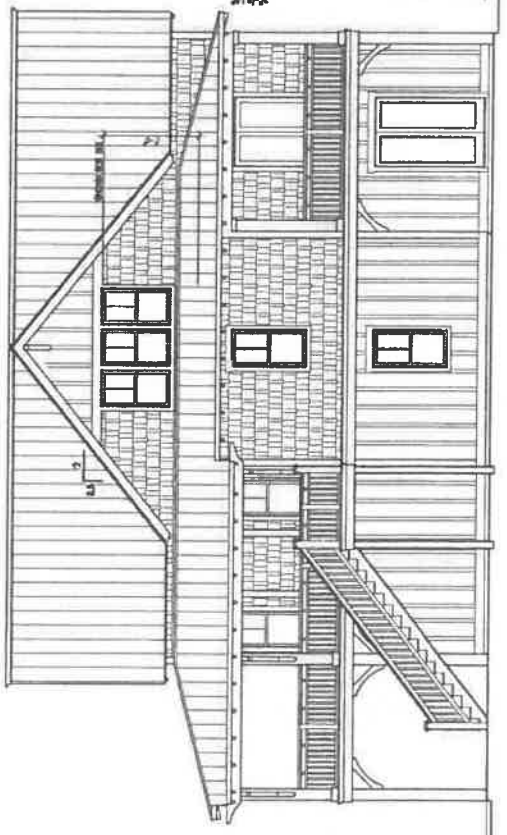
EAST ELEVATION  
 SCALE: 1/4" = 1'-0"



SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"



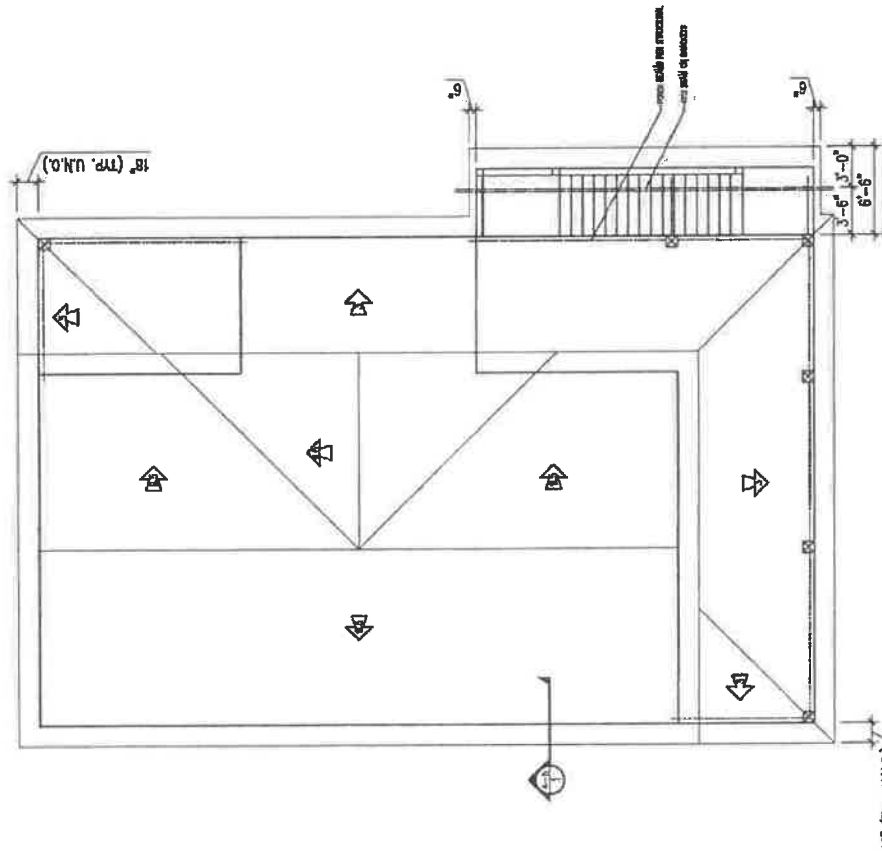
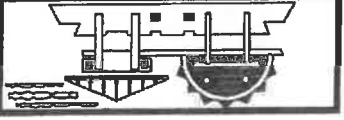
WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



Tyler R. Dorn - Architect  
 205 West Sugar Drive  
 Fort Lauderdale, Florida 33301  
 (954) 271-6068  
 Fax (954) 728-5697

LAWRENCE RESIDENCE  
 LOTS 07 & 08  
 PHILADELPHIA BOROUGHS  
 TRAVELERS COUNTY, FL

DATE	12/01/2008
BY	5
PROJECT	A-4
SCALE	5/8" = 1'-0"



ROOF PLAN  
 SCALE: 1/4" = 1'-0"  
 SEE GENERAL NOTES ON SHEET 0 OF 04

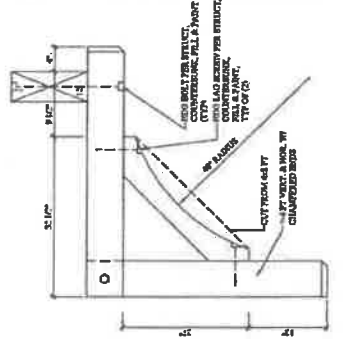
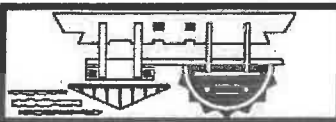




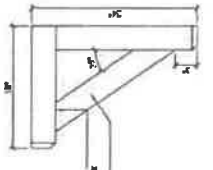
Tyler R. Polin - Architect  
 325 West Shore Blvd.  
 Suite 200  
 Rockville, MD 20850  
 (301) 728-2687  
 Fax (301) 728-2687

LAWRENCE RESIDENCE  
 LOTS 4 & 8B  
 PEARSON BROOKS  
 FRANKLIN COUNTY, VA

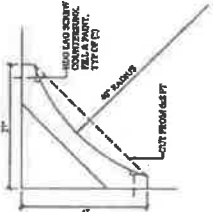
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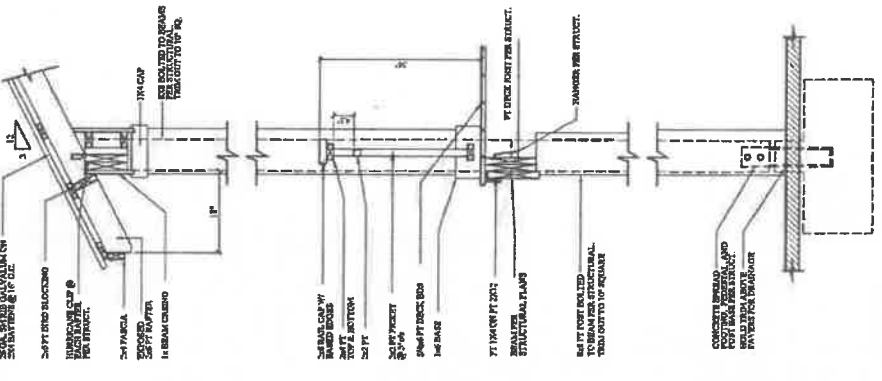
BRACKET @ STAIRS  
 SCALE: 1" = 1'-0"



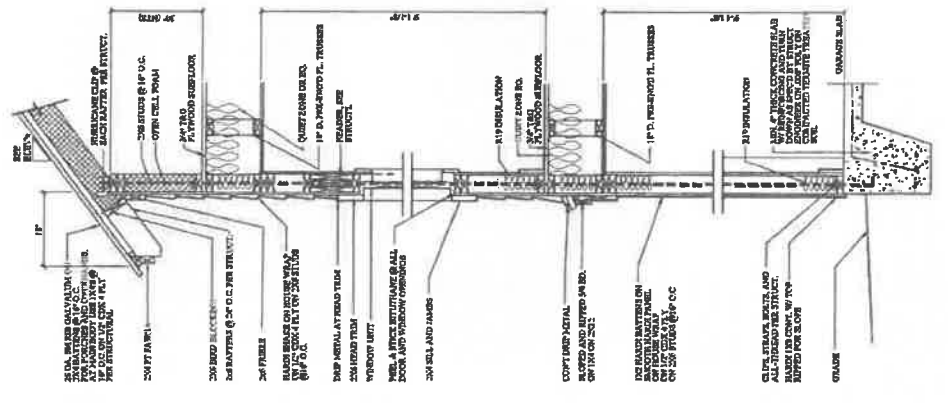
GABLE BRACKET DETAIL  
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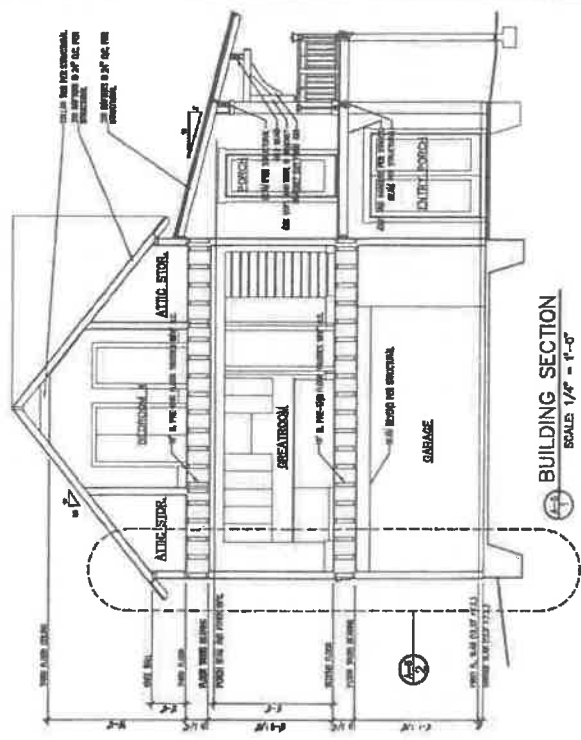
BRACE DETAIL  
 SCALE: 1" = 1'-0"



PORCH SECTION  
 SCALE: 1" = 1'-0"



WALL SECTION  
 SCALE: 1" = 1'-0"



BUILDING SECTION  
 SCALE: 1/4" = 1'-0"



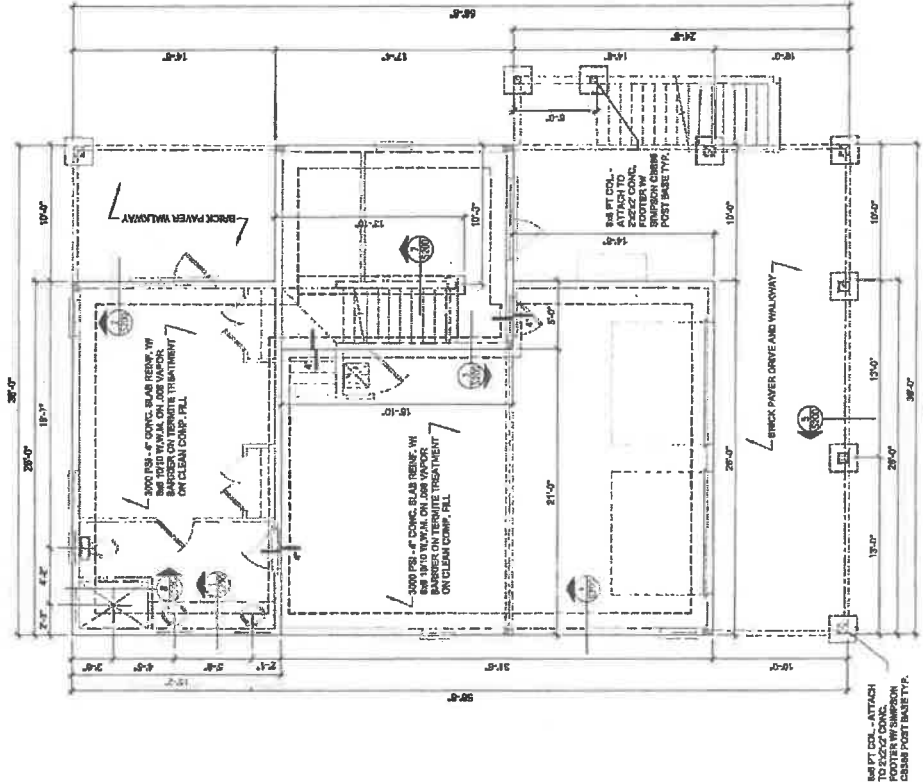
NO.	REVISION	DATE

A New Residence for  
 Doug Lawrence  
 Lots 7 & 8 Aoda Rd.  
 Apalachicola, FL

FOUNDATION  
 PLAN

PROJECT NO. 10000  
 SHEET NO. 10000  
 DATE 10/10/00  
 DRAWN BY MK

Scale: 1/4" = 1'-0"

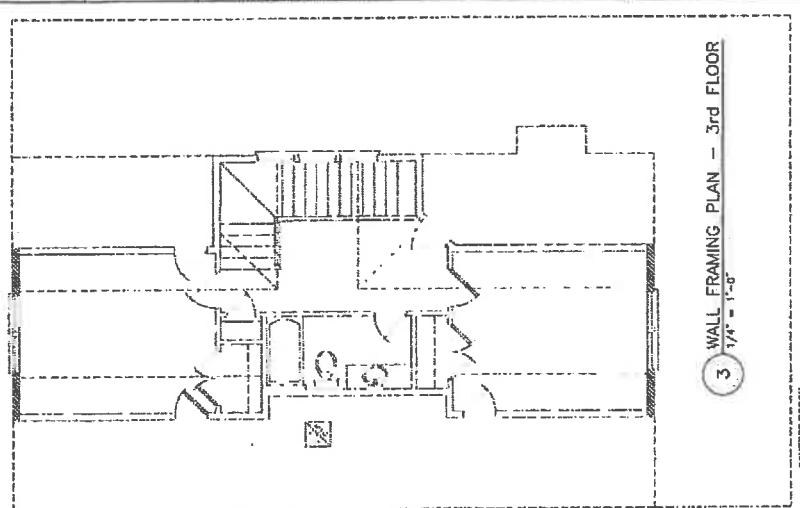


1 FOUNDATION PLAN  
 1/4" = 1'-0"

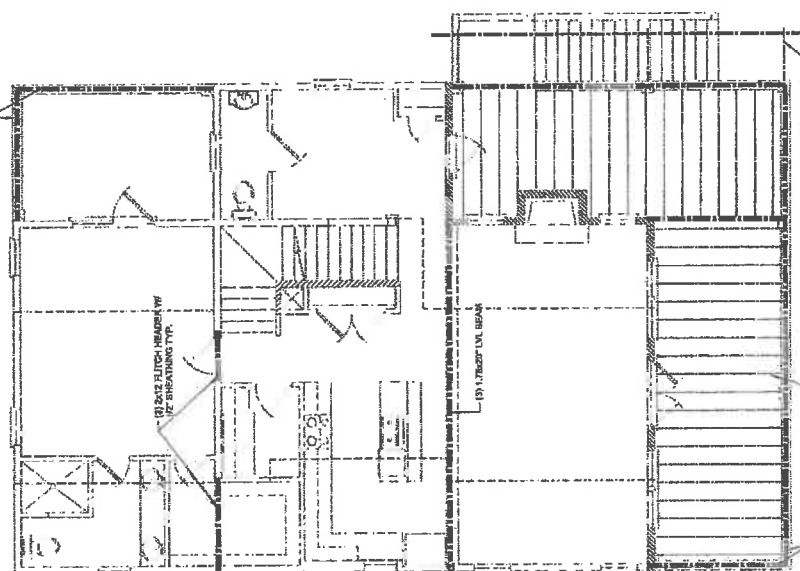
DATE	DESCRIPTION

A New Residence for  
Doug Lawrence  
Lots 7 & 8 Aola Rd.  
Ann Arbor, MI 48106

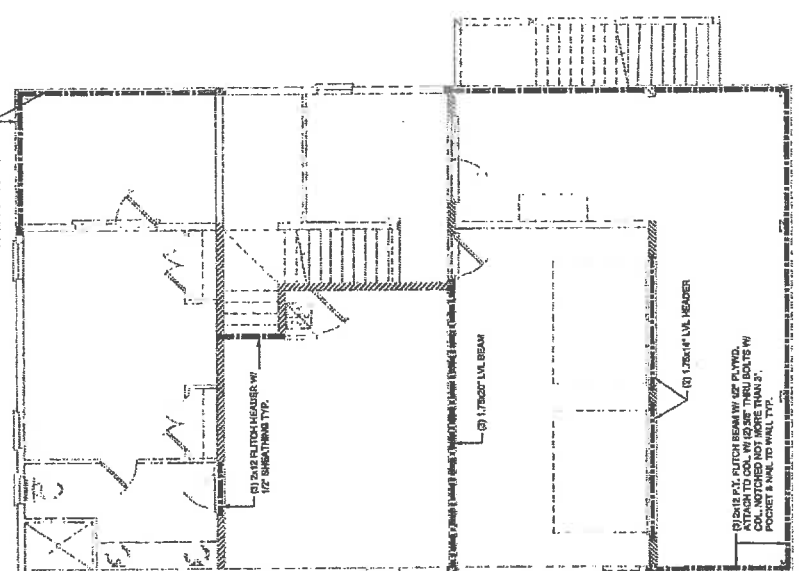
WALL FRAMING PLANS  
2/14/13  
S101



- COVERED PORCH:**
- PORCH POST - 4x4 TREATED TIMBER
  - POST TO CONC. CONNECTION - SIMPSON CHASE (OR EQ.)
  - POST TO 2ND FLOOR CONNECTION - NOTCH DEPT. POST; NOT MORE THAN 1/2\"/>



- COVERED PORCH:**
- PORCH POST - 4x4 TREATED TIMBER
  - POST TO CONC. CONNECTION - SIMPSON CHASE (OR EQ.)
  - POST TO 2ND FLOOR CONNECTION - NOTCH DEPT. POST; NOT MORE THAN 1/2\"/>



- COVERED PORCH:**
- PORCH POST - 4x4 TREATED TIMBER
  - POST TO CONC. CONNECTION - SIMPSON CHASE (OR EQ.)
  - POST TO 2ND FLOOR CONNECTION - NOTCH DEPT. POST; NOT MORE THAN 1/2\"/>

**WALL CONSTRUCTION LEGEND**

EXT. STUD SHEAR WALL - ATTACH 1/2\"/>

INT. STUD SHEAR WALL - ATTACH 1/2\"/>

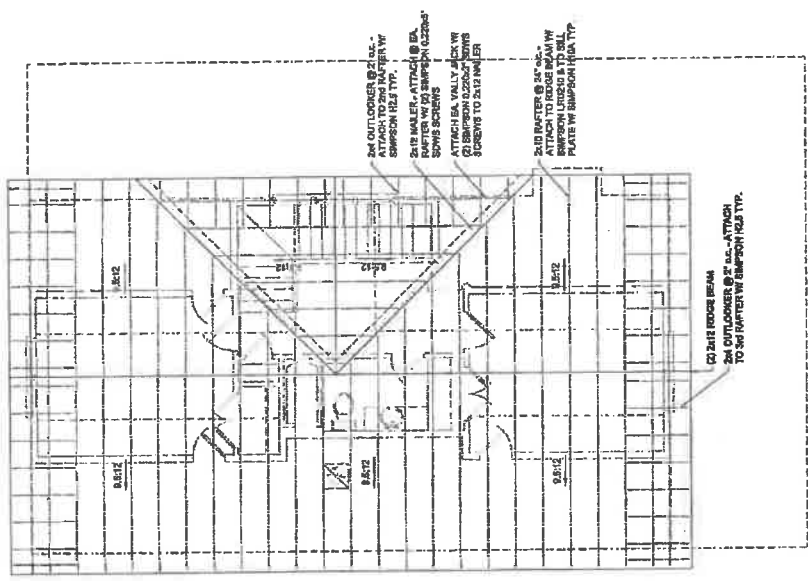
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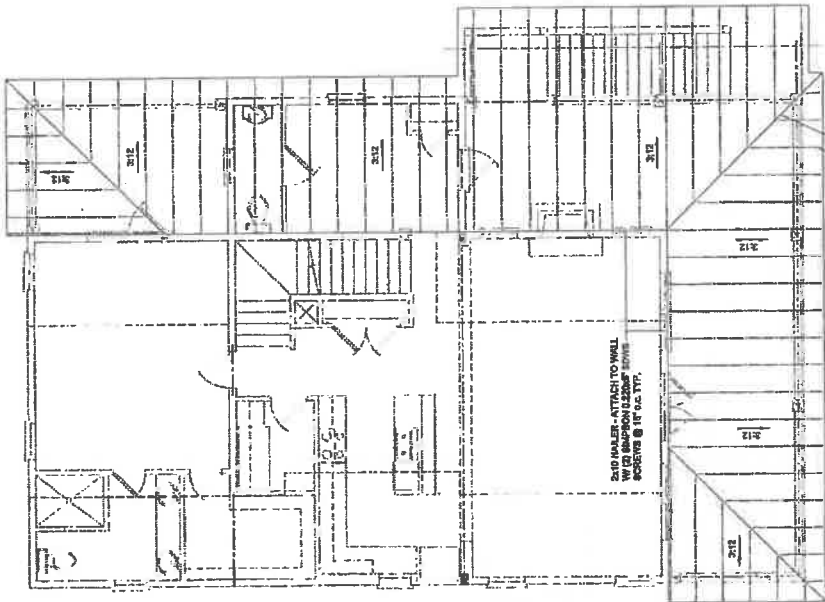
Library	Date	Rev

A New Residence for  
 Doug Lawrence  
 Lots 7 & 8 Acoka Rd.  
 Apalachicola, FL

PROJECT NUMBER: 102-0077-102-104  
 DRAWING NO.: 102-0077-102-104-001  
 DATE: 05/11/10  
 SHEET NO.: 102-0077-102-104-001-001  
 SHEET TOTAL: 102-0077-102-104-001-001-001  
 Drawing Number: **S102**



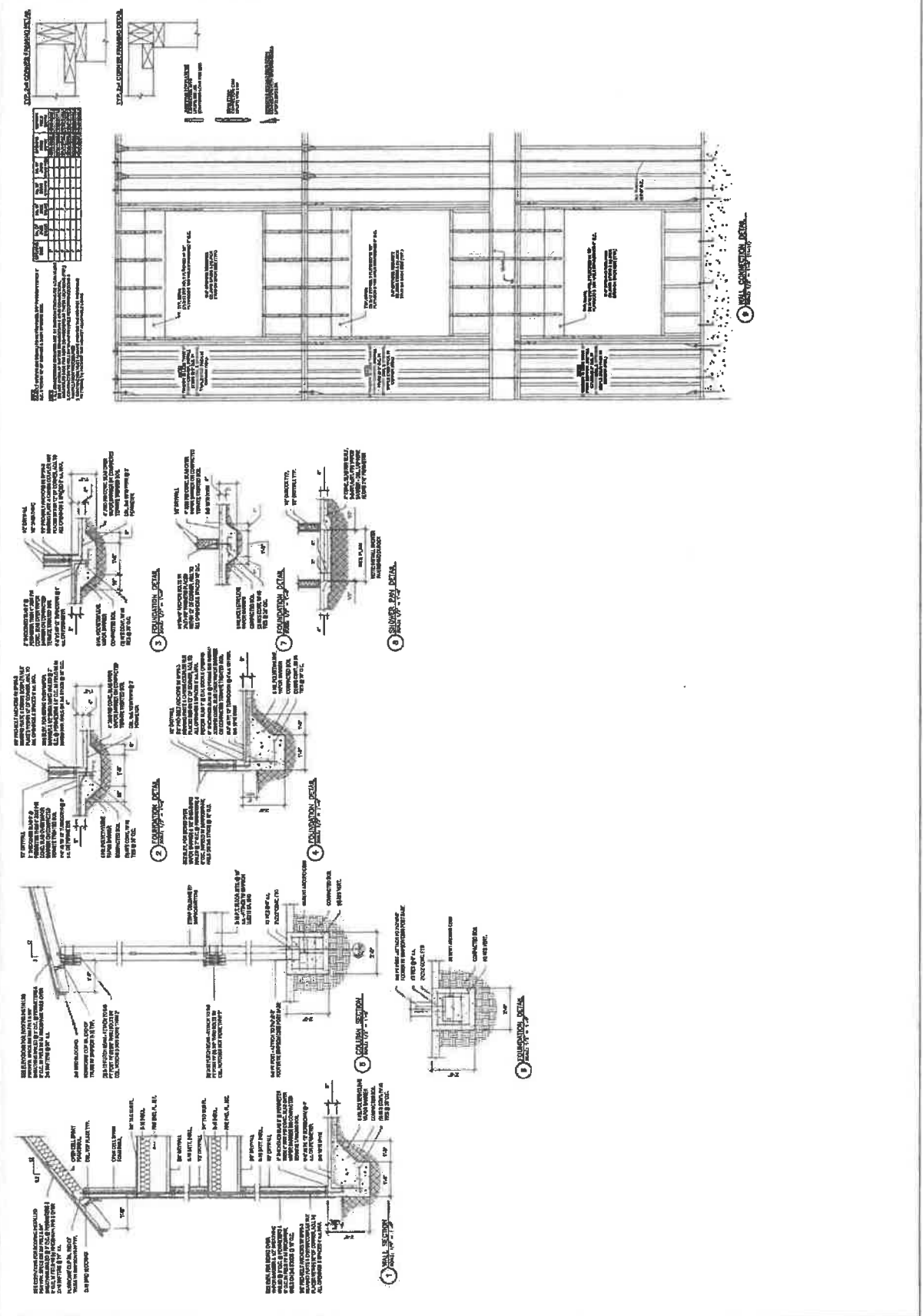
**2** ROOF FRAMING PLAN — 3rd FLOOR  
 1/4" = 1'-0"



**1** ROOF FRAMING PLAN — 2nd FLOOR  
 1/4" = 1'-0"


**MK WEBER**  
2085 W. 20th Street  
Gainesville, FL 32609  
781-1111  
www.mkweber.com

**A New Residence for**  
**Doug Lawrence**  
**7 & Acosta Rd.**  
**Apalachicola, FL**





# ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION						FOR INSURANCE COMPANY USE
A1. Building Owner's Name DOUG LAWRENCE					Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 ALCOLA STREET					Company NAIC Number:	
City APALACHICOLA		State Florida		ZIP Code 32320		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOTS 7 & 8 BLOCK "5" PHILACO SHORES						
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.)						RESIDENTIAL
A5. Latitude/Longitude: Lat. 29.71602		Long. -85.0005		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983		
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.						
A7. Building Diagram Number <u>1A</u>						
A8. For a building with a crawlspace or enclosure(s):						
a) Square footage of crawlspace or enclosure(s)		0.00 sq ft				
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>						
c) Total net area of flood openings in A8.b <u>0.00</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
A9. For a building with an attached garage:						
a) Square footage of attached garage		0.00 sq ft				
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>						
c) Total net area of flood openings in A9.b <u>0.00</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
B1. NFIP Community Name & Community Number CITY OF APALACHICOLA 120089				B2. County Name FRANKLIN		B3. State Florida
B4. Map/Panel Number 12037C 0507	B5. Suffix F	B6. FIRM Index Date 02-05-2014	B7. FIRM Panel Effective/ Revised Date 02-05-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 11.00'	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____						
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____						
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA						

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 ALCOLA STREET			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32320	Company NAIC Number

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

- C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.
- C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO.  
Complete Items C2.a-h below according to the building diagram specified in item A7. In Puerto Rico only, enter meters.  
Benchmark Utilized: 12.83' Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- |   |       |  |                                 |
|---|-------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawspace, or enclosure floor)  | 12.10 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor   | N/A   | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only)   | N/A   | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| d) Attached garage (top of slab)  | N/A   | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building<br>(Describe type of equipment and location in Comments) | N/A   | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG)  | 10.00 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG)   | 10.70 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support                                  | N/A   | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  Check here if attachments.

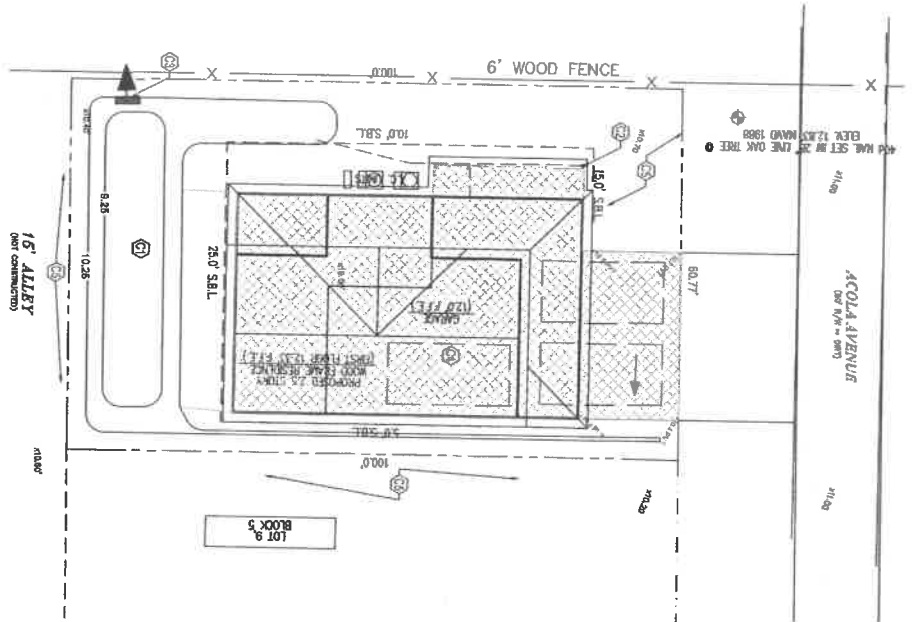
Certifier's Name JAMES T. RODDENBERRY	License Number 4261
Title PRESIDENT	
Company Name THURMAN RODDENBERRY & ASSOCIATES, INC.	
Address P.O. BOX 100	
City SOPCHOPPY	State Florida
	ZIP Code 32358



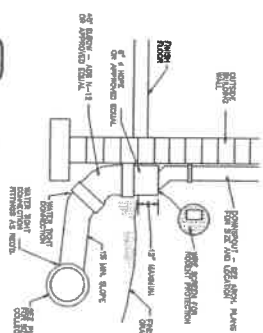
Signature <i>James T. Roddenberry</i>	Date 10-24-2019	Telephone (850) 962-2538	Ext.
--	--------------------	-----------------------------	------

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

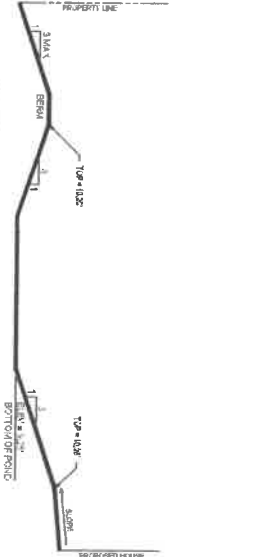
Comments (including type of equipment and location, per C2(e), if applicable)  
JOB NUMBER 18-503CD  
BENCHMARK: SET 40d NAIL IN 28" LIVEOAK TREE NEAR WEST CORNER OF PROPERTY @ ELEV. 12.83' (NAVD 88)



**1**  
1" SCALE NOT TO SCALE



**2**  
1" SCALE NOT TO SCALE



**3**  
1" SCALE NOT TO SCALE

**WATER QUALITY SUMMARY:**

THE REQUIRED WATER QUALITY VOLUME IS THE SIEVED VALUE OF THE VOLUME OF RAINFALL FROM 0.075" TO 0.15" IN SIZE. THE REQUIRED WATER QUALITY VOLUME IS THE SIEVED VALUE OF THE VOLUME OF RAINFALL FROM 0.075" TO 0.15" IN SIZE. THE REQUIRED WATER QUALITY VOLUME IS THE SIEVED VALUE OF THE VOLUME OF RAINFALL FROM 0.075" TO 0.15" IN SIZE.

1. WATER QUALITY VOLUME REQUIRED  
VOLUME FROM 0.075" TO 0.15" IN SIZE = 147.17 SF \* 1.85 CF = 272.27 SF \* 0.85 = 231.43 SF
2. TREATMENT VOLUME PROVIDED  
IN EXISTING COLLECTOR  
VOLUME = 231.43 SF
3. DRAINAGE VOLUME PROVIDED  
WITH THIS PLAN (SEE STORMWATER REPORT FOR DETAILED CALCULATIONS)  
VOLUME = 231.43 SF

**KEY NOTES:**

1. PROPOSED DOWNSPOUT COLLECTOR (SEE PLAN) SHALL BE CONSTRUCTED AND MAINTAINED AS SHOWN HEREON.
2. ALL DOWNSPOUTS SHALL BE INSTALLED WITH A 1/2" DIA. DOWNSPOUT CAP.
3. DOWNSPOUTS SHALL BE INSTALLED WITH A 1/2" DIA. DOWNSPOUT CAP.
4. DOWNSPOUTS SHALL BE INSTALLED WITH A 1/2" DIA. DOWNSPOUT CAP.
5. DOWNSPOUTS SHALL BE INSTALLED WITH A 1/2" DIA. DOWNSPOUT CAP.
6. DOWNSPOUTS SHALL BE INSTALLED WITH A 1/2" DIA. DOWNSPOUT CAP.
7. DOWNSPOUTS SHALL BE INSTALLED WITH A 1/2" DIA. DOWNSPOUT CAP.

**EROSION CONTROL & MAINTENANCE PLAN NOTES:**

1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN HEREON.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN HEREON.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN HEREON.
4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN HEREON.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN HEREON.
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN HEREON.
7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN HEREON.

**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, STANDARD SPECIFICATIONS FOR CONSTRUCTION.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, STANDARD SPECIFICATIONS FOR CONSTRUCTION.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, STANDARD SPECIFICATIONS FOR CONSTRUCTION.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, STANDARD SPECIFICATIONS FOR CONSTRUCTION.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER, COLORADO, STANDARD SPECIFICATIONS FOR CONSTRUCTION.

**SITE GRADING NOTES:**

1. THE EXISTING GRADE AT THE PROPOSED DOWNSPOUT COLLECTOR SHALL BE MAINTAINED AS SHOWN HEREON.
2. THE EXISTING GRADE AT THE PROPOSED DOWNSPOUT COLLECTOR SHALL BE MAINTAINED AS SHOWN HEREON.
3. THE EXISTING GRADE AT THE PROPOSED DOWNSPOUT COLLECTOR SHALL BE MAINTAINED AS SHOWN HEREON.
4. THE EXISTING GRADE AT THE PROPOSED DOWNSPOUT COLLECTOR SHALL BE MAINTAINED AS SHOWN HEREON.
5. THE EXISTING GRADE AT THE PROPOSED DOWNSPOUT COLLECTOR SHALL BE MAINTAINED AS SHOWN HEREON.
6. THE EXISTING GRADE AT THE PROPOSED DOWNSPOUT COLLECTOR SHALL BE MAINTAINED AS SHOWN HEREON.
7. THE EXISTING GRADE AT THE PROPOSED DOWNSPOUT COLLECTOR SHALL BE MAINTAINED AS SHOWN HEREON.

**POND NOTES:**

1. THE EXISTING GRADE AT THE PROPOSED POND SHALL BE MAINTAINED AS SHOWN HEREON.
2. THE EXISTING GRADE AT THE PROPOSED POND SHALL BE MAINTAINED AS SHOWN HEREON.
3. THE EXISTING GRADE AT THE PROPOSED POND SHALL BE MAINTAINED AS SHOWN HEREON.
4. THE EXISTING GRADE AT THE PROPOSED POND SHALL BE MAINTAINED AS SHOWN HEREON.
5. THE EXISTING GRADE AT THE PROPOSED POND SHALL BE MAINTAINED AS SHOWN HEREON.
6. THE EXISTING GRADE AT THE PROPOSED POND SHALL BE MAINTAINED AS SHOWN HEREON.
7. THE EXISTING GRADE AT THE PROPOSED POND SHALL BE MAINTAINED AS SHOWN HEREON.

**SYMBOLS LEGEND**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXISTING GRADE LINE		PROPOSED NEW GRADE LINE
	SEWER BUILDING		SEWER MANHOLE
	STREET RIGHT-OF-WAY		STREET LINE
	PROPERTY LINE		20' RIGHT-OF-WAY
	6' RIGHT-OF-WAY		10' RIGHT-OF-WAY
	15' RIGHT-OF-WAY		25' RIGHT-OF-WAY



**Stormwater Management & Drainage Report  
Lawrence Residence  
Acola Avenue,  
Apalachicola, FL**

FOR

**Tyler Doin  
325 West Shore Drive  
Inlet Beach, FL 32461**

December 20, 2019

**Report Prepared By:  
ANDERSON ENGINEERING, INC.  
35008 Emerald Coast Parkway, Suite 204  
Destin, Florida 32541  
Phone: (850) 714-8100**

P.N. 19FL10056

## Table of Contents

A. PROJECT DESCRIPTION AND PURPOSE .....	3
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Table 3: Peak Flow Summary for Detention Drainage Area .....	4
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## Appendix

WATER QUALITY CALCULATIONS

HYDRAFLOW HYDROGRAPHS 24-HOUR DURATION

GEOTECHNICAL REPORT



## A. PROJECT DESCRIPTION AND PURPOSE

The purpose of this report is to analyze the stormwater impact of the proposed addition to the residence located on a lot in Apalachicola, Florida. The total lot area is approximately 0.139 acres, and the total drainage area is approximately 0.091 acres. The Hydrologic Soil Group for the property was determined to be Type A/D per the NRCS Soil Inventory.

## B. EXISTING DRAINAGE BASIN AREA NARRATIVE

The existing site is unimproved. The site is generally flat.

## C. DEVELOPED DRAINAGE BASIN AREA NARRATIVE

Based on County requirements, stormwater attenuation is required for the critical duration 25-year, 24-hour stormwater event. Proposed improvements include construction a residence, a driveway, and a water quality/detention system. Areas not identified to be improved will be left undisturbed or seeded/sodded with grass.

The property has been divided up for areas with proposed improvements to drain to a detention system on the Southwest section of the lot. A pre-developed curve number of 39 was used based on the hydrologic soil group referenced above. A post-developed curve number of 78 was calculated. It is planned that all new impervious areas drain to the detention system.

All stormwater from the improvements will be conveyed to the detention basin through downspout collectors, pipes, inlets, and/or grass ditches. The detention area will retain all storm events shown in Table 3.

Table 1: Watershed Data for Drainage Area

	Storm Event (Year)	Curve Number	Area (Acres)	Time of Concentration (Mins)
Pre-Development	25	39	0.091	5
Post-Development	25	78	0.091	5

Table 2: Precipitation Data\*

Duration	25 Year
24-Hour (SCS)	10.30

\*Precipitation data based on FDOT Drainage Manual IDF Curves for Zone 1 or NOAA Atlas 14.



**Table 3: Peak Flow Summary for Detention Drainage Area**

Duration		25-Year (CFS)	Max 25-Year Elevation
24-Hour	Pre-Improvement	0.196	
	Post-Improvement	0.185	10.25

#### D. WATER QUALITY

Per County requirements, water quality must be provided to treat the greater of the runoff from 1" of rainfall on the site or the volume of 0.5" of rainfall on the drainage area. Water quality summaries and calculations for the basin are included in the appendix. The basin has a draw down time well below the maximum time allowed (72 hours). See the appendix for detailed calculations. Stormwater volumes exceeding the water quality volume will be attenuated for the design storms previously described in Section C. A geotechnical report giving the design infiltration rates and seasonal high groundwater table has been included in the appendix.

#### E. CONCLUSION

Runoff will be detained to peak flow rates and will not affect downstream conditions. The stormwater system was modeled per County requirements and complies with County regulations.



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# APPENDIX



# WATER QUALITY CALCULATIONS



**Project**

Project Name	LAWRENCE RESIDENCE
Project Number	19FL10056
Date	12/20/2019

**Project Information**

Drainage Area	3979 SF	0.091 AC
Bottom of Basin	9.25 FT	
Ground Elevation	10.25 FT	
Water Table Elev	8.75 FT	
Confining Layer Elev	3.58 FT	
K(vs)	36.00 FT/Day	18.00 In/Hour
K(hs)	36.00 FT/Day	18.00 In/Hour
Porosity "f"	0.30	
Basin Width	18.50 FT	
Basin Length	54.80 FT	

**Runoff Coefficient "c"**

	Area	"c"
Impervious Area	2602 SF	0.95
Pervious Area	1377 SF	0.10
Composite "c"		0.66

**Treatment Volume Required**

Runoff from 1" Rain	217 CF
0.5" Rainfall	166 CF
Volume Required	217 CF
Volume Provided	527

**Treatment Volume Elevation**

Elevation	Volume	Treatment Volume Elev:
FT	SF	
9.25	0	9.54 FT
10.25	738	
*Actual Treatment Elev Used		10.10 FT

*\*Actual Treatment Volume Exceeds requirements*

**Saturated Lateral Flow**

h (b)	0.50 FT
h(v)	0.85 FT
h(u)	0.15 FT
Will saturated lateral flow occur?	Yes

---

**Unsaturated Vertical Flow**

---

Basin Area	1013.8 SF	
Unsaturated Treatment Volume	152.07 CF	
K(vu)	41.00 FT/Day	12.00 In/Hr w/ FS
Factor of Safety	2	
Infiltration Rate	20.50 FT/Day	6.00 In/Hour
Time to saturate soil	0.10 Day	0.51 Hour

---

**Saturated Lateral Flow**

---

Remaining Treatment Volume	375 CF
----------------------------	--------

**Elevation at Start of Saturated Lateral Flow**

Elevation FT	Volume CF	Treatment Volume Elev: FT
9.25	0	
10.25	738	9.76
h( c) = h(b)	0.50 ft	
h(2)	0.51 ft	
H(t)	1.01 ft	
F(y)	0.50	
Basin L/W Ratio	3.0	
F(x)	1	
H	5.2 ft	
D, average saturated thickness	5.416666667 ft	
K(h) w/ FS = 2	18 ft/day	
Time to recover	0.88 days	

---

**Total Time to Recover**

---

Days	0.98
Hours	23.40

# HYDRAFLOW HYDROGRAPHS 24- HOUR DURATION

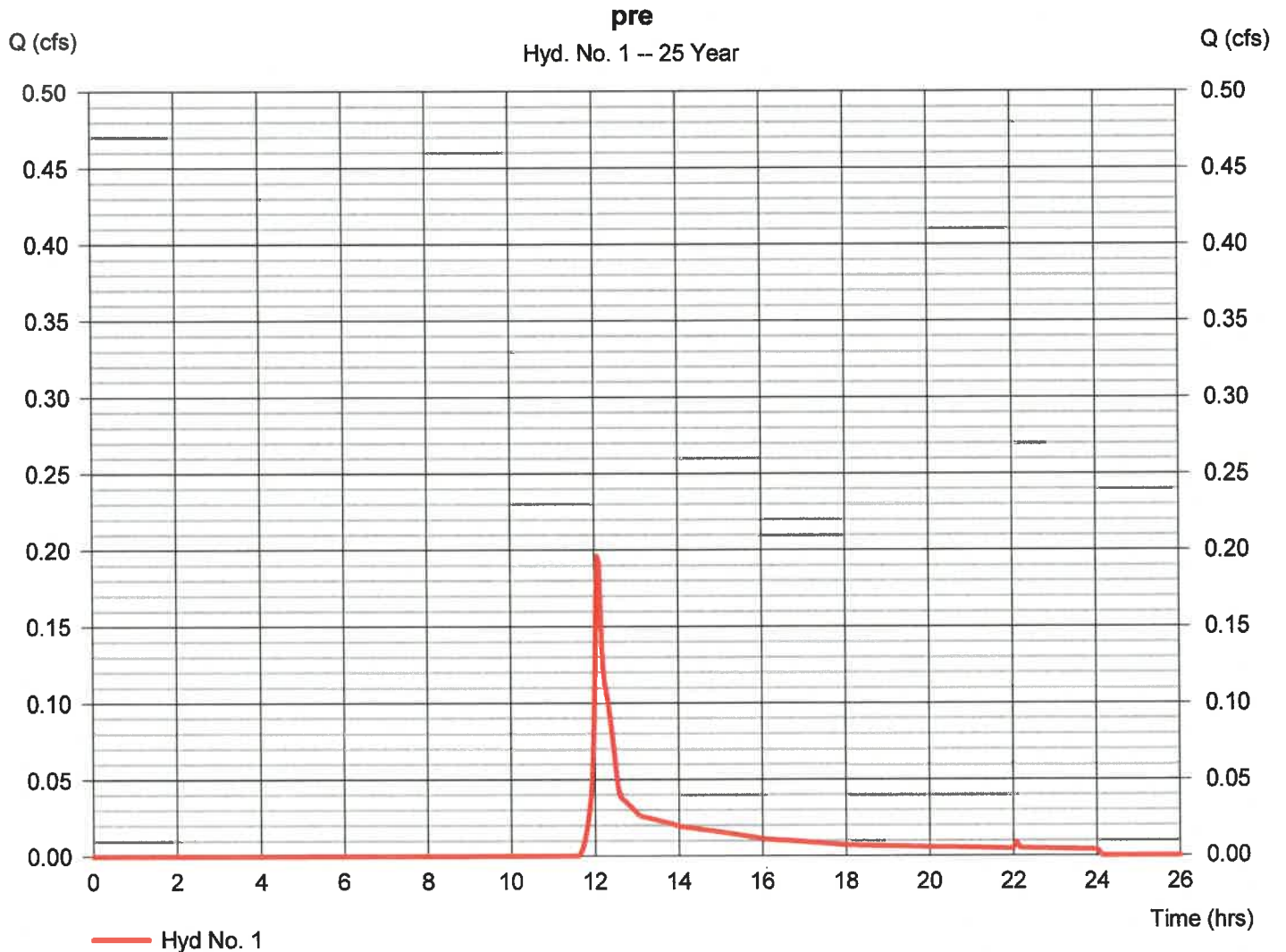


# Hydrograph Report

## Hyd. No. 1

pre

Hydrograph type	= SCS Runoff	Peak discharge	= 0.196 cfs
Storm frequency	= 25 yrs	Time to peak	= 12.07 hrs
Time interval	= 2 min	Hyd. volume	= 701 cuft
Drainage area	= 0.091 ac	Curve number	= 39
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 10.30 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

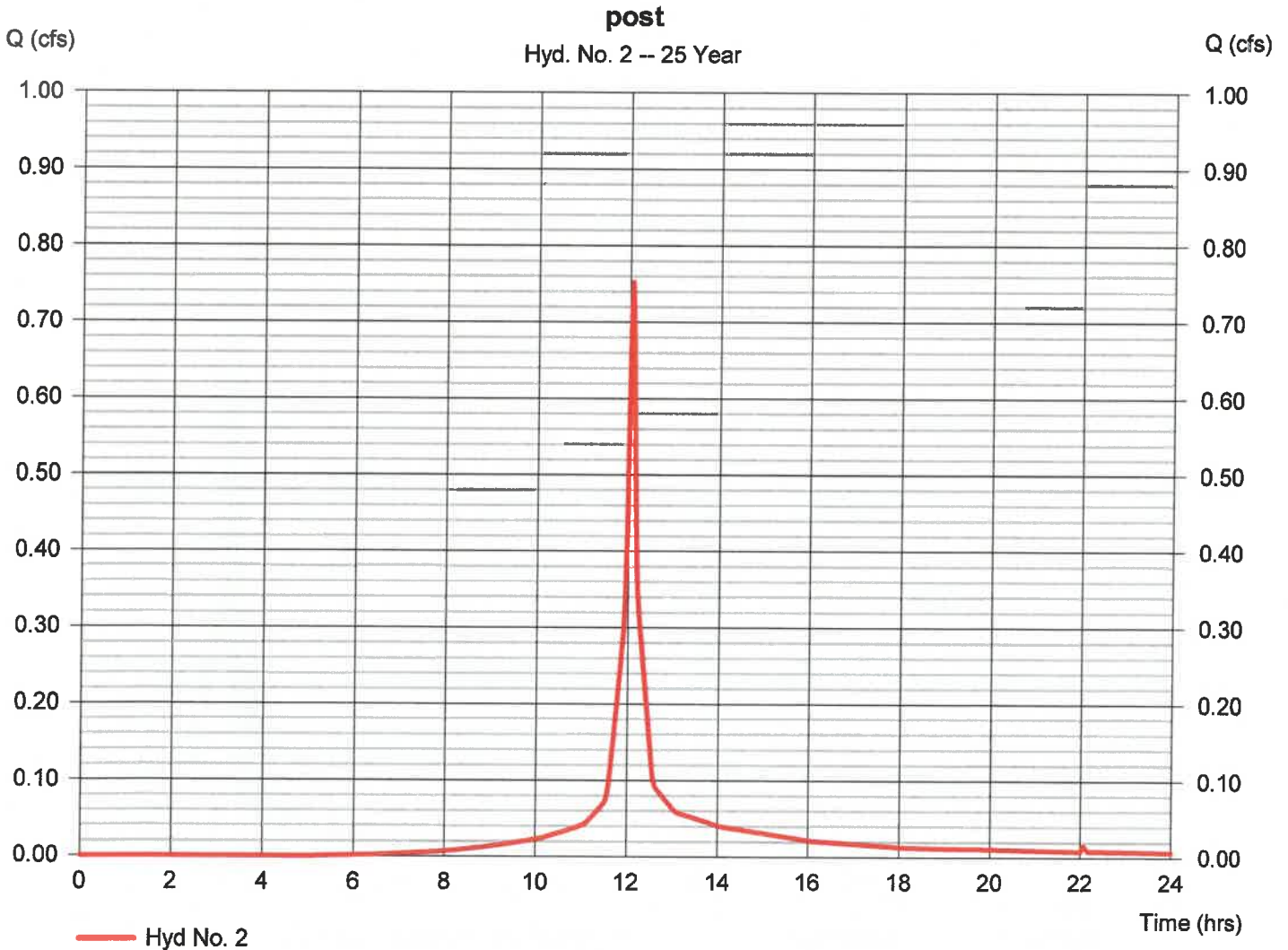
Friday, 12 / 20 / 2019

## Hyd. No. 2

post

Hydrograph type	= SCS Runoff	Peak discharge	= 0.753 cfs
Storm frequency	= 25 yrs	Time to peak	= 12.07 hrs
Time interval	= 2 min	Hyd. volume	= 2,312 cuft
Drainage area	= 0.090 ac	Curve number	= 78*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 10.30 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) =  $[(0.060 \times 98) + (0.032 \times 39)] / 0.090$



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

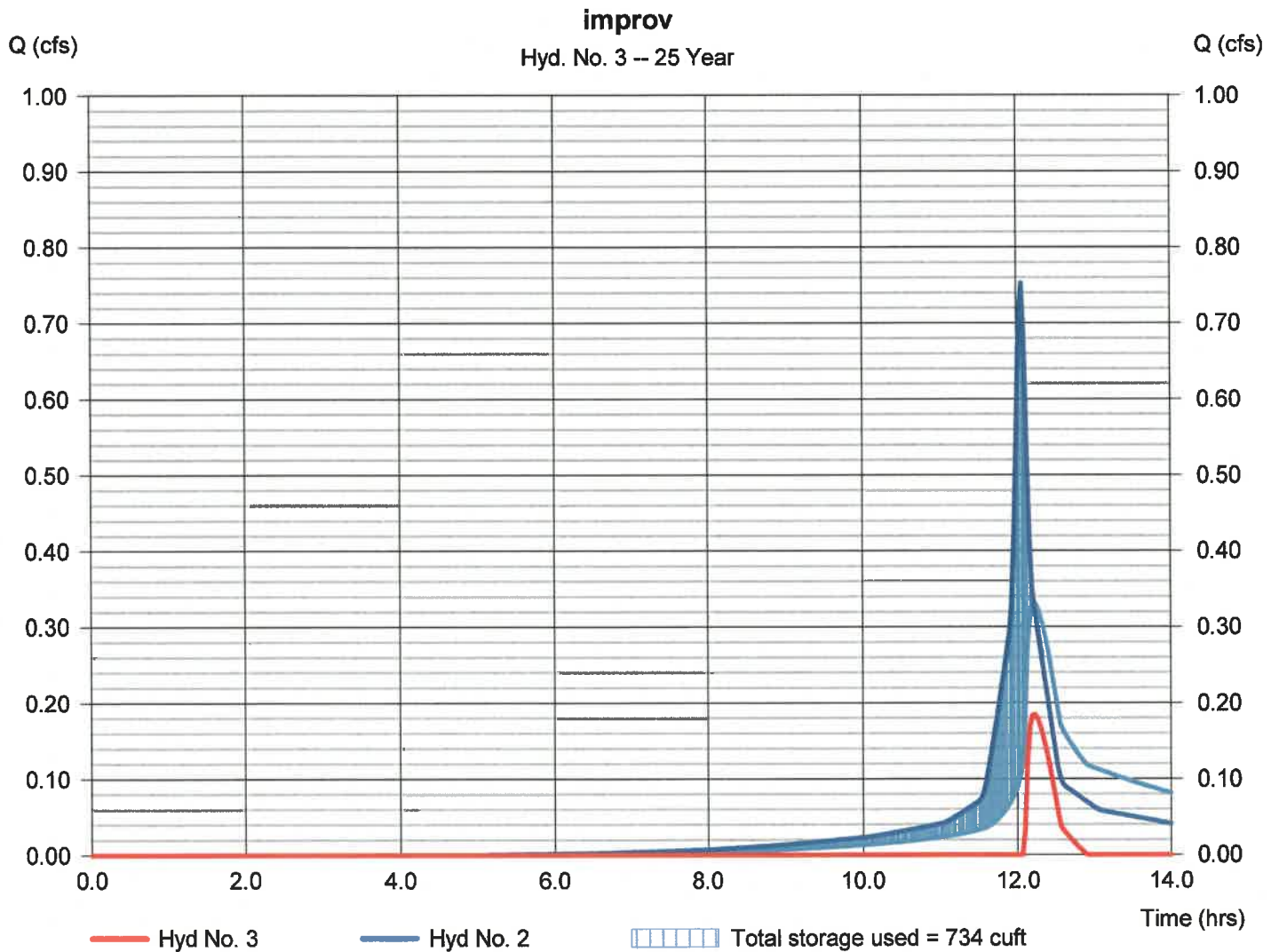
Friday, 12/20/2019

## Hyd. No. 3

improv

Hydrograph type	= Reservoir	Peak discharge	= 0.185 cfs
Storm frequency	= 25 yrs	Time to peak	= 12.23 hrs
Time interval	= 2 min	Hyd. volume	= 242 cuft
Inflow hyd. No.	= 2 - post	Max. Elevation	= 10.25 ft
Reservoir name	= <New Pond>	Max. Storage	= 734 cuft

Storage Indication method used. Exfiltration extracted from Outflow.





# Pond Report

## Pond No. 1 - <New Pond>

### Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Begining Elevation = 9.25 ft

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	9.25	456	0	0
1.00	10.25	1,062	738	738

### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 0.00	0.00	0.00	0.00
Span (in)	= 0.00	0.00	0.00	0.00
No. Barrels	= 0	0	0	0
Invert El. (ft)	= 0.00	0.00	0.00	0.00
Length (ft)	= 0.00	0.00	0.00	0.00
Slope (%)	= 0.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 1.00	0.00	0.00	0.00
Crest El. (ft)	= 10.10	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= Rect	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 6.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

### Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Civ A cfs	Civ B cfs	Civ C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	9.25	---	---	---	---	0.00	---	---	---	0.000	---	0.000
0.10	74	9.35	---	---	---	---	0.00	---	---	---	0.015	---	0.015
0.20	148	9.45	---	---	---	---	0.00	---	---	---	0.029	---	0.029
0.30	221	9.55	---	---	---	---	0.00	---	---	---	0.044	---	0.044
0.40	295	9.65	---	---	---	---	0.00	---	---	---	0.059	---	0.059
0.50	369	9.75	---	---	---	---	0.00	---	---	---	0.074	---	0.074
0.60	443	9.85	---	---	---	---	0.00	---	---	---	0.088	---	0.088
0.70	517	9.95	---	---	---	---	0.00	---	---	---	0.103	---	0.103
0.80	590	10.05	---	---	---	---	0.00	---	---	---	0.118	---	0.118
0.90	664	10.15	---	---	---	---	0.04	---	---	---	0.133	---	0.170
1.00	738	10.25	---	---	---	---	0.19	---	---	---	0.147	---	0.341

# **GEO TECHNICAL REPORT**





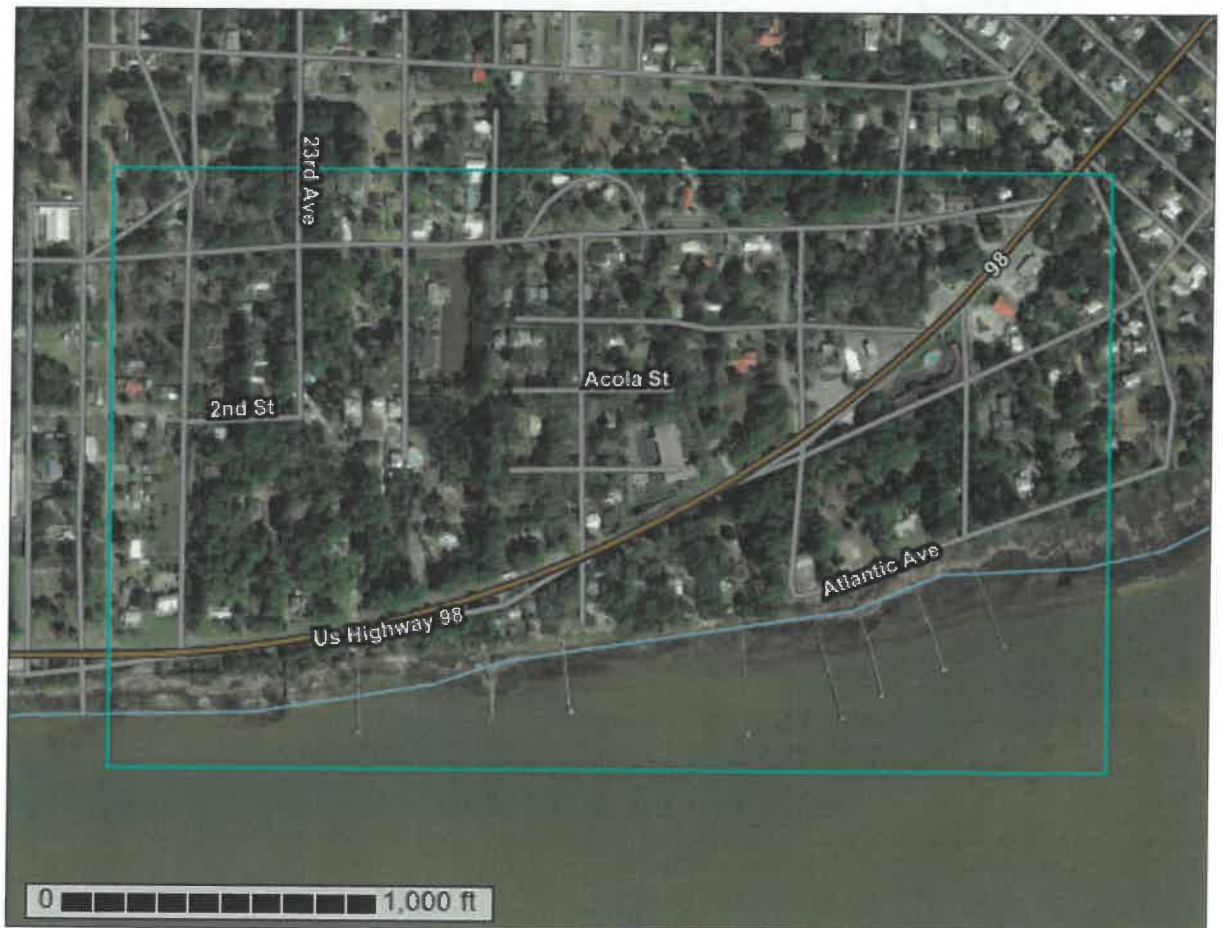
United States  
Department of  
Agriculture

**NRCS**

Natural  
Resources  
Conservation  
Service

A product of the National  
Cooperative Soil Survey,  
a joint effort of the United  
States Department of  
Agriculture and other  
Federal agencies, State  
agencies including the  
Agricultural Experiment  
Stations, and local  
participants

# Custom Soil Resource Report for Franklin County, Florida



# Custom Soil Resource Report Soil Map












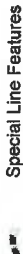



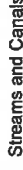



























Soil Map may not be valid at this scale.

Map Scale: 1:5,330 if printed on A landscape (11" x 8.5") sheet.

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 16N WGS84

## MAP LEGEND

 Area of Interest (AOI)	 Spoil Area
 Soils	 Stony Spot
 Soil Map Unit Polygons	 Very Stony Spot
 Soil Map Unit Lines	 Wet Spot
 Soil Map Unit Points	 Other
 Special Point Features	 Special Line Features
 Blowout	 Water Features
 Borrow Pit	 Streams and Canals
 Clay Spot	 Transportation
 Closed Depression	 Ralls
 Gravel Pit	 Interstate Highways
 Gravelly Spot	 US Routes
 Landfill	 Major Roads
 Lava Flow	 Local Roads
 Marsh or swamp	 Background
 Mine or Quarry	 Aerial Photography
 Miscellaneous Water	
 Perennial Water	
 Rock Outcrop	
 Saline Spot	
 Sandy Spot	
 Severely Eroded Spot	
 Sinkhole	
 Slide or Slip	
 Sodic Spot	

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Franklin County, Florida  
 Survey Area Data: Version 16, Sep 16, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Oct 30, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
4	Dirego and Bayvi soils, tidal	10.1	7.2%
22	Leon sand, 0 to 2 percent slopes	32.7	23.3%
24	Mandarin fine sand, 0 to 2 percent slopes	8.0	5.7%
31	Rutlege fine sand, 0 to 2 percent slopes	9.5	6.8%
33	Scranton fine sand, 0 to 2 percent slopes	53.7	38.3%
100	Waters of the Gulf of Mexico	26.1	18.6%
<b>Totals for Area of Interest</b>		<b>140.1</b>	<b>100.0%</b>

## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it

## Custom Soil Resource Report

was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

## Franklin County, Florida

### 4—Dirego and Bayvi soils, tidal

#### Map Unit Setting

*National map unit symbol:* 11115  
*Mean annual precipitation:* 53 to 61 inches  
*Mean annual air temperature:* 64 to 72 degrees F  
*Frost-free period:* 290 to 320 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Dirego and similar soils:* 50 percent  
*Bayvi and similar soils:* 40 percent  
*Minor components:* 10 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Dirego

##### Setting

*Landform:* Tidal marshes on marine terraces  
*Landform position (three-dimensional):* Talf  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Parent material:* Herbaceous organic material over sandy marine deposits

##### Typical profile

*Oa - 0 to 35 inches:* muck  
*Cg - 35 to 72 inches:* fine sand

##### Properties and qualities

*Slope:* 0 to 1 percent  
*Depth to restrictive feature:* More than 80 inches  
*Natural drainage class:* Very poorly drained  
*Runoff class:* Very high  
*Capacity of the most limiting layer to transmit water (Ksat):* High to very high (5.95 to 19.98 in/hr)  
*Depth to water table:* About 0 to 6 inches  
*Frequency of flooding:* Frequent  
*Frequency of ponding:* None  
*Salinity, maximum in profile:* Strongly saline (16.0 to 32.0 mmhos/cm)  
*Sodium adsorption ratio, maximum in profile:* 55.0  
*Available water storage in profile:* Very high (about 14.5 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 8  
*Hydrologic Soil Group:* A/D  
*Forage suitability group:* Forage suitability group not assigned (G152AA999FL)  
*Hydric soil rating:* Yes

#### Description of Bayvi

##### Setting

*Landform:* Tidal marshes on marine terraces  
*Landform position (three-dimensional):* Talf



## Custom Soil Resource Report

*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Parent material:* Sandy marine deposits

### Typical profile

*A1 - 0 to 8 inches:* mucky sand  
*A2 - 8 to 26 inches:* sand  
*Cg3 - 26 to 80 inches:* sand

### Properties and qualities

*Slope:* 0 to 1 percent  
*Depth to restrictive feature:* More than 80 inches  
*Natural drainage class:* Very poorly drained  
*Runoff class:* Very high  
*Capacity of the most limiting layer to transmit water (Ksat):* High (1.98 to 5.95 in/hr)  
*Depth to water table:* About 0 to 6 inches  
*Frequency of flooding:* Frequent  
*Frequency of ponding:* None  
*Salinity, maximum in profile:* Slightly saline to strongly saline (4.0 to 32.0 mmhos/cm)  
*Sodium adsorption ratio, maximum in profile:* 70.0  
*Available water storage in profile:* Very low (about 1.2 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 8  
*Hydrologic Soil Group:* A/D  
*Forage suitability group:* Forage suitability group not assigned (G152AA999FL)  
*Hydric soil rating:* Yes

### Minor Components

#### Maurepas

*Percent of map unit:* 10 percent  
*Landform:* Tidal marshes on marine terraces  
*Landform position (three-dimensional):* Talf  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Hydric soil rating:* Yes

## 22—Leon sand, 0 to 2 percent slopes

### Map Unit Setting

*National map unit symbol:* 2rz0s  
*Elevation:* 0 to 300 feet  
*Mean annual precipitation:* 60 to 69 inches  
*Mean annual air temperature:* 63 to 72 degrees F  
*Frost-free period:* 252 to 306 days  
*Farmland classification:* Not prime farmland

## Custom Soil Resource Report

### Map Unit Composition

*Leon and similar soils:* 80 percent

*Minor components:* 20 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

### Description of Leon

#### Setting

*Landform:* Flatwoods, marine terraces

*Landform position (three-dimensional):* Tread, tal

*Down-slope shape:* Convex, linear

*Across-slope shape:* Linear

*Parent material:* Sandy marine deposits

#### Typical profile

*A - 0 to 5 inches:* sand

*E - 5 to 18 inches:* sand

*Bh - 18 to 26 inches:* sand

*E' - 26 to 65 inches:* sand

*B'h - 65 to 80 inches:* sand

#### Properties and qualities

*Slope:* 0 to 2 percent

*Depth to restrictive feature:* More than 80 inches

*Natural drainage class:* Poorly drained

*Runoff class:* High

*Capacity of the most limiting layer to transmit water (Ksat):* Moderately high to high (0.20 to 1.98 in/hr)

*Depth to water table:* About 2 to 18 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Salinity, maximum in profile:* Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

*Sodium adsorption ratio, maximum in profile:* 4.0

*Available water storage in profile:* Low (about 5.6 inches)

#### Interpretive groups

*Land capability classification (irrigated):* 4w

*Land capability classification (nonirrigated):* 4w

*Hydrologic Soil Group:* A/D

*Forage suitability group:* sandy soils on flats of mesic or hydric lowlands (G133AA141FL)

*Other vegetative classification:* North Florida Flatwoods (R152AY004FL)

*Hydric soil rating:* No

### Minor Components

#### Leon, hydric

*Percent of map unit:* 5 percent

*Landform:* Flats on marine terraces

*Landform position (three-dimensional):* Tread, tal

*Down-slope shape:* Convex

*Across-slope shape:* Linear

*Hydric soil rating:* Yes

## Custom Soil Resource Report

### **Pottsburg**

*Percent of map unit:* 4 percent  
*Landform:* Flats on marine terraces  
*Landform position (three-dimensional):* Talf  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

### **Hurricane**

*Percent of map unit:* 4 percent  
*Landform:* Flats on marine terraces, rises on marine terraces  
*Landform position (three-dimensional):* Interfluve  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

### **Mandarin**

*Percent of map unit:* 3 percent  
*Landform:* Flats on marine terraces, rises on marine terraces  
*Landform position (three-dimensional):* Talf  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

### **Pickney**

*Percent of map unit:* 2 percent  
*Landform:* Flats on marine terraces  
*Landform position (three-dimensional):* Talf  
*Down-slope shape:* Concave, linear  
*Across-slope shape:* Concave, linear  
*Other vegetative classification:* North Florida Flatwoods (R152AY004FL)  
*Hydric soil rating:* Yes

### **Rutlege**

*Percent of map unit:* 2 percent  
*Landform:* Depressions on marine terraces  
*Landform position (three-dimensional):* Dip  
*Down-slope shape:* Concave  
*Across-slope shape:* Concave  
*Other vegetative classification:* North Florida Flatwoods (R152AY004FL)  
*Hydric soil rating:* Yes

## **24—Mandarin fine sand, 0 to 2 percent slopes**

### **Map Unit Setting**

*National map unit symbol:* 2ttkv  
*Elevation:* 0 to 100 feet  
*Mean annual precipitation:* 59 to 67 inches  
*Mean annual air temperature:* 64 to 72 degrees F  
*Frost-free period:* 223 to 253 days

## Custom Soil Resource Report

*Farmland classification:* Not prime farmland

### Map Unit Composition

*Mandarin and similar soils:* 92 percent

*Minor components:* 8 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

### Description of Mandarin

#### Setting

*Landform:* Flats on marine terraces, rises on marine terraces

*Landform position (three-dimensional):* Talf

*Down-slope shape:* Convex

*Across-slope shape:* Linear

*Parent material:* Sandy marine deposits

#### Typical profile

*A - 0 to 6 inches:* fine sand

*E - 6 to 24 inches:* fine sand

*Bh - 24 to 32 inches:* fine sand

*C - 32 to 80 inches:* sand

#### Properties and qualities

*Slope:* 0 to 2 percent

*Depth to restrictive feature:* More than 80 inches

*Natural drainage class:* Somewhat poorly drained

*Runoff class:* Very low

*Capacity of the most limiting layer to transmit water (Ksat):* Moderately high to high (0.60 to 2.00 in/hr)

*Depth to water table:* About 18 to 42 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Salinity, maximum in profile:* Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

*Sodium adsorption ratio, maximum in profile:* 4.0

*Available water storage in profile:* Low (about 3.6 inches)

#### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 6s

*Hydrologic Soil Group:* A

*Forage suitability group:* Sandy soils on rises and knolls of mesic uplands (G152AA131FL)

*Hydric soil rating:* No

### Minor Components

#### Ortega

*Percent of map unit:* 5 percent

*Landform:* Ridges, knolls, marine terraces

*Landform position (two-dimensional):* Summit

*Landform position (three-dimensional):* Interfluve, talf

*Down-slope shape:* Convex

*Across-slope shape:* Linear

*Hydric soil rating:* No

## Custom Soil Resource Report

### Chaires

*Percent of map unit:* 3 percent  
*Landform:* Flatwoods on marine terraces  
*Landform position (three-dimensional):* Talf  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

## 31—Rutlege fine sand, 0 to 2 percent slopes

### Map Unit Setting

*National map unit symbol:* 2ttkl  
*Elevation:* 0 to 450 feet  
*Mean annual precipitation:* 53 to 61 inches  
*Mean annual air temperature:* 64 to 72 degrees F  
*Frost-free period:* 290 to 320 days  
*Farmland classification:* Not prime farmland

### Map Unit Composition

*Rutlege and similar soils:* 92 percent  
*Minor components:* 8 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

### Description of Rutlege

#### Setting

*Landform:* Flats, marine terraces  
*Landform position (three-dimensional):* Talf  
*Down-slope shape:* Linear  
*Across-slope shape:* Concave  
*Parent material:* Sandy marine deposits and/or fluvio-marine deposits

#### Typical profile

*A - 0 to 13 inches:* fine sand  
*Cg - 13 to 80 inches:* sand

#### Properties and qualities

*Slope:* 0 to 2 percent  
*Depth to restrictive feature:* More than 80 inches  
*Natural drainage class:* Very poorly drained  
*Runoff class:* Negligible  
*Capacity of the most limiting layer to transmit water (Ksat):* High to very high (5.95 to 19.98 in/hr)  
*Depth to water table:* About 0 to 6 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* Frequent  
*Salinity, maximum in profile:* Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)  
*Sodium adsorption ratio, maximum in profile:* 4.0  
*Available water storage in profile:* Low (about 3.9 inches)

## Custom Soil Resource Report

### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 6w

*Hydrologic Soil Group:* A/D

*Forage suitability group:* Sandy soils on flats of mesic or hydric lowlands  
(G152AA141FL)

*Hydric soil rating:* Yes

### Minor Components

#### Lynn haven

*Percent of map unit:* 2 percent

*Landform:* Flats on marine terraces

*Landform position (three-dimensional):* Talf

*Down-slope shape:* Convex

*Across-slope shape:* Linear

*Hydric soil rating:* No

#### Pickney

*Percent of map unit:* 2 percent

*Landform:* Depressions on marine terraces

*Landform position (three-dimensional):* Dip

*Down-slope shape:* Concave

*Across-slope shape:* Concave

*Hydric soil rating:* Yes

#### Scranton

*Percent of map unit:* 2 percent

*Landform:* Sloughs on marine terraces

*Landform position (three-dimensional):* Dip

*Down-slope shape:* Linear

*Across-slope shape:* Concave

*Hydric soil rating:* Yes

#### Pamlico

*Percent of map unit:* 2 percent

*Landform:* Depressions on marine terraces

*Landform position (three-dimensional):* Dip

*Down-slope shape:* Concave

*Across-slope shape:* Concave

*Hydric soil rating:* Yes

## 33—Scranton fine sand, 0 to 2 percent slopes

### Map Unit Setting

*National map unit symbol:* 2ttkj

*Elevation:* 0 to 450 feet

*Mean annual precipitation:* 53 to 61 inches

*Mean annual air temperature:* 64 to 72 degrees F

*Frost-free period:* 290 to 320 days

## Custom Soil Resource Report

*Farmland classification:* Not prime farmland

### Map Unit Composition

*Scranton and similar soils:* 84 percent

*Minor components:* 16 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

### Description of Scranton

#### Setting

*Landform:* Flatwoods on marine terraces

*Landform position (three-dimensional):* Talf

*Down-slope shape:* Convex

*Across-slope shape:* Linear

*Parent material:* Sandy marine deposits

#### Typical profile

*A - 0 to 9 inches:* fine sand

*Cg - 9 to 80 inches:* fine sand

#### Properties and qualities

*Slope:* 0 to 2 percent

*Depth to restrictive feature:* More than 80 inches

*Natural drainage class:* Poorly drained

*Runoff class:* Negligible

*Capacity of the most limiting layer to transmit water (Ksat):* High to very high (5.95 to 19.98 in/hr)

*Depth to water table:* About 6 to 18 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Salinity, maximum in profile:* Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

*Sodium adsorption ratio, maximum in profile:* 4.0

*Available water storage in profile:* Low (about 4.8 inches)

#### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 3w

*Hydrologic Soil Group:* A/D

*Forage suitability group:* Sandy soils on flats of mesic or hydric lowlands (G152AA141FL)

*Hydric soil rating:* No

### Minor Components

#### Scranton, slough

*Percent of map unit:* 10 percent

*Landform:* Sloughs on marine terraces

*Landform position (three-dimensional):* Dip

*Down-slope shape:* Linear

*Across-slope shape:* Concave

*Hydric soil rating:* Yes

#### Leon

*Percent of map unit:* 3 percent

*Landform:* Flatwoods on marine terraces

*Landform position (three-dimensional):* Talf

## Custom Soil Resource Report

*Down-slope shape:* Convex

*Across-slope shape:* Linear

*Hydric soil rating:* No

### **Rutlege**

*Percent of map unit:* 3 percent

*Landform:* Flats on marine terraces

*Landform position (three-dimensional):* Talf

*Down-slope shape:* Concave, linear

*Across-slope shape:* Concave, linear

*Ecological site:* North Florida Flatwoods (R133AY004FL)

*Hydric soil rating:* Yes

## **100—Waters of the Gulf of Mexico**

### **Map Unit Composition**

*Gulf of mexico:* 100 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*







Building Dept. Review Summary

P&Z Meeting January 13<sup>th</sup>, 2020

Address: 59 15<sup>th</sup> St.

Zoning: R-1

Historic District: Yes

Block: 96

Lot: 6

Project Description: New Single Family Residence 2058' with a Shed 120' (15' x 18')

Flood Zone: X

Lot Size: 60' x 100'

Impervious Surface Proposed: 36.3% Allowed: 40%

Height Proposed: 32' Allowed: 35' **Comply with LDC.**

**Main Structure**

Setbacks Required: Front: 15' Rear: 25' Right : 5' Left: 15'

Setbacks proposed: Front : 15' Rear: 25' Right: 6' Left: 15' 8"

Shed Setbacks: Front: N/A Rear: 5' Right: 6' Left: 46'

Setbacks Proposed: **Comply with LDC.**



**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

**-HISTORIC DISTRICT-**

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner <u>THOMAS &amp; RENNI EDWARDS</u>	<u>GARY ULKCH</u>
Address _____	State License # _____
City _____ State _____ Zip _____	City License # _____ County License # _____
Phone (____) _____	Email Address <u>GARY@ULKCHCC.COM</u>
	Phone ( <u>850</u> ) <u>566-2078</u>

Approval Type: [ ] Staff Approval Date: \_\_\_\_\_ [ ] Board Approval [ ] Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

**PROJECT TYPE**

<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Fence
<input type="checkbox"/> Addition	<input type="checkbox"/> Repair (Extensive)
<input type="checkbox"/> Alteration/Renovation	<input type="checkbox"/> Variance
<input type="checkbox"/> Relocation	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Demolition	

**PROPERTY INFORMATION:**

Street Address: 57 15<sup>th</sup> ST. City & State: APALACHICOLA FL. Zip: 32320

[  ] Historic District [ ] Non-Historic District Zoning District: \_\_\_\_\_

Parcel #: 01-093-08W-8330-0096-0060 Block(s) 96 Lot(s) 6

FEMA Flood Zone/Panel #: \_\_\_\_\_  
(For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

<p>Setback requirement of Property:</p> <p>Front: _____ Rear: _____ Side: _____ Lot Coverage: _____</p> <p>Water Available: _____ Sewer Available: _____ Taps Paid _____</p>	<p>This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.</p> <p align="center"><b>Certificate of Appropriateness Approval:</b></p> <p>_____ Chairperson, Apalachicola Planning &amp; Zoning Board</p>
--	---

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

NEW CONSTRUCTION, OLD FLORIDA DESIGN  
 HARDI BO. SIDING, METAL ROOF, VINYL  
 DOUBLE HUNG & CASHEMENT WINDOWS

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	JAMES HARDI	CEMENT SIDING	
Doors	NEUMA	FIBERGLASS IMPACT RATED DOORS	
Windows	JELD WEN	VINYL IMPACT WINDOWS	
Roofing	ENGLETT	STANDING SEAM METAL	
Trim	JAMES HARDI	CEMENT TRIM	
Foundation	CONCRETE		
Shutters	N/A		
Porch/Deck	AZEK	AZEK DECKING	
Fencing	N/A		
Driveways/Sidewalks	LIME ROCK	STONE WITHOUT BASE LAYER	
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

12-18-19

SIGNATURE OF APPLICANT



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: THOMAS I KENNIE EDWARDS

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: GARY DURCH

ADDRESS: P.O. Box 536

CITY, STATE & ZIP CODE: APALACHICOLA PHONE # 850-566-2078

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 59 15<sup>th</sup> ST. APALACHICOLA FL. 32320

PROPOSED USE OF SITE: SINGLE FAMILY HOME

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 01-095-08W-0330-0096-0060

LEGAL DESCRIPTION OF PROPERTY: BL 96 LOT 6

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: N/A

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_



Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family      \_\_\_ Townhouse      \_\_\_ Commercial      \_\_\_ Industrial  
 \_\_\_ Duplex      \_\_\_ Swimming Pool      \_\_\_ Storage      \_\_\_ Sign  
 \_\_\_ Multi-Family      \_\_\_ Demolition      \_\_\_ Other  
 \_\_\_ Addition, Alteration or Renovation to building \_\_\_\_\_

Distance from property lines: Front 15      Rear 25      L. Side 15  
 R. Side 6  
 Cost of Construction \$ 420,000      Square Footage 2525  
 EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled 2925      # Of Stories 2      # Of Units 1  
 Type of Roof METAL      Type of Walls FRAME      Type of Floor CONC / WOOD  
 Extreme Dimensions of: Length 60      Height 32      Width 38

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent \_\_\_\_\_      Signature of Contractor [Handwritten Signature]  
 Date: \_\_\_\_\_      Date: 12-18-19  
 Notary as to Owner or Agent \_\_\_\_\_      Notary as to Contractor \_\_\_\_\_  
 My Commission expires: \_\_\_\_\_      My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.



**CITY OF APALACHICOLA  
TREE APPLICATION  
REMOVAL OR ALTERATION OF PROTECTED TREE**

Applicants Name: GARY URUCH / AGENT (Please print)  
 Property Owners Name: THOMAS & RENNIE EDWARDS Phone: \_\_\_\_\_  
 Property Address: 59 15<sup>th</sup> ST. City, State, Zip: APALACHICOLA FL.  
 General Contractor/Tree Contractor: GARY URUCH Phone: 850-566-2070  
 Applicants Signature/Date: [Signature] 12-18-19 / \_\_\_\_\_

1. **Protected trees** - Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4" to 16"	Greater than 16" to less than 35"	35" and larger (Patriarch Tree)
Bald & Pond Cypress			
Eastern & Southern Red Cedar			
Live Oak			
Longleaf Pine			
Pecan			
Sabal Palm			
Slash Pine			
Southern Magnolia			
Sycamore			
Water Oak			
<b>Total</b>			
Size is measured at breast height (4.5 Feet above ground surface)			

**NONE**

2. **Reason(s)** for removal or alteration (Mark all that apply with "X")

Owner's Private Property	
<b>Removal: New Construction</b>	<b>Alteration: New Construction</b>
Tree located within or too close to footprint of proposed new building or addition	Limbs and branches encroaching where structure is to be built
<b>Removal: No New Construction</b>	<b>Alteration: No New Construction</b>
Tree roots damaging building foundation or underground utilities	Limbs and branches rubbing on side or roof of building
Imminent hazard to property or human safety	Imminent hazard to property or human safety
Diseased or pest-infested tree	Diseased or pest-infested tree
Storm damaged tree (other than City declared emergency; e.g., lightning)	Storm-damaged tree (other than during City declared emergency; e.g., lightning)
Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
City Property (City street right-of-ways adjacent to private property)	
<b>Removal: Requested by Private Property Owner</b>	<b>Alteration: Requested by Private Property Owner (Significant cutting of limbs &amp; branches)</b>
Tree located where access to private property is proposed (driveway, etc.)	Imminent hazard to property or human safety
Imminent hazard to property or human safety	
Diseased or pest-infested tree	
Storm damaged tree (other than City declared emergency; e.g., lightning)	
Requested by City Department	
Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard)	Growth encroaching on street or alley

3. Please attach a map with the following drawn to scale:

- a. Locations of the following:
  1. Lot boundaries
  2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
  3. Types & Sizes of protected trees (measured at breast height in inches)
  4. Protected trees that are proposed to be removed or altered

**OFFICE USE ONLY**

Permit Processing Fee (\$50.00 or \$100.00)	
<b>Reforestation Fund</b>	
Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)	
Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)	
Non Patriarch Tree Total (\$250.00 Max)	
Number of Trees 35" and larger x \$1,000.00	
Reforestation Fund Total	

**Planning and Zoning Board (When Development plan is submitted):**

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
Chairperson, Planning and Zoning Board

\_\_\_\_\_  
Date

**Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)**

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
Code Enforcement Officer or Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
City Manager or Designee

\_\_\_\_\_  
Date

## **TREE REMOVAL AND TRIMMING APPLICATIONS**

The City of Apalachicola Tree Ordinance adopted in 2019, protects the following tree species on privately owned and City owned property: live oak, southern magnolia, sabal palm, slash pine, eastern and southern red cedar, longleaf pine, pecan, bald and pond cypress, sycamore, and water oak.

A copy of the new Ordinance and the tree removal and substantial alteration application is accessible through links on the Building Department webpage at [www.cityofapalachicola.com](http://www.cityofapalachicola.com)

If you have any questions about the new requirements or the new application form, please contact Wilbur Bellew, Code Enforcement Officer by e-mail at [wlbellew@cityofapalachicola.com](mailto:wlbellew@cityofapalachicola.com) and Cortni Bankston, Permitting and Development Coordinator by e-mail at [cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com) or by telephone at 850-653-1522.

## **FEES AND FINES**

1. **Administrative Fee** - The City of Apalachicola will collect a \$50.00 application and processing fee. However, if the application is submitted after the tree is removed and the application is approved at that time, there will be an additional application and processing fee of \$100.00.
2. **Fines** - If a **Non-Patriarch** tree is removed prior to the required application submission, the applicant, property owner, and/or contractor are subject to a fine of up to \$500.00 per tree. If a **Patriarch** tree is removed without the required approval, the applicant, property owner, and/or contractor are subject to a fine of up to \$25,000.00 per tree.
3. **Reforestation Fund** - The City of Apalachicola also collects a fee of \$25 or \$35 depending on size for each protected, non-patriarch tree removed by permit, but not to exceed \$250.00 per application. The City of Apalachicola collects a fee of \$1,000.00 for each patriarch tree removed by permit. The fees collected will be deposited into the Reforestation Fund for the establishment and maintenance of tree in city parks, squares, and public right-of-ways

# Owners, Builders, Developers

## PLEASE NOTE:

1. Before you proceed to have certified documents completed, you must first obtain Site Plan Approval, and if proposed development is located within the City's Historic District, a Certificate of Appropriateness from the City's Planning and Zoning Board and Architectural Review Committee.
2. Required site plan elements and the Certificate of Appropriateness Applications are due at least 10 business days prior to the scheduled monthly meeting (second Monday of each month) of the Planning and Zoning Board.
3. Site Plan Approvals are valid for one year after issuance. If a building permit is not obtained within a year after receiving site plan approval, the applicant must re-apply and receive site plan approval again.
4. Building permits are valid for one year after issuance. If construction has not begun within the year, the applicant must re-apply for a building permit.
5. After you have received your Planning and Zoning Approval for your site plan and/or Certificate of Appropriateness, whichever applies, take all development documents to the Building Department Office at 192 Coach Wagner Blvd, Apalachicola to obtain your building permit. Building permit issuance and all inspections will be handled by the Permitting and Development Coordinator and the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI. **Please be advised that additional documentation may be required by the Building Official.**
6. Land and Development regulations can be found on the City of Apalachicola's website @ [www.ci.apalachicola.fl.us](http://www.ci.apalachicola.fl.us).

*It is our intent to save you time and money in plan preparation. The City of Apalachicola Planning and Zoning Board also sits as the City's Architectural Review Board. Our responsibilities include protecting the historical character of the city. By working with the Planning and Zoning Board to obtain a Certificate of Appropriateness, your development will not only proceed more smoothly, but will also enhance the City's architectural integrity and historical character of Apalachicola.*

*Thank you.*  
PLANNING AND ZONING BOARD  
CITY OF APALACHICOLA

City of Apalachicola  
General Permit Checklist (Section VII. Site Plan Review Regulations)

General Permit Application Requirements are applicable for all development not subject to site plan requirements. Where required by Section IV I of this ordinance a more detailed site plan shall be required, as per Section IV.

Permit Application /Review – Each application for a development permit and, where required, with the appropriate fee shall be filed with the permit official on a form furnished for such purpose which shall contain, at a minimum, the following information:

- \_\_\_ 1. A location map and conceptual site plan of appropriate scale indicating the lot of property lines and physical description of the parcel with respect to:
- \_\_\_ 2. General topography including highest elevation above mean or ordinary high water and slope contours. **FLAT**
- \_\_\_ 3. The proposed development's distance from mean or ordinary high water and vegetated wetlands under the jurisdiction of the state. **N/A**
- \_\_\_ 4. The number and size(s) of structures existing on the parcel. **NONE**
- \_\_\_ 5. The proposed development's proximity to lot lines, setbacks, right of way, or easements and, where applicable, with respect to septic tank location and potable water supplies
- \_\_\_ 6. Sewer/Water Availability
- \_\_\_ 7. Flood Information including FIRM Zone. Note: any proposed development located within the Coastal Building Zone (V and related A Zones) must also provide floodplain management information as identified on supplemental floodplain management checklist.

For all new construction including any enlargement or alteration of an existing structure that changes its area of enclosed heated floor space, the applicant shall be required to submit, in duplicate, drawings and plans showing:

- \_\_\_ The basic floor plan
- \_\_\_ Foundation details **(ENGINEERING DRAWINGS ARE NOT COMPLETE)**
- \_\_\_ Elevation of flood level above the grade
- \_\_\_ Structural details
- \_\_\_ All electrical, plumbing, heating and air conditioning equipment and service outlets.

**REQUEST FOR NEW CONSTRUCTION must also include the following information:**

- ✓  Site Plan: Certified Survey, including an elevation certification, with the proposed structure depicted. Indicate front, rear, and each side of property in relation to property boundaries and depict setbacks in relation to required setbacks. Any accessory structures must also be depicted, as well as driveways, and any other permanent structures, along with the identification of the materials used in construction of existing and/or proposed driveways. NOTE: For Commercial New Construction parking, stormwater and landscaping must be depicted.
- ✓  Elevation drawings of structure to be constructed showing all sides, along with preliminary floor plans.
- ✓  A detailed list of exterior materials to be used, to include: siding, roof materials, windows, doors, shutters, and exposed foundations if not on slab.

**REQUEST FOR EXTERIOR RENNOVATIONS OR ADDTIONS TO EXISTING STRUCTURES must also include the following information:**

- Site Plan: Document of drawing showing existing structure located on property, with existing setbacks from property boundaries, all sides. Also, indicate front, rear, and sides of property in relation to property boundaries. Accessory structures must also be depicted, as well as driveways, and any other permanent structures, along with the identification of all materials used in construction of existing and proposed driveways. A certified Survey may be requested if any questions arise.
- Color photos of existing structure, showing all exterior sides.
- A detailed list of exterior materials to be used renovation. If different from existing, explain why appropriate.
- Renditions of proposed renovations, showing location and type of any exterior changes.



## Site Plan Review/Checklist (Section VII. Site Plan Review Regulations)

The Site Plan Review Process is applicable for any development OTHER THAN the construction of one single family residence on an individual lot unless such lot is located within the Special Waterfront District. The development of multifamily dwellings, commercial structures, industrial structures, parking lots, and all special exceptions must be approved through the site plan review process. Also included are projects which involve the alteration or conversion of any existing structure into a multi-family, commercial, or industrial structure which involves a change where there is the need for upgrading of the site for parking requirements, fire flow, storm water management, etc.

### F. SITE PLAN CHECKLIST

Site plans or any portion thereof involving engineering shall be certified and prepared by and/or under the direct supervision of a professional engineer. Site plans shall contain maps and documents indicating the following:

#### A. General Information

1. Name of Project
2. Statement of intended use of site
3. Legal description of the property, size of parcel in acres or square feet and the linear dimensions of the property.
4. Name, address, and telephone number of the owner or owners of record.
5. Name, address, and telephone number if the applicant and firm which he represents.
6. Name, address, signature and registration of the professionals preparing the plan.
7. Date, north arrow and scale, number of sheets; the scale (not smaller than one (1) inch to fifty (50) feet shall be designated and, where appropriate, the same scale should be used in drawing the site plan rather than varying the scale.
8. Vicinity map, showing relationship proposed development to the surrounding streets, wetlands and water bodies shall be at a scale of not less than one inch equals two thousand feet (1: +2,000'\_)
9. Location and identification of soil characteristics including wettest season high water table elevation, vegetable cover, wetlands, water bodies and the 100 year floodplain, including elevation, on the site.
10. Existing topography at two (2) foot contour intervals for the propose site, except where determined to be unnecessary by the City Planner.
11. Finish grading elevation
12. All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, right-of-way, the building setback lines, if different than those specified by the Zoning Regulation.) In addition, state any commitments, such as, contributions to offset public facilities impacts.

#### B. Building and Structures

1. Intended use
2. Number of stories
3. Height of building
4. Number of dwelling units and density for multifamily site plans
5. Projected number of employees (if applicable)
6. (Restaurants) show number of seats and occupancy load.
7. Square footage for proposed development - gross square footage, non-storage area, square footage of each story, gross square footage of sales area, etc.

#### C. Streets, Sidewalks, Driveways, Parking Areas and Loading Spaces

1. If available, engineering plans and specifications for street, sidewalks, and driveways, this information will be required prior to the issuance of a building permit.
2. All parking spaces designated and calculated as per code requirements
3. Number of parking spaces
4. Number and location of handicapped spaces
5. Number and designation of loading spaces
6. Number of square feet of paved parking and driveway area
7. Surface materials of driveways
8. Cross section of proposed street improvements
9. Fire lanes
10. Location of proposed driveways and median cut(s)
11. Internal traffic circulation plan, including directional arrows and signs to direct traffic flow
12. Location of traffic-control signs and signalization devices
13. Designate location of sidewalks
14. Coordinate walkways, driveways, etc., with facilities in adjacent developments
15. All proposed streets and alleys
16. The extension or construction of service roads and access thereto on-site must be shown where applicable

*D. Existing Improvements (On-Site, adjacent to site)*

1. Driveway and median cuts
2. Sidewalks, streets, alleys, and easements (note widths and type)
3. Storm water management systems to include natural and structural (size and materials, invert elevation)
4. Size and location of nearest water mains, valves, and fire hydrants
5. Sanitary sewer systems (size, invert elevations, etc., to be included)
6. Gas, power and telephone lines, where available.

*E. Proposed Water and Sewer Facilities*

1. Water, Size, material and location of water mains, plus valves and fire hydrants. Engineering plans and specifications will be required prior to the issuance of a building permit.
2. Sanitary Sewer Systems. Size, material, and location of lines. Engineering plans and specifications, with submittal of a profile where required, will be required prior to the issuance of a building permit.

*F. Solid Waste. Location (s) and access provisions for refuse service, including pad-screening, fencing, and landscaping.*

*G. Dredge and Fill. If any dredging or filling is intended in the development, a copy of the dredge and fill permit issued by the Florida Department of Environmental Regulations shall be required prior to the issuance of a building permit.*

*H. Storm water Management. A copy of the storm water permit pursuant to Chapter 17-25 F.A.C. Issued by the Florida Department of Environmental Regulations shall be required prior to the issuance of a building permit. For those developments exempt from a storm water permit pursuant to 17.25 F.A.C., a storm water management system shall be required of all development within the Special Waterfront District.*

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From: Floods <Floods@em.mylorida.com>  
Sent: Wednesday, November 28, 2012 7:43 AM  
Subject: New Elevation Certificate is released! PLEASE SHARE THE NEWS

FEMA has released the revised 2012 Elevation Certificate and 2012 Floodproofing Certificate. DEM has done a word-for-word review and determined there are no revisions that change any meaning or in any way alter the information that is collected. However, we encourage you to start reminding builders and surveyors that the revised certificates are now available.

FEMA announced that it will permit a "phase-in" of the revised Elevation Certificate on a voluntary basis. During the 12-month transition period beginning August 1, 2012, FEMA will accept either the new form or the old form. This voluntary transition period will allow for sufficient time for coordination and training of all affected NFIP stakeholders. Elevations certified after the last day of the transition period must be submitted on the new Elevation Certificate form with the expiration date of July 31, 2015.

Elevation Certificate - <http://www.fema.gov/library/viewRecord.do?id=1383>  
Floodproofing Certificate - <http://www.fema.gov/library/viewRecord.do?id=1600>

Please share this message with any concerned.

*"Floods are an act of God, but flood losses are largely an act of man."*

- Gilbert F. White, scientist & philosopher, "Father of floodplain management"

**Florida State Floodplain Management Office**

2555 Shumard Oak Blvd., Tallahassee, FL 32399-2100

(850) 413-9960 (Helpline) or [floods@em.mylorida.com](mailto:floods@em.mylorida.com)

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No virus found in this message.

Checked by AVG - [www.avg.com](http://www.avg.com)

Version: 2012.0.2221 / Virus Database: 2629 5424 - Release Date: 11/28/12

FLOOD PLAIN MANAGEMENT  
PERMIT APPLICATION REVIEW

DATE: 12-18-19

PERMIT #: \_\_\_\_\_

NAME: GRET ULRICH / AGENT  
MAILING ADDRESS: P.O. Box 536 CITY/STATE/ZIP: APALACHICOLA  
PHONE: 850-566-2078

STREET ADDRESS: 59 15<sup>th</sup> ST. APALACHICOLA FL. 32320  
LEGAL DESCRIPTION: BL 96 LOT 6  
PARCEL I.D.#: 01-093-084-8330-0096-0060

DESCRIBE DEVELOPMENT: NEW CONSTRUCTION

RESIDENTIAL:  COMMERCIAL: \_\_\_\_\_ NEW STRUCTURE: \_\_\_\_\_ SUBSTANTIAL IMPROVEMENT: \_\_\_\_\_

FLOOD ZONE INFORMATION:

PANEL NO.: \_\_\_\_\_ FIRM ZONE: \_\_\_\_\_ BFE: \_\_\_\_\_ GRADE ELEVATION: \_\_\_\_\_

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE: \_\_\_\_\_  
AND/OR TOP OF THE BOTTOM FLOOR \_\_\_\_\_ (PER PLANS)

SQUARE FEET OF ENCLOSURE BELOW BFE: \_\_\_\_\_ (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, \_\_\_\_\_, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014; my/our property may be adversely affected by these changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: \_\_\_\_\_ PARCEL I.D.#: \_\_\_\_\_  
EFFECTIVE FLOOD ZONE: \_\_\_\_\_ PRELIMINARY FLOOD ZONE: \_\_\_\_\_

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel.

\_\_\_\_\_  
Signature of owner or developer

\_\_\_\_\_  
Date

Material used for enclosure below BFE: solid wall/breakaway wall \_\_\_\_\_, flow through vents  
\_\_\_\_\_ (sq ft of vent opening), screen wire, lattice or louvers: \_\_\_\_\_

Type of foundation: \_\_\_\_\_

Pile Support

Concrete block stem wall

Other

Application meets all requirements designated in the flood plain management ordinance  
\_\_\_\_\_ Date.

**Inspections:**

Foundation meets the requirement for the flood zone designation: \_\_\_\_\_

Under construction elevation certificate has been submitted and meets elevation standards for flood zone  
\_\_\_\_\_

Enclosures below the BFE are designed as required by the flood plain management ordinance:  
\_\_\_\_\_

Final elevation certificate has been submitted and all aspects of the structure meet designated flood zone  
requirements: \_\_\_\_\_

All Mechanical and A/C equipment meet the required elevation for the designated BFE:  
\_\_\_\_\_

Final Inspection on structure meets all requirements designated in the flood plain management ordinance:  
\_\_\_\_\_ Date.

\_\_\_\_\_  
Flood Plain Administrator

\_\_\_\_\_  
Date

**ORDINANCE 2015 - 03**  
**CITY OF APALACHICOLA, FLORIDA**  
**(POSTING 911 EMERGENCY ADDRESS)**

AN ORDINANCE BY THE CITY COMMISSIONER OF THE CITY OF APALACHICOLA, FLORIDA ADOPTING A UNIFORM SYSTEM THAT REQUIRES THE POSTING OF THE ASSIGNED 911 EMERGENCY ADDRESS FOR BUILDINGS WITH ACCESS FROM OFFICIALLY NAMED ROADS AND STREETS WITHIN THE JURISDICTION OF THE CITY OF APALACHICOLA, FLORIDA, PROVIDE FOR ENFORCEMENT PROCEEDINGS AND THE REPEAL OF ANY ORDINANCE IN CONFLICT HEREWITH AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS The City Commission of the City of Apalachicola has determined that it would be in the best interests of the public health, safety and general welfare of its citizens and inhabitants to adopt a uniform system that requires the posting of the assigned 911 EMERGENCY ADDRESS for buildings with access from officially named roads and streets within the jurisdiction of the City of Apalachicola, Florida; and

WHEREAS all buildings with the exception of accessory or out buildings located on a property within the City of Apalachicola shall have the assigned address number properly displayed whether or not mail is delivered to such building or property; and

WHEREAS it shall be the duty of the property owner to post the assigned address number for buildings on the property in the following manner:

1. The assigned address number shall be affixed to the front of the building or to a separate structure in front of the building such as a mailbox, post wall or fence in such a manner so as to be clearly visible and legible from the public ways on which the building fronts. In the event that the building is not visible from a road or street, the address shall be posted on the building and at the entry section of the building driveway and driveway street where the driveway connects.
2. Numbers shall be legible and easily seen from the road or street in which the building fronts.
3. Numbers shall be of a contrasting color with the immediate background of the building or structure to which such numbers are affixed.
4. Numbers on residential buildings shall be no less than four (4) inches in height.
5. Numbers on all commercial buildings shall be no less than six (6) inches in height and shall be posted on the business sign in front of the building and shall also be posted on the building.

WHEREAS all emergency addresses currently assigned at time of passage of this Ordinance shall be posted for the building within sixty (60) days upon its adoption. Further addresses shall be posted within 30 days of any actual assignment, a change of address or upon violation of a building code that a non-compliance sign.

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**  
**APPLICATION FOR BUILDING PERMIT**

Official Use Only

PERMIT #: \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_ - \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

PROPERTY OWNER'S NAME(S): THOMAS & RENNIE EDWARDS

ADDRESS: 59 15<sup>th</sup> ST.

CITY, STATE & ZIP CODE: APALACHICOLA PHONE # \_\_\_\_\_

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR: GARY ULRICH

ADDRESS: P.O. Box 536 APALACHICOLA

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # 653-2900

STATE LICENSE NUMBER: \_\_\_\_\_ CITY OF APALACHICOLA LICENSE # \_\_\_\_\_

ADDRESS OF PROJECT: 59 15<sup>th</sup> ST. APALACHICOLA, FL.

DESCRIPTION OF PROPOSED JOB: NEW CONSTRUCTION

STRUCTURE IS LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  NO

PROPERTY PARCEL ID # 01-095-08W-8330-0096-0060

LEGAL DESCRIPTION OF PROPERTY: BL 96 LOT 6

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: ZACH WARD / S.C.E.

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: NONE

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family      \_\_\_ Townhouse      \_\_\_ Commercial      \_\_\_ Industrial  
\_\_\_ Duplex      \_\_\_ Swimming Pool      \_\_\_ Storage      \_\_\_ Sign  
\_\_\_ Multi-Family      \_\_\_ Demolition      \_\_\_ Other  
\_\_\_ Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front 15      Rear 25      L. Side 15'-8"      R. Side 6

Cost of Construction \$ \_\_\_\_\_ Square Footage \_\_\_\_\_  
EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
Area Heated/Cooled 2525      # Of Stories 2      # Of Units 1  
Type of Roof HEAVY      Type of Walls FRAME      Type of Floor CONC.      Extreme  
Dimensions of: Length 60'      Height \_\_\_\_\_      Width 38'-2"

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

\_\_\_\_\_  
Signature of Owner or Agent      [Signature]  
Signature of Contractor

Date: \_\_\_\_\_      Date: 12-3-19

\_\_\_\_\_  
Notary as to Owner or Agent      Notary as to Contractor

My Commission expires: \_\_\_\_\_      My Commission expires: \_\_\_\_\_

**APPLICATION APPROVED BY:** \_\_\_\_\_ **BUILDING OFFICIAL**





**Parcel Summary**

Parcel ID 01-09S-08W-8330-0096-0060  
 Location Address 59 15TH ST  
 APALACHICOLA 32320  
 Brief Tax Description\* BL 96 LOT 6 OR 522/310 1128/216 1138/501 1138/502 1138/503 1138/504 1169/213 1184/153 1199/797 1237/417 1237/418  
\*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 20.8391  
 Acreage 0.000  
 Homestead N

1672.  
853  
725

[View Map](#)

**Owner Information**

Primary Owner  
 Edwards Thomas H & Rennie F  
 As Trustees  
 2051 Turpentine Trail  
 St George Island, FL 32328

229-1093

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	60.00	FF	0	0

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	03/14/2019	\$136,900	WD	1237	418	Qualified (Q)	Vacant	PIZZELLI JOHN RICHARD	EDWARDS THOMAS H & RENNIE F AS TRUSTEES
N	03/12/2019	\$100	QC	1237	417	Unqualified (U)	Vacant	RINDLER LESLIE SUE & MICHAEL E	EDWARDS THOMAS H & RENNIE F AS TRUSTEES
N	08/11/2017	\$145,000	WD	1199	797	Qualified (Q)	Improved	RINDLER/RINDLER AS TRUSTEE	PIZZELLI
N	01/20/2017	\$100	WD	1184	153	Unqualified (U)	Improved	RINDLER	RINDLER/RINDLER TRUSTEE
N	05/27/2016	\$134,900	WD	1169	213	Qualified (Q)	Improved	KIENZLE	RINDLER
N	02/18/2015	\$100	WD	1138	502	Unqualified (U)	Improved	JUDY KIRK	KIENZLE
N	02/18/2015	\$342,500	WD	1138	501	Qualified (Q)	Improved	RADEBAUGH JOHN F	KIENZLE
N	02/17/2015	\$100	WD	1138	504	Unqualified (U)	Improved	JUDY KEVIN	KIENZLE
N	02/17/2015	\$100	WD	1138	503	Unqualified (U)	Improved	RADEBAUGH W.W. III	KIENZLE
N	08/16/2014	\$100	PR	1128	216	Unqualified (U)	Improved	RADEBAUGH RUBY V	JUDY/JUDY/RADEBAUGH/RADEBAUGH

**Valuation**

	2019 Preliminary Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$72,000	\$72,000	\$76,500	\$76,500	\$72,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$72,000	\$72,000	\$76,500	\$76,500	\$72,000
Assessed Value	\$72,000	\$72,000	\$76,500	\$76,500	\$72,000
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$72,000	\$72,000	\$76,500	\$76,500	\$72,000
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

**TRIM Notices**

2019 TRIM Notice

**Sketches**

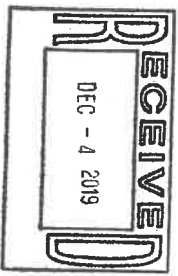


# EDWARDS RESIDENCE

59 15TH STREET, APALACHICOLA, FL 32320

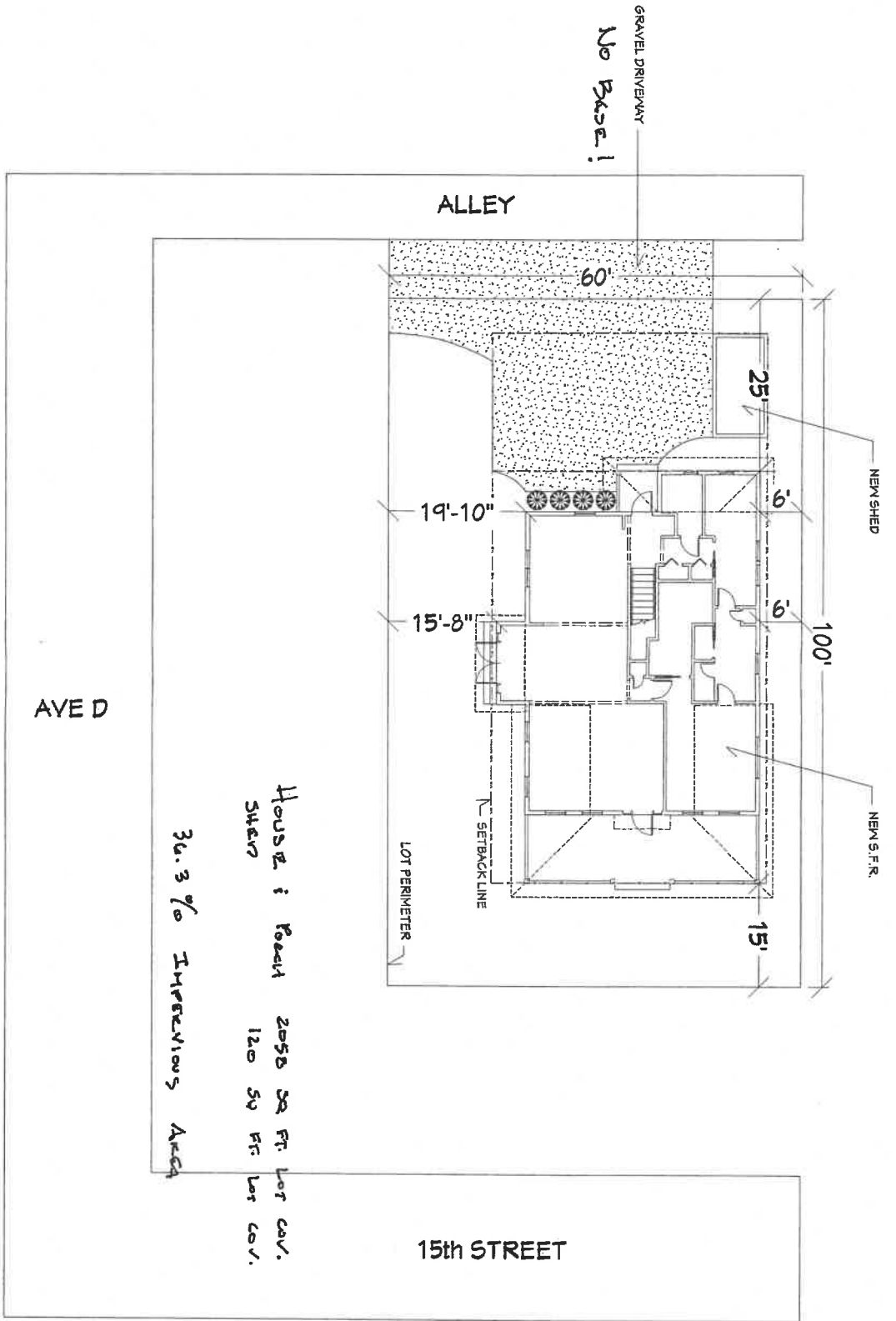
DRAWING INDEX:

- A-1 SITE PLAN
- A-2 1ST FLOOR
- A-3 2ND FLOOR
- A-4 ELEVATIONS
- A-5 ELEVATIONS
- A-6 ROOF LAYOUT
- A-7 ELECTRICAL
- A-8 SHED PLAN & ELEVATIONS



date	11/04/2019
rev	5
drawn	ZACH WARD

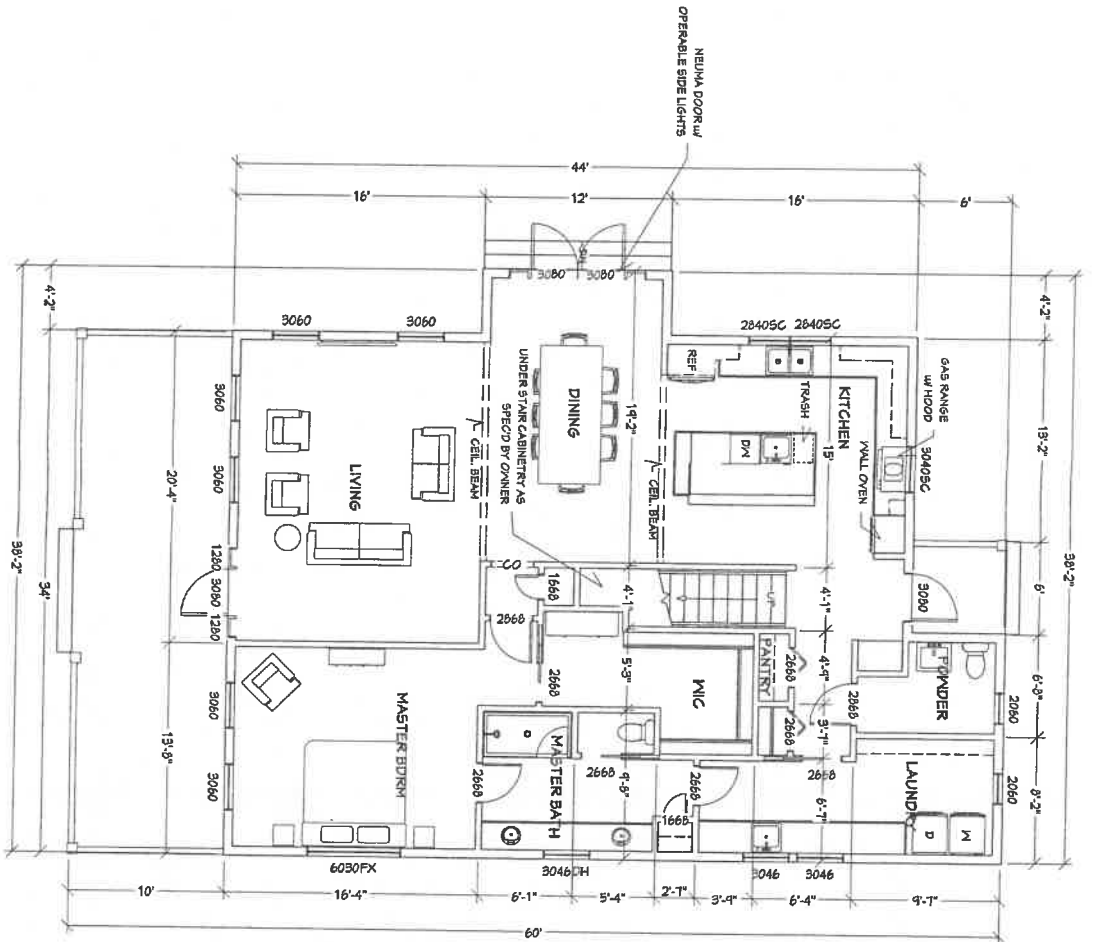
plans@zephyrdwz.com



# 1ST FLOOR

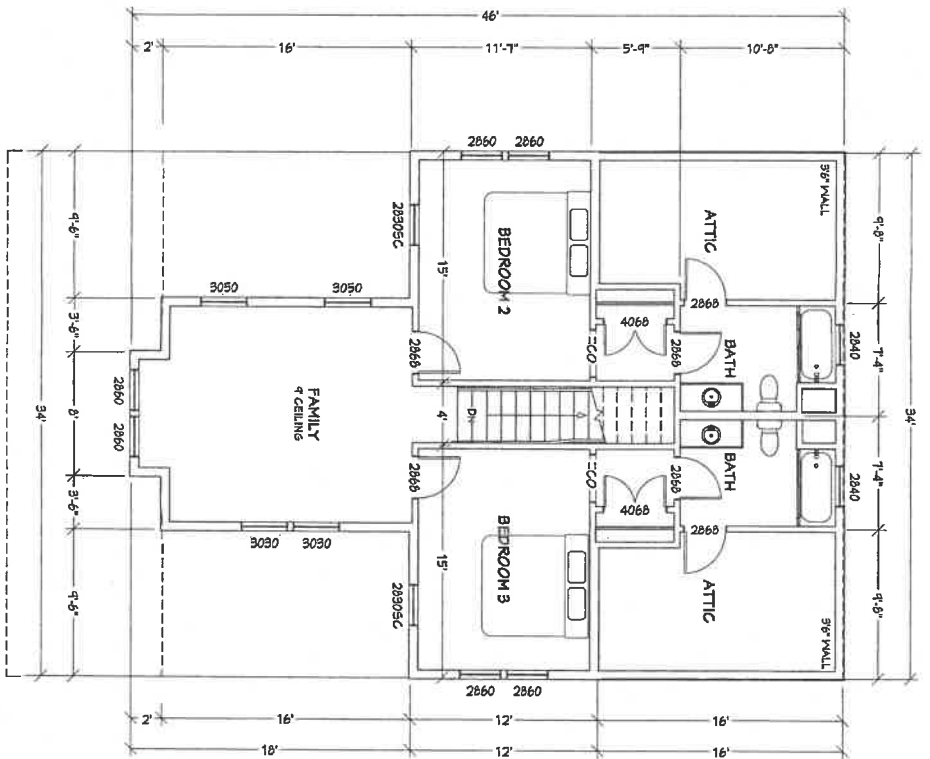
1/8" = 1'

1.672 sq ft H&C



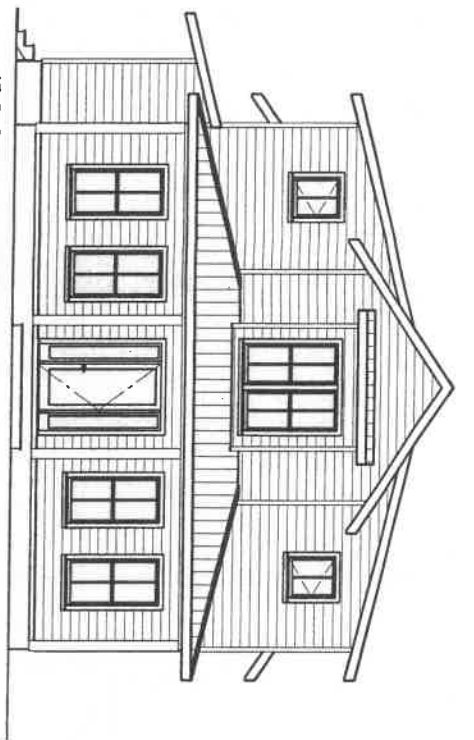
**2ND FLOOR**  
 1/8" = 1'

959 sq ft H&C



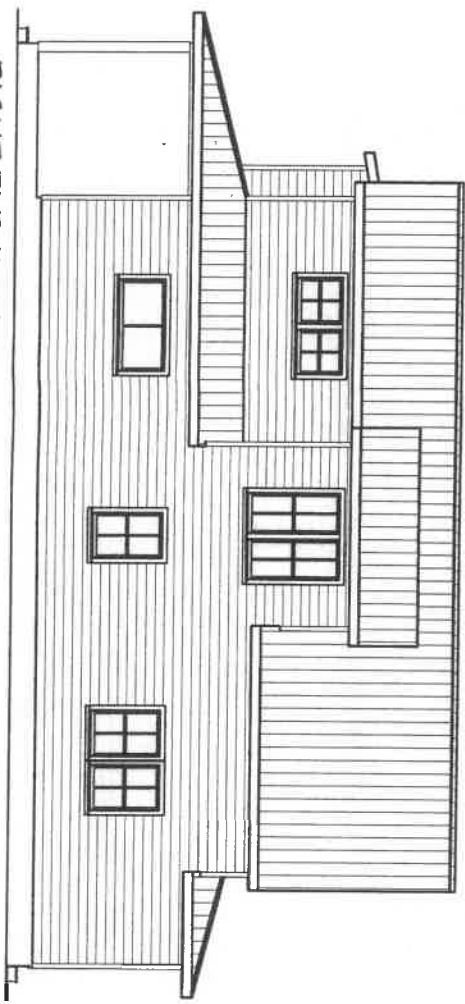
FRONT ELEVATION

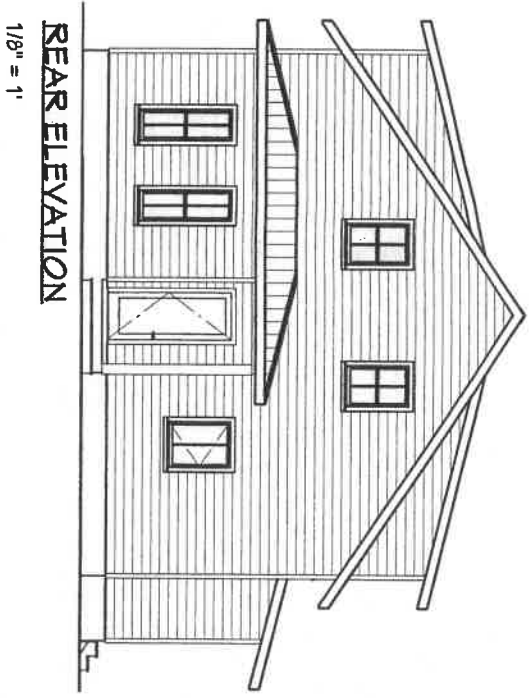
1/8" = 1'



RIGHT ELEVATION

1/8" = 1'





REAR ELEVATION

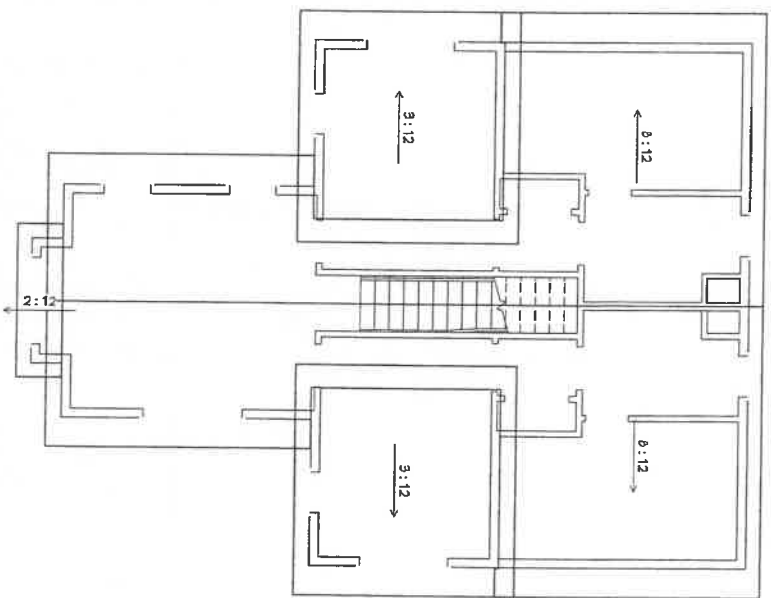
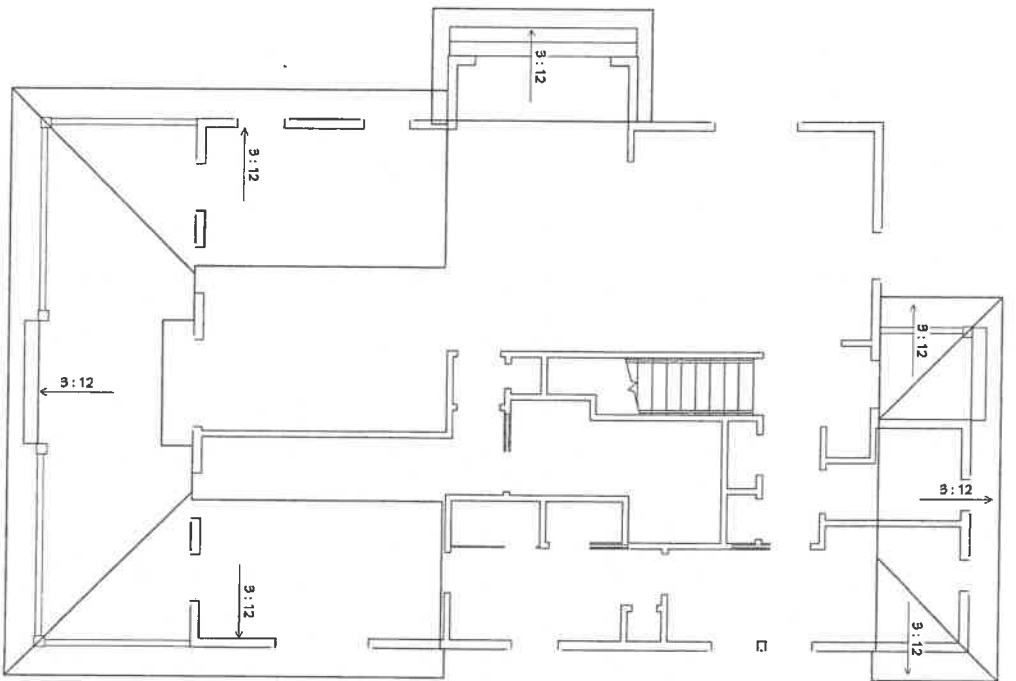
1/8" = 1'



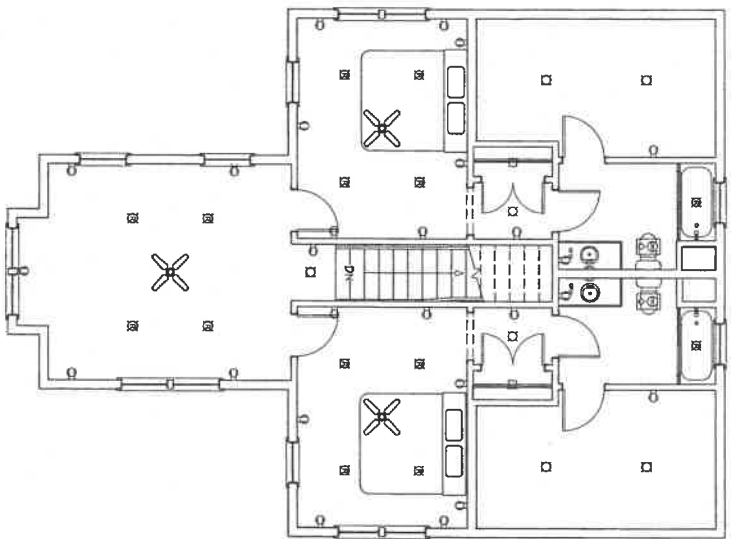
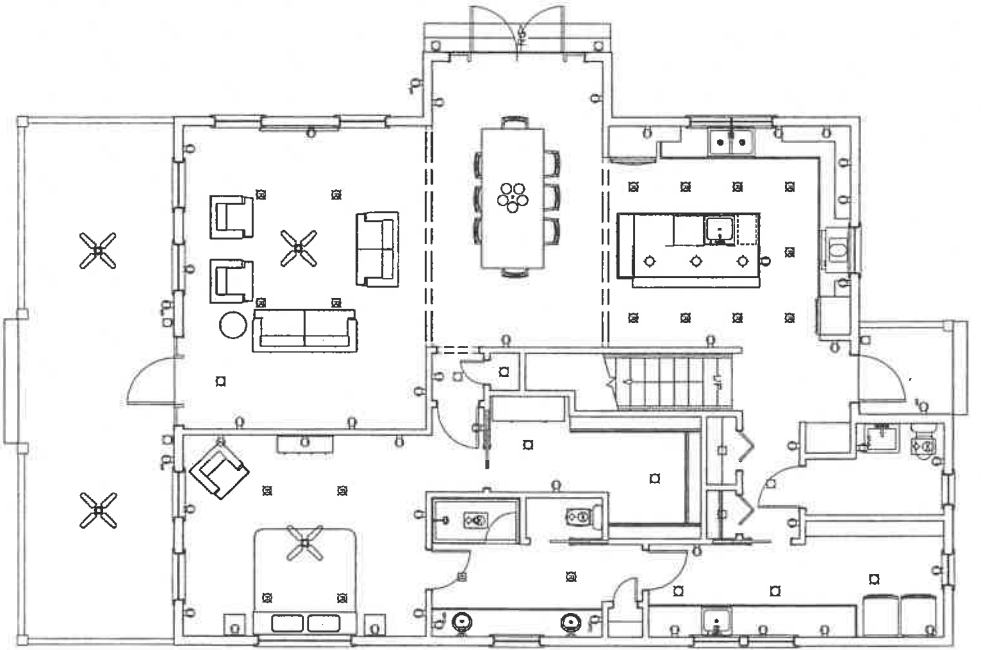
LEFT ELEVATION

1/8" = 1'

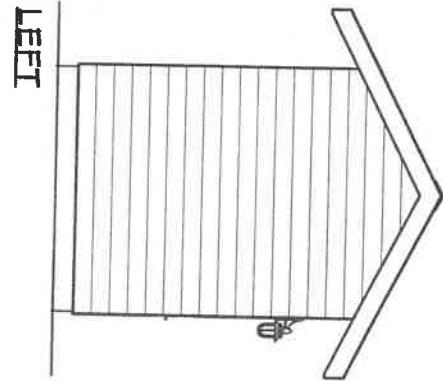
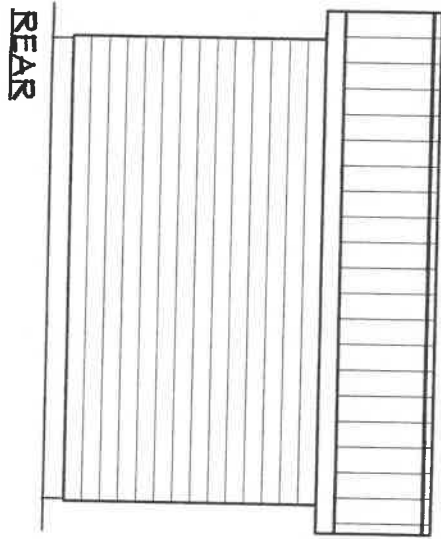
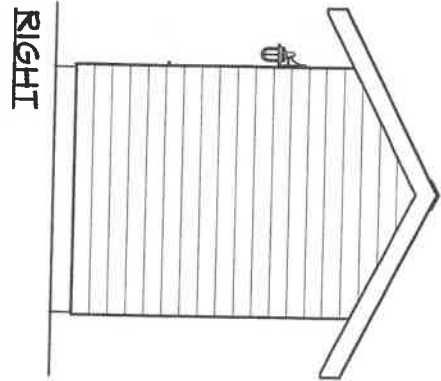
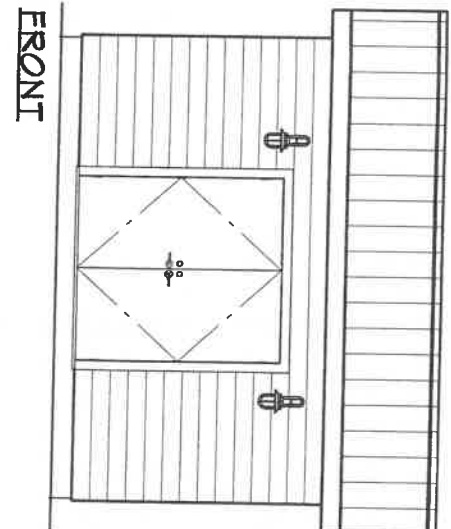
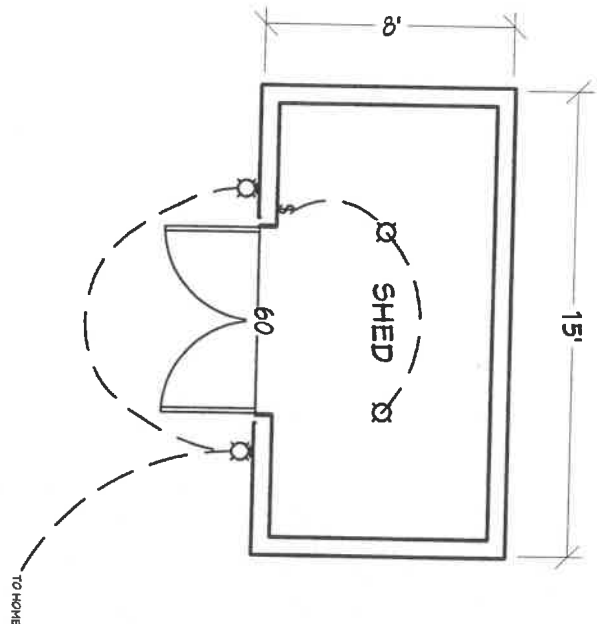




**ROOFLAYOUT**  
1/8" = 1'



**ELECTRICAL**  
 ELECTRICAL PLAN IS SCHEMATIC  
 CONSULT OWNER FOR FINAL  
 PLACEMENT AND QUANTITIES  
 1/8" = 1'



**SLED PLAN & ELEVATIONS**  
 1/4" = 1'







Building Dept. Review Summary

P&Z Meeting January 13<sup>th</sup>, 2020

Address: 59 Ave D

Zoning: R-1

Historic District: Yes

Block: 9

Lot: ½ of Lot 9 & ½ of Lot 10

Project Description: Relocating a structure from 48 4<sup>th</sup> St. to 49 Ave. D

Flood Zone: X

Lot Size: 50' x 120' 6000 Sq. Ft.

Impervious Surface Proposed: 29% Allowed: 40%

Height Proposed: 19' 1" Allowed: 35' **Comply with LDC.**

Accessory Structure

Setbacks Required: Front: 15' Rear: 5' Right : 7' 6" Left: 7' 6"

Setbacks proposed: Front : 74' Rear: 28' Right: 7' 6" Left: 13'

Setbacks Proposed: **Comply with LDC.**





CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner STEVEN ETCHEN  
Address 433 CAPE SAN BLAS RD.  
City PORT ST. JOE State FL Zip 32456  
Phone (850) 312-8330

State License # \_\_\_\_\_  
City License # \_\_\_\_\_ County License # \_\_\_\_\_  
Email Address web: duckyjohnsonhousemovers.com  
Phone (850) 592-5571

Approval Type: |  Staff Approval Date: \_\_\_\_\_ |  Board Approval |  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- |  |   |
|--|---|
| <input type="checkbox"/> New Construction      | <input type="checkbox"/> Fence              |
| <input type="checkbox"/> Addition              | <input type="checkbox"/> Repair (Extensive) |
| <input type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Variance           |
| <input checked="" type="checkbox"/> Relocation | <input type="checkbox"/> Other: _____       |
| <input type="checkbox"/> Demolition            |   |

PROPERTY INFORMATION:

Street Address: 1.) 48 4th ST. To 2.) 49 AVE "D" City & State Apalachicola, FL. Zip 32320

Historic District |  Non-Historic District Zoning District \_\_\_\_\_

Parcel #: 1.) 01095-08N-8330-0001-0001 Block(s) 1.) 1 Lot(s) 1.) 1/2 & 4  
2.) 01095-08N-8330-0001-0091 Block(s) 2.) 9 Lot(s) 2.) 1/2 & 9+10

FEMA Flood Zone/Panel #: X-02  
(For AE, AO, AH or VE. Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC1.

Contact: Kelly Simpson

Permitting and Development Coordinator

(850) 653-1522 (ext 205) Phone

~~(850) 653-5022 Cell~~

[kotmlbaneston@cityofapalachicola.com](mailto:kotmlbaneston@cityofapalachicola.com)

Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

THE PROJECT IS TO MOVE THE OLD "AM LA CARTE" BLD. FROM 48 4TH ST. TO THE EMPTY REAR YARD OF 49 AVE. JUST NEARBY. THERE WILL BE NO SIZE INCREASE. THE LAP SIDING, WINDOWS & ROOFING WILL BE REPLACED, BUT LOCATED IN THE SAME LOCATIONS. THIS WILL ACT AS AN ACCESSORY STRUCTURE. THE EXISTING BUILDING IS IN C-1 ZONING AS A GARAGE WITH AN APARTMENT OVER. AFTER THE MOVE, THE APARTMENT IS TO BE CONVERTED TO A STUDIO, TO BE CONFORMING TO THE NEW LOCATION IN THE R-1 NEIGHBORHOOD.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		LAP WOOD OR CEMENTITIOUS. LAP WOOD OR	
Doors		DUPLICATE VINYL	
Windows		REPLACE W/VINYL	
Roofing		REPLACE W/METAL	
Trims		6" W/ALUMINE 6X1 OR 6X2	
Foundation		PAINTED. SLAB CONCRETE	
Shutters		N.A.	
Porch/Deck		WOOD	
Fencing		N.A.	
Driveways/Sidewalks		GRAVEL / PERVIOUS.	
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is/are the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of my association rule or regulation.

13 DEC 2019  
DATE

Jelson FOR STEVEN ETCHEN  
SIGNATURE OF APPLICANT

***EPCI***  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: STEVEN ETCHEN/ CAPE & COAST

ADDRESS: 433 CAPE SAN BLAS ROAD

CITY, STATE & ZIP CODE: Port St. Joe ,FL 32456 PHONE # (850) 312-8330

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: DUCKY JOHNSON, BRIAN JOHNSON

ADDRESS: 5194 HIGHWAY 90

CITY, STATE & ZIP CODE: MARIANNA, FL 32446 PHONE # (850) 592-5571

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 59 AVENUE "D"

PROPOSED USE OF SITE: GARAGE APARTMENT OR STUDIO

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO No water nearby/ NOT IN A FLOOD ZONE

PROPERTY PARCEL ID # 01-095-08W-8330-0009-0090

LEGAL DESCRIPTION OF PROPERTY: NE 1/2 OF LOT 9 BLOCK 9 & NE 1/2 OF LOT 10 BLOCK 9

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

RECEIVED  
DEC 16 2019

**-EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

BY: [Signature]

Official Use Only  
DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: STEVEN ETCHEN/ CAPE & COAST

ADDRESS: 433 CAPE SAN BLAS ROAD

CITY, STATE & ZIP CODE: CAPE SAN BLAS, FL 32456 PHONE # (850) 312-8330

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: DUCKY JOHNSON, BRIAN JOHNSON

ADDRESS: 5194 HIGHWAY 90

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STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

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IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

Know all men by these presents, that

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\_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other

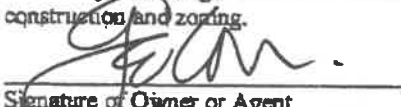
Addition, Alteration or Renovation to building. **THE BUILDING IS AN EXISTING SMALL GARAGE SMALL APARTMENT/STUDIO ABOVE**

Distance from property lines: Front +/- 70 FEET Rear +/- 25' FEET L. Side 18'-6"  
R. Side 7'-6" THIS IS AN UNUSUAL LOT/ 50'X 120'  
Cost of Construction \$ +/- \$160 per sf. Square Footage 746 sf total  
EPI Flood Zone X Lowest Floor Elevation + 0.5' Above  
Area Heated/Cooled 373 sf # Of Stories 2 # Of Units 1  
Type of Roof METAL GABLE Type of Wallslapped cementitious Type of Floor wood joists  
Extreme Dimensions of: Length 27'-8" Height 19'-1" Width 18'-8"

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

  
Signature of Owner or Agent  
Date: 16 DECEMBER 2019

\_\_\_\_\_  
Signature of Contractor  
Date: \_\_\_\_\_

\_\_\_\_\_  
Notary as to Owner or Agent  
My Commission expires: \_\_\_\_\_

\_\_\_\_\_  
Notary as to Contractor  
My Commission expires: \_\_\_\_\_

**APPLICATION APPROVED BY:** \_\_\_\_\_ **BUILDING OFFICIAL**

THE BUILDING IS AN EXISTING BRICK FRAME  
SMALL METAL STRUTS ABOVE

THE BUILDING IS AN EXISTING BRICK FRAME  
SMALL METAL STRUTS ABOVE

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SMALL METAL STRUTS ABOVE

THE BUILDING IS AN EXISTING BRICK FRAME  
SMALL METAL STRUTS ABOVE



3. Please attach a map with the following drawn to scale:

a. Locations of the following:

- 1. Lot boundaries ✓
- 2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways) ✓
- 3. Types & Sizes of protected trees (measured at breast height in inches) ✓
- 4. Protected trees that are proposed to be removed or altered ✓

**OFFICE USE ONLY**

<b>Permit Processing Fee (\$50.00 or \$100.00)</b>	1
<b>Reforestation Fund</b>	
Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)	1
Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)	
Non Patriarch Tree Total (\$250.00 Max)	
Number of Trees 35" and larger x \$1,000.00	
Reforestation Fund Total	\$175

Planning and Zoning Board (When Development plan is submitted):

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
Chairperson, Planning and Zoning Board      Date

Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
Code Enforcement Officer or Designee      Date

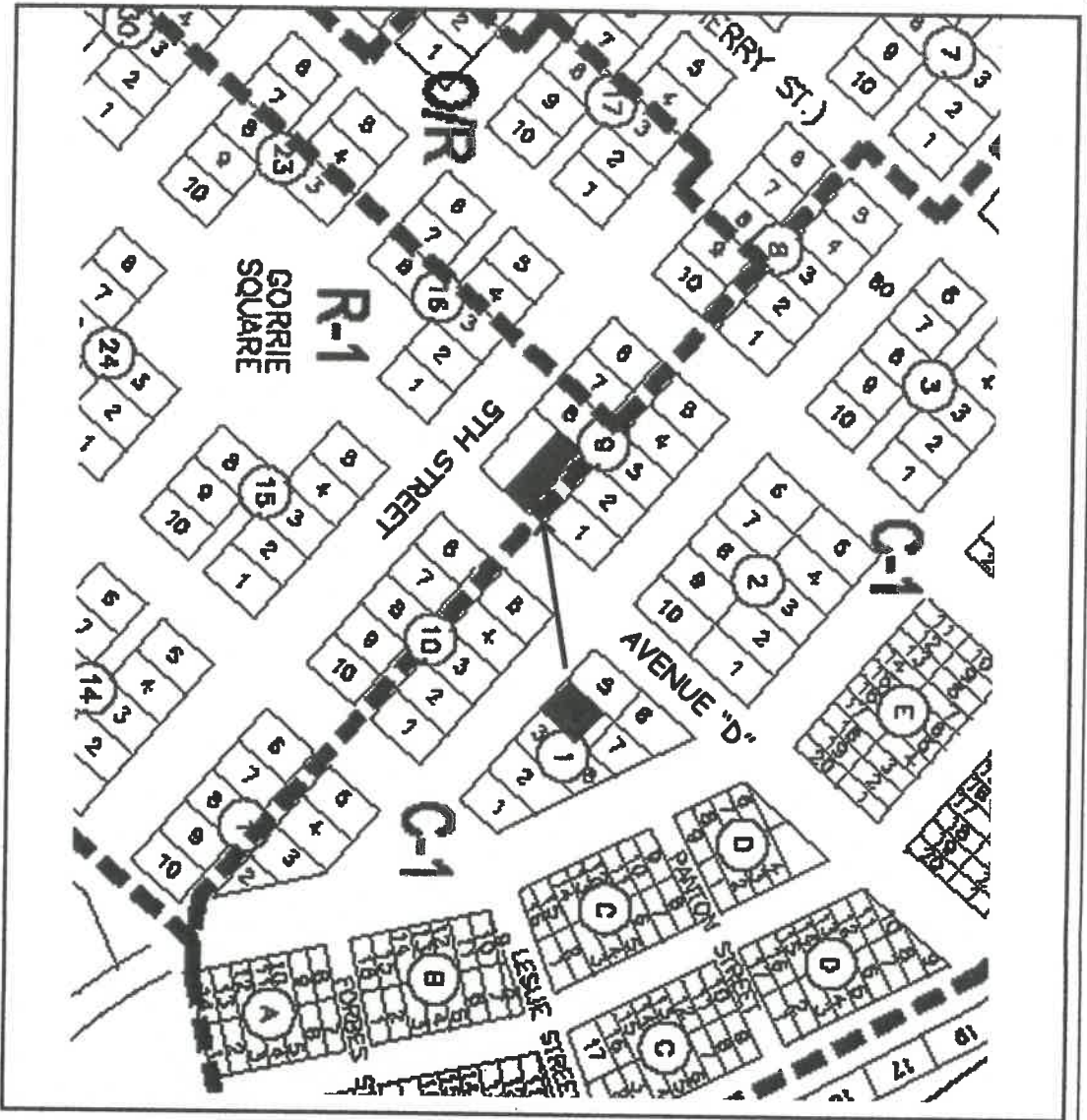
\_\_\_\_\_  
City Manager or Designee      Date



**DRAWING INDEX**

PROJECTIONS  
DEC 16 2019  
BY: [Signature]

- COVER
- A0 SURVEY LOCATION
- A1.1 SURVEY RELOCATION
- A1.1.1 NEW LOCATION OVERLAY
- A2.1 SITE PLAN
- A2.2 LANDSCAPE DRAWING
- A3.1 ROOF PLAN LOTS 9+10
- A3.2 ELEVATIONS
- A4.1 ELEVATIONS
- SECTION



**MOVING PATH**

**STEVEN ETCHEN / STUDIO MOVE / AHLA CART ACCESSORY STRUCTURE**

SCALE: NOT TO SCALE



DECEMBER 2019

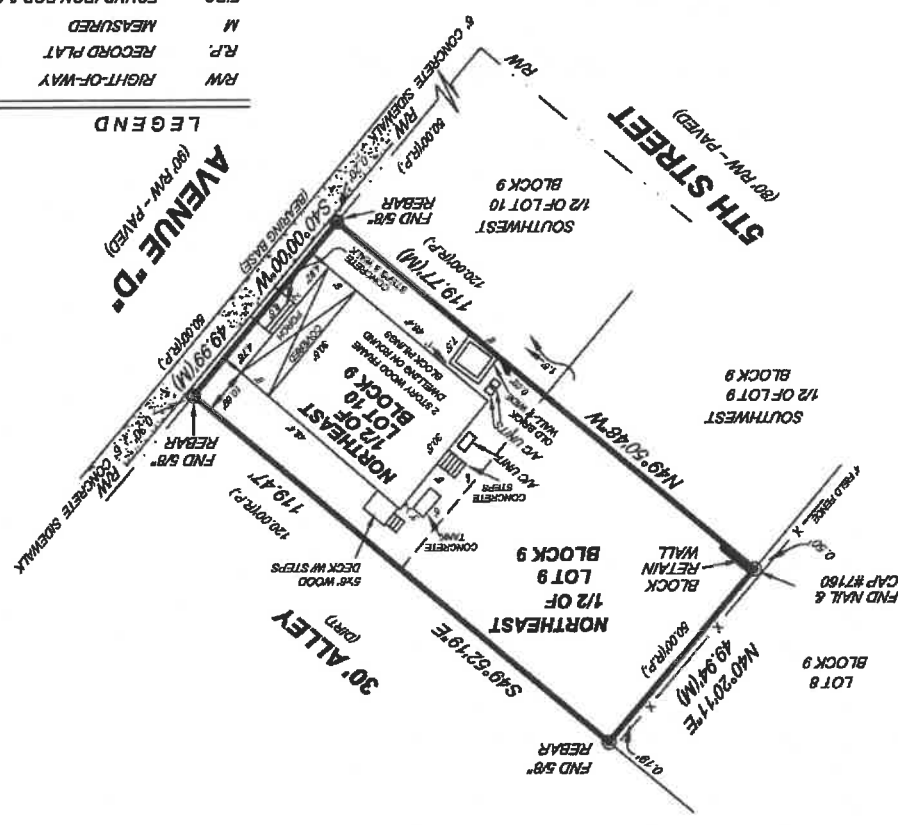
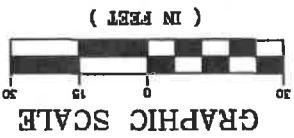
REVOLVE  
CORPORATION  
224 WEST BROADWAY, SUITE 200  
NEW YORK, NY 10013  
http://www.revolve.com

**AC**





PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
 STEVEN ETCHEN,  
 WALTON FUNDING, LLC.,  
 SANDERS AND DUNCAN, P.A.,  
 CHICAGO TITLE INSURANCE COMPANY



**LEGAL DESCRIPTION:**

The Northeast 1/2 of Lots 9 and 10, Block "9" of the CITY OF APALACHICOLA, as per map or plat in common use on file at the Clerk of the Circuit Court in Franklin County, Florida

**NOTES:**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northwestly right-of-way boundary of Avenue "D" having an assumed bearing of South 40 degrees 00 minutes 00 seconds West per plat.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

**FLOOD ZONE INFORMATION:**

Subject property is located in Zone "X" 0.2 PCT ANNUAL CHANCE" as per Flood Insurance Rate Map Community Panel No: 120089 0526 F, Index date: February 05, 2014, Franklin County, Florida.

**THURMAN RODDENBERRY & ASSOCIATES, INC.**  
 PROFESSIONAL SURVEYORS AND MAPPERS  
 P.O. BOX 100 • 126 HATFIELD STREET • BOCCHEZZI, FLORIDA 32308  
 PHONE NUMBERS: 904-992-0298 FAX NUMBERS: 904-992-0103  
 174 S 7TH ST

DATE: 04/03/18 DRAWN BY: THOMAS  
 FILE: 03781.DWG  
 DATE OF LAST FIELD WORK: 08/20/18  
 JOB NUMBER: 05-791

JAMES T. RODDENBERRY  
 Surveyor and Mapper  
 Florida Certificate No: 42871

I hereby certify that this is a true and correct representation of the property shown hereon and that the survey meets the minimum technical standards for land surveying (Chapter 5A-17.051, Florida Administrative Code).  
 The undersigned surveyor has not been provided a current file option or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, assessments or other instruments which could affect the boundaries.

The undersigned surveyor has not been provided a current list of the location or abstract of matters affecting this or boundary in the adjacent property. It is possible there are deeds of records, unrecorded deeds, assessments or other instruments which could affect the boundaries.

The undersigned surveyor has not been provided a current list of the location or abstract of matters affecting this or boundary in the adjacent property. It is possible there are deeds of records, unrecorded deeds, assessments or other instruments which could affect the boundaries.

Flood Insurance Rate Map Community Panel No. 120089 0526 F, Index date: February 05, 2014, Franklin County, Florida.

Subject property is located in Zone "X" 0.2 PCT ANNUAL CHANCE" as per Flood Insurance Rate Map Community Panel No. 120089 0526 F, Index date: February 05, 2014, Franklin County, Florida.

**FLOOD ZONE INFORMATION**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northwesterly right-of-way boundary of Avenue "D" having an assumed bearing of South 40 degrees 00 minutes 00 seconds West per plat.
3. NO IMPROVEMENTS have been located in this survey other than those shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

**NOTES:**

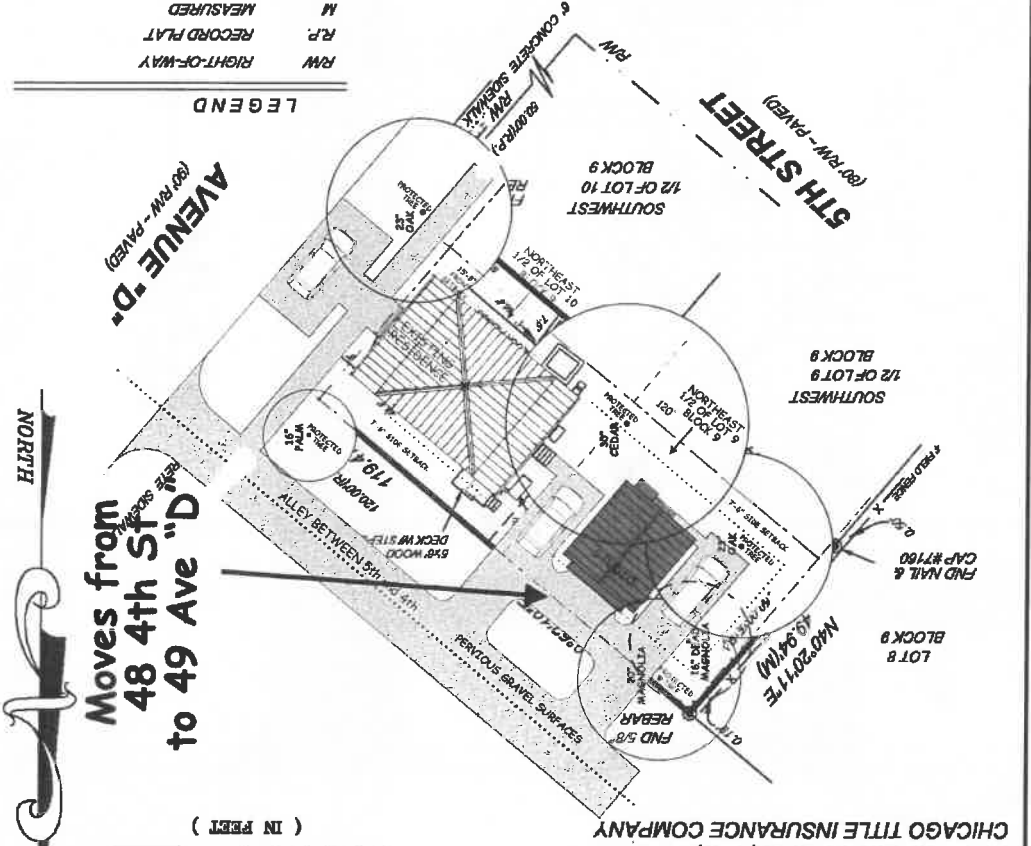
The Northeast 1/2 of Lots 9 and 10, Block "9" of the CITY OF APALACHICOLA, as per map or plat in common use on file at the Clerk of the Circuit Court in Franklin County, Florida

**LEGAL DESCRIPTION:**

P.W.	RIGHT-OF-WAY
R.P.	RECORD PLAT
M.	MEASURED
F.R.C.	FOUND IRON ROD & CAP #6154
F.R.	FOUND IRON ROD - 5/8"
F.P.	FOUND IRON PIPE - 1 1/8"
	NOT TO SCALE

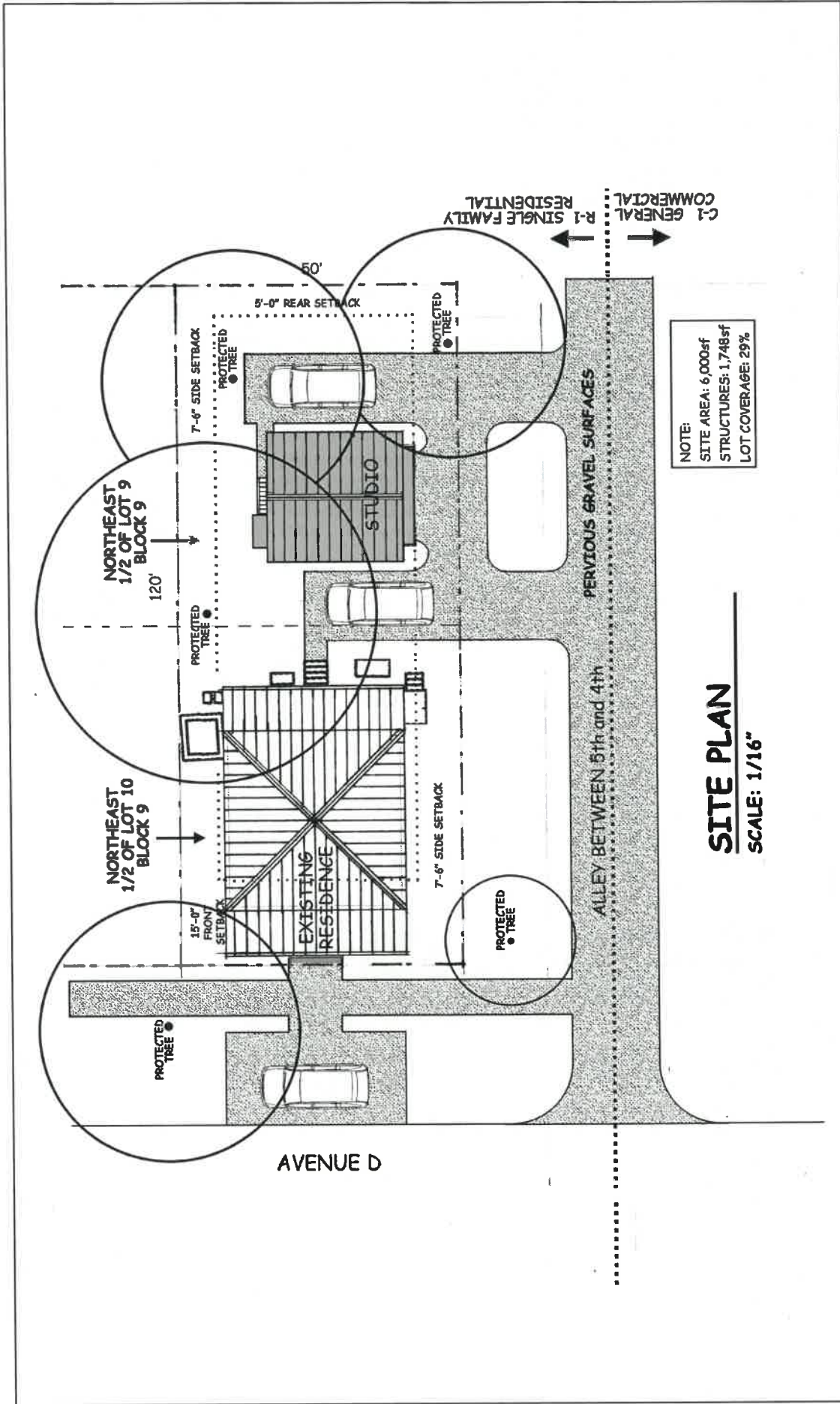
**LEGEND**

Moves from 48 4th St to 49 Ave "D"



STEVEN ETCHEEN,  
WALTON FUNDING, LLC.,  
SANDERS AND DUNCAN, P.A.,  
CHICAGO TITLE INSURANCE COMPANY

PLAT OF BOUNDARY SURVEY CERTIFIED TO:



**SITE PLAN**

SCALE: 1/16"

**STEVEN ETCHEN / STUDIO MOVE / SITE PLAN**

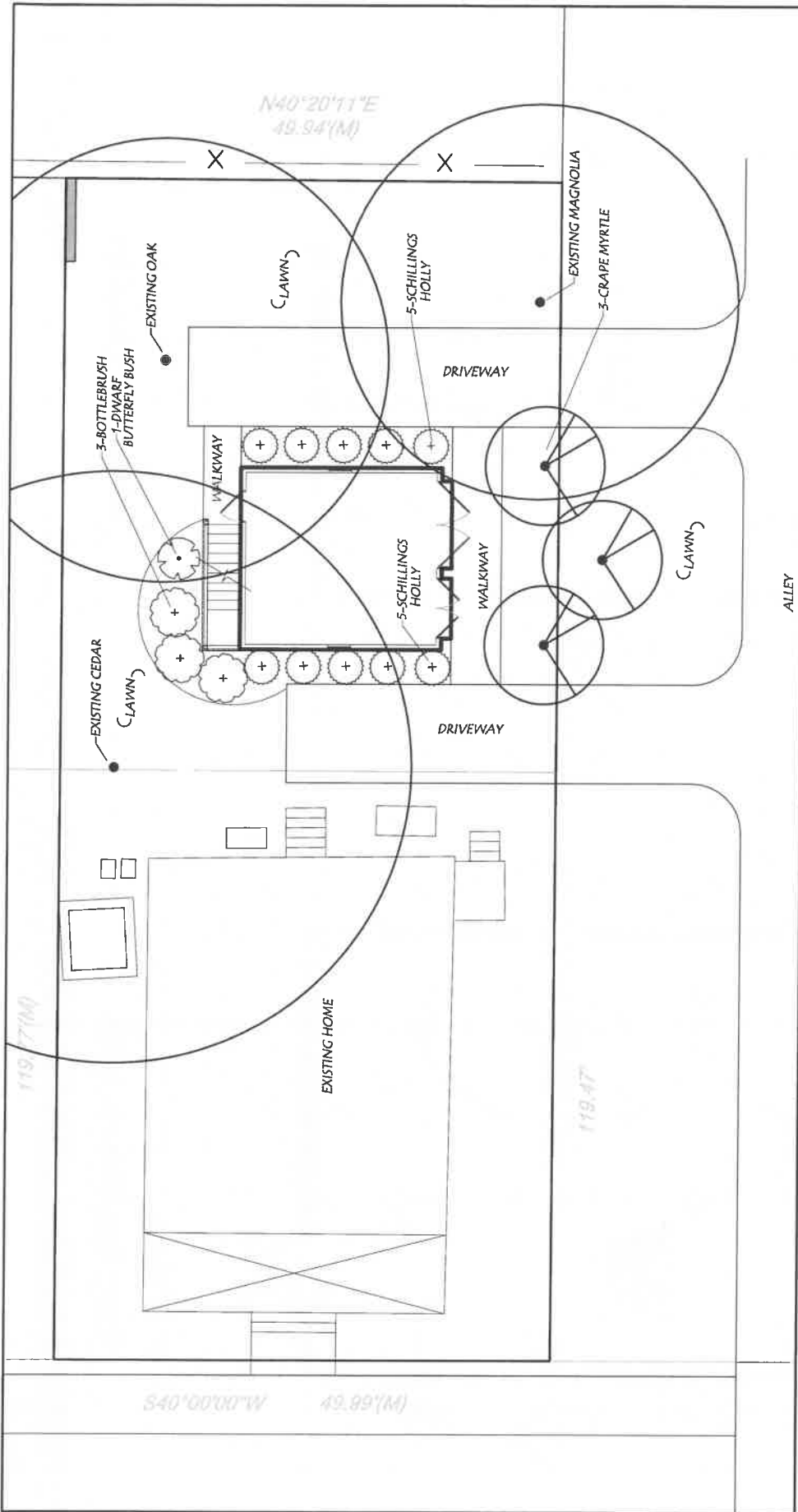
DECEMBER 2019

SCALES AS SHOWN



**A1.1**





Date: 12/16/19  
Scale: 1"=10'

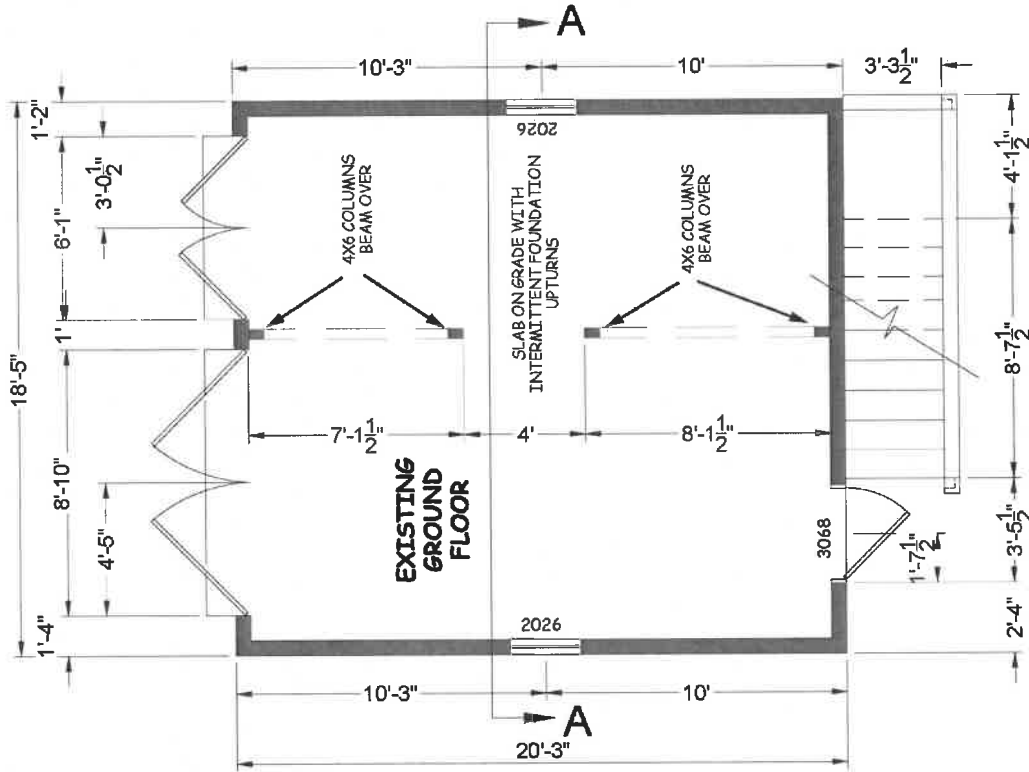
**LANDSCAPE PLAN - NE LOT 9, BLOCK 9  
ETCHEN PROPERTY**

**Coastal Design & Landscape, Inc.**  
1151 Industrial Road • Fort St. Joe, Florida 32456  
phone (850) 229-9880

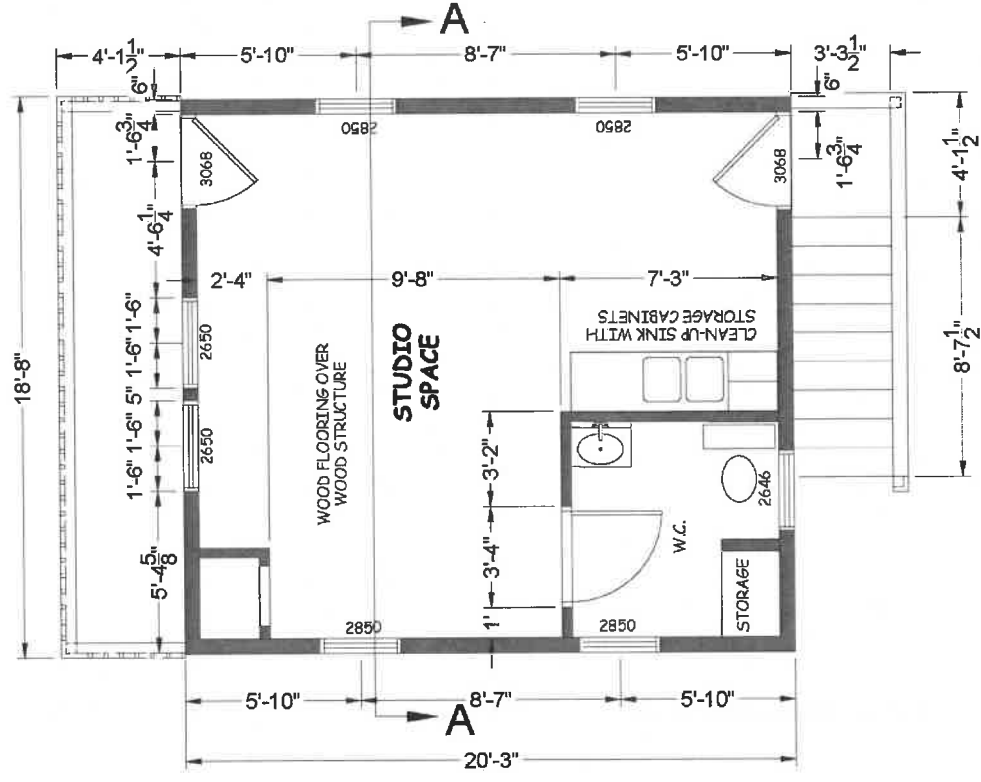
Apalachicola, Florida

**PLANT SCHEDULE**

QTY	BOTANICAL NAME	COMMON NAME	SIZE
3	Lagerstroemia indica 'Natchez'	Natchez Crane Myrtle	15 gal.
	SHRUBS, GRASSES & GROUNDCOVER		
1	Buddleia species	Dwarf Butterfly Bush	7 gal.
3	Callistemon rigidus	Bottlebrush	7 gal.
10	Ilex vomitoria 'Schillings'	Schillings Holly	3 gal.



**EXISTING GROUND LEVEL**



**PROPOSED UPPER LEVEL**

**STEVEN ETCHEN / STUDIO MOVE / PLANS**

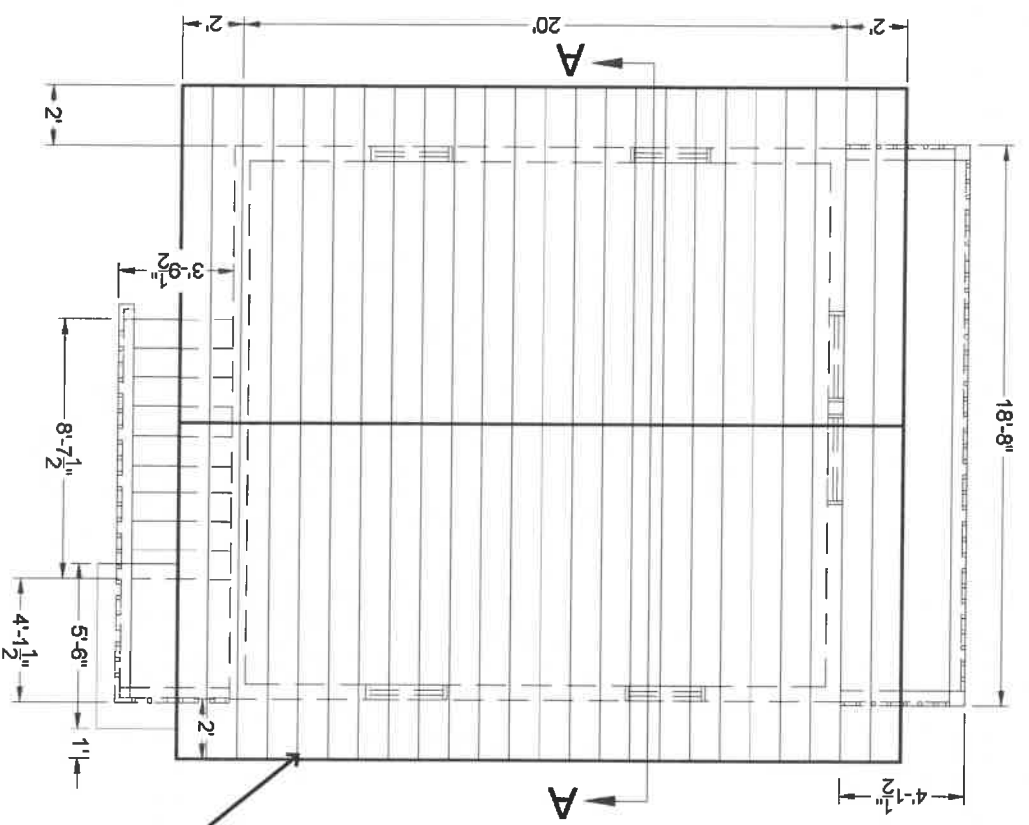
SCALE: 1/4" = 1'-0"

DECEMBER 2019

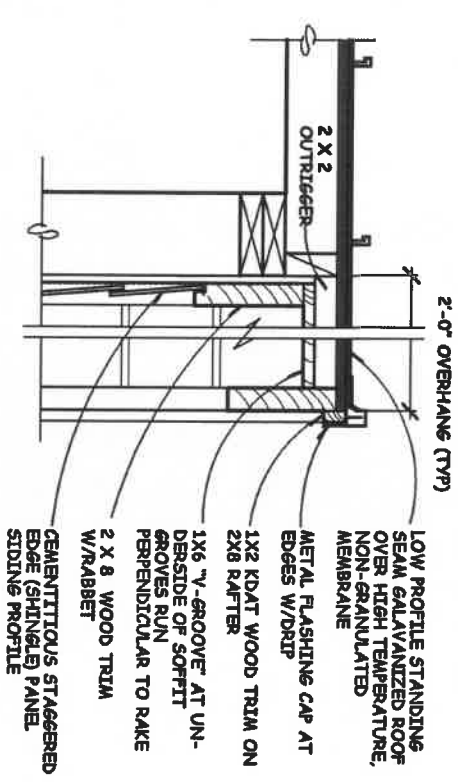
PROTEC  
CORP  
INC

REGISTERED ARCHITECT  
PROFESSIONAL ENGINEER  
PROFESSIONAL LANDSCAPE ARCHITECT  
PROFESSIONAL INTERIOR DESIGNER  
http://www.protecinc.com

**A2.1**



**EXISTING ROOF PLAN**



**RAKE DETAIL**  
SCALE: 1 1/2"

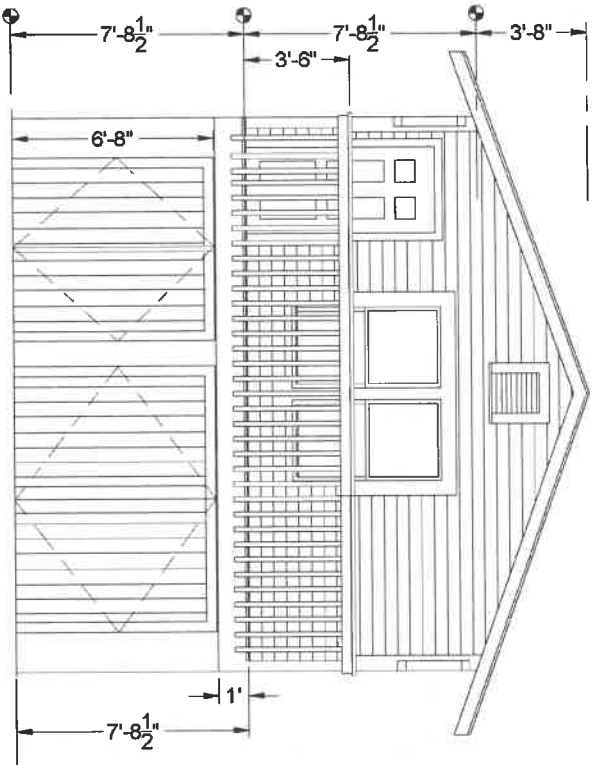
**STEVEN ETCHEN / STUDIO MOVE / ROOF PLAN LOTS 9+10**

SCALE: 1/4" = 1'-0" AND AS SHOWN

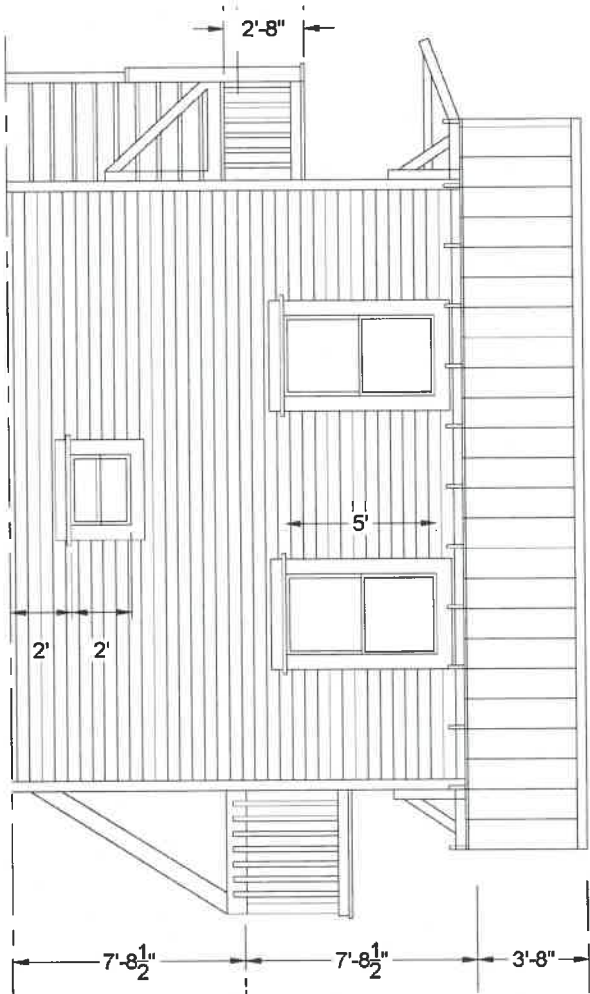
DECEMBER 2019

SCOTT  
CORP  
INC.  
1000 11th Street, Suite 110  
San Francisco, CA 94103  
415.774.8888  
www.scottcorp.com  
info@scottcorp.com

**A2.2**



**WEST ELEVATION**



**NORTH ELEVATION**

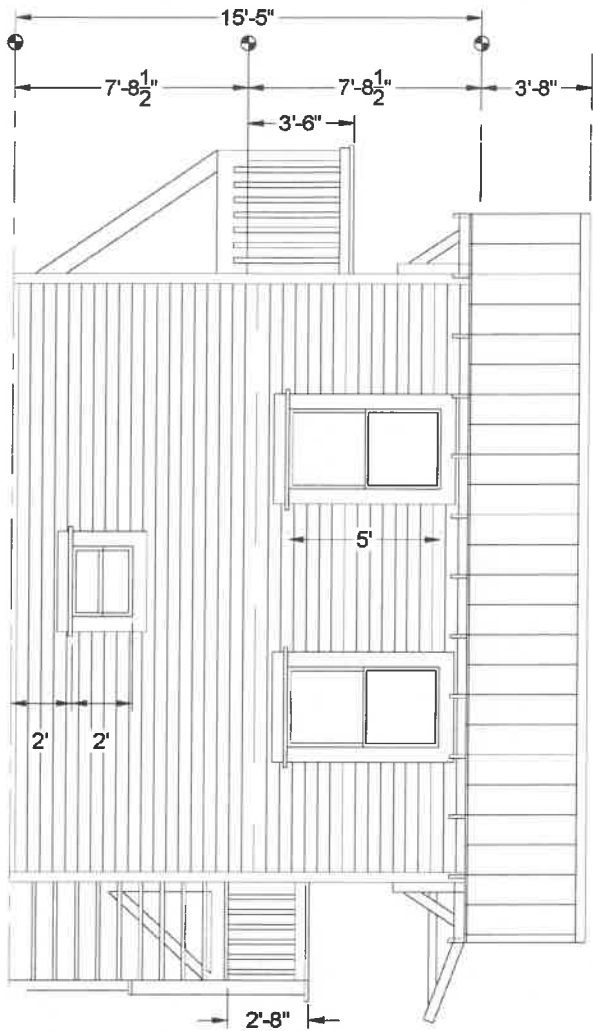
**STEVEN ETCHEN / STUDIO MOVE / ELEVATIONS**

SCALE: 1/4"=1'-0"

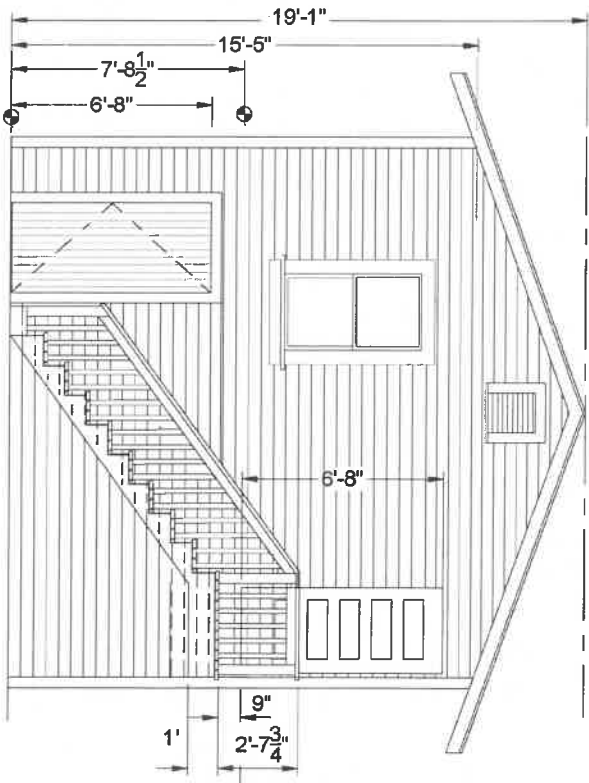
DECEMBER 2019



**A3.1**



**SOUTH ELEVATION**



**EAST (rear) ELEVATION**

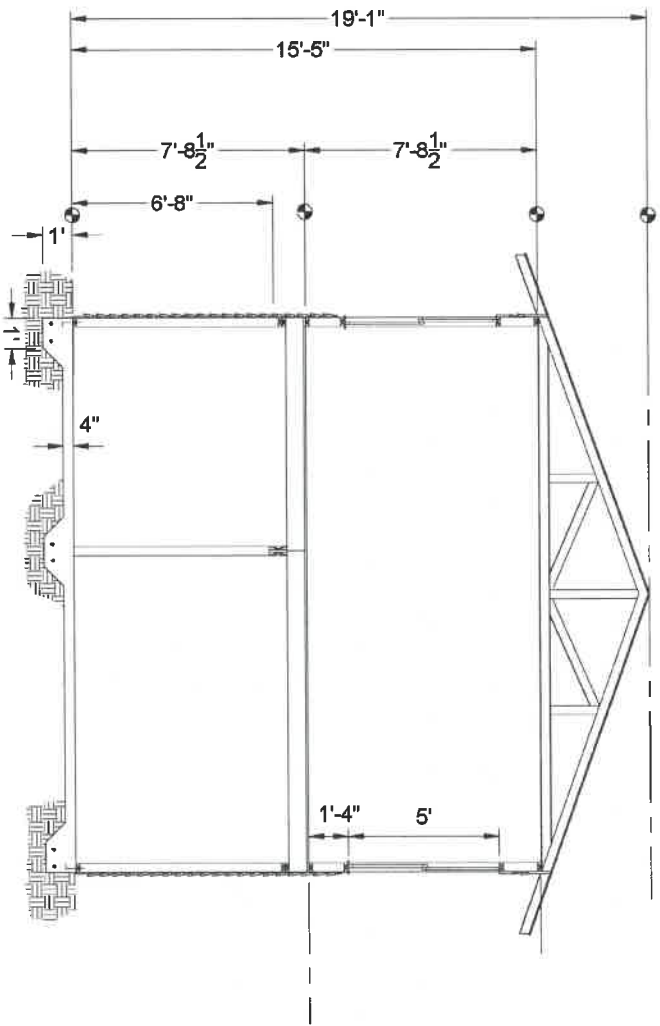
**STEVEN ETCHEN / STUDIO MOVE / ELEVATIONS**

SCALE: 1/4"=1'-0"

DECEMBER 2019

REGORGE  
CORP.  
INC.  
213 MAIN ST. SUITE 201  
ANN ARBOR, MI 48106  
734.769.1111

**A3.2**



**SECTION A-A**

**STEVEN ETCHEN / STUDIO MOVE / SECTION**

SCALE: 1/4"=1'-0"

DECEMBER 2019



**A4.1**







Building Dept. Review Summary

P&Z Meeting January 13<sup>th</sup>, 2020

Address: 232 6<sup>th</sup> St.

Zoning: R-2

Historic District: Yes

Block: 175

Lot: 3

Project Description: New Single Family Residence, Tree Removal

Flood Zone: X

Lot Size: 60' x 100'

Impervious Surface Proposed: 28.7% Allowed: 40%

Height Proposed: 20' Allowed: 35' **Comply with LDC.**

**Main Structure**

Setbacks Required: Front: 15' Rear: 25' Right : 7' 6" Left: 7' 6"

Setbacks proposed: Front : 15' Rear: 34' Right: 8' Left: 8'

Setbacks Proposed: **Comply with LDC.**



**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

**OWNER INFORMATION**

**CONTRACTOR INFORMATION**

Owner Peter Wingale  
Address 1515 Belleawood dr  
City TALL. State FL Zip 32308  
Phone (850) 264-9681

State License # \_\_\_\_\_  
City License # \_\_\_\_\_ County License # \_\_\_\_\_  
Email Address \_\_\_\_\_  
Phone (\_\_\_\_\_) \_\_\_\_\_

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

**PROJECT TYPE**

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: \_\_\_\_\_

**PROPERTY INFORMATION:**

Street Address: 232 6th st. City & State Apalachicola, FL. Zip 32320

Historic District  Non-Historic District Zoning District \_\_\_\_\_

Parcel #: \_\_\_\_\_ Block(s) \_\_\_\_\_ Lot(s) \_\_\_\_\_

FEMA Flood Zone/Panel #: \_\_\_\_\_  
(For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

Setback requirement of Property:  
Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_  
Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:  
\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

**Describe The Proposed Project and Materials.** Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

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Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	Hardee	Board / Batten	
Doors		Pella	
Windows		Andersen	
Roofing		Metal	
Trim		Hardee	
Foundation			
Shutters		Block	
Porch/Deck		d	
Fencing		P.T.	
Driveways/Sidewalks		PT	
Other			

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

DATE: <u>12-23-19</u>	Official Use Only	Permit # _____ Permit Fee _____
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OWNER'S NAME: Peter Wingale

ADDRESS: 1515 Beltwood Dr

CITY, STATE & ZIP CODE: TALL. FL 32308 PHONE # (850) 264-9681

SEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: SAWE

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 232 6<sup>th</sup> st. Apalachicola, Fl. 32320

PROPOSED USE OF SITE: new construction - single family

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # \_\_\_\_\_

LEGAL DESCRIPTION OF PROPERTY: \_\_\_\_\_

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work.**
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

12-23-19  
DATE

Pete Wujala  
SIGNATURE OF APPLICANT

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front 15'      Rear 34'      L. Side 8'  
R. Side 8'  
Cost of Construction \$ 100,000      Square Footage 1300  
EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation 36"  
Area Heated/Cooled 1300      # Of Stories 1      # Of Units 1  
Type of Roof metal      Type of Walls wood      Type of Floor wood  
Extreme Dimensions of: Length 32'      Height 20'      Width 44'

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPCL: The EPCL/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Peter Whiggle  
Signature of Owner or Agent

\_\_\_\_\_  
Signature of Contractor

Date: 12/23/19

Date: \_\_\_\_\_

\_\_\_\_\_  
Notary as to Owner or Agent

\_\_\_\_\_  
Notary as to Contractor

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

**SAMPLE APPLICATION**

**Each Contractor & Subcontractor must pull their own permits**

**EPCI**

**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only		
DATE: _____	Permit # _____	Permit Fee _____

**OWNER'S NAME:** (Property Owner) \_\_\_\_\_

**ADDRESS:** (Property Owner Address) \_\_\_\_\_

**CITY, STATE & ZIP CODE:** \_\_\_\_\_ **PHONE #** (Property Owner Contact) \_\_\_\_\_

**FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**CITY, STATE & ZIP CODE:** \_\_\_\_\_ **PHONE #** \_\_\_\_\_

**CONTRACTOR'S NAME:** Contractors (Commercial/Residential Contractor) Information goes here  
Note: If you are a subcontractor (Electric, Roof, HVAC, Plumbing) your information goes here \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**CITY, STATE & ZIP CODE:** \_\_\_\_\_ **PHONE #** \_\_\_\_\_

**STATE LICENSE NUMBER:** \_\_\_\_\_ **COMPETENCY CARD #** (City License #) \_\_\_\_\_

**ADDRESS OF PROJECT:** (Address of project) \_\_\_\_\_

**PROPOSED USE OF SITE:** (Discription of proposed job, i.e, 10 x10 addition/Electric for New Construction/  
Plumbing/ Metal Roof over Shingle) \_\_\_\_\_

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

**PROPERTY PARCEL ID #** (Can be found on property appraisers website) \_\_\_\_\_

**LEGAL DESCRIPTION OF PROPERTY:** (Block & Lot(s)) \_\_\_\_\_

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

**BONDING COMPANY:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_ **CITY, STATE & ZIP:** \_\_\_\_\_

**ARCHITECT'S/ENGINBER'S NAME:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_ **CITY, STATE & ZIP:** \_\_\_\_\_

**MORTGAGE LENDER'S NAME:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_ **CITY, STATE & ZIP:** \_\_\_\_\_

**WATER SYSTEM PROVIDER:** \_\_\_\_\_ **SEWER SYSTEM PROVIDER:** \_\_\_\_\_

**PRIVATE WATER WELL:** \_\_\_\_\_ **SEPTIC TANK PERMIT NUMBER:** \_\_\_\_\_





Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
R. Side \_\_\_\_\_  
Cost of Construction \$ \_\_\_\_\_ Square Footage \_\_\_\_\_  
BPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DBED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent \_\_\_\_\_

Signature of Contractor \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Notary as to Owner or Agent \_\_\_\_\_

Notary as to Contractor \_\_\_\_\_

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

**CITY OF APALACHICOLA  
TREE APPLICATION  
REMOVAL OR ALTERATION OF PROTECTED TREE**

Applicants Name: Peter Wijnjaka (Please print)  
 Property Owners Name: same Phone: (850) 264-9681  
 Property Address: 132 6<sup>th</sup> st. City, State, Zip: Apalachicola, Fl. 32320  
 General Contractor/Tree Contractor: same Phone: (850) 264-9681  
 Applicants Signature/Date: Peter Wijnjaka 1

1. Protected trees – Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4" to 16"	Greater than 16" to less than 35"	35" and larger (Patriarch Tree)
Bald & Pond Cypress			
Eastern & Southern Red Cedar			
Live Oak			
Longleaf Pine			
Pecan		1	
Sabal Palm			
Slash Pine			
Southern Magnolia			
Sycamore			
Water Oak		1	
<b>Total</b>			
Size is measured at breast height (4.5 Feet above ground surface)			

2. Reason(s) for removal or alteration (Mark all that apply with "X")

Owner's Private Property	
Removal: New Construction	Alteration: New Construction
<input checked="" type="checkbox"/> Tree located within or too close to footprint of proposed new building or addition	Limbs and branches encroaching where structure is to be built
Removal: No New Construction	Alteration: No New Construction
Tree roots damaging building foundation or underground utilities	Limbs and branches rubbing on side or roof of building
Imminent hazard to property or human safety	Imminent hazard to property or human safety
Diseased or pest-infested tree	Diseased or pest-infested tree
Storm damaged tree (other than City declared emergency; e.g., lightning)	Storm-damaged tree (other than during City declared emergency; e.g., lightning)
Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
City Property (City street right-of-ways adjacent to private property)	
Removal: Requested by Private Property Owner	Alteration: Requested by Private Property Owner (Significant cutting of limbs & branches)
Tree located where access to private property is proposed (driveway, etc.)	Imminent hazard to property or human safety
Imminent hazard to property or human safety	
Diseased or pest-infested tree	
Storm damaged tree (other than City declared emergency; e.g., lightning)	
Requested by City Department	
Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard)	Growth encroaching on street or alley

3. Please attach a map with the following drawn to scale:

- a. Locations of the following:
  1. Lot boundaries
  2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
  3. Types & Sizes of protected trees (measured at breast height in inches)
  4. Protected trees that are proposed to be removed or altered

**OFFICE USE ONLY**

Permit Processing Fee (\$50.00 or \$100.00)	
Reforestation Fund	
Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)	
Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)	
Non Patriarch Tree Total (\$250.00 Max)	
Number of Trees 35" and larger x \$1,000.00	
Reforestation Fund Total	

**Planning and Zoning Board (When Development plan is submitted):**

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
Chairperson, Planning and Zoning Board      Date

**Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)**

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
Code Enforcement Officer or Designee      Date

\_\_\_\_\_  
City Manager or Designee      Date

## **TREE REMOVAL AND TRIMMING APPLICATIONS**

The City of Apalachicola Tree Ordinance adopted in 2019, protects the following tree species on privately owned and City owned property: live oak, southern magnolia, sabal palm, slash pine, eastern and southern red cedar, longleaf pine, pecan, bald and pond cypress, sycamore, and water oak.

A copy of the new Ordinance and the tree removal and substantial alteration application is accessible through links on the Building Department webpage at [www.cityofapalachicola.com](http://www.cityofapalachicola.com)

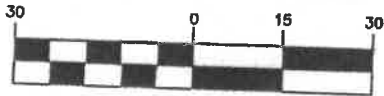
If you have any questions about the new requirements or the new application form, please contact Wilbur Bellew, Code Enforcement Officer by e-mail at [wlbellew@cityofapalachicola.com](mailto:wlbellew@cityofapalachicola.com) and Cortni Bankston, Permitting and Development Coordinator by e-mail at [cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com) or by telephone at 850-653-1522.

## **FEES AND FINES**

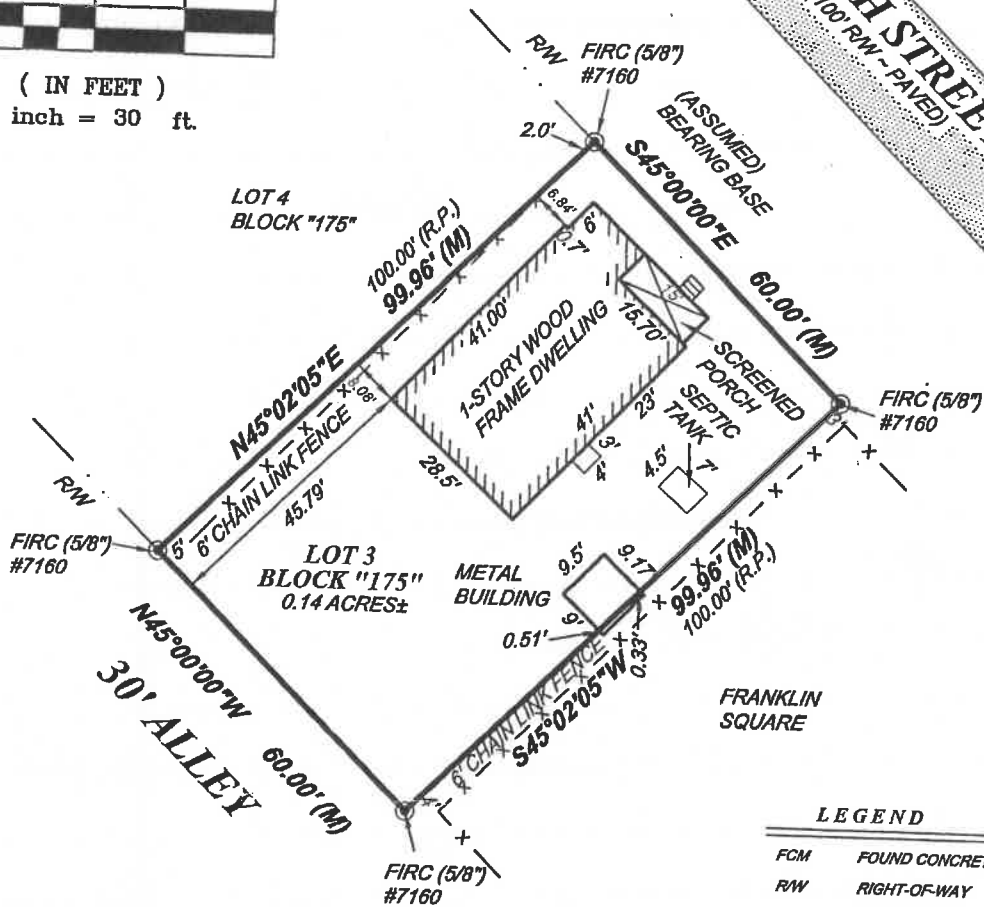
1. Administrative Fee - The City of Apalachicola will collect a \$50.00 application and processing fee. However, if the application is submitted after the tree is removed and the application is approved at that time, there will be an additional application and processing fee of \$100.00.
2. Fines - If a **Non-Patriarch** tree is removed prior to the required application submission, the applicant, property owner, and/or contractor are subject to a fine of up to \$500.00 per tree. If a **Patriarch** tree is removed without the required approval, the applicant, property owner, and/or contractor are subject to a fine of up to \$25,000.00 per tree.
3. Reforestation Fund - The City of Apalachicola also collects a fee of \$25 or \$35 depending on size for each protected, non-patriarch tree removed by permit, but not to exceed \$250.00 per application. The City of Apalachicola collects a fee of \$1,000.00 for each patriarch tree removed by permit. The fees collected will be deposited into the Reforestation Fund for the establishment and maintenance of tree in city parks, squares, and public right-of-ways

**PLAT OF BOUNDARY SURVEY FOR:  
 PETER K. WINGATE,  
 DODD TITLE COMPANY, INC.,  
 FIRST AMERICAN TITLE INSURANCE COMPANY**

**GRAPHIC SCALE**



( IN FEET )  
 1 inch = 30 ft.



**LEGEND**

FCM	FOUND CONCRETE MONUMENT
RW	RIGHT-OF-WAY
M	MEASURED
— —	NOT TO SCALE
△	POINT NOT SET OR FOUND
SIRC	SET (5/8") IRON ROD AND CAP #7160
FIRC	FOUND (5/8") IRON ROD AND CAP
RP	RECORD PLAT
FND	FOUND
RND	ROUND
CM	CONCRETE MONUMENT

**LEGAL DESCRIPTION:**

**Lot 3, Block "175" of the CITY OF APALACHICOLA,  
 as per map or plat in common use on file at the  
 Clerk of the Circuit Court in Franklin County, Florida**

**NOTES:**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southerly right-of-way boundary of 6th Street having an assumed bearing of South 45 degrees 00 minutes 00 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors.

REVISED 09/29/17; REMOVED FENCE ENCROACHMENTS

**FLOOD ZONE INFORMATION:**

60'

10' ← 23 →

Pecan

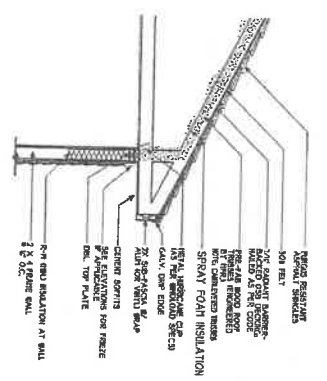
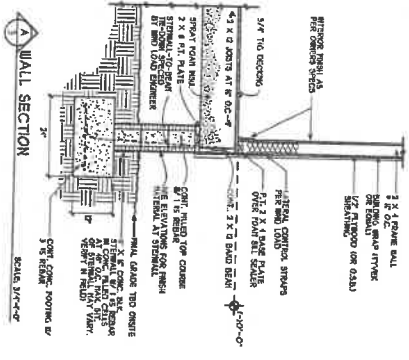
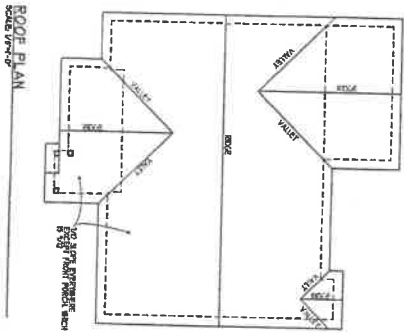


48'

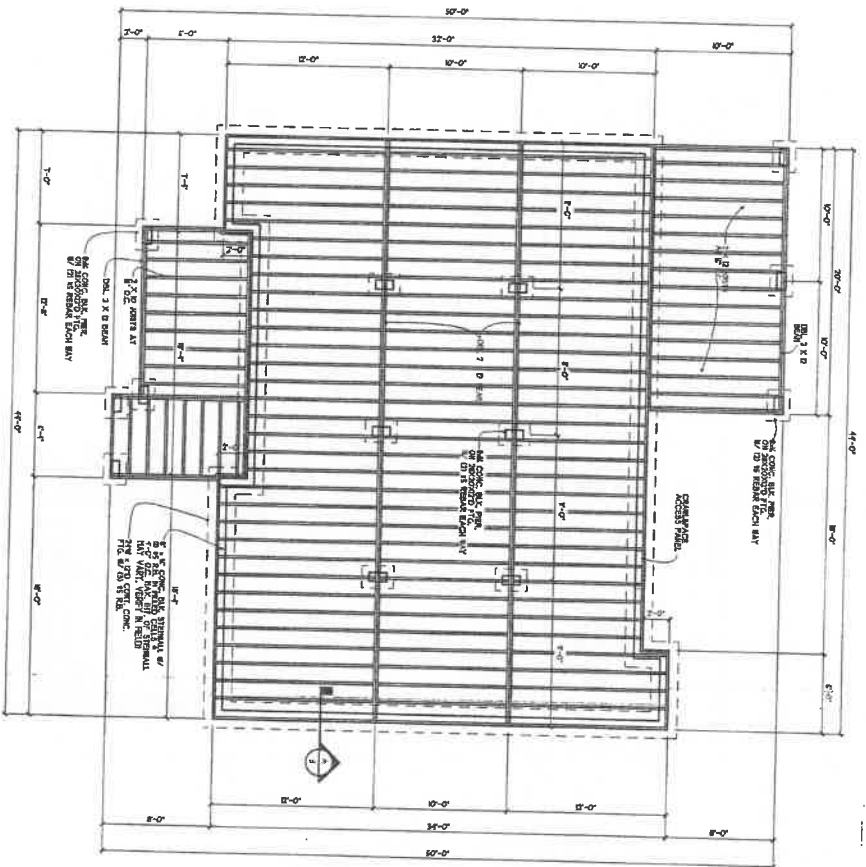
13' ↓

white oak

100'



FOUNDATION PLAN  
SCALE 1/8"=1'-0"



1. These Plans are the property of Wynn & Associates, Inc. They are protected by Patent Copyright Law. Any use of the information herein beyond that permitted hereunder is prohibited. Any reproduction, distribution, or disclosure of any part of these plans without the prior written consent of Wynn & Associates, Inc. is strictly prohibited.

2. Wynn & Associates, Inc. makes no warranty, expressed or implied, for the use of these plans for any purpose other than that intended. It is the user's responsibility to verify that all codes, rules, and regulations are met. Wynn & Associates, Inc. is not responsible for any errors or omissions in these plans. It is the user's responsibility to verify that all codes, rules, and regulations are met. Wynn & Associates, Inc. is not responsible for any errors or omissions in these plans.

3. Wynn & Associates, Inc. is not responsible for any errors or omissions in these plans. It is the user's responsibility to verify that all codes, rules, and regulations are met. Wynn & Associates, Inc. is not responsible for any errors or omissions in these plans.

REV. DATE: 10-31-2018  
 SHEET 3 OF 3

CUSTOM HOME PLANS FOR:  
**PETE WINGATE**  
 236 6th Street, Anapahicola, Florida

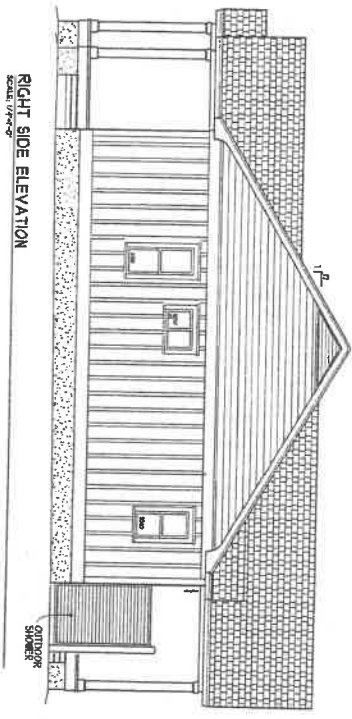
**WYNN & ASSOCIATES**  
 RESIDENTIAL DESIGN  
 Wynn, wynn.com 850.386.3282



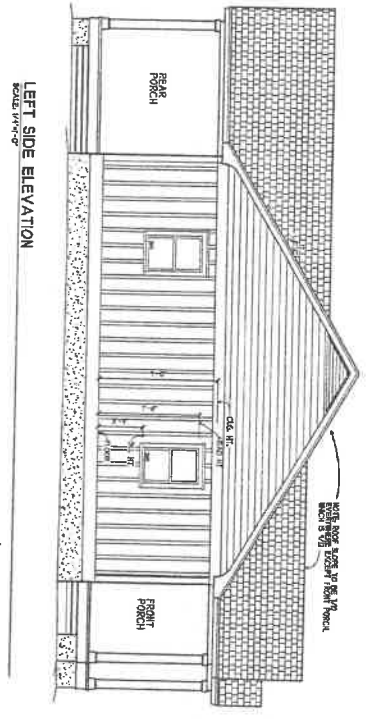




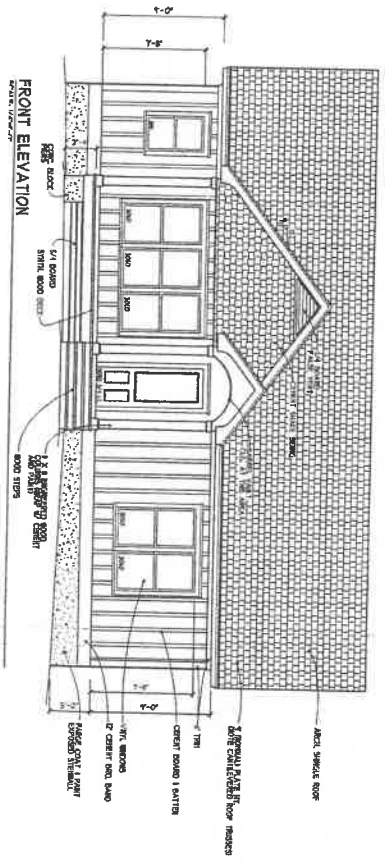
REAR ELEVATION  
SCALE 1/4"=1'-0"



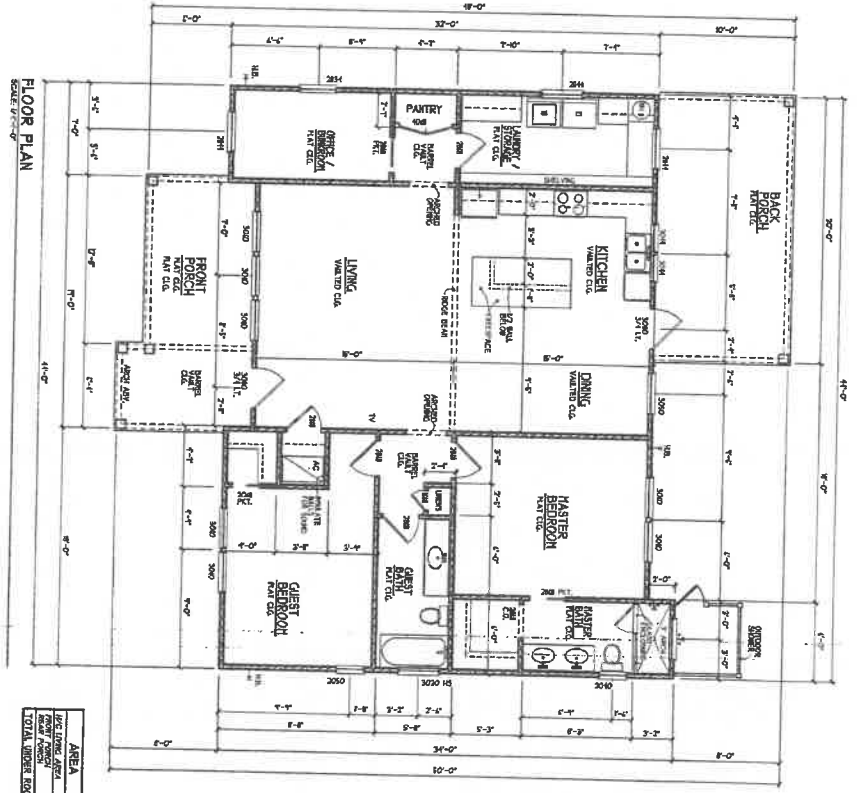
RIGHT SIDE ELEVATION  
SCALE 1/4"=1'-0"



LEFT SIDE ELEVATION  
SCALE 1/4"=1'-0"



FRONT ELEVATION  
SCALE 1/4"=1'-0"



FLOOR PLAN  
SCALE 1/4"=1'-0"

AREA	SQ. FT.
LIVING AREA	1,200
KITCHEN	400
DINING	400
MASTER BEDROOM	1,200
GUEST BEDROOM	800
BATH	400
HALL	200
CL.	100
PORCH	1,000
TOTAL INTERIOR	5,000

1. These Plans are the property of Wynne & Associates, Inc. They are intended to be used by the purchaser for the construction of the house shown on the plans. No part of these plans may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Wynne & Associates, Inc. All rights reserved. © 2019 Wynne & Associates, Inc. All rights reserved. No part of these plans may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Wynne & Associates, Inc. All rights reserved. No part of these plans may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Wynne & Associates, Inc. All rights reserved.

CUSTOM HOME PLANS FOR:  
**PETE WINGATE**  
236 6th Street, Apalachicola, Florida

**WYNN & ASSOCIATES**  
RESIDENTIAL DESIGN  
www.wynncorp.com 850.324.3224

REV. DATE  
19-III  
10-31-2019  
SHEET  
1  
OF 3







Building Dept. Review Summary

P&Z Meeting January 13<sup>th</sup>, 2020

Address: 27 Myrtle Ave.

Zoning: R-1

Historic District: No

Block: 8

Lot: 16

Project Description: New Single Family Residence 2,073 Sq. Ft. & Shed

Flood Zone: AE 11'

Lot Size: 90' x 207'

Impervious Surface Proposed: 21% Allowed: 40%

Height Proposed: 28' Allowed: 35' **Comply with LDC.**

**Main Structure**

Setbacks Required: Front (Myrtle Ave.): 15' Rear: 25' Front (Atlantic St. – Not Active) : 15' Left: 5'

Setbacks proposed: Front (Myrtle Ave.): 15' Rear: 25' Front (Atlantic St. – Not Active) : 15' Left: 5'

Setbacks Proposed: **Comply with LDC.**

Shed Setbacks: Front (Myrtle Ave.): 23' Rear: 50' Left: 59' 6" Front (Atlantic St. – Not Active): 53'

**Accessory Structure is in the Front Yard- Does not Comply with LDC.**

In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.- IV Zoning Districts and Regulations, Applicable Regulations P.14

212. Yard, Front- A yard extending across the front of a lot between the side lot lines and being the minimum horizontal distance between the street line and the principal building or any projections thereof, other than the projections of uncovered steps, uncovered balconies or uncovered porches.

213. Yard, Rear- A yard extending across the rear of a lot between the side lot lines and being the minimum horizontal distance between the rear property line and the rear of the principal building or any projections thereof, other than the projections of uncovered steps, balconies or porches. On all corner lots, the rear yard shall be at the opposite end of the lot from the front yard.

214. Yard, side- a yard between the main building and the side line of the lot extending from the front yard to the rear yard and being the minimum horizontal distance between a side lot line and the side of the main building or any projection thereof



CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION

Official Use Only

**HISTORIC DISTRICT**

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner: Al & Donna Ingle  
Address: 59 Commerce Street  
City: Apalachicola State: FL Zip: 32320  
Phone: ( 850 ) 509 1162

State License # \_\_\_\_\_ **Owner Built**  
City License # \_\_\_\_\_ County License # \_\_\_\_\_  
Email Address \_\_\_\_\_  
Phone ( \_\_\_\_\_ ) \_\_\_\_\_

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence              |
| <input type="checkbox"/> Addition                    | <input type="checkbox"/> Repair (Extensive) |
| <input type="checkbox"/> Alteration/Renovation       | <input type="checkbox"/> Variance           |
| <input type="checkbox"/> Relocation                  | <input type="checkbox"/> Other: _____       |
| <input type="checkbox"/> Demolition                  |   |

PROPERTY INFORMATION:

Street Address: 27 Myrtle Ave. City & State: Apalachicola, FL Zip: 32320

Historic District  Non-Historic District Zoning District: R1

Parcel #: 01-09S-08W-8360-0008-0160 Block(s) 8 Lot(s) 16

FEMA Flood Zone/Panel #: XXXX AE (13')/12037C0528E **Neel's Edition**

(For AE, AO, AH or VE Please complete attached Flood Application)  
OFFICIAL USE ONLY

PLANNED HEIGHT: LT 28'  
PLANNED SETBACKS: (F) 53' (R) 26' (SIDE) 20' & 23'

Setback requirement of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: Y Sewer Available: Y Taps Paid N

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

N/A  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, LDC.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1722 (ext 205) Phone  
(850) 653-5028 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

NEW WOOD FRAME SINGLE STOREY RESIDENCE  
OVER FLOW-THRU CRAWL SPACE SUPPORTED  
ON PRESTRESSED CONCRETE FRICTION PILES OF  
1.36 SF. CONDITIONED 2 BEDROOMS/2 BATHS  
PLUS NORTH AND SOUTH PORCHES (354 SF EACH).

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	HARDIE	FIBER CEMENT BD. LAP SIDING	
Doors (EXTERIOR)	THERMA-TRU OR APPROVED EQUIVALENT	FIBERGLASS FACES W/ INSUL. CORE	
Windows	JELD-WEN O.A.E.	HIGH WIND RATED INCL. SOLID VINYL W/ IMPACT RESISTANT GLASS	
Roofing	T.B.D.	26 GA. GALVALUME STANDING SEAM	
Trim	HARDIE	FIBER CEMENT BD.	
Foundation	T.B.D.	PRESTRESSED 12x12 CONC. FRICTION PILES	
Shutters	NA		
Porch/Deck	T.B.D.	P.T. DECK BOARDS	
Fencing	NA		
Driveways/Sidewalks		AREAS OF PIGMENTED CONC. FAYERS REINF. CONC. AND COMPACTED GRAVEL	
Other	T.B.D.	HORIZ. DECK BOGS. W/ 1" AIR SPACES	





**Parcel Summary**

Parcel ID 01-09S-08W-8360-0008-0160  
 Location Address 32320  
 Brief Tax Description\* BLOCK 8 LOT 16 NEELS ADD 1100/200 1100/202-EASEMENT 1123/515  
 \*The Description above is not to be used on legal documents.  
 Property Use Code VACANT (000000)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 20.8391  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Ingle Allison John & Donna G  
 46 Easy St South  
 Tallahassee, FL 32358

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	86.00	FF	0	0

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	06/25/2014	\$100	QC	1123	515	Unqualified (U)	Vacant	INGLE	INGLE
N	08/07/2013	\$100	TR	1100	200	Unqualified (U)	Vacant	INGLE DONNA GAIL AS TRUSTEE	INGLE DONNA GAIL

**Valuation**

	2019 Preliminary Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$111,800	\$111,800	\$111,800	\$111,800	\$111,800
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$111,800	\$111,800	\$111,800	\$111,800	\$111,800
Assessed Value	\$111,800	\$111,800	\$111,800	\$111,800	\$111,800
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$111,800	\$111,800	\$111,800	\$111,800	\$111,800
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

\*Just (Market) Value\* description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

**TRIM Notices**

2019 TRIM Notice

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

User Privacy Policy  
 GDPR Privacy Notice

Last Data Upload: 12/10/2019 7:42:46 AM

Developed by



Version 2.3.26



- Legend**
- Parcels
  - Roads
  - City Labels

<b>Parcel ID</b>	01-09S-08W-8360-0008-0160	<b>Alternate ID</b>	08W09S01836000080160	<b>Owner Address</b>	INGLE ALLISON JOHN & DONNA G
<b>Sec/Twp/Rng</b>	1-9S-8W	<b>Class</b>	VACANT		46 EASY ST SOUTH
<b>Property Address</b>		<b>Acreage</b>	n/a		TALLAHASSEE, FL 32358
<b>District</b>	3				
<b>Brief Tax Description</b>	BLOCK 8 LOT 16 NEELS ADD (Note: Not to be used on legal documents)				

Date created: 12/10/2019  
Last Data Uploaded: 12/10/2019 7:42:46 AM

Developed by  **Schneider**  
GEO SPATIAL

FLOOD PLAIN MANAGEMENT  
PERMIT APPLICATION REVIEW

DATE: 12/10/2019

PERMIT #: \_\_\_\_\_

NAME: Al & Donna Ingle

MAILING ADDRESS: 59 Commerce Street CITY/STATE/ZIP: Apalachicola, FL 32320

PHONE: 850-509-1162

STREET ADDRESS: 21 MYRTLE AV

LEGAL DISCRPTION: LOT 16, BLOCK 8, NEEL'S ADDITION TO CHY

PARCEL I.D #: 01-09S-08W-8360-0008-0160

DESCRIBE DEVELOPMENT: SINGLE FAMILY RESIDENCE

RESIDENTIAL:  COMMERCIAL: \_\_\_\_\_ NEW STRUCTURE: \_\_\_\_\_ SUBSTANTIAL IMPROVEMENT: \_\_\_\_\_

FLOOD ZONE INFORMATION:

PANEL NO.: 12037C  
0528E FIRM ZONE: \_\_\_\_\_ BFE: AE(13') GRADE ELEVATION: EL 9.5' +/-

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE: EL 14.77'  
AND/OR TOP OF THE BOTTOM FLOOR: EL 16.00' (PER PLANS)

SQARE FEET OF ENCLOSURE BELOW BFE: 2,073 SF CRAWL SPACE (PER PLANS)  
W/ FLOW-THRU FOUNDATION SCREEN

FLOOD ZONE DISCLOSURE NOTICE

I/We, Al & Donna Ingle, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014, my/our property may be adversely affected by these changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: 59 Commerce Street PARCEL I.D #: 01-09S-08W-8360-0008-0160

EFFECTIVE FLOOD ZONE: AE PRELIMINARY FLOOD ZONE: AE

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel.

A Ingle  
Signature of owner or developer

12/10/2019  
Date

Donna Ingle

12/10/2019

Material used for enclosure below BFE: solid wall/breakaway wall \_\_\_\_\_ flow through vents  
\_\_\_\_\_ (sq ft of vent opening), screen wire, lattice or louvers: HORIZ. DECK FDS. W/ 1" AIR SPACES.

Type of foundation: PRESTRESSED 12X12 CONCRETE FRICTION PILES

Pile Support

Concrete block stem wall

Other

Application meets all requirements designated in the flood plain management ordinance  
\_\_\_\_\_ Date.

Inspections:

Foundation meets the requirement for the flood zone designation: \_\_\_\_\_

Under construction elevation certificate has been submitted and meets elevation standards for flood zone  
\_\_\_\_\_

Enclosures below the BFE are designed as required by the flood plain management ordinance:  
\_\_\_\_\_

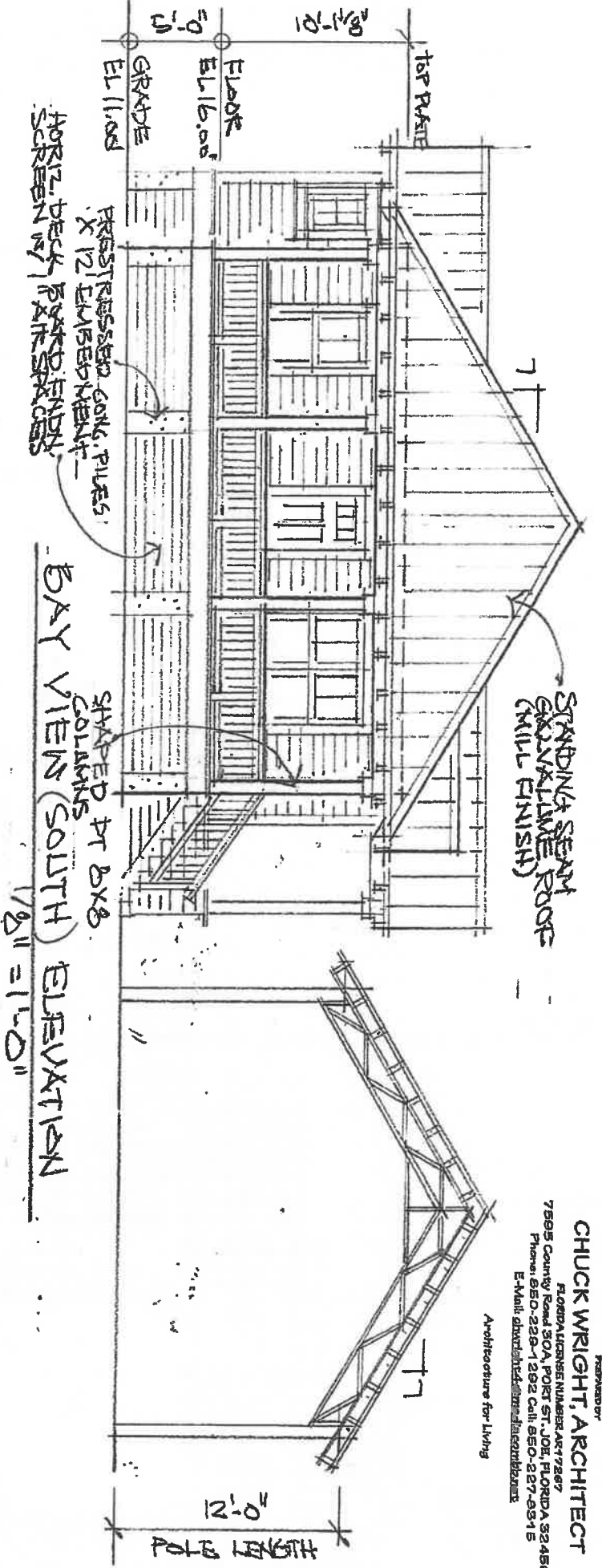
Final elevation certificate has been submitted and all aspects of the structure meet designated flood zone  
requirements: \_\_\_\_\_

All Mechanical and A/C equipment meet the required elevation for the designated BFE:  
\_\_\_\_\_

Final inspection on structure meets all requirements designated in the flood plain management ordinance:  
\_\_\_\_\_ Date.

\_\_\_\_\_  
Flood Plain Administrator Date

STANDING SEAM GALVALUME ROOF (MILL FINISH)

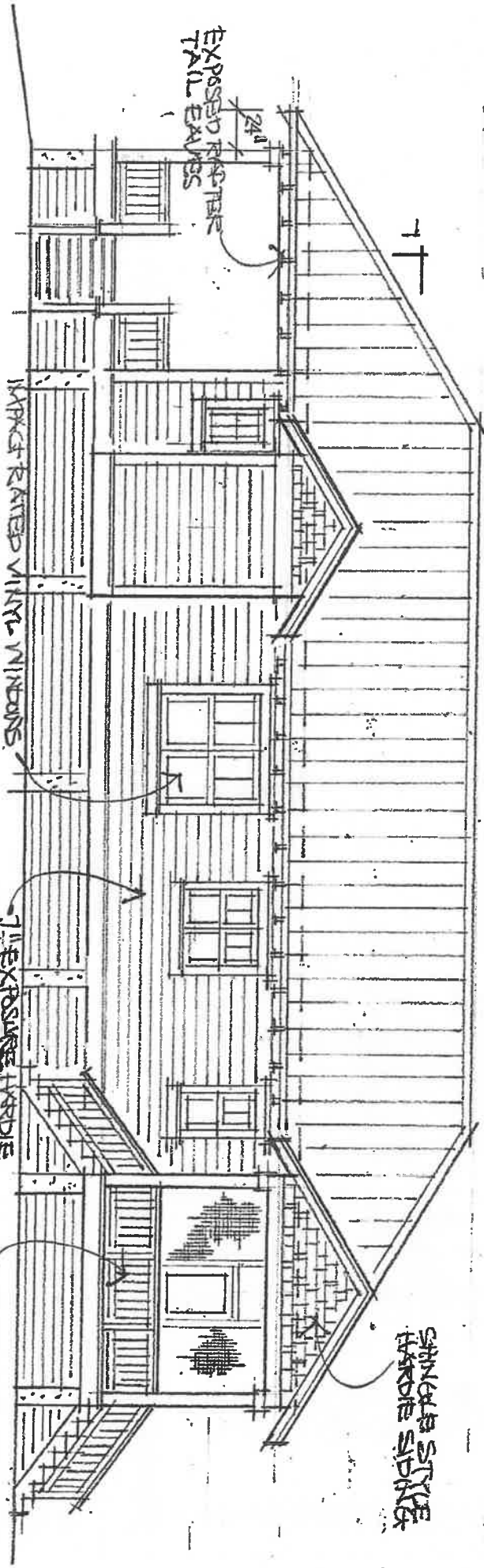


BAY VIEW (SOUTH) ELEVATION  
1/8" = 1'-0"

Architecture for Living

PREPARED BY  
**CHUCK WRIGHT, ARCHITECT**  
FLORIDA LICENSE NUMBER AFT 7287  
7595 Country Road 304, PO Box 304, Palm Bay, Florida 32909  
Phone: 888-229-1392 Cell: 888-227-9315  
E-Mail: chucky@medialife.com

EXPOSED FRAGILE  
TAIL EXAMS



MYRTLE AV (EAST) ELEVATION  
1/8" = 1'-0"

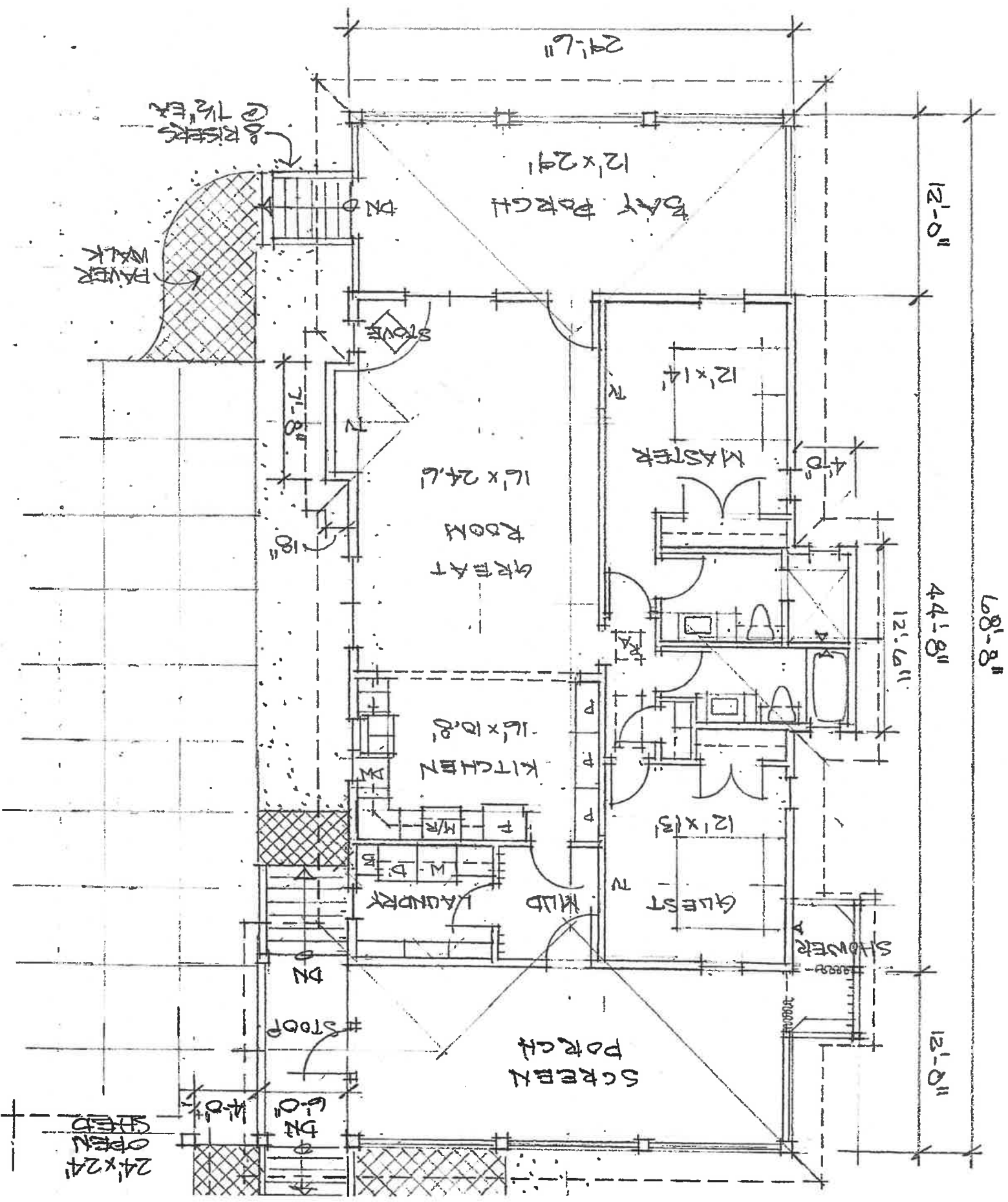
SHINGLES  
SIDE SINKS

WOOD PICKET  
GLASS RAIL  
X 3/4\"/>

12/04/14

1,365 SF CONTRACTED  
12/04/14

# FLOOR PLAN



24' x 24'  
OPEN  
SCREENED

10' WIDE ALLEY (NOT OPEN)

07°32'W 83.08'(M)

N67°09'31"E 119.85'(M)

FND 4X4  
CM NO ID

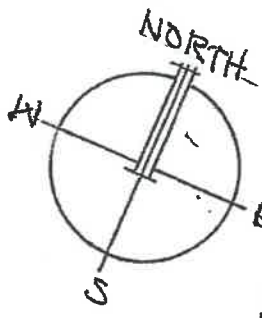
GRAVEL DRIVEWAY

FUTURE  
STUDIO

VINYL  
CARPORT  
(PORTABLE)

SHED  
R.F.E. 11.8'

F.F.E. 16.00'



LOT 15

AE(11)

AE(13)

WAVE  
ACTION

DIRT DRIVEWAY

VINYL EL  
RT3

NAIL IN 11" TBM  
AT AN EL OF 10.27  
NAVD 88 DATUM

SITE PLAN

1" = 20'

12/04/19

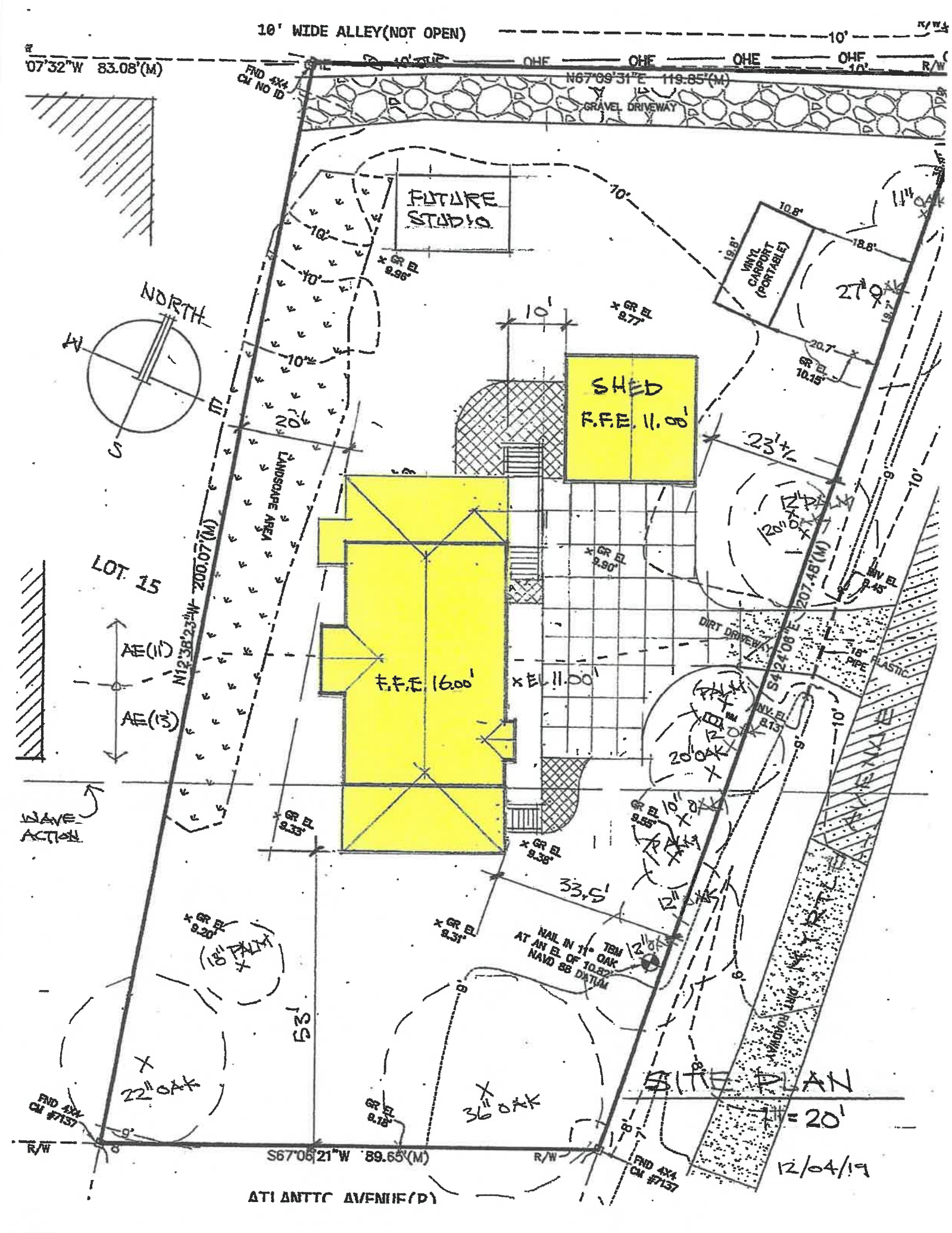
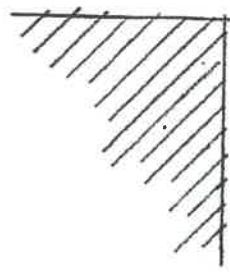
S67°06'21"W 89.65'(M)

ATI ANTTC AVENUE (P)

R/W

R/W

FND 4X4  
CM #7157





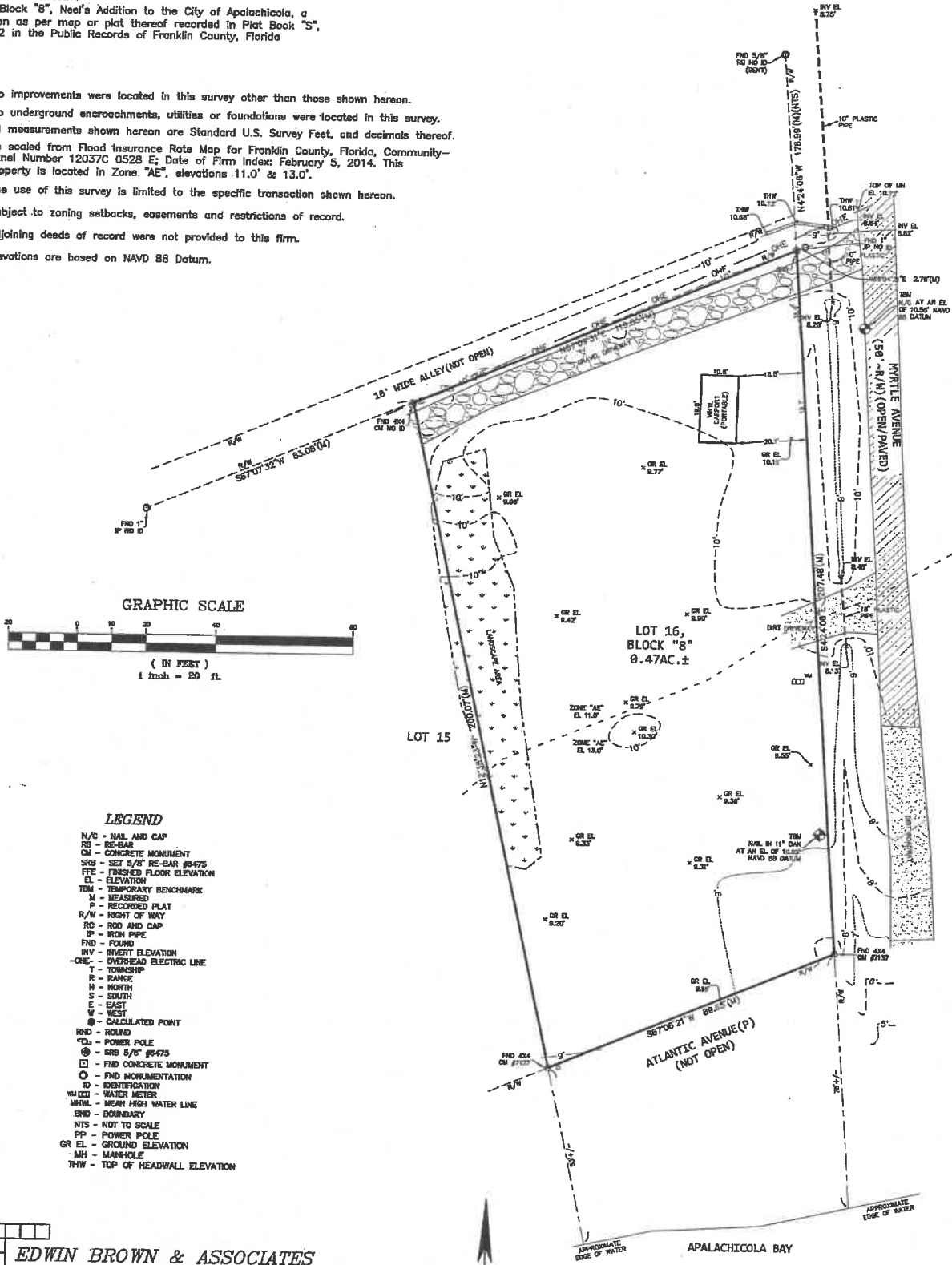


**LEGAL DESCRIPTION**

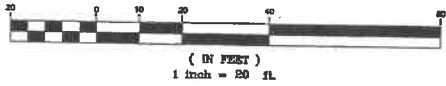
Lot 16, Block "B", Neel's Addition to the City of Apalachicola, a subdivision as per map or plat thereof recorded in Plat Book "S", Page 302 in the Public Records of Franklin County, Florida

**NOTES:**

1. No improvements were located in this survey other than those shown hereon.
2. No underground encroachments, utilities or foundations were located in this survey.
3. All measurements shown hereon are Standard U.S. Survey Feet, and decimals thereof.
4. As scaled from Flood Insurance Rate Map for Franklin County, Florida, Community-Panel Number 12037C 0528 E; Date of Firm Index: February 5, 2014. This Property is located in Zone "AE", elevations 11.0' & 13.0'.
5. The use of this survey is limited to the specific transaction shown hereon.
6. Subject to zoning setbacks, easements and restrictions of record.
7. Adjoining deeds of record were not provided to this firm.
8. Elevations are based on NAVD 88 Datum.



**GRAPHIC SCALE**



**LEGEND**

- N/C - NAIL AND CAP
- RD - RE-BAR
- CM - CONCRETE MONUMENT
- SRB - SET 5/8" RE-BAR #5-475
- FPE - FINISHED FLOOR ELEVATION
- EL - ELEVATION
- TBM - TEMPORARY BENCHMARK
- M - MEASURED
- P - RECORDED PLAT
- R/W - RIGHT OF WAY
- RD - ROD AND CAP
- IP - IRON PIPE
- FND - FOUND
- INV - INVERT ELEVATION
- OHE - OVERHEAD ELECTRIC LINE
- TOWNSHIP
- R - RANGE
- N - NORTH
- S - SOUTH
- E - EAST
- W - WEST
- ⊙ - CALCULATED POINT
- FND - FOUND
- ⊙ - POWER POLE
- ⊙ - SRB 5/8" #5-475
- ⊙ - FND CONCRETE MONUMENT
- ⊙ - FND MONUMENTATION
- ⊙ - BENCHMARK
- ⊙ - WATER METER
- MHWL - MEAN HIGH WATER LINE
- BNB - BOUNDARY
- NTS - NOT TO SCALE
- PP - POWER POLE
- GR EL - GROUND ELEVATION
- MH - MANHOLE
- THW - TOP OF HEADWALL ELEVATION

**EDWIN BROWN & ASSOCIATES**

**SURVEYORS & MAPPERS**

(850) 926-3016 888-433-4436 FAX (850) 926-8100  
P.O. Box 025 2813 Crawfordville Hwy, Crawfordville, FL 32326

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

EDWIN G. BROWN  
Surveyor & Mapper  
Florida Certificate No. 58599  
(LBF 6475)

OCT 16 2019



PLAT OF BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR			
<b>ALLISON JOHN &amp; DONNA INGLE</b>			
PREPARED BY			
<b>EDWIN G. BROWN AND ASSOCIATES, INC.</b>			
2813 CRAWFORDVILLE HWY. P.O. BOX 025 CRAWFORDVILLE, FL 32326 (850) 926-3016			
NOTEBOOK/PAGE	COUNTY: FRANKLIN	DRAWN BY: AA	REVIEWED BY: WGB
NOTEBOOK/PAGE	SECTION: 1	SCALE: 1" = 20'	CHECKED BY: WGB
NOTEBOOK/PAGE	TOWNSHIP: 8-SOUTH	SURVEY DATE: OCTOBER 10, 2019	
SHEET: 1 OF 1	RANGE: 8-WEST	JOB NUMBER	PSC#
		<b>19-511</b>	<b>40751</b>







Building Dept. Review Summary

P&Z Meeting January 13<sup>th</sup>, 2020

Address: 250.5 Hwy 98

Zoning: R-1

Historic District: No

Block:

Lot:

Project Description: Shed 12' x 18' with 10'x 18' Carport 22'x 18' total

Flood Zone: AE 11'

Lot Size: 61' x 310'

Impervious Surface Proposed: 11.7% Allowed: 40%

Height Proposed: 10' 6" Allowed: 35' **Comply with LDC.**

Accessory Structure

Setbacks Required: Front: 25' Rear: 5' Right: 10' Left: 5'

Setbacks proposed: Front: 234' Rear: 78' Right: 78' Left: 5'

Setbacks Proposed: **Comply with LDC.**



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**  
**APPLICATION FOR BUILDING PERMIT**

Official Use Only

PERMIT #: \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_ - \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

PROPERTY OWNER'S NAME(S): JAY & LISA CHESLEY

ADDRESS: 250 1/2 US HWY 98

CITY, STATE & ZIP CODE: APALACHICOLA PHONE # 653-6995

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR: SELF

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: NA CITY OF APALACHICOLA LICENSE # NA

ADDRESS OF PROJECT: 250 1/2 US HWY 98

DESCRIPTION OF PROPOSED JOB: STORAGE SHED/STORAGE

STRUCTURE IS LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  NO

PROPERTY PARCEL ID # 01-095-08W-8360-0005-013B

LEGAL DESCRIPTION OF PROPERTY: A parcel in Neel's Addition 112x255 ALSO parcel Z SEE DEED 710/506 715/280 CORRECTIVE 862/228 862/232

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: NA

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

CORRECTIVE  
1056/781  
FINAL  
JUDGEMENT  
1199/690

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front 234' Rear 78' L. Side 5' R. Side 43' 78' per site plan  
Cost of Construction \$ 3,000 Square Footage 192  
EPI \_\_\_\_\_ Flood Zone AE 13 Lowest Floor Elevation 9'0"  
Area Heated/Cooled NA # Of Stories 1 # Of Units \_\_\_\_\_  
Type of Roof METAL Type of Walls 2x4 16" O.C. Type of Floor ADVANTECH Extreme  
Dimensions of: Length 12 Height 11'6" Width 16 2x10' 16" O.C.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.**

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Jay Chesley  
Signature of Owner or Agent

SELF Jay Chesley  
Signature of Contractor

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Notary as to Owner or Agent

Notary as to Contractor

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

**APPLICATION APPROVED BY:** \_\_\_\_\_ **BUILDING OFFICIAL**



FLOOD PLAIN MANAGEMENT  
PERMIT APPLICATION REVIEW

DATE: 10/23/19

PERMIT #: \_\_\_\_\_

NAME: JAY E. & LISA C. CHESLEY  
MAILING ADDRESS: 250 1/2 US HIGHWAY 98 CITY/STATE/ZIP: APALACHICOLA, FL 32320  
PHONE: 653-6995

STREET ADDRESS: 250 1/2 US HIGHWAY 98 APALACHICOLA, FL 32320

LEGAL DESCRIPTION: 01-095-08W-8360-0005-013 B  
PARCEL I.D #: A PARCEL IN NEELS ADDITION 112x255  
ALSO PARCEL 2 SEE DEED 710/506 715/280 - CORRECTIVE  
DESCRIBE DEVELOPMENT: SHED - CARPORT

RESIDENTIAL: \_\_\_\_\_ COMMERCIAL: \_\_\_\_\_ NEW STRUCTURE: \_\_\_\_\_ SUBSTANTIAL IMPROVEMENT: \_\_\_\_\_

SHED / CARPORT

FLOOD ZONE INFORMATION:

PANEL NO.: 12037C FIRM ZONE: F BFE: AE 11 GRADE ELEVATION: 9'6"  
0528  
ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE: 9'6"  
AND/OR TOP OF THE BOTTOM FLOOR: 192 s.f. (PER PLANS)  
SQUARE FEET OF ENCLOSURE BELOW BFE: 192 s.f. (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, \_\_\_\_\_, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014; my/our property may be adversely affected by these changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: 250 1/2 US HWY 98 PARCEL I.D #: 01-095-08W-8360-0005-013 B  
EFFECTIVE FLOOD ZONE: AE-11 PRELIMINARY FLOOD ZONE: \_\_\_\_\_

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel.

Jay E. Chesley  
Signature of owner or developer

10/23/19  
Date



Material used for enclosure below BFE: solid wall/breakaway wall \_\_\_\_\_, flow through vents  
25.f. (sq ft of vent opening), screen wire, lattice or louvers: \_\_\_\_\_

Type of foundation: \_\_\_\_\_

- Pile Support
- Concrete block stem wall
- Other

Application meets all requirements designated in the flood plain management ordinance  
\_\_\_\_\_ Date.

**Inspections:**

Foundation meets the requirement for the flood zone designation: \_\_\_\_\_

Under construction elevation certificate has been submitted and meets elevation standards for flood zone  
\_\_\_\_\_

Enclosures below the BFE are designed as required by the flood plain management ordinance:  
\_\_\_\_\_

Final elevation certificate has been submitted and all aspects of the structure meet designated flood zone requirements: \_\_\_\_\_

All Mechanical and A/C equipment meet the required elevation for the designated BFE:  
\_\_\_\_\_

Final Inspection on structure meets all requirements designated in the flood plain management ordinance:  
\_\_\_\_\_ Date.

\_\_\_\_\_  
Flood Plain Administrator                      Date



CITY OF APALACHICOLA  
 CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
 City Representative \_\_\_\_\_  
 Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner JAY E. & LISA C. CHESLEY  
 Address 250 1/2 US HIGHWAY 98  
 City APALACHICOLA State FL Zip 32320  
 Phone (850) 653-6995

State License # SELF  
 City License # \_\_\_\_\_ County License # \_\_\_\_\_  
 Email Address CHESLEY.J.7@EMAIL.COM  
 Phone (\_\_\_\_\_) \_\_\_\_\_

Approval Type: [ ] Staff Approval Date: \_\_\_\_\_ [ ] Board Approval [ ] Board Denial Date \_\_\_\_\_

\*Reason for Denial

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: SHED - CARPORT

PROPERTY INFORMATION:

Street Address: 250 1/2 US HIGHWAY 98 City & State APALACHICOLA, FL Zip 32320

[ ] Historic District [x] Non-Historic District Zoning District R-1

Parcel #: 01-095-08W-8360-0005-013B Block(s) \_\_\_\_\_ Lot(s) \_\_\_\_\_

FEMA Flood Zone/Panel #: #12037C0528-F AE-II  
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 25' Rear: 25' Side: 7.5' Lot Coverage: \_\_\_\_\_

Water Available: YES Sewer Available: YES Taps Paid YES

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official connected to handle the City of Apalachicola Building Permits, EPC.

Cortni Bankston  
 Permitting and Development Coordinator  
 (850) 653-1522 (ext 205) Phone  
 (850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)



Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

SHED: SAME FINISHING MATERIALS AS HOME.  
 SAME ROOF PITCH IN GALVALUME. SAME  
 PAINT COLOR

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	JAMES HARDIE	7/4 LAP SIDING	
Doors	RELIABILT	1 3/8" STEEL DOOR	
Windows	PELLA	FIXED SASH -	
Roofing		26 GA GALVALUME SCREW DOWN	
Trim	JAMES HARDIE	1"X4" TRIM	
Foundation		6"X6" PT POSTS 2' DEEP IN CONCRETE	
Shutters	N/A		
Porch/Deck	N/A		
Fencing	N/A		
Driveways/Sidewalks	N/A		
Other			





## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of my association rule or regulation.

DATE

10/23/19

SIGNATURE OF APPLICANT

Jay E. Chesley



**PLAT OF SPECIFIC PURPOSE TO SHOW SITE PLAN CERTIFIED TO:  
JAY CHESLEY AND LISA CHESLEY**

**GRAPHIC SCALE**



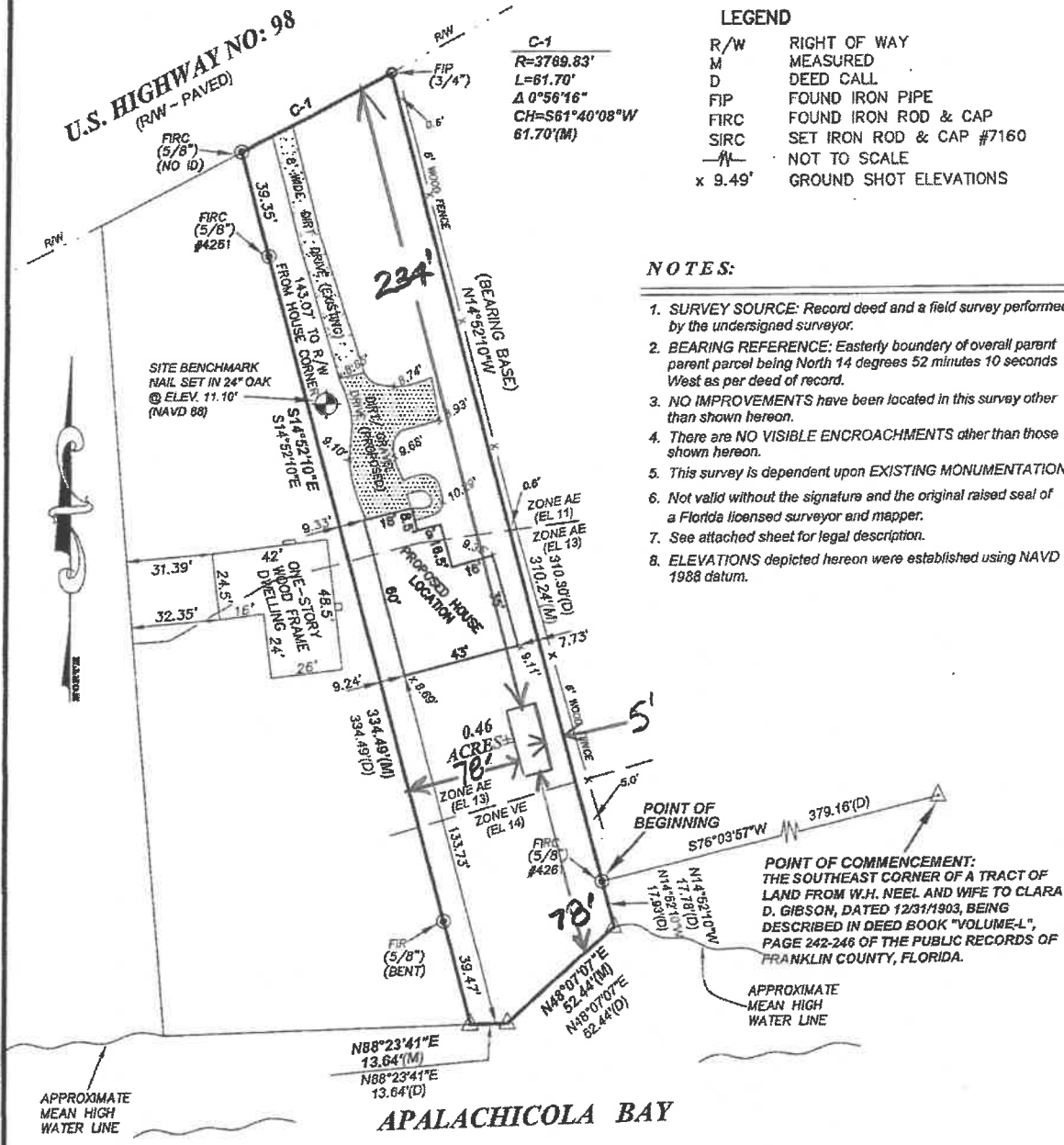
( IN FEET )  
1 inch = 40 ft.

**LEGEND**

- R/W RIGHT OF WAY
- M MEASURED
- D DEED CALL
- FIP FOUND IRON PIPE
- FIRC FOUND IRON ROD & CAP
- SIRC SET IRON ROD & CAP #7160
- NOT TO SCALE
- x 9.49' GROUND SHOT ELEVATIONS

**NOTES:**

1. SURVEY SOURCE: Record deed and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Easterly boundary of overall parent parcel being North 14 degrees 52 minutes 10 seconds West as per deed of record.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. See attached sheet for legal description.
8. ELEVATIONS depicted hereon were established using NAVD 1988 datum.



**FLOOD ZONE INFORMATION:**

Subject property is located in Zone "AE" (EL 11 & 13) and Zone "VE" (EL 14) as per Flood Insurance Rate Map Community Panel No: 120088 0528F, index date: February 5, 2014, Franklin County, Florida.

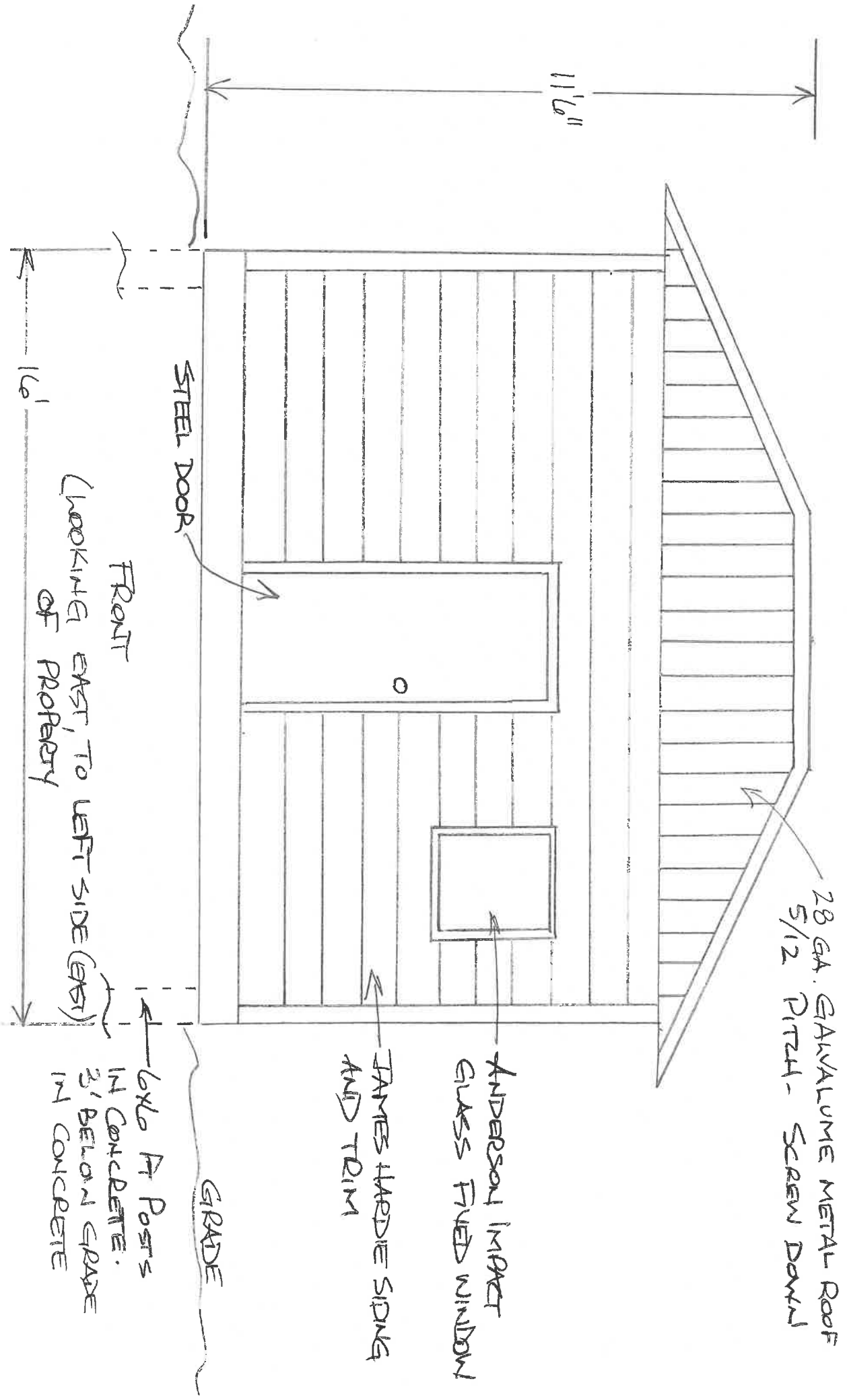
I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.031/052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

*James T. Roddenberry*  
James T. Roddenberry  
Surveyor and Mapper  
Florida Certificate No: 4281

<b>TR &amp; A</b>	<b>Thurman Roddenberry &amp; Associates, Inc.</b>		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 108 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 904-643-3539 FAX NUMBER: 904-643-1147 L.S. # 7189		
DATE: 05/01/18	DRAWN BY: BB	N.B.PER PLAT	COUNTY: FRANKLIN
FILE: 01190JC.DWG	DATE OF LAST FIELD WORK: 04/30/18	JOB NUMBER: 01-190	

CHESLEN STORAGE  
250 1/2 US HWY 98



28 GA. GALVALUME METAL ROOF  
5/12 PITCH - SCREW DOWN

ANDERSON IMPACT  
GLASS FIBER WINDOW

JAMES HARDIE SIDING  
AND TRIM

GRADE

6x6 FT Posts  
IN CONCRETE.  
3' BELOW GRADE  
IN CONCRETE

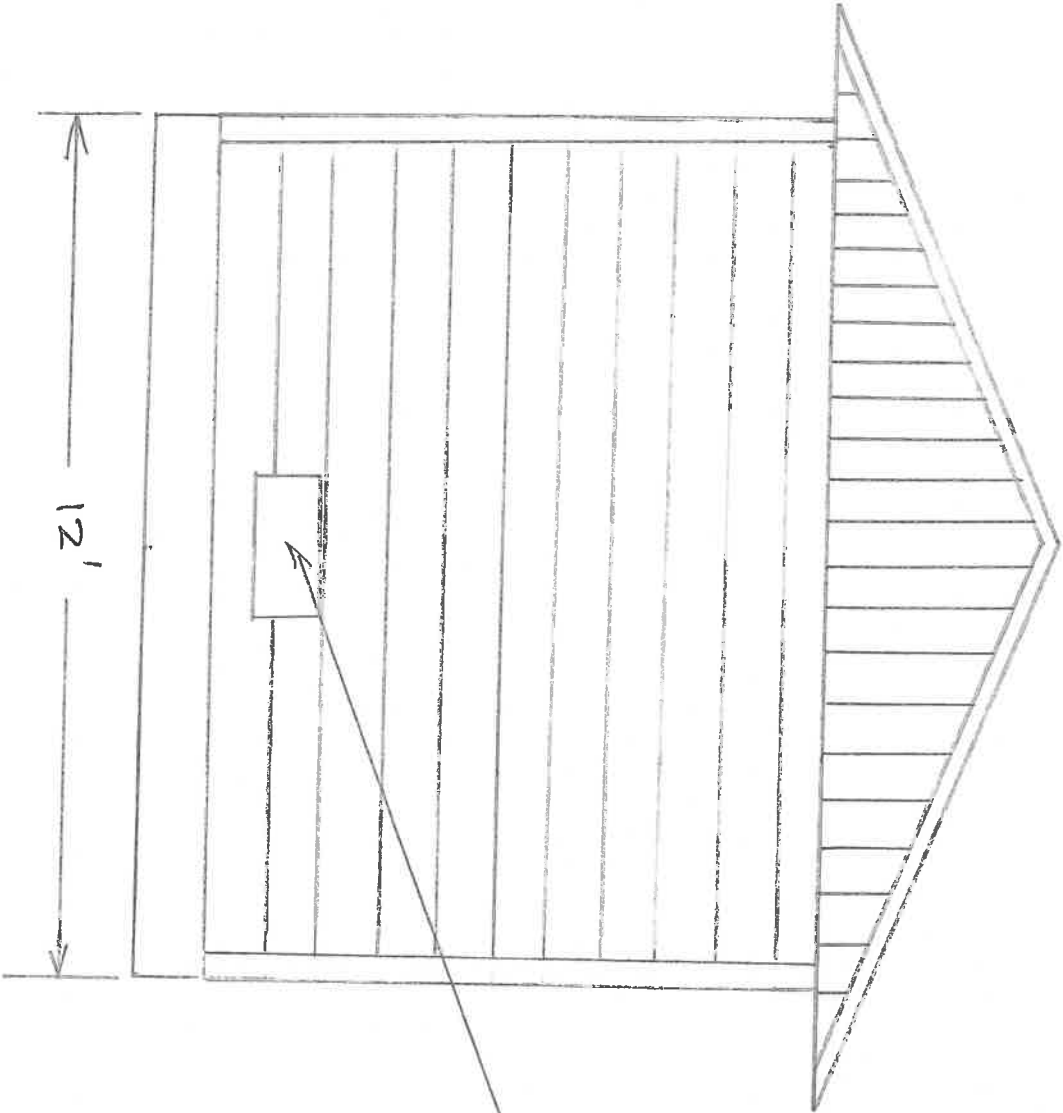
STEEL DOOR

FRONT

16'  
(LOOKING EAST, TO LEFT SIDE (EAST)  
OF PROPERTY)

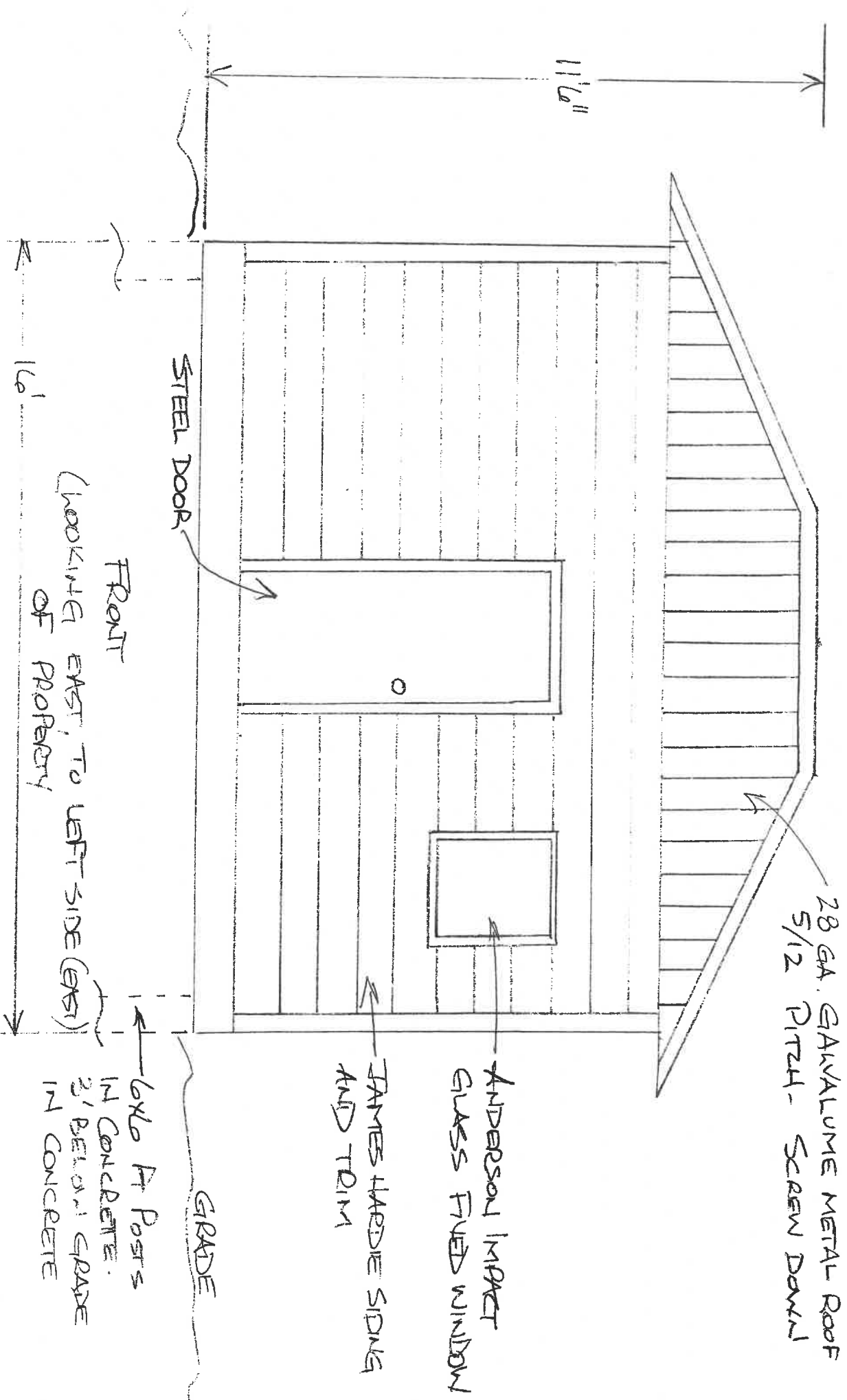
11'6"

CHESELET STORAGE  
250'K US HWY 98



FLOOD VENT (1 OF 2)  
15" X 12" ...  
NOTE: 2ND ON OPPOSITE  
WALL

CHESLEN STORAGE  
250 1/2 US HWY 98



28 GA. GALVALUME METAL ROOF  
5/12 PITCH - SCREW DOWN

ANDERSON IMPACT  
GLASS FIXED WINDOW

JAMES HARDIE SIDING  
AND TRIM

6x6 P Posts  
IN CONCRETE.  
3' BELOW GRADE  
IN CONCRETE

GRADE

FRONT

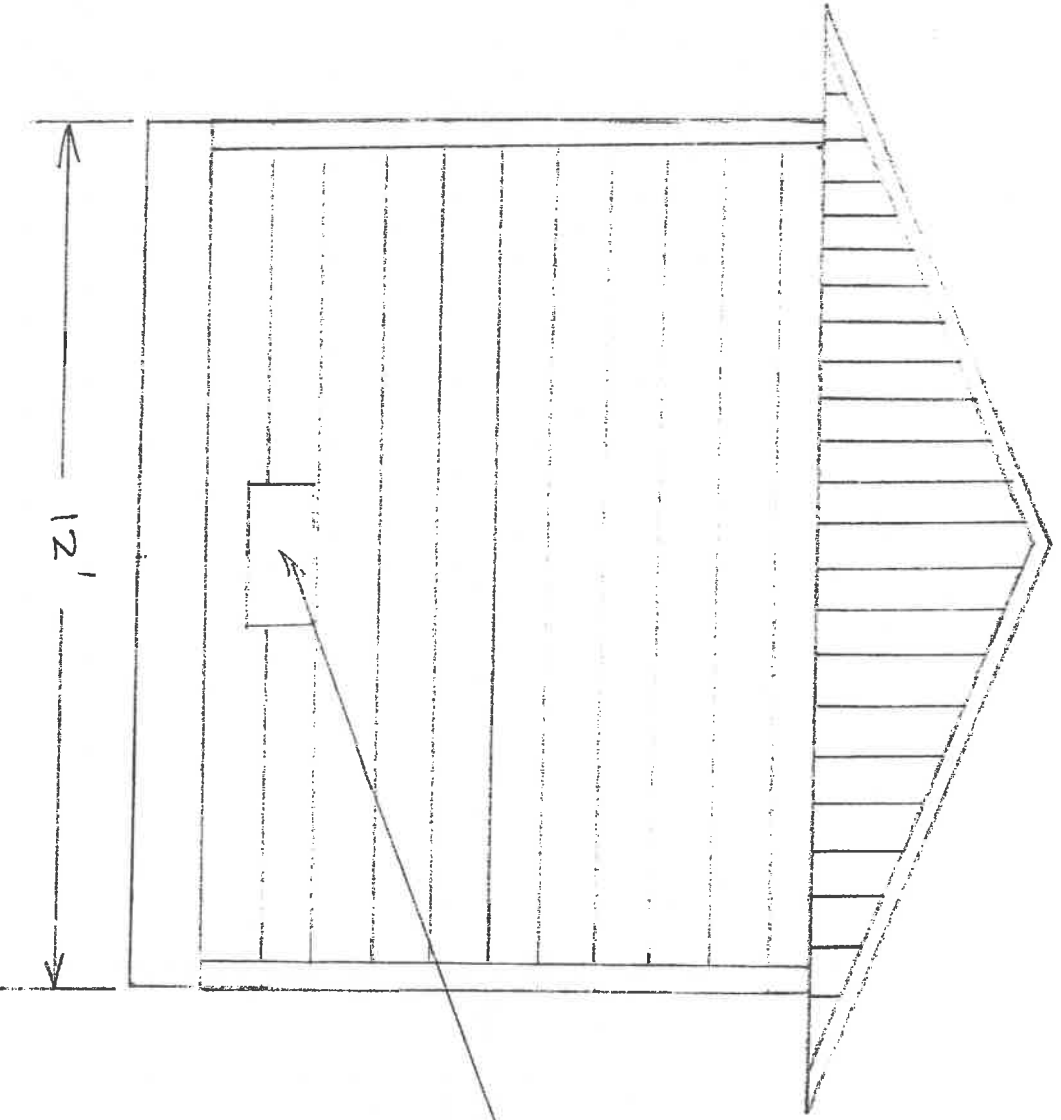
(LOOKING EAST, TO LEFT SIDE (EAST)  
OF PROPERTY)

11'6"

16'

STEEL DOOR

CHESTER STORAGE  
250 Yd US HWY 92



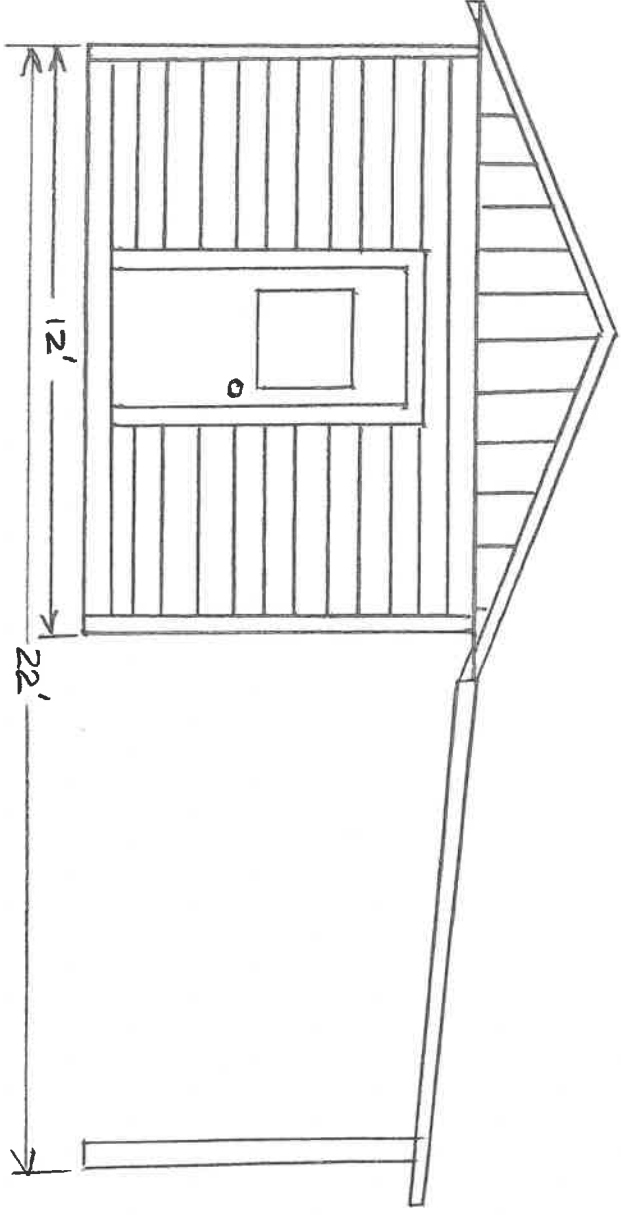
FLOOD VENT (1 OF 2)  
15" X 12" ...  
NOTE: 2ND ON OPPOSITE  
WALL

# CARPORT - STORAGE SHED

← HIGHWAY 98

BAY →

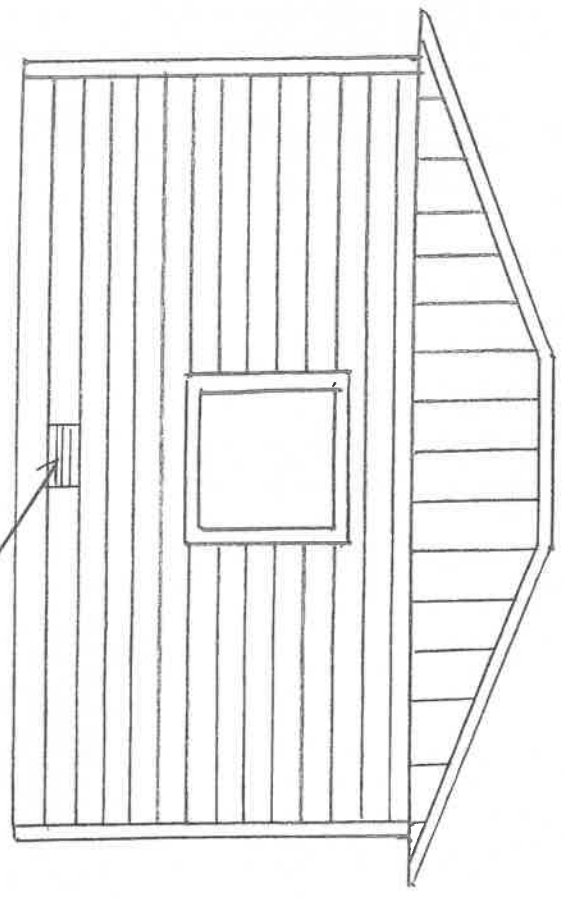
FRONT VIEW



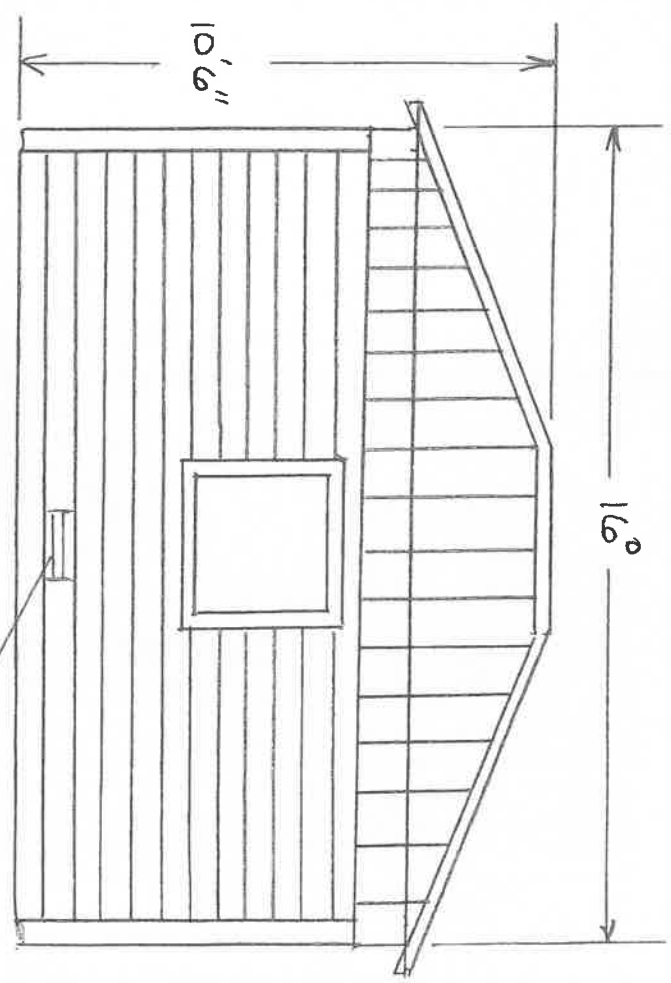
- \* 22' WIDE X 18' DEEP
- \* JAMES HARDIE SIDING  
7/4 EXPOSURE - MATZL HOME
- \* HARDIE TRIM
- \* 2LG GA GALVALUME METAL ROOF  
5/12 PITCH - MATZL HOME
- \* 6x6" CORNER POSTS (6)  
SET 2' DEEP IN CONCRETE
- \* PAINTED BENJAMIN MOORE  
"SWISS COFFEE" - MATZL HOME
- \* FLOOD ZONE AE-11
- \* GROUND ELEVATION 9'6"

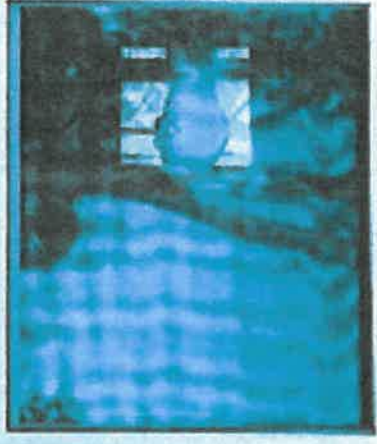
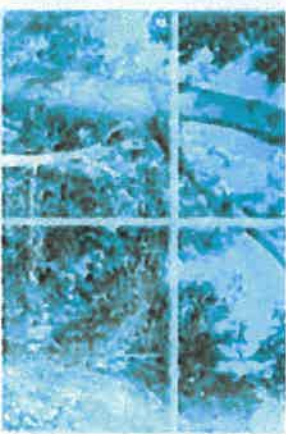


SIDE VIEW  
(FROM HWY 98)  
FLOOD VENT

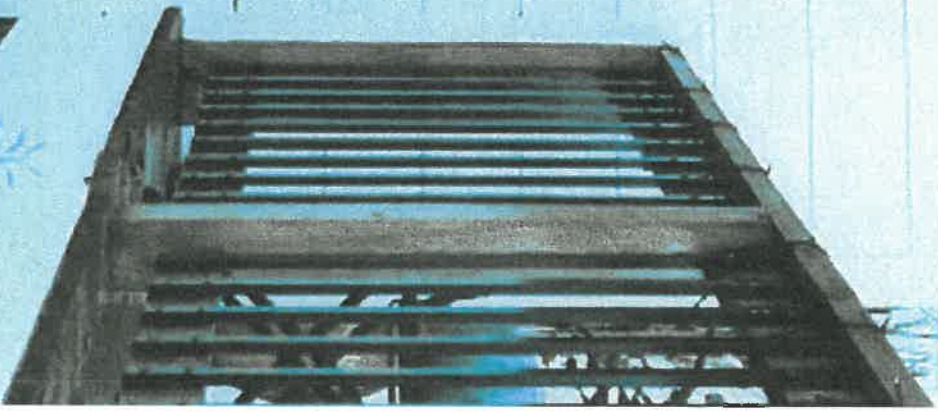


SIDE VIEW  
(FROM HOME)  
FLOOD VENT





JAMES HARDIE SIDING - HOME



EAST NEIGHBOR  
FRONT VIEW  
FROM HWY 98

SHED



WEST NEIGHBOR  
FRONT VIEW FROM HWY 98

SEE



# ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name JAY AND LISA CHESLEY				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 250(1/2) US HIGHWAY NO. 98				Company NAIC Number:	
City APALACHICOLA		State Florida		ZIP Code 32328	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) 01-09S-08W-8360-0005-013B					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>29°42'53.85"N</u> Long. <u>84°59'50.51"W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>5</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>0.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF APALACHICOLA 120089			B2. County Name FRANKLIN		B3. State Florida
B4. Map/Panel Number 12037C0528	B5. Suffix F	B6. FIRM Index Date 02-05-2014	B7. FIRM Panel Effective/ Revised Date 02-05-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 13.00'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1860-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 250(1/2) US HIGHWAY NO. 98			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32328	Company NAIC Number

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO.  
Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.  
Benchmark Utilized: 11.10' Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929  NAVD 1988  Other/Source:

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

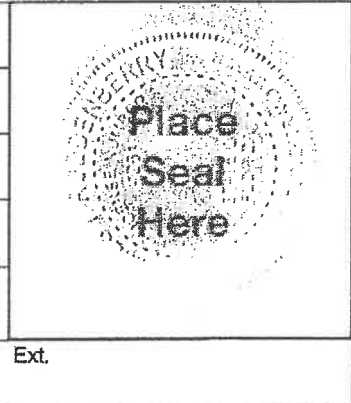
- a) Top of bottom floor (including basement, crawlspace, or enclosure floor) 14.48  feet  meters
- b) Top of the next higher floor N/A  feet  meters
- c) Bottom of the lowest horizontal structural member (V Zones only) N/A  feet  meters
- d) Attached garage (top of slab) N/A  feet  meters
- e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) 14.46  feet  meters
- f) Lowest adjacent (finished) grade next to building (LAG) 9.29  feet  meters
- g) Highest adjacent (finished) grade next to building (HAG) 10.00  feet  meters
- h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support N/A  feet  meters

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  Check here if attachments.

Certifier's Name JAMES T. RODDENBERRY	License Number 4261
Title PRESIDENT	
Company Name THURMAN RODDENBERRY & ASSOCIATES, INC.	
Address P.O. BOX 100	
City SOPCHOPPY	State Florida
	ZIP Code 32358
Signature <i>James T. Roddenberry</i>	Date 02-07-2019
	Telephone (850) 962-2538
	Ext.



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)  
JOB NUMBER 01-190F  
C2e ESTABLISHED BY DETACHED AC DECK.

# BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008  
Expiration Date: November 30, 2018

## ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 250(1/2) US HIGHWAY NO. 98			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32328	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption    JOB NUMBER 01-190F                      FRONT VIEW    DATE TAKEN 02/06/19                      Clear Photo One



Photo Two

Photo Two Caption    REAR VIEW

Clear Photo Two

**BUILDING PHOTOGRAPHS**

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2018

**ELEVATION CERTIFICATE**

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 250(1/2) US HIGHWAY NO. 98			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32328	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A5.



Photo Three

Photo Three Caption JOB NUMBER 01-190F	AC DECK	DATE TAKEN 02/06/19	Clear Photo Three
--	---------	---------------------	-------------------

Photo Four

Photo Four

Photo Four Caption	Clear Photo Four
--------------------	------------------



Included for Front Yard requirement Discussion.

**PLAT OF SPECIFIC PURPOSE TO SHOW SITE PLAN CERTIFIED TO:  
JAY CHESLEY AND LISA CHESLEY**

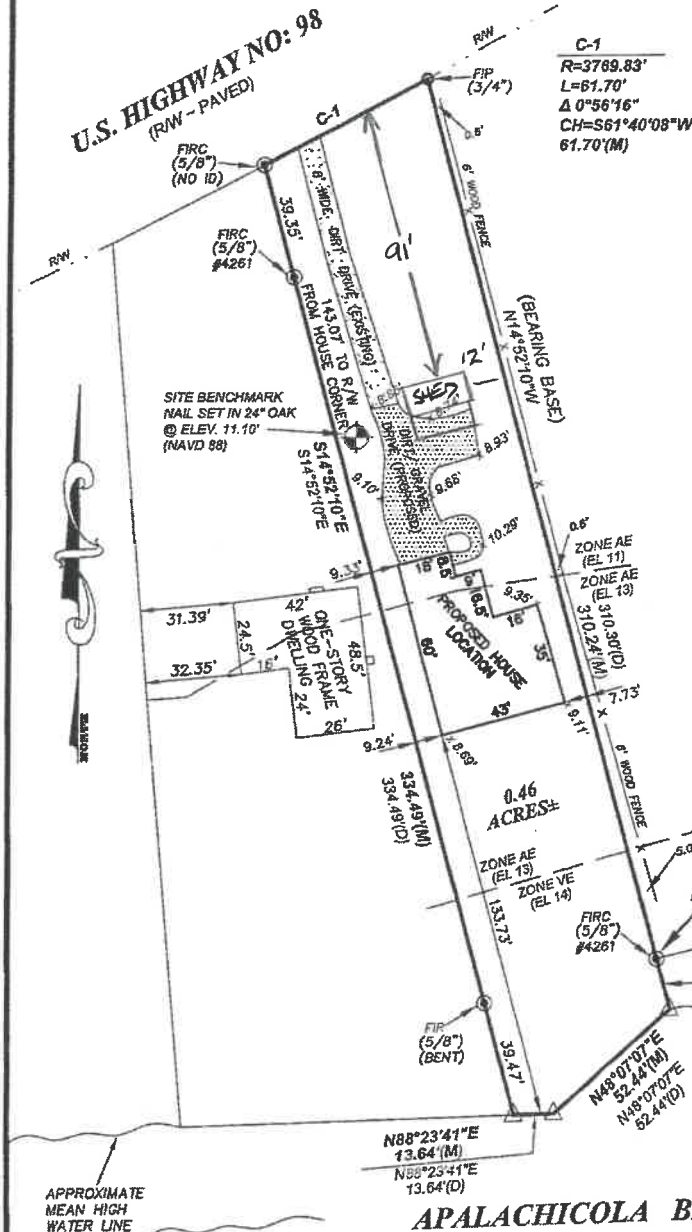
**GRAPHIC SCALE**



( IN FEET )  
1 inch = 40 ft.

**LEGEND**

- R/W RIGHT OF WAY
- M MEASURED
- D DEED CALL
- FIP FOUND IRON PIPE
- FIRC FOUND IRON ROD & CAP
- SIRC SET IRON ROD & CAP #7160
- NOT TO SCALE
- x 9.49' GROUND SHOT ELEVATIONS



**FLOOD ZONE INFORMATION:**

Subject property is located in Zone "AE" (EL 11 & 13) and Zone "VE" (EL 14) as per Flood Insurance Rate Map Community Panel No: 120088 0528F, index date: February 5, 2014, Franklin County, Florida.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.031/.052).

The undersigned surveyor has not been provided a current title opinion or list of encumbrances affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, agreements or other instruments which could affect the boundaries.

*James T. Roddenberry*  
**JAMES T. RODDENBERRY**  
Surveyor and Mapper  
Florida Certificate No: 4281

<b>TR &amp; A</b>	<b>Thurman Roddenberry &amp; Associates, Inc.</b>		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 160 • 125 SHELDON STREET • SUCCOPEE, FLORIDA 32358 PHONE NUMBER: 904-643-2524 FAX NUMBER: 904-643-1182 L.B. # 7160		
DATE: 05/01/18	DRAWN BY: BB	N.B. PER PLAT	COUNTY: FRANKLIN
FILE: 01190JC.DWG	DATE OF LAST FIELD WORK: 04/30/18	JOB NUMBER: 01-190	







Building Dept. Review Summary

P&Z Meeting January 13<sup>th</sup>, 2020

Address: 171 20<sup>th</sup> St.

Zoning: R-2

Historic District: No

Block: 247

Lot: 26 & 27

Project Description: Single Family Residence

Flood Zone: X

Lot Size: 60' x 100'

Impervious Surface Proposed: 22.4% Allowed: 40%

Height Proposed: 20' Allowed: 35' **Comply with LDC.**

**Accessory Structure**

Setbacks Required: Front: 15' Rear: 25' Right: 7' 5" Left: 7' 5"

Setbacks proposed: Front: 15' Rear: 30' Right: 17.5' Left: 17.5'

Setbacks Proposed: **Comply with LDC.**

CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS

RECEIVED  
DEC 12 2019

Official Use Only

-HISTORIC DISTRICT

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

OWNER INFORMATION

BY: ..... CONTRACTOR INFORMATION

Owner DGHG LLC  
Address PO Box 83  
City Apalachicola State FL Zip 32329  
Phone (850) 323-0190

State License # C.G.C. 1526000  
City License # 02158 County License # \_\_\_\_\_  
Email Address jim@gallowayfl.com  
Phone (864) 237-7150

Approval Type: | | Staff Approval Date: \_\_\_\_\_ | | Board Approval | | Board Denial Date \_\_\_\_\_

\*Reason for Denial

PROJECT TYPE

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence              |
| <input type="checkbox"/> Addition                    | <input type="checkbox"/> Repair (Extensive) |
| <input type="checkbox"/> Alteration/Renovation       | <input type="checkbox"/> Variance           |
| <input type="checkbox"/> Relocation                  | <input type="checkbox"/> Other: _____       |
| <input type="checkbox"/> Demolition                  |   |

PROPERTY INFORMATION:

Street Address: 171 20th St. City & State Apalachicola, FL Zip 32320  
[ ] Historic District [  Non-Historic District Zoning District R-2  
Parcel #: 01-098-08W-8330-0247-0010 Block(s) 247 Lot(s) 26 & 27  
FEMA Flood Zone/Panel #: X 1/2 X .29 120089 0526F  
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15' Rear: 30' Side: 17' Lot Coverage: 22.4%

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contacted to handle the City of Apalachicola Building Permits, ETC.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850)653-5028 Cell  
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

25' x 48' New single family Residence with  
7' x 21' Covered front porch built on concrete  
slab

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	Royal	Vinyl Siding	FL 15935.24
Doors			
Windows	Simonton	Vinyl Windows	FL 5414.6
Roofing	Certainteed Lachmuk	Arch Shingles	FL 5444.1
Trim			
Foundation		Concrete	
Shutters	Mid America	Vinyl Shutters	
Porch/Deck			
Fencing			
Driveways/Sidewalks		Gravel	
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

12-3-19  
DATE

  
SIGNATURE OF APPLICANT



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only

DATE: _____	Permit # _____	Permit Fee _____
-------------	----------------	------------------

OWNER'S NAME: DGHG LLC

ADDRESS: PO Box 33

CITY, STATE & ZIP CODE: Apalachicola FL 32324 PHONE # 850-323-0190

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Gallaway Construction

ADDRESS: 5 Jefferson St

CITY, STATE & ZIP CODE: Sarasota FL 32328 PHONE # 864-237-7100

STATE LICENSE NUMBER: CGC 1526000 COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 171 20th St Apalachicola, FL 32320

PROPOSED USE OF SITE: SFR 25'x48' Single Family Residence

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 01-093-08W-8330-0247-0010

LEGAL DESCRIPTION OF PROPERTY: lots 26 & 27 Block 247 of City of Apalachicola

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

All trees being proposed to be removed  
a within footprint of home/foundation.  
We do however plan to put in trees  
for landscaping but have not  
decided on best look for each  
individual house.

DGHG, LLC  
Jim Ramey  
(864) 237-7150

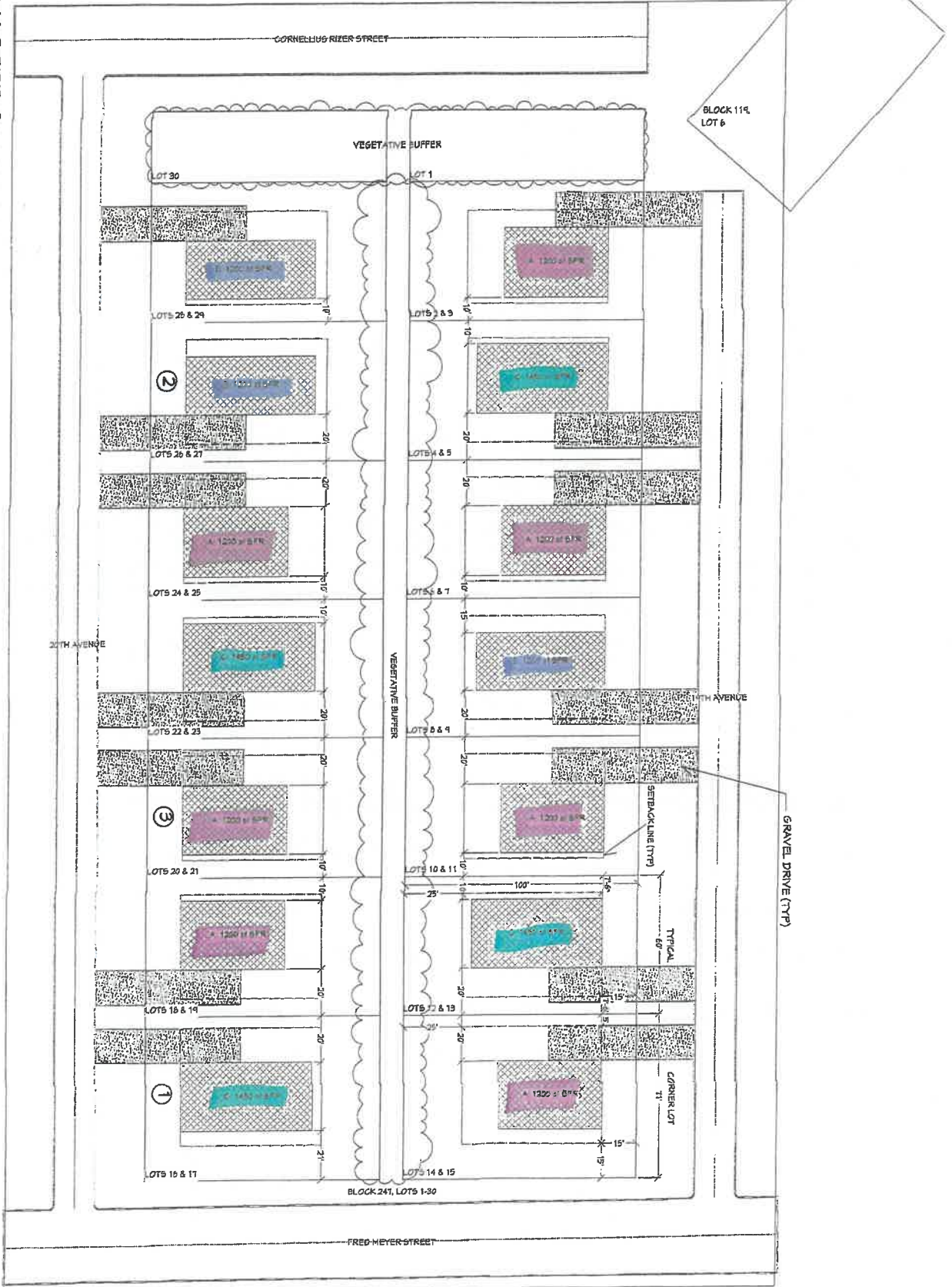
12/3/19



REV: 09/30/2014

1" = 40'

# MASTER SITE PLAN



PLAN A 1  
 PLAN B 2  
 PLAN C 3

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family      \_\_\_ Townhouse      \_\_\_ Commercial      \_\_\_ Industrial  
 \_\_\_ Duplex      \_\_\_ Swimming Pool      \_\_\_ Storage      \_\_\_ Sign  
 \_\_\_ Multi-Family      \_\_\_ Demolition      \_\_\_ Other  
 \_\_\_ Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front 15      Rear 30      L. Side 17  
 R. Side 37  
 Cost of Construction \$ \_\_\_\_\_ Square Footage 1347  
 EPI \_\_\_\_\_ Flood Zone X-290      Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled 1200      # Of Stories \_\_\_\_\_      # Of Units 1  
 Type of Roof Shingle      Type of Walls wood 2x6      Type of Floor concrete  
 Extreme Dimensions of: Length 48'      Height \_\_\_\_\_      Width 25'

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

[Signature]  
 Signature of Owner or Agent

Date: 12-5-19

Notary as to Owner or Agent

My Commission expires: \_\_\_\_\_

[Signature]  
 Signature of Contractor

Date: 12-5-19

Notary as to Contractor

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

**CITY OF APALACHICOLA  
TREE APPLICATION  
REMOVAL OR ALTERATION OF PROTECTED TREE**

Applicants Name: DG HG, LLC (Please print)  
 Property Owners Name: Heath Galloway Phone: 850-323-0190  
 Property Address: 171 20th St. City, State, Zip: Apalachicola, FL  
 General Contractor/Tree Contractor: Galloway Construct. Phone: \_\_\_\_\_  
 Applicants Signature/Date: Jim Roncely, 12/3/19

1. **Protected trees** - Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4" to 16"	Greater than 16" to less than 35"	35" and larger (Patriarch Tree)
Bald & Pond Cypress			
Eastern & Southern Red Cedar			
Live Oak			
Longleaf Pine			
Pecan			
Sabal Palm			
Slash Pine	50		
Southern Magnolia			
Sycamore			
Water Oak			
<b>Total</b>			
Size is measured at breast height (4.5 Feet above ground surface)			

2. **Reason(s) for removal or alteration** (Mark all that apply with "X")

Owner's Private Property	
Removal: New Construction	Alteration: New Construction
<input checked="" type="checkbox"/> Tree located within or too close to footprint of proposed new building or addition	Limbs and branches encroaching where structure is to be built
Removal: No New Construction	Alteration: No New Construction
Tree roots damaging building foundation or underground utilities	Limbs and branches rubbing on side or roof of building
Imminent hazard to property or human safety	Imminent hazard to property or human safety
Diseased or pest-infested tree	Diseased or pest-infested tree
Storm damaged tree (other than City declared emergency; e.g., lightning)	Storm-damaged tree (other than during City declared emergency; e.g., lightning)
Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
City Property (City street right-of-ways adjacent to private property)	
Removal: Requested by Private Property Owner	Alteration: Requested by Private Property Owner (Significant cutting of limbs & branches)
Tree located where access to private property is proposed (driveway, etc.)	Imminent hazard to property or human safety
Imminent hazard to property or human safety	
Diseased or pest-infested tree	
Storm damaged tree (other than City declared emergency; e.g., lightning)	
Requested by City Department	
Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard)	Growth encroaching on street or alley

3. Please attach a map with the following drawn to scale:

- a. Locations of the following:
1. Lot boundaries
  2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
  3. Types & Sizes of protected trees (measured at breast height in inches)
  4. Protected trees that are proposed to be removed or altered

**OFFICE USE ONLY**

<b>Permit Processing Fee (\$50.00 or \$100.00)</b>	
<b>Reforestation Fund</b>	
<b>Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)</b>	
<b>Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)</b>	
<b>Non Patriarch Tree Total (\$250.00 Max)</b>	
<b>Number of Trees 35" and larger x \$1,000.00</b>	
<b>Reforestation Fund Total</b>	

**Planning and Zoning Board (When Development plan is submitted):**

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied  
 \_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
 Chairperson, Planning and Zoning Board                      Date

**Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)**

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied  
 \_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
 Code Enforcement Officer or Designee                      Date

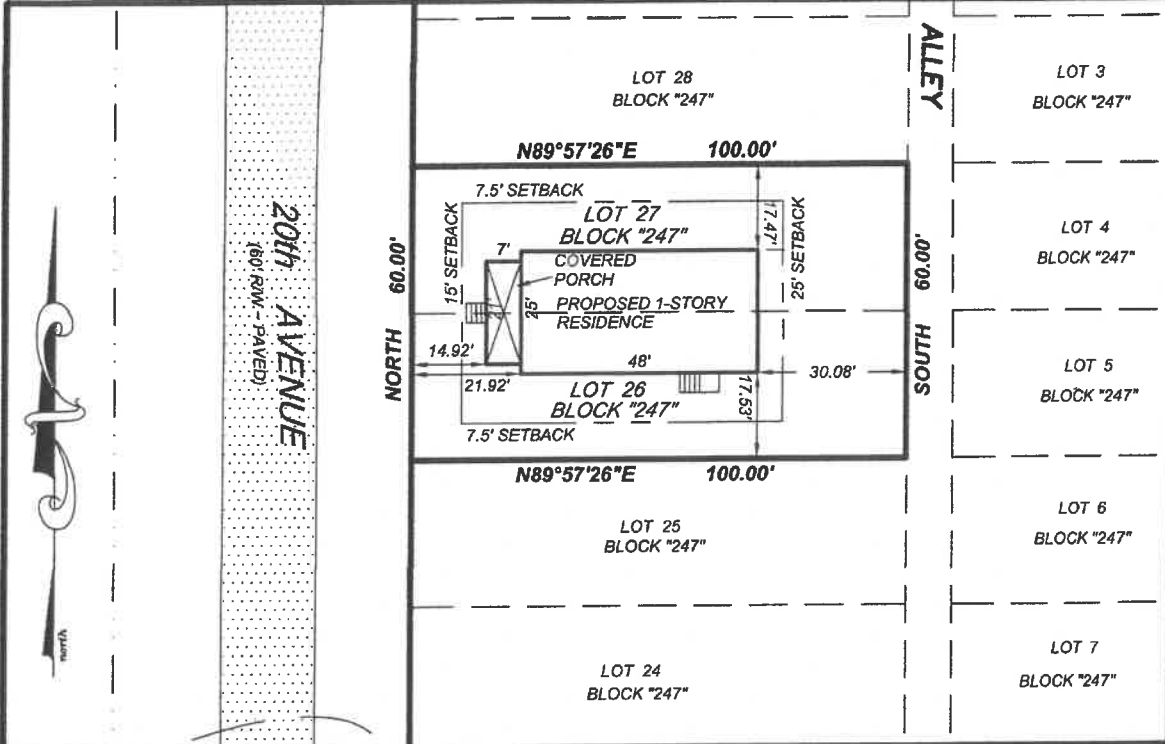
\_\_\_\_\_  
 City Manager or Designee    Date

PLAT OF SPECIFIC PURPOSE TO SHOW SITE PLAN FOR:  
GALLOWAY CONSTRUCTION

GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.



"The limits of said flood zones are shown hereon. They are shown in approximate locations only as transposed from said F.I.R.M. and were not field located by field survey methods.

FLOOD ZONES AND SETBACKS DEPICTED HEREON ARE NOT TO BE USED FOR CONSTRUCTION PERMITTING PURPOSES. ALL FLOOD ZONES AND SETBACKS SHOULD BE VERIFIED BY THE APPROPRIATE COUNTY DEPARTMENTS.

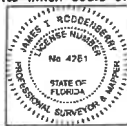
NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Easterly right of way boundary of 20th Avenue having an assumed bearing of North.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051(052)).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

*James T. Roddenberry*  
JAMES T. RODDENBERRY  
Surveyor and Mapper  
Florida Certificate No: 4261



LEGEND

M	MEASURED
RP	RECORD PLAT
FIRC	FOUND (5/8") IRON ROD AND CAP
SIRC	SET (5/8") IRON ROD AND CAP #7160
FCM	FOUND CONCRETE MONUMENT
R/W	RIGHT-OF-WAY
	NOT TO SCALE
	POINT NOT SET OR FOUND

LEGAL DESCRIPTION:

Lots 26 & 27, Block "247" of the CITY OF APALACHICOLA, as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

FLOOD ZONE INFORMATION:

Subject property is located in Zones "X" as per Flood Insurance Rate Map Community Panel No: 120089 0526F, index date: February 05, 2014, Franklin County, Florida.

<b>TR &amp; A</b>			
THURMAN RODDENBERRY & ASSOCIATES, INC			
PROFESSIONAL SURVEYORS AND MAPPERS			
P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32356			
PHONE NUMBER: 850-962-2538		FAX NUMBER: 850-962-1102	
LB # 7160			
DATE: 11/13/19	DRAWN BY: MD	N.B. XXX PG X:	COUNTY: FRANKLIN
FILE: 18443.DWG	DATE OF LAST FIELD WORK:	CHECKED BY:	JOB NUMBER: 18-443

### Parcel Summary

**Parcel ID** 01-095-08W-8330-0247-0010  
**Location Address** 32320  
**Brief Tax Description\*** BL 247 LOTS 1 THRU 30 INC OR 5/371 701/486 1225/528  
*\*The Description above is not to be used on legal documents.*  
**Property Use Code** VACANT (000000)  
**Sec/Twp/Rng** 1-9S-8W  
**Tax District** Apalachicola (District 3)  
**Millage Rate** 20.8391  
**Acreage** 0.000  
**Homestead** N

[View Map](#)

### Owner Information

**Primary Owner**  
 Dgh,LLC  
 PO,Box 33  
 Apalachicola, FL 32329

### Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000155	SFR GREATER APALACH	120.00	FF	0	0
000155	SFR GREATER APALACH	780.00	FF	0	0

### Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	08/10/2018	\$275,000	WD	1225	528	Qualified (Q)	Vacant	BUZZETT	DGHG,LLC
N	06/14/2002	\$100	WD	701	486	Unqualified (U)	Vacant	BUZZETT	BUZZETT

### Valuation

	2019 Preliminary Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$100,800	\$100,800	\$47,349	\$47,349	\$47,349
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
<b>Just (Market) Value</b>	<b>\$100,800</b>	<b>\$100,800</b>	<b>\$47,349</b>	<b>\$47,349</b>	<b>\$47,349</b>
Assessed Value	\$100,800	\$100,800	\$47,349	\$47,349	\$47,349
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$100,800	\$100,800	\$47,349	\$47,349	\$47,349
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

### TRIM Notices



**No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.**

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)  
[GDPR Privacy Notice](#)

Developed by  






**Overview**



**Legend**

-  Parcels
-  Roads
-  City Labels

<b>Parcel ID</b>	01-095-08W-8330-0247-0010	<b>Alternate ID</b>	08W09S01833002470010	<b>Owner Address</b>	DGHG,LLC
<b>Sec/Twp/Rng</b>	1-9S-8W	<b>Class</b>	VACANT		PO.BOX 33
<b>Property Address</b>		<b>Acres</b>	n/a		APALACHICOLA, FL 32329
<b>District</b>	3				
<b>Brief Tax Description</b>	BL 247 LOTS 1 THRU 30 INC				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 12/11/2019  
 Last Data Uploaded: 12/11/2019 7:37:57 AM

Developed by  **Schneider**  
 GEOSPATIAL

# NWFWMD Report

**Preliminary SFHA Flood Map (Prelim Issue Date: Panel Not Revised)**



**Effective SFHA Flood Map (Effective Issue Date: 2/5/2014)**



**Zone VE:** A coastal area inundated by 100-year flooding and subject to a velocity hazard (wave action) where BFEs have been determined. **Zone AE:** An area inundated by 100-year flooding, for which BFEs have been determined. **Zone AO/AH:** An area inundated by 100-year flooding, for which BFEs have been determined. **Zone AO:** Shallow flooding base floodplain where BFEs have been determined. **Zone AH:** Shallow flooding base floodplain where BFEs have been determined. **Zone X:** An area inundated by 100-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile or an area protected by levees from 100-year flooding. **Zone X:** An area of minimal flood hazard.

**Disclaimer:** Although derived directly from a variety of sources, including the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Maps (FIRMs), the District's digital elevation model, the counties' digital parcel maps and data from other governmental sources, the data provided through this portal is for informational purposes only. The user is advised to be aware that for flood insurance or regulatory determinations, or for supporting an application for a Letter of Map Change (LOMC), only the official and latest FEMA FIRM and Flood Insurance Study (FIS) report should be consulted. Also, all elevation data submitted in support of a LOMC application must be certified by a licensed land surveyor, engineer, or architect. The NWFWMD, FEMA, its agents, and partners shall not be held responsible for the misuse or misinterpretation of the information presented in this portal.

## Geographical Information

Latitude/Longitude: 29.72112,-84.99936  
 Address: 151-199 20th Ave, Apalachicola, FL, 32320, USA  
 Parcel ID: 01-09S-08W-8330-0247-0010  
 Firm Panel (Preliminary): 12037C0526F  
 Firm Panel (Effective): 12037C0526F

## Flood Information

### Flood Zone Information

Preliminary Flood Zone: N/A  
 Location of Interest: N/A  
 Parcel: 0.2 PCT ANNUAL CHANCE FLOOD HAZARD:11%; X:89%;  
 Base Flood Information\*: N/A  
 Effective Flood Zone: N/A  
 Location of Interest: X  
 Parcel: 0.2 PCT ANNUAL CHANCE:11%; X:89%;  
 Base Flood Information\*: N/A

\*The computed elevation to which floodwater is anticipated to rise during the base flood (100 Year Flood). Base Flood Elevations (BFEs) are shown on Flood Insurance Rate Maps (FIRMs) and on the flood profiles. The BFE is the regulatory requirement for the elevation or floodproofing of structures. The relationship between the BFE and a structure's elevation determines the flood insurance premium. **Datum of measurement is NAVD1988.**

# GALLOWAY HOME (II)

LOTS 26&27, BLOCK 247, APALACHICOLA, FL 32320

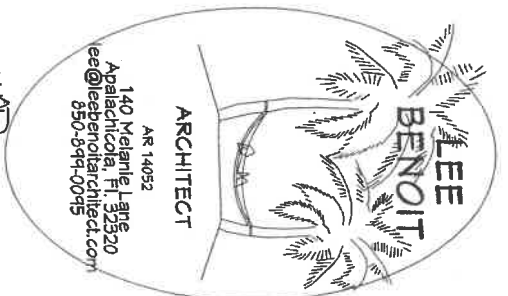
DRAWING INDEX:

- A-1 SITE PLAN MISSING
- A-2 FLOOR PLAN
- A-3 ELEVATIONS
- A-4 FOUNDATION/ FLOOR FRAMING
- A-5 ROOF FRAMING & ELECTRICAL
- A-6 SECTION

PLANS CONFORM TO THE 2011 F.B.C.

INFORMATION ON DRAWINGS AS PER 1606.1.1 FLORIDA BUILDING CODE

1. BASIC WIND SPEED: 135 MPH
2. WIND IMPORTANCE FACTOR: 1.0 / BUILDING CATEGORY: LOW RISE
3. WIND EXPOSURE: C
4. APPLICABLE INTERNAL PRESSURE COEFFICIENT: +.55
5. COMPONENTS AND CLADDING DESIGN PRESSURE: 45 PSF

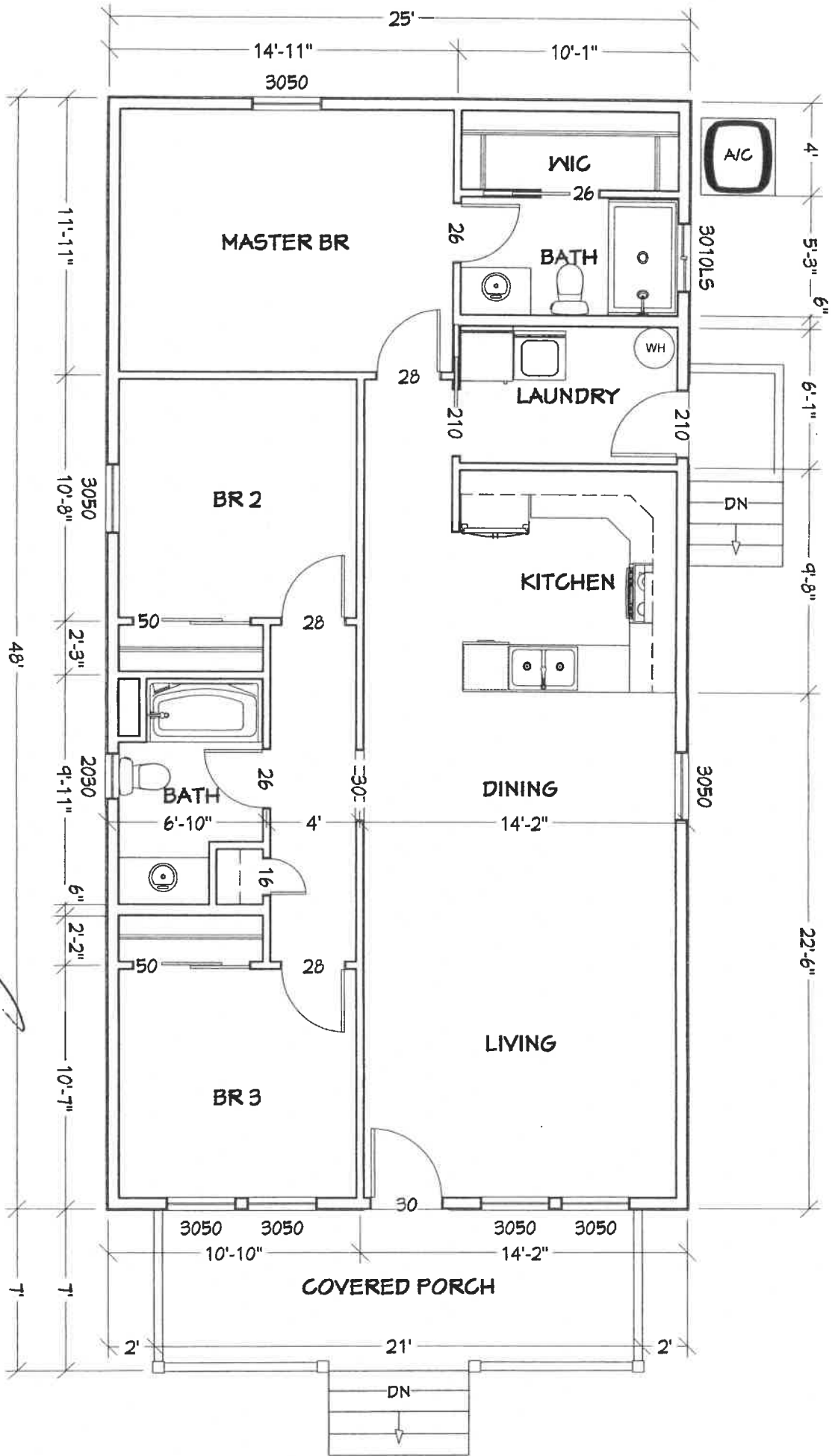


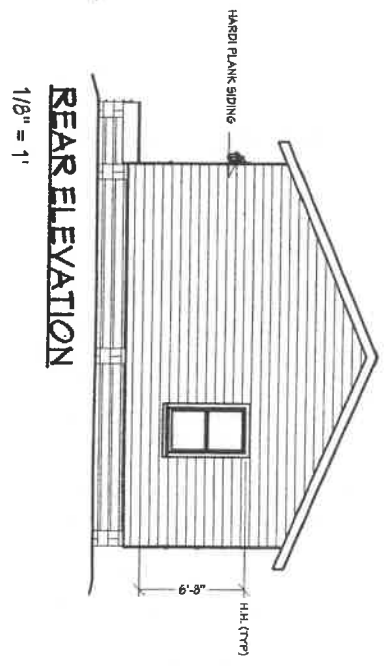
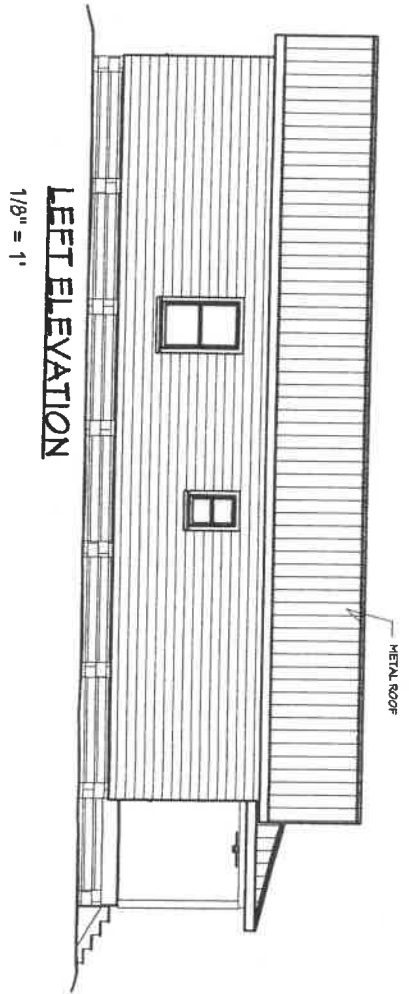
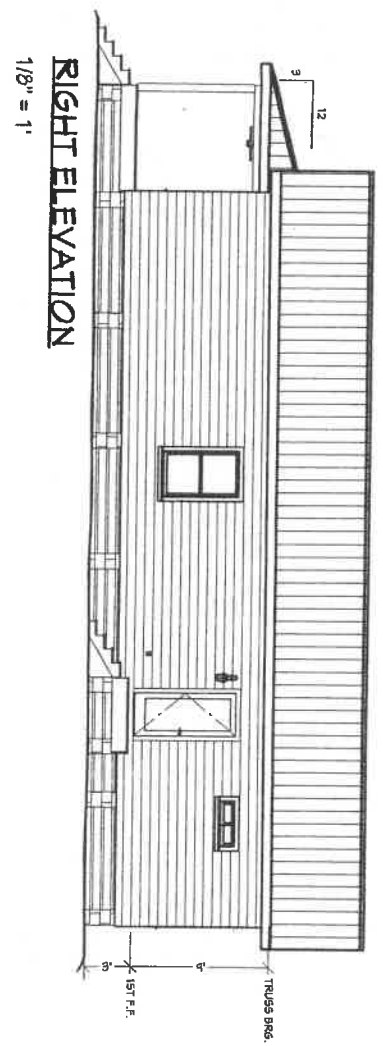
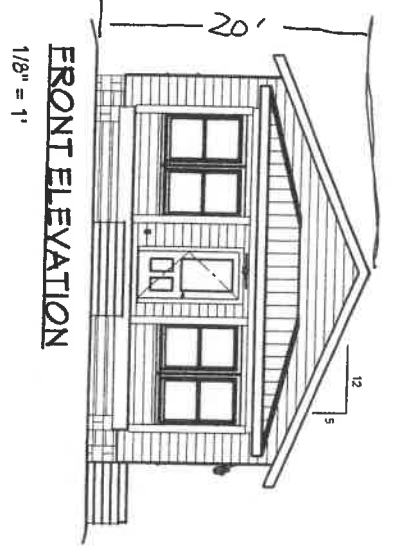
lot size: 601100  
6000 sq ft  
House: 1200 sq ft  
Covered Porch: 147  
Total lot coverage: 22.4%  
9/30/14

date	rev	drawn
09/30/2014	0	LEE BENOIT

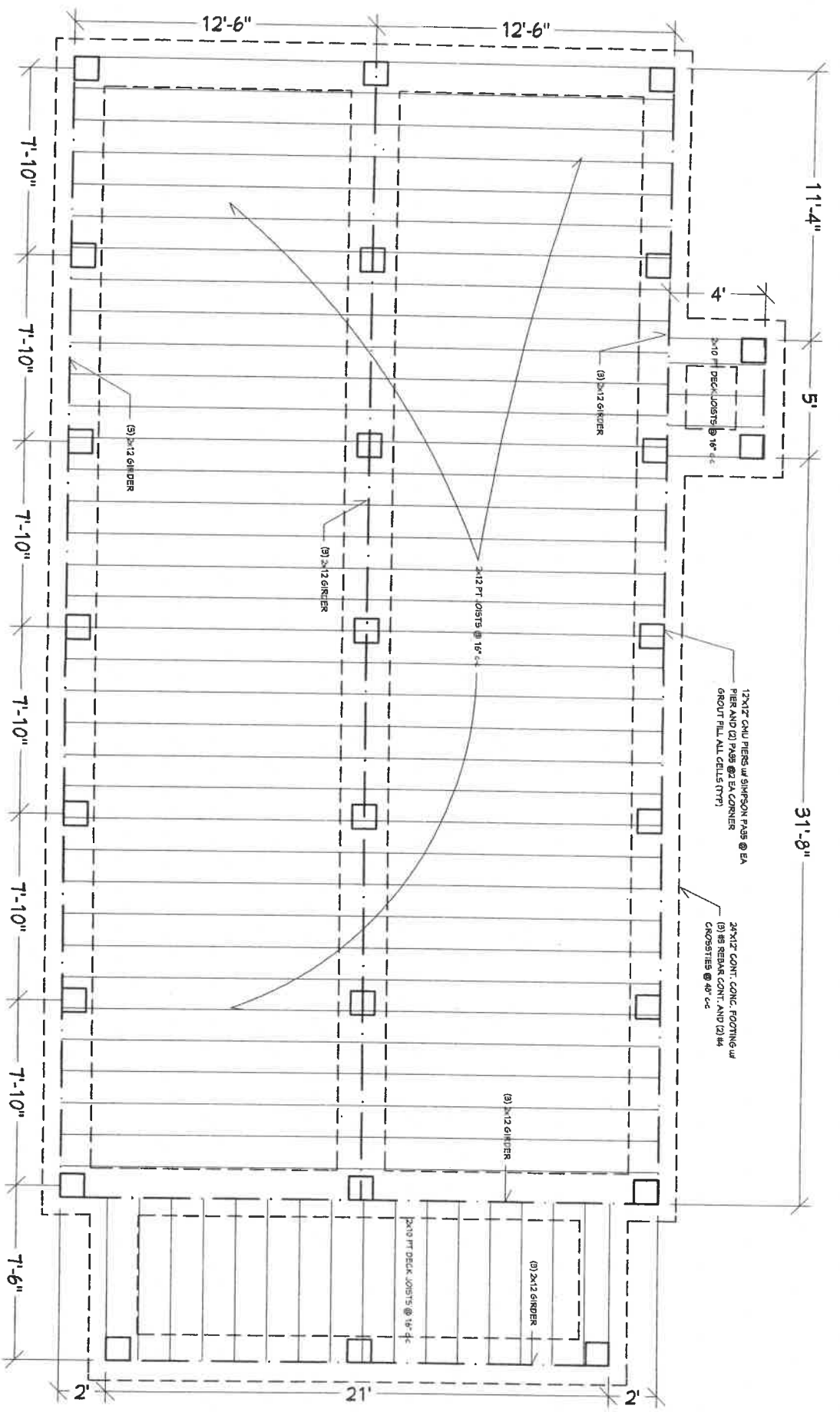
please visit galloway.com

**FLOOR PLAN**  
 1/4" = 1'  
 1,200 SF H&C





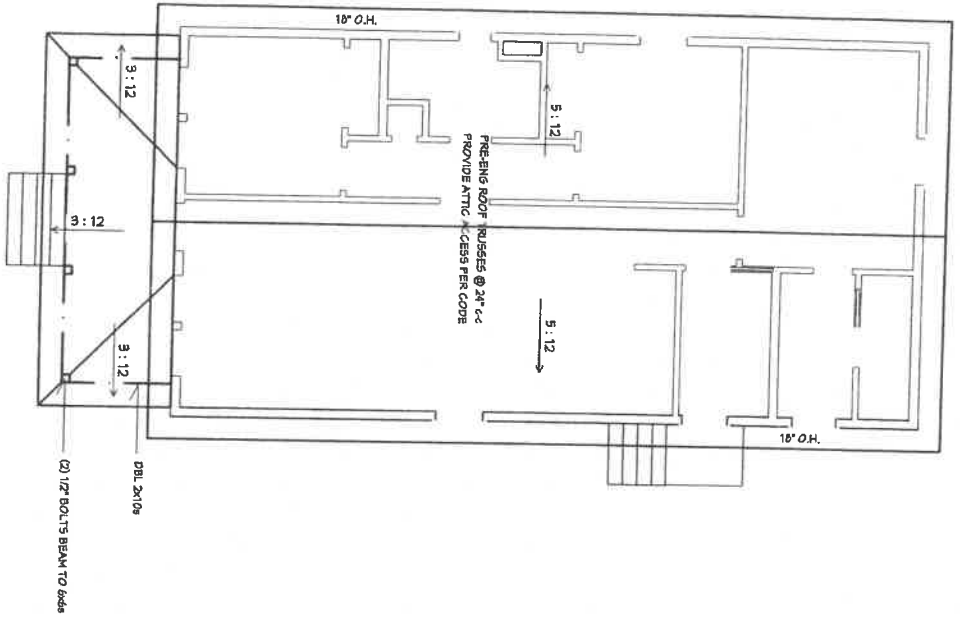
*[Handwritten signature]*



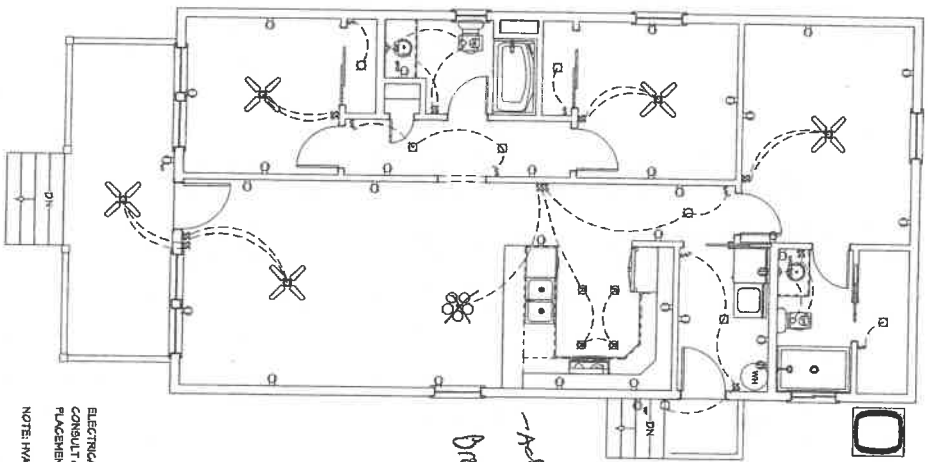
**FOUNDATION/FLOOR FRAMING**

1/4" = 1'

A-4

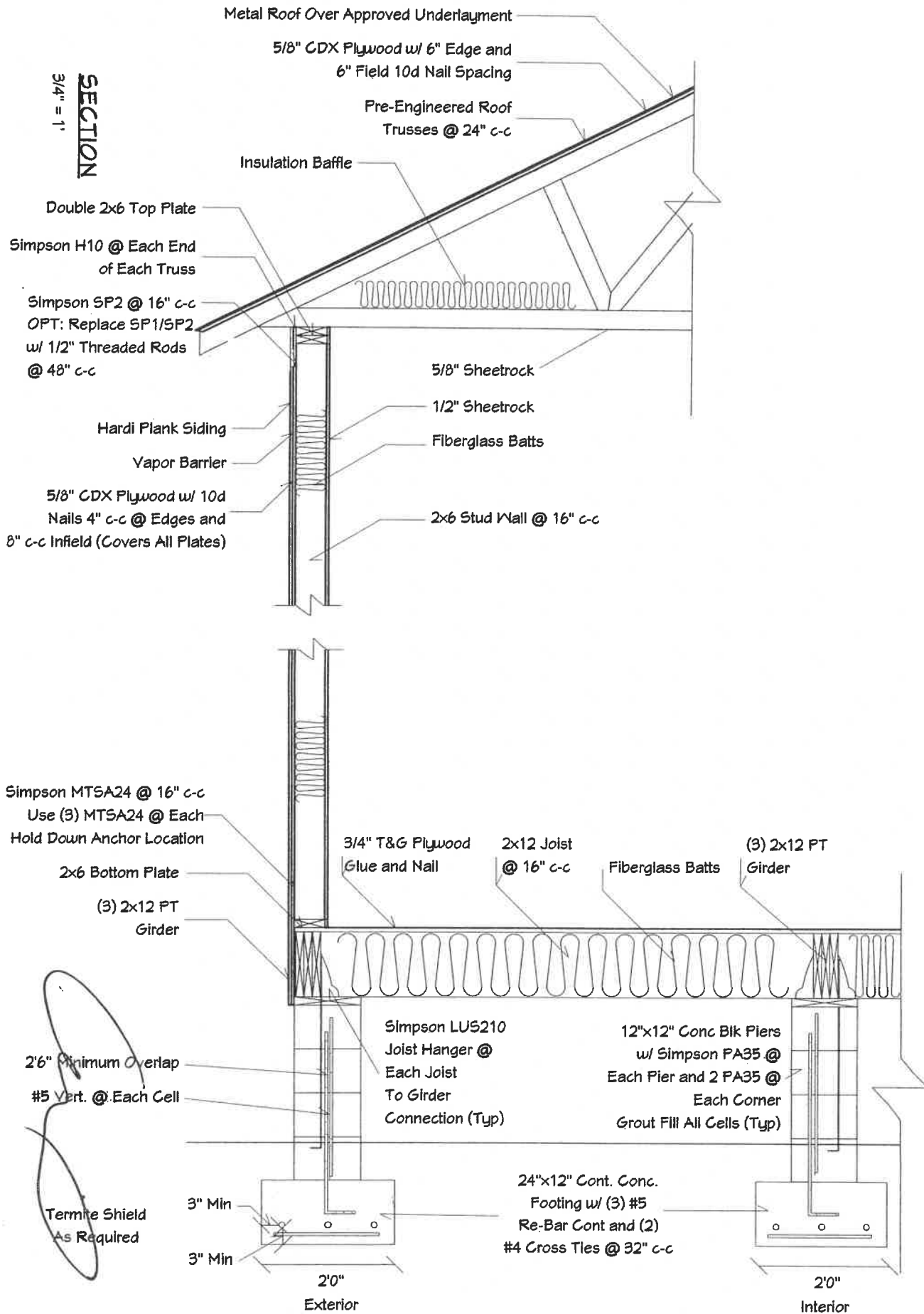


**ROOF FRAMING**  
1/8" = 1'



**ELECTRICAL**  
1/8" = 1'

ELECTRICAL PLAN IS SCHEMATIC  
CONSULT OWNER FOR FINAL  
PLACEMENT AND QUANTITIES  
NOTE: HVAC IN ATTIC









Building Dept. Review Summary

P&Z Meeting January 13<sup>th</sup>, 2020

Address: 229 Fred Meyer St.

Zoning: R-2

Historic District: No

Block: 247

Lot: 16 & 17

Project Description: Single Family Residence

Flood Zone: X

Lot Size: 60' x 100'

Impervious Surface Proposed: 26.7% Allowed: 40 %

Height Proposed: 20' Allowed: 35' **Comply with LDC.**

Accessory Structure

Setbacks Required: Front: 15' Rear: 25' Right: 7' 5" Left: 7' 5"

Setbacks proposed: Front: 15' 6" Rear: 31' 5" Right: 26' 4" Left: 15.2'

Setbacks Proposed: **Comply with LDC.**

CITY OF APALACHICOLA  
 CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT

**RECEIVED**  
 DEC 12 2019

Official Use Only

Application # \_\_\_\_\_  
 City Representative \_\_\_\_\_  
 Date Received \_\_\_\_\_

OWNER INFORMATION

BY: ..... CONTRACTOR INFORMATION

Owner DGHG LLC  
 Address PO Box 33  
 City Apalachicola State FL Zip 32329  
 Phone (850) 323-0190

State License # CGC 1526000  
 City License # 02158 County License # \_\_\_\_\_  
 Email Address jim@gallowayfl.com  
 Phone (864) 237-7150

Approval Type: [ ] Staff Approval Date: \_\_\_\_\_ [ ] Board Approval [ ] Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence              |
| <input type="checkbox"/> Addition                    | <input type="checkbox"/> Repair (Extensive) |
| <input type="checkbox"/> Alteration/Renovation       | <input type="checkbox"/> Variance           |
| <input type="checkbox"/> Relocation                  | <input type="checkbox"/> Other: _____       |
| <input type="checkbox"/> Demolition                  |   |

PROPERTY INFORMATION:

Street Address: 229 Freed Meyer St City & State Apalachicola FL Zip 32320  
 [ ] Historic District [x] Non-Historic District Zoning District R-2  
 Parcel #: 01-098-08W-8330-0247-0010 Block(s) 247 Lot(s) 16:17  
 FEMA Flood Zone/Panel #: X: X.2% 120089 0526F  
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:  
 Front: 15.06' Rear: 31.44' Side: 7.5' Lot Coverage: 26.7%  
 Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:  
 \_\_\_\_\_  
 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Cortni Bankston  
 Permitting and Development Coordinator  
 (850) 653-1522 (ext 205) Phone  
 (850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

~~on grade/slab~~  
 New Construction of 53.50' x 30' Single Family Residence on slab

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	Royal	Vinyl Siding	FL15935.24
Doors			
Windows	Simonton	Vinyl Windows	FL5414.6
Roofing	CertainTeed Landmark	Architectural Shingles	FL5444.1
Trim			
Foundation		Concrete	
Shutters	Mid America	Vinyl Shutters	
Porch/Deck			
Fencing			
Driveways/Sidewalks		Gravel	
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the schedule Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of my association rule or regulation.

12-3-19  
DATE

  
SIGNATURE OF APPLICANT

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: DGHC LLC

ADDRESS: PO Box 83

CITY, STATE & ZIP CODE: Apalachicola FL 32329 PHONE # 850-323-0190

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Galloway Construction

ADDRESS: 5 Jefferson St.

CITY, STATE & ZIP CODE: Eastpoint FL 32328 PHONE # 864-231-7150

STATE LICENSE NUMBER: CGC 1526000 COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 229 Fred Meyer St. Apalachicola FL 32320

PROPOSED USE OF SITE: SFR 53.50' x 30 Single Family

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 01-095-08W-8330-0247-0010

LEGAL DESCRIPTION OF PROPERTY: Lots 16 & 17 Block 247 of City of Apalachicola

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

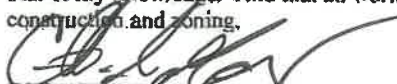
Single Family      \_\_\_ Townhouse      \_\_\_ Commercial      \_\_\_ Industrial  
 \_\_\_ Duplex      \_\_\_ Swimming Pool      \_\_\_ Storage      \_\_\_ Sign  
 \_\_\_ Multi-Family      \_\_\_ Demolition      \_\_\_ Other  
 \_\_\_ Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front 18      Rear 35      L. Side 15  
 R. Side 26  
 Cost of Construction \$ 2      Square Footage 1569  
 EPI \_\_\_\_\_      Flood Zone X & X.2%      Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled 1450      # Of Stories 1      # Of Units 1  
 Type of Roof Shingle      Type of Walls 2x6 wood      Type of Floor Concrete  
 Extreme Dimensions of: Length 57'6"      Height \_\_\_\_\_      Width 30'

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPCE: The EPCE/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

  
 Signature of Owner or Agent

Date: 12-5-19

Notary as to Owner or Agent

My Commission expires: \_\_\_\_\_

  
 Signature of Contractor

Date: 12-5-19

Notary as to Contractor

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.



**CITY OF APALACHICOLA  
TREE APPLICATION  
REMOVAL OR ALTERATION OF PROTECTED TREE**

Applicants Name: DG HG, LLC (Please print)  
 Property Owners Name: ~~Heath~~ Heath Galloway Phone: 850-823-0190  
 Property Address: 229 Fred Meyer City, State, Zip: Apalachicola, FL 32320  
 General Contractor/Tree Contractor: Galloway Construct Phone: 323-0190  
 Applicants Signature/Date: Jim Remy, 12/3/19

1. **Protected trees** - Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4" to 16"	Greater than 16" to less than 35"	35" and larger (Patriarch Tree)
Bald & Pond Cypress			
Eastern & Southern Red Cedar			
Live Oak			
Longleaf Pine			
Pecan			
Sabal Palm			
Slash Pine	50		
Southern Magnolia			
Sycamore			
Water Oak			
<b>Total</b>			
Size is measured at breast height (4.5 Feet above ground surface)			

2. **Reason(s) for removal or alteration** (Mark all that apply with "X")

<b>Owner's Private Property</b>	
<b>Removal: New Construction</b>	<b>Alteration: New Construction</b>
<input checked="" type="checkbox"/> Tree located within or too close to footprint of proposed new building or addition	Limbs and branches encroaching where structure is to be built
<b>Removal: No New Construction</b>	<b>Alteration: No New Construction</b>
Tree roots damaging building foundation or underground utilities	Limbs and branches rubbing on side or roof of building
Imminent hazard to property or human safety	Imminent hazard to property or human safety
Diseased or pest-infested tree	Diseased or pest-infested tree
Storm damaged tree (other than City declared emergency; e.g., lightning)	Storm-damaged tree (other than during City declared emergency; e.g., lightning)
Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
<b>City Property (City street right-of-ways adjacent to private property)</b>	
<b>Removal: Requested by Private Property Owner</b>	<b>Alteration: Requested by Private Property Owner (Significant cutting of limbs &amp; branches)</b>
Tree located where access to private property is proposed (driveway, etc.)	Imminent hazard to property or human safety
Imminent hazard to property or human safety	
Diseased or pest-infested tree	
Storm damaged tree (other than City declared emergency; e.g., lightning)	
<b>Requested by City Department</b>	
Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard)	Growth encroaching on street or alley

3. Please attach a map with the following drawn to scale:

- a. Locations of the following:
  - 1. Lot boundaries
  - 2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
  - 3. Types & Sizes of protected trees (measured at breast height in inches)
  - 4. Protected trees that are proposed to be removed or altered

**OFFICE USE ONLY**

Permit Processing Fee (\$50.00 or \$100.00)	
Reforestation Fund	
Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)	
Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)	
Non Patriarch Tree Total (\$250.00 Max)	
Number of Trees 35" and larger x \$1,000.00	
Reforestation Fund Total	

Planning and Zoning Board (When Development plan is submitted):

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied  
 \_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
 Chairperson, Planning and Zoning Board      Date

Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied  
 \_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
 Code Enforcement Officer or Designee      Date

\_\_\_\_\_  
 City Manager or Designee      Date

### Parcel Summary

**Parcel ID** 01-095-08W-8330-0247-0010  
**Location Address** 32320  
**Brief Tax Description\*** BL 247 LOTS 1 THRU 30 INC OR 5/371 701/486 1225/528  
*\*The Description above is not to be used on legal documents.*  
**Property Use Code** VACANT (000000)  
**Sec/Twp/Rng** 1-95-8W  
**Tax District** Apalachicola (District 3)  
**Millage Rate** 20.8391  
**Acreage** 0.000  
**Homestead** N

[View Map](#)

### Owner Information

**Primary Owner**  
 Dghg,LLC  
 PO.Box 33  
 Apalachicola, FL 32329

### Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000155	SFR GREATER APALACH	120.00	FF	0	0
000155	SFR GREATER APALACH	780.00	FF	0	0

### Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	08/10/2018	\$275,000	WD	1225	528	Qualified (Q)	Vacant	BUZZETT	DGHG,LLC
N	06/14/2002	\$100	WD	701	486	Unqualified (U)	Vacant	BUZZETT	BUZZETT

### Valuation

	2019 Preliminary Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$100,800	\$100,800	\$47,349	\$47,349	\$47,349
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
<b>Just (Market) Value</b>	<b>\$100,800</b>	<b>\$100,800</b>	<b>\$47,349</b>	<b>\$47,349</b>	<b>\$47,349</b>
Assessed Value	\$100,800	\$100,800	\$47,349	\$47,349	\$47,349
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$100,800	\$100,800	\$47,349	\$47,349	\$47,349
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

### TRIM Notices



**No data available for the following modules:** Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)  
[GDPR Privacy Notice](#)

Last Data Upload: 12/11/2019, 7:37:57 AM

Developed by  

**Schneider**  
 GEOSPATIAL

Version 2.3.26



- Legend**
-  Parcels
  -  Roads
  -  City Labels

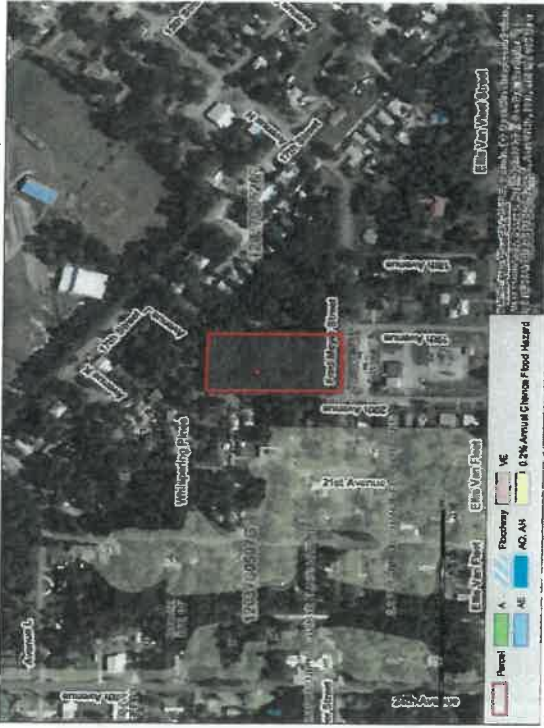
<b>Parcel ID</b>	01-095-08W-8330-0247-0010	<b>Alternate ID</b>	08W09501833002470010	<b>Owner Address</b>	DGHG,LLC
<b>Sec/Twp/Rng</b>	1-9S-8W	<b>Class</b>	VACANT		PO.BOX 33
<b>Property Address</b>		<b>Acreage</b>	n/a		APALACHICOLA, FL 32329
<b>District</b>	3				
<b>Brief Tax Description</b>	BL 247 LOTS 1 THRU 30 INC				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 12/11/2019  
 Last Data Uploaded: 12/11/2019 7:37:57 AM

Developed by  **Schneider**  
 GEOSPATIAL

# NWFWMD Report

**Preliminary SFHA Flood Map (Prelim Issue Date: Panel Not Revised)**



**Effective SFHA Flood Map (Effective Issue Date: 2/5/2014)**



**Zone VE:** A coastal area inundated by 100-year flooding and subject to a velocity hazard (wave action) where BFEs have been determined. **Zone AE:** An area inundated by 100-year flooding for which BFEs have been determined. **Zone AO/AH:** An area inundated by 100-year flooding (AO) Sheet flow ponding or shallow flooding (AH) Shallow flooding base floodplain where BFE's have been determined. **Zone A:** An area inundated by 100-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile or an area protected by levees from 100-year flooding. **Zone X:** An area of minimal flood hazard.

**Disclaimer:** Although derived directly from a variety of sources, including the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Maps (FIRMs), the District's digital elevation model, the counties' digital parcel maps and data from other governmental sources, the data provided through this portal is for informational purposes only. The user is advised to be aware that for flood insurance or regulatory determinations, or for supporting an application for a Letter of Map Change (LOMC), only the official and latest FEMA FIRM and Flood Insurance Study (FIS) report should be consulted. Also, all elevation data submitted in support of a LOMC application must be certified by a licensed land surveyor, engineer, or architect. The NWFWMD, FEMA, its agents, and partners shall not be held responsible for the misuse or misinterpretation of the information presented in this portal.

## Geographical Information

Latitude/Longitude: 29.72112,-84.99936  
 Address: 151-199 20th Ave, Apalachicola, FL, 32320, USA  
 Parcel ID: 01-09S-08W-8330-0247-0010  
 Firm Panel (Preliminary): 12037C0526F  
 Firm Panel (Effective): 12037C0526F

## Flood Information

### Flood Zone Information

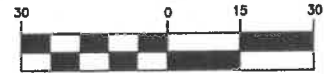
#### Preliminary Flood Zone

Location of Interest: N/A  
 Parcel: 0.2 PCT ANNUAL CHANCE FLOOD HAZARD:11%; X:89%;  
 Base Flood Information\*: N/A  
 Effective Flood Zone  
 Location of Interest: X  
 Parcel: 0.2 PCT ANNUAL CHANCE:11%; X:89%;  
 Base Flood Information\*: N/A

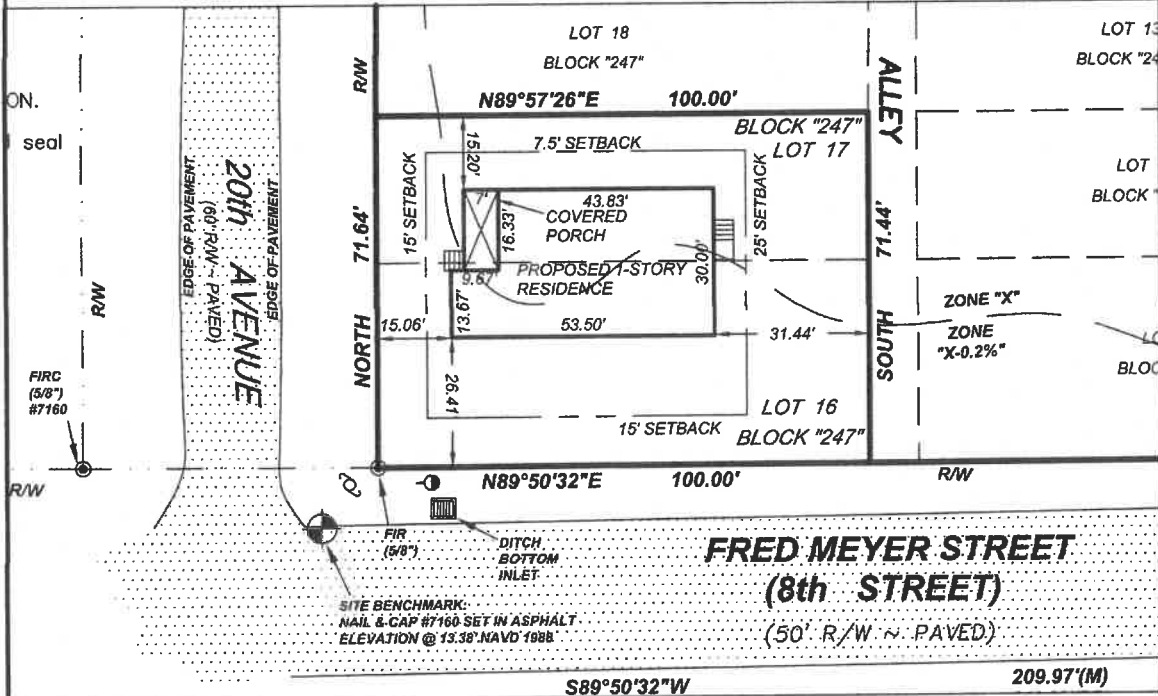
\*The computed elevation to which floodwater is anticipated to rise during the base flood (100 Year Flood). Base Flood Elevations (BFEs) are shown on Flood Insurance Rate Maps (FIRMs) and on the flood profiles. The BFE is the regulatory requirement for the elevation or floodproofing of structures. The relationship between the BFE and a structure's elevation determines the flood insurance premium. **Datum of measurement is NAVD1988.**

PLAT OF SPECIFIC PURPOSE TO SHOW SITE PLAN FOR:  
GALLOWAY CONSTRUCTION

GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.



"The limits of said flood zones are shown hereon. They are shown in approximate locations only as transposed from said F.I.R.M. and were not field located by field survey methods.

FLOOD ZONES AND SETBACKS DEPICTED HEREON ARE NOT TO BE USED FOR CONSTRUCTION PERMITTING PURPOSES. ALL FLOOD ZONES AND SETBACKS SHOULD BE VERIFIED BY THE APPROPRIATE COUNTY DEPARTMENTS.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Easterly right of way boundary of 20th Avenue having an assumed bearing of North.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

LEGEND

M	MEASURED
RP	RECORD PLAT
FIRC	FOUND (5/8") IRON ROD AND CAP
SIRC	SET (5/8") IRON ROD AND CAP #7160
FCM	FOUND CONCRETE MONUMENT
R/W	RIGHT-OF-WAY
~	NOT TO SCALE
△	POINT NOT SET OR FOUND

LEGAL DESCRIPTION:

Lots 16 & 17, Block "247" of the CITY OF APALACHICOLA, as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

FLOOD ZONE INFORMATION:

Subject property is located in Zones "X" and "X" (0.2%) as per Flood Insurance Rate Map Community Panel No: 120089 0526F, index date: February 05, 2014, Franklin County, Florida.

REVISED 12/04/19; CHANGED SITE PLAN

**TR & A**  
**THURMAN RODDENBERRY & ASSOCIATES, INC**  
PROFESSIONAL SURVEYORS AND MAPPERS  
P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358  
PHONE NUMBER: 850-962-2535 FAX NUMBER: 850-962-1103  
LD # 7190

DATE: 11/13/19	DRAWN BY: MD	N.B. XXX PG XX	COUNTY: FRANKLIN
FILE: 18443.DWG	DATE OF LAST FIELD WORK:	CHECKED BY: BB	JOB NUMBER: 18-443

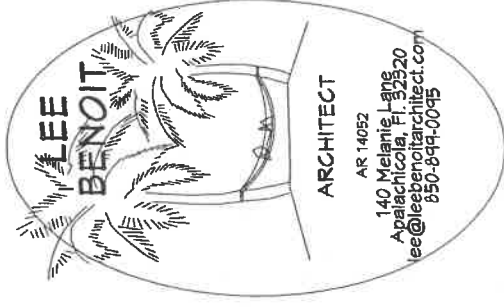
JAMES T. RODDENBERRY  
Surveyor and Mapper  
Florida Certificate No: 4261

# GALLOWAY HOME (I)

LOTS 16&17, BLOCK 247, APALACHICOLA, FL 32320

## DRAWING INDEX:

- A-1 SITE PLAN
- A-2 FLOOR PLAN & FOUNDATION
- A-3 ELEVATIONS
- A-4 ROOF FRAMING & ELECTRICAL
- A-5 SECTION



PLANS CONFORM TO THE 2011 F.B.C.

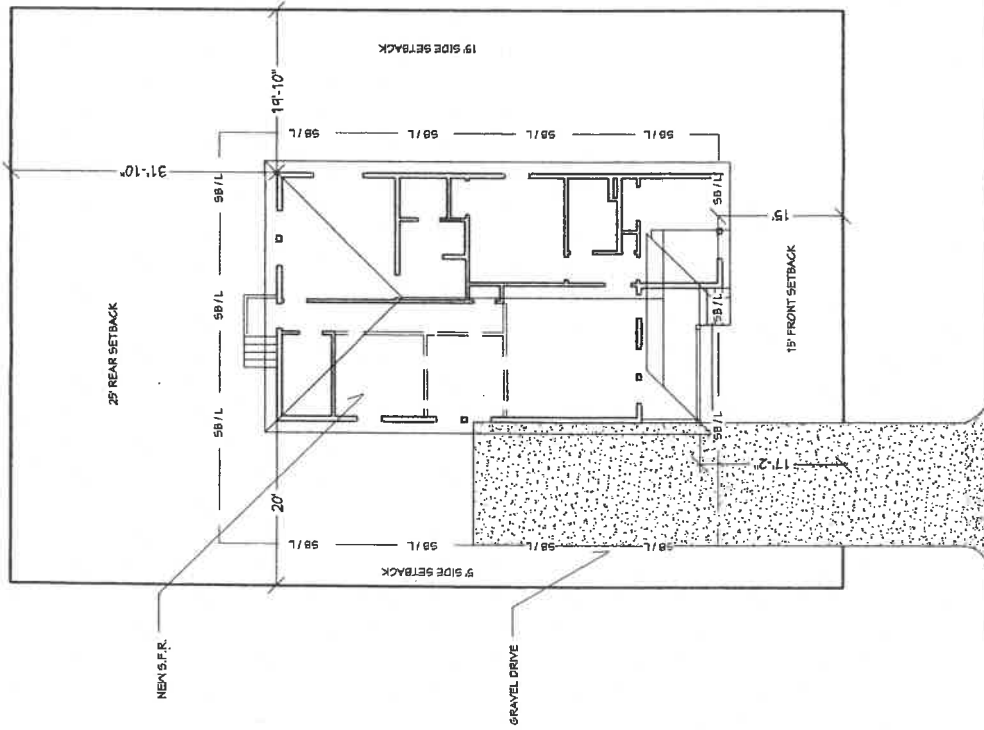
INFORMATION ON DRAWINGS AS PER 1606.1.1 FLORIDA BUILDING CODE

1. BASIC WIND SPEED: 135 MPH
2. WIND IMPORTANCE FACTOR: 1.0 / BUILDING CATEGORY: LOW RISE
3. WIND EXPOSURE: C
4. APPLICABLE INTERNAL PRESSURE COEFFICIENT: +/- .55
5. COMPONENTS AND CLADDING DESIGN PRESSURE: 45 PSF

date	09/30/2019
rev	1
drawn	LEE BENOIT

plans/lee@leebenoit.com

  
9-30-19



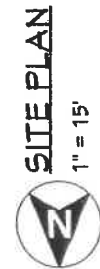
FRED MEYER STREET

20TH AVENUE

Lot size: 60x100  
 6,000 sq ft  
 House: 1,605 sq ft  
 Total lot coverage 26.7%

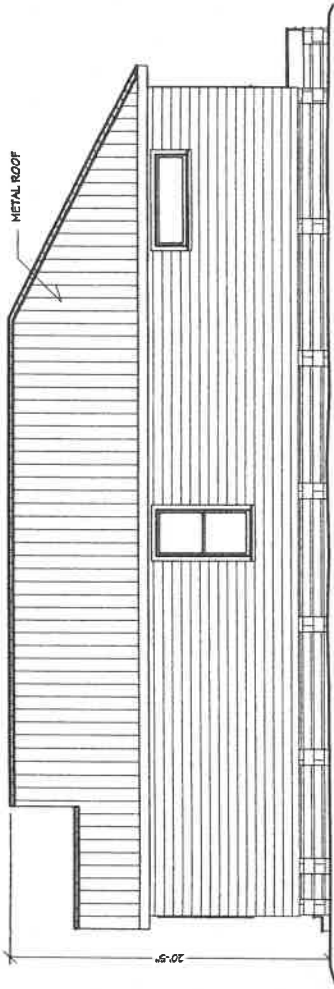
**FLOOD ZONE INFORMATION:**

Subject property is located in Zones "X" and "X-0.2%" as per Flood Insurance Rate Map Community Panel No: 120089 0528F, index date: February 05, 2014, Franklin County, Florida.



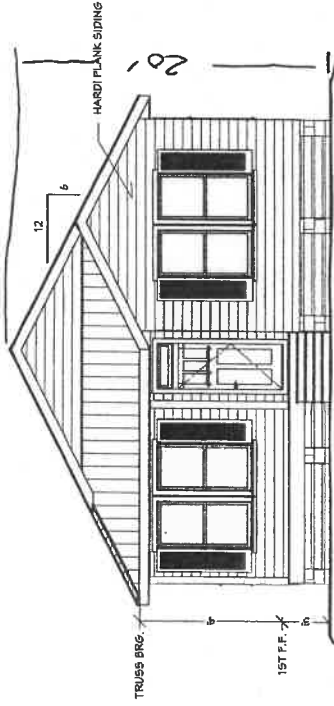






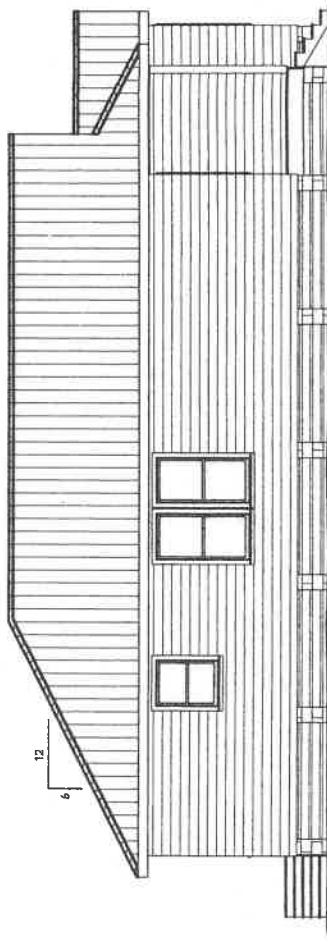
**RIGHT ELEVATION**

1/8" = 1'



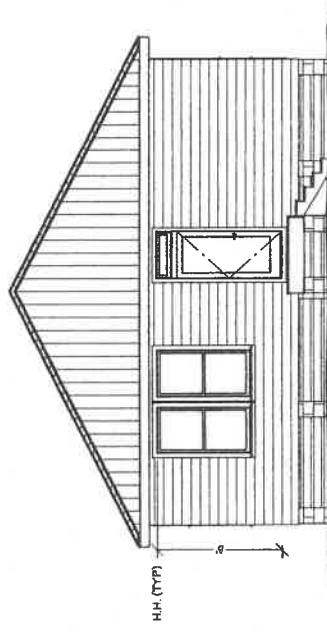
**FRONT ELEVATION**

1/8" = 1'



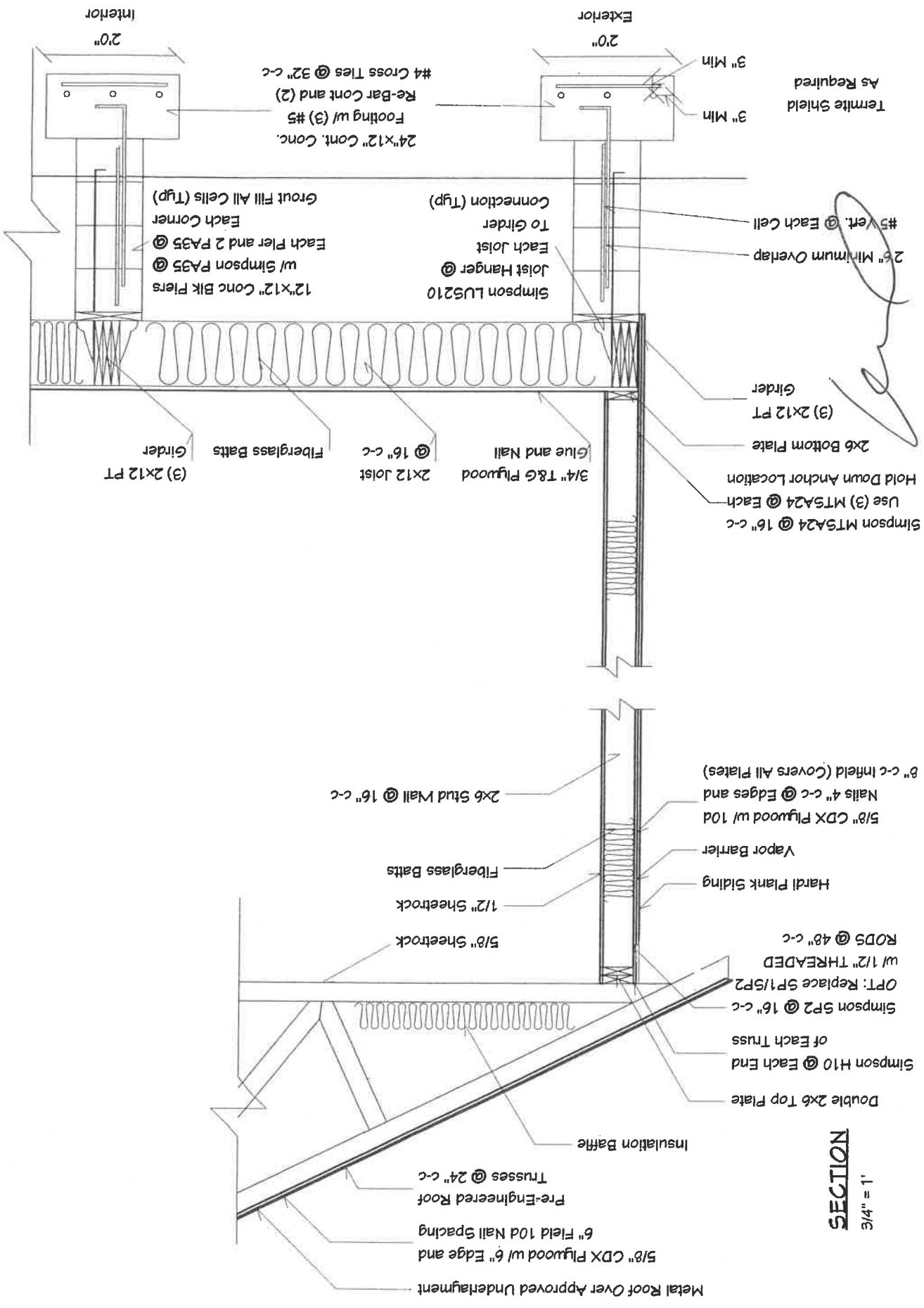
**LEFT ELEVATION**

1/8" = 1'



**REAR ELEVATION**

1/8" = 1'



**SECTION**  
3/4" = 1'

Termite Shield  
As Required

2x6 Minimum Overlap  
#5 Vert. @ Each Cell

Simpson MTS24 @ 16" c-c  
Use (3) MTS24 @ Each  
Hold Down Anchor Location  
2x6 Bottom Plate  
Girder (3) 2x12 PT

5/8" CDX Plywood w/ 10d  
Nails 4" c-c @ Edges and  
8" c-c Infield (Covers All Plates)  
Vapor Barrier  
Hardi Plank Siding  
Fiberglass Batts  
1/2" Sheetrock  
5/8" Sheetrock  
Rods @ 48" c-c  
OPT: Replace SP1/SP2  
w/ 1/2" THREADED

Double 2x6 Top Plate  
Simpson H10 @ Each End  
of Each Truss  
Simpson SP2 @ 16" c-c  
Insulation Baffle

Metal Roof Over Approved Underlayment  
5/8" CDX Plywood w/ 6" Edge and  
6" Field 10d Nail Spacing  
Pre-Engineered Roof  
Trusses @ 24" c-c

3/4" T&G Plywood  
2x12 Joist @ 16" c-c  
Fiberglass Batts  
Girder (3) 2x12 PT

12"x12" Conc Bk Piers  
w/ Simpson PA35 @  
Each Pier and 2 PA35 @  
Each Corner  
GROUT Fill All Cells (TYP)

Simpson LUS210  
Joist Hanger @  
Each Joist  
To Girder  
Connection (TYP)

24"x12" Cont. Conc.  
Footing w/ (3) #5  
Re-Bar Cont and (2)  
#4 Cross Ties @ 32" c-c

Interior  
2'0"

Exterior  
2'0"







Building Dept. Review Summary

P&Z Meeting January 13<sup>th</sup>, 2020

Address: 159 20<sup>th</sup> St.

Zoning: R-2

Historic District: No

Block: 247

Lot: 20 & 21

Project Description: Single Family Residence

Flood Zone: X

Lot Size: 60' x 100'

Impervious Surface Proposed: 22.15% Allowed: 40 %

Height Proposed: 20' Allowed: 35' **Comply with LDC.**

Accessory Structure

Setbacks Required: Front: 15' Rear: 25' Right: 7' 5" Left: 7' 5"

Setbacks proposed: Front: 18' 2" Rear: 37' 5" Right: 15' Left: 15'

Setbacks Proposed: **Comply with LDC.**

**RECEIVED**  
**CITY OF APALACHICOLA**  
**CERTIFICATE OF APPROPRIATENESS APPLICATION**  
**DEC 12 2019**

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
 City Representative \_\_\_\_\_  
 Date Received \_\_\_\_\_

BY: .....

**OWNER INFORMATION**

**CONTRACTOR INFORMATION**

Owner DG46 LLC  
 Address PO Box 33  
 City Apalachicola State FL Zip 32329  
 Phone (850) 323-0190

State License # CGC 1526000  
 City License # 02158 County License # \_\_\_\_\_  
 Email Address jim@gallowayfl.com  
 Phone (864) 237-7150

Approval Type: | | Staff Approval Date: \_\_\_\_\_ | | Board Approval | | Board Denial Date \_\_\_\_\_

\*Reason for Denial

**PROJECT TYPE**

New Construction

Addition

Alteration/Renovation

Relocation

Demolition

Fence

Repair (Extensive)

Variance

Other: \_\_\_\_\_

**PROPERTY INFORMATION:**

Street Address: 159 20th St. City & State Apalachicola FL Zip 32320

| | Historic District |  Non-Historic District Zoning District R-2

Parcel #: 01-09S-08W-8320-0247-0010 Block(s) 247 Lot(s) 20 & 21

FEMA Flood Zone/Panel #: X-1.2% 12009 0526F  
 (For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

Setback requirement of Property:

Front: 18.22' Rear: 37.5' Side: 15' Lot Coverage: 22.15%

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:  
 \_\_\_\_\_  
 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contacted to handle the City of Apalachicola Building Permits, EPC.

Cortni Bankston  
 Permitting and Development Coordinator  
 (850) 653-1522 (ext 205) Phone  
 (850) 653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)



Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

30' x 44'-3" New Single Family Residence  
 which includes 8x16' covered porch built  
 on concrete slab

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	Royal	Vinyl Siding	FL 1593524
Doors			
Windows	Simonton	Vinyl Windows	FL 54146
Roofing	CertaProof Landscape	Asph Shingles	FL 5444.1
Trim			
Foundation		Concrete	
Shutters	Myl America	Vinyl Shutters	
Porch/Deck			
Fencing			
Driveways/Sidewalks		Gravel	
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submitted may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of my association rule or regulation.

12-3-19  
DATE

  
SIGNATURE OF APPLICANT

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: DGHG LLC

ADDRESS: PO Box 33

CITY, STATE & ZIP CODE: Apalachicola FL 32320 PHONE # 850-323-0190

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Callaway Construction

ADDRESS: 5 Jefferson St

CITY, STATE & ZIP CODE: Eastport FL 32328 PHONE # 864-237-7150

STATE LICENSE NUMBER: CGC1251000 COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 159 20th St Apalachicola FL 32320

PROPOSED USE OF SITE: SFR 30' x 44-3' Single Family Residence

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 01-09S-08W-8320-0247-0010

LEGAL DESCRIPTION OF PROPERTY: Lots 20 & 21 Block 247 of City of Apalachicola

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family      \_\_\_ Townhouse      \_\_\_ Commercial      \_\_\_ Industrial  
 \_\_\_ Duplex      \_\_\_ Swimming Pool      \_\_\_ Storage      \_\_\_ Sign  
 \_\_\_ Multi-Family      \_\_\_ Demolition      \_\_\_ Other  
 \_\_\_ Addition, Alteration or Renovation to building \_\_\_\_\_

Distance from property lines: Front 15'      Rear 40'      L. Side 26'  
 R. Side 10'  
 Cost of Construction \$ \_\_\_\_\_ Square Footage 1536  
 EPI \_\_\_\_\_ Flood Zone X-2 X-276      Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled 1200      # Of Stories \_\_\_\_\_      # Of Units \_\_\_\_\_  
 Type of Roof Shingles      Type of Walls Wood studs 2x6      Type of Floor Concrete  
 Extreme Dimensions of: Length 44' 0"      Height \_\_\_\_\_      Width 30'

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

[Signature]  
 Signature of Owner or Agent

Date: 12-5-19

Notary as to Owner or Agent

My Commission expires: \_\_\_\_\_

[Signature]  
 Signature of Contractor

Date: 12-5-19

Notary as to Contractor

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

**CITY OF APALACHICOLA  
TREE APPLICATION  
REMOVAL OR ALTERATION OF PROTECTED TREE**

Applicants Name: DG HG, LLC (Please print)  
 Property Owners Name: Heath Galloway Phone: 850-323-0190  
 Property Address: 159 20th street City, State, Zip: Apalachicola, FL 32320  
 General Contractor/Tree Contractor: Galloway Construction Phone: 323-0190  
 Applicants Signature/Date: Jess Roney, 12/3/19

1. Protected trees - Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4" to 16"	Greater than 16" to less than 35"	35" and larger (Patriarch Tree)
Bald & Pond Cypress			
Eastern & Southern Red Cedar			
Live Oak			
Longleaf Pine			
Pecan			
Sabal Palm			
Slash Pine	50		
Southern Magnolia			
Sycamore			
Water Oak			
<b>Total</b>			
Size is measured at breast height (4.5 Feet above ground surface)			

2. Reason(s) for removal or alteration (Mark all that apply with "X")

<b>Owner's Private Property</b>	
Removal: New Construction	Alteration: New Construction
<input checked="" type="checkbox"/> Tree located within or too close to footprint of proposed new building or addition	Limbs and branches encroaching where structure is to be built
Removal: No New Construction	Alteration: No New Construction
Tree roots damaging building foundation or underground utilities	Limbs and branches rubbing on side or roof of building
Imminent hazard to property or human safety	Imminent hazard to property or human safety
Diseased or pest-infested tree	Diseased or pest-infested tree
Storm damaged tree (other than City declared emergency; e.g., lightning)	Storm-damaged tree (other than during City declared emergency; e.g., lightning)
Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
<b>City Property (City street right-of-ways adjacent to private property)</b>	
Removal: Requested by Private Property Owner	Alteration: Requested by Private Property Owner (Significant cutting of limbs & branches)
Tree located where access to private property is proposed (driveway, etc.)	Imminent hazard to property or human safety
Imminent hazard to property or human safety	
Diseased or pest-infested tree	
Storm damaged tree (other than City declared emergency; e.g., lightning)	
<b>Requested by City Department</b>	
Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard)	Growth encroaching on street or alley

3. Please attach a map with the following drawn to scale:

a. Locations of the following:

1. Lot boundaries
2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
3. Types & Sizes of protected trees (measured at breast height in inches)
4. Protected trees that are proposed to be removed or altered

**OFFICE USE ONLY**

<b>Permit Processing Fee (\$50.00 or \$100.00)</b>	
<b>Reforestation Fund</b>	
<b>Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)</b>	
<b>Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)</b>	
<b>Non Patriarch Tree Total (\$250.00 Max)</b>	
<b>Number of Trees 35" and larger x \$1,000.00</b>	
<b>Reforestation Fund Total</b>	

**Planning and Zoning Board (When Development plan is submitted):**

**Patriarch Tree** \_\_\_\_\_ **Non Patriarch Tree** \_\_\_\_\_

\_\_\_\_\_ **Approved** \_\_\_\_\_ **Denied**

\_\_\_\_\_ **Conditionally Approved (Reason for Conditional Approval or Denial):** \_\_\_\_\_

\_\_\_\_\_  
**Chairperson, Planning and Zoning Board**                      **Date**

**Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)**

**Patriarch Tree** \_\_\_\_\_ **Non Patriarch Tree** \_\_\_\_\_

\_\_\_\_\_ **Approved** \_\_\_\_\_ **Denied**

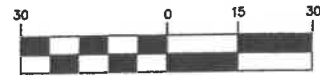
\_\_\_\_\_ **Conditionally Approved (Reason for Conditional Approval or Denial):** \_\_\_\_\_

\_\_\_\_\_  
**Code Enforcement Officer or Designee**                      **Date**

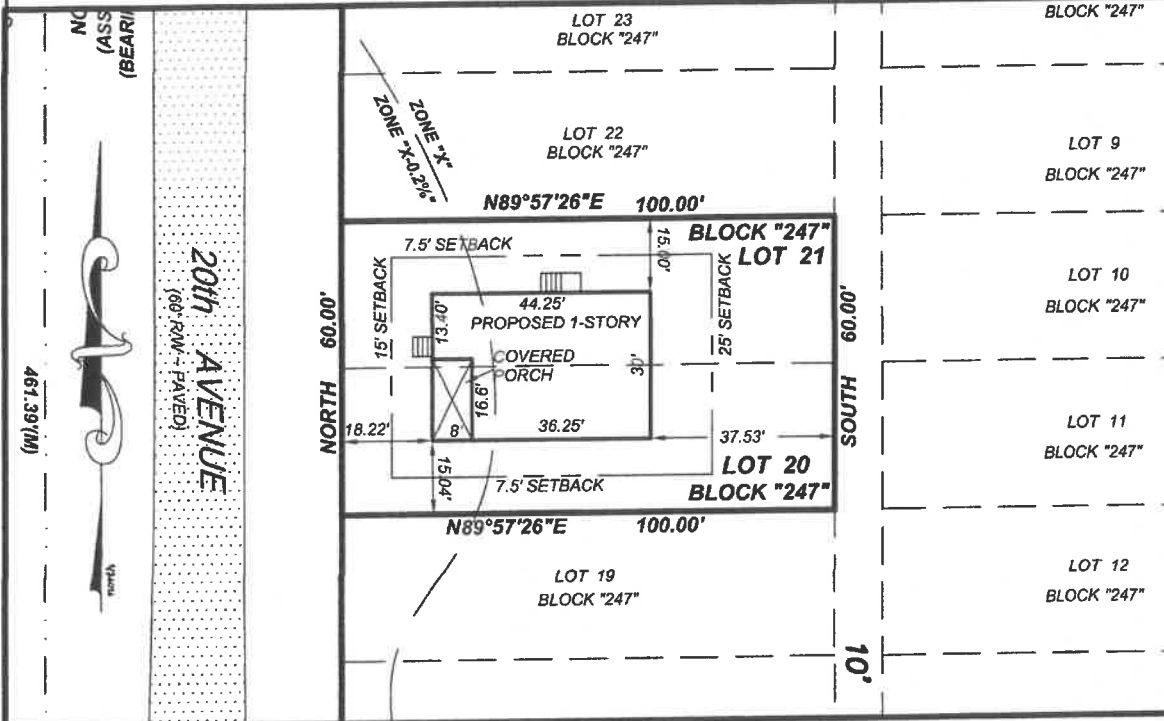
\_\_\_\_\_  
**City Manager or Designee**    **Date**

PLAT OF SPECIFIC PURPOSE TO SHOW SITE PLAN FOR:  
GALLOWAY CONSTRUCTION

GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.



"The limits of said flood zones are shown hereon. They are shown in approximate locations only as transposed from said F.I.R.M. and were not field located by field survey methods.

FLOOD ZONES AND SETBACKS DEPICTED HEREON ARE NOT TO BE USED FOR CONSTRUCTION PERMITTING PURPOSES. ALL FLOOD ZONES AND SETBACKS SHOULD BE VERIFIED BY THE APPROPRIATE COUNTY DEPARTMENTS.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Easterly right of way boundary of 20th Avenue having an assumed bearing of North.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051(052)).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

LEGEND

M	MEASURED
RP	RECORD PLAT
FIRC	FOUND (5/8") IRON ROD AND CAP
SIRC	SET (5/8") IRON ROD AND CAP #7160
FCM	FOUND CONCRETE MONUMENT
RW	RIGHT-OF-WAY
	NOT TO SCALE
	POINT NOT SET OR FOUND

LEGAL DESCRIPTION:

Lots 20 & 21, Block "247" of the CITY OF APALACHICOLA, as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

FLOOD ZONE INFORMATION:

Subject property is located in Zones "X" and "X" (0.2%) as per Flood Insurance Rate Map Community Panel No: 120089 0528F, index date: February 05, 2014, Franklin County, Florida.

REVISED 12/04/19; CHANGED SITE PLAN

<b>TR &amp; A</b>	<b>THURMAN RODDENBERRY &amp; ASSOCIATES, INC</b>		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 850-957-2538 FAX NUMBER: 850-961-1103 LB # 7100		
DATE: 11/13/19	DRAWN BY: MD	N.B. XXX PG XX	COUNTY: FRANKLIN
FILE: 18443.DWG	DATE OF LAST FIELD WORK:	CHECKED BY: BB	JOB NUMBER: 18-443

JAMES T. RODDENBERRY  
Surveyor and Mapper  
Florida Certificate No: 4261



**Parcel Summary**

Parcel ID 01-09S-08W-8330-0247-0010  
 Location Address 32320  
 Brief Tax Description\* BL 247 LOTS 1 THRU 30 INC OR 5/371 701/486 1225/528  
 \*The Description above is not to be used on legal documents.  
 Property Use Code VACANT (000000)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 20.8391  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Dghg,LLC  
 PO.Box 33  
 Apalachicola, FL 32329

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000155	SFR GREATER APALACH	120.00	FF	0	0
000155	SFR GREATER APALACH	780.00	FF	0	0

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	08/10/2018	\$275,000	WD	1225	528	Qualified (Q)	Vacant	BUZZETT	DGHG,LLC
N	06/14/2002	\$100	WD	701	486	Unqualified (U)	Vacant	BUZZETT	BUZZETT

**Valuation**

	2019 Preliminary Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$100,800	\$100,800	\$47,349	\$47,349	\$47,349
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
<b>Just (Market) Value</b>	<b>\$100,800</b>	<b>\$100,800</b>	<b>\$47,349</b>	<b>\$47,349</b>	<b>\$47,349</b>
Assessed Value	\$100,800	\$100,800	\$47,349	\$47,349	\$47,349
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$100,800	\$100,800	\$47,349	\$47,349	\$47,349
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

**TRIM Notices**



No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)  
[GDPR Privacy Notice](#)







**Overview**



**Legend**

-  Parcels
-  Roads
-  City Labels

<b>Parcel ID</b>	01-09S-08W-8330-0247-0010	<b>Alternate ID</b>	08W09S01833002470010	<b>Owner Address</b>	DGHG,LLC
<b>Sec/Twp/Rng</b>	1-9S-8W	<b>Class</b>	VACANT		PO.BOX 33
<b>Property Address</b>		<b>Acreage</b>	n/a		APALACHICOLA, FL 32329
<b>District</b>	3				
<b>Brief Tax Description</b>	BL 247 LOTS 1 THRU 30 INC				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 12/11/2019  
 Last Data Uploaded: 12/11/2019 7:37:57 AM

Developed by  **Schneider**  
 GEOSPATIAL

# NWFWMD Report

**Preliminary SFHA Flood Map (Prelim Issue Date: Panel Not Revised)**



**Effective SFHA Flood Map (Effective Issue Date: 2/5/2014)**



**Zone VE:** A coastal area inundated by 100-year flooding and subject to a velocity hazard (wave action) where BFEs have been determined. **Zone AE:** An area inundated by 100-year flooding, for which BFEs have been determined. **Zone AO/AH:** An area inundated by 100-year flooding (AO) Sheet flow, ponding, or shallow flooding where Base Flood Depths are provided. **Zone AH:** Shallow flooding base floodplain where BFEs have been determined. **Zone X:** An area inundated by 100-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile or an area protected by levees from 100-year flooding. **Zone X:** An area of minimal flood hazard.

**Disclaimer:** Although derived directly from a variety of sources, including the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Maps (FIRMs), the District's digital elevation model, the counties' digital parcel maps and data from other governmental sources, the data provided through this portal is for informational purposes only. The user is advised to be aware that for flood insurance or regulatory determinations, or for supporting an application for a Letter of Map Change (LOMC), only the official and latest FEMA FIRM should be consulted. Also, all elevation data submitted in support of a LOMC application must be certified by a licensed land surveyor, engineer, or architect. The NWFWMD, FEMA, its agents, and partners shall not be held responsible for the misuse or misinterpretation of the information presented in this portal.

## Geographical Information

Latitude/Longitude: 29.721112,-84.99936  
 Address: 151-199 20th Ave, Apalachicola, FL, 32320, USA  
 Parcel ID: 01-09S-08W-8330-0247-0010  
 Firm Panel (Preliminary): 12037C0526F  
 Firm Panel (Effective): 12037C0526F

## Flood Information

### Flood Zone Information

Preliminary Flood Zone: N/A  
 Location of Interest: N/A  
 Parcel: 0.2 PCT ANNUAL CHANCE FLOOD HAZARD:11%; X:89%;  
 Base Flood Information\*: N/A  
 Effective Flood Zone: N/A  
 Location of Interest: X  
 Parcel: 0.2 PCT ANNUAL CHANCE:11%; X:89%;  
 Base Flood Information\*: N/A

\*The computed elevation to which floodwater is anticipated to rise during the base flood (100 Year Flood). Base Flood Elevations (BFEs) are shown on Flood Insurance Rate Maps (FIRMs) and on the flood profiles. The BFE is the regulatory requirement for the elevation or floodproofing of structures. The relationship between the BFE and a structure's elevation determines the flood insurance premium. **Datum of measurement is NAVD1988.**

# GALLOWAY HOME (III)

LOTS 20&21, BLOCK 247, APALACHICOLA, FL 32320

## DRAWING INDEX:

- A-1 SITE PLAN
- A-2 FLOOR PLAN
- A-3 ELEVATIONS
- A-4 FOUNDATION/ FLOOR FRAMING
- A-5 ROOF FRAMING & ELECTRICAL
- A-6 SECTION

PLANS CONFORM TO THE 2017 F.B.C.

### INFORMATION ON DRAWINGS AS PER 1606.1, FLORIDA BUILDING CODE

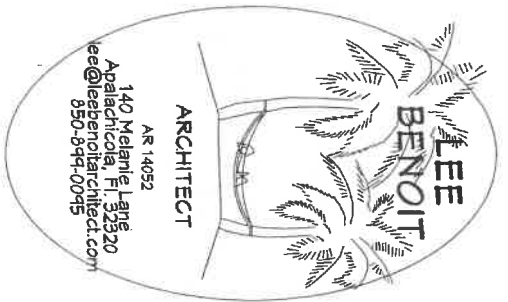
1. BASIC WIND SPEED: 135 MPH
2. WIND IMPORTANCE FACTOR: 1.0 / BUILDING CATEGORY: LOW RISE
3. WIND EXPOSURE: C
4. APPLICABLE INTERNAL PRESSURE COEFFICIENT: +/- .35
5. COMPONENTS AND CLADDING DESIGN PRESSURE: 45 PSF

Lot size: 60' X 100'  
9,000 sq. ft.

House: 1,329 sq. ft.  
Lot Coverage: 22.15%



9.30.19

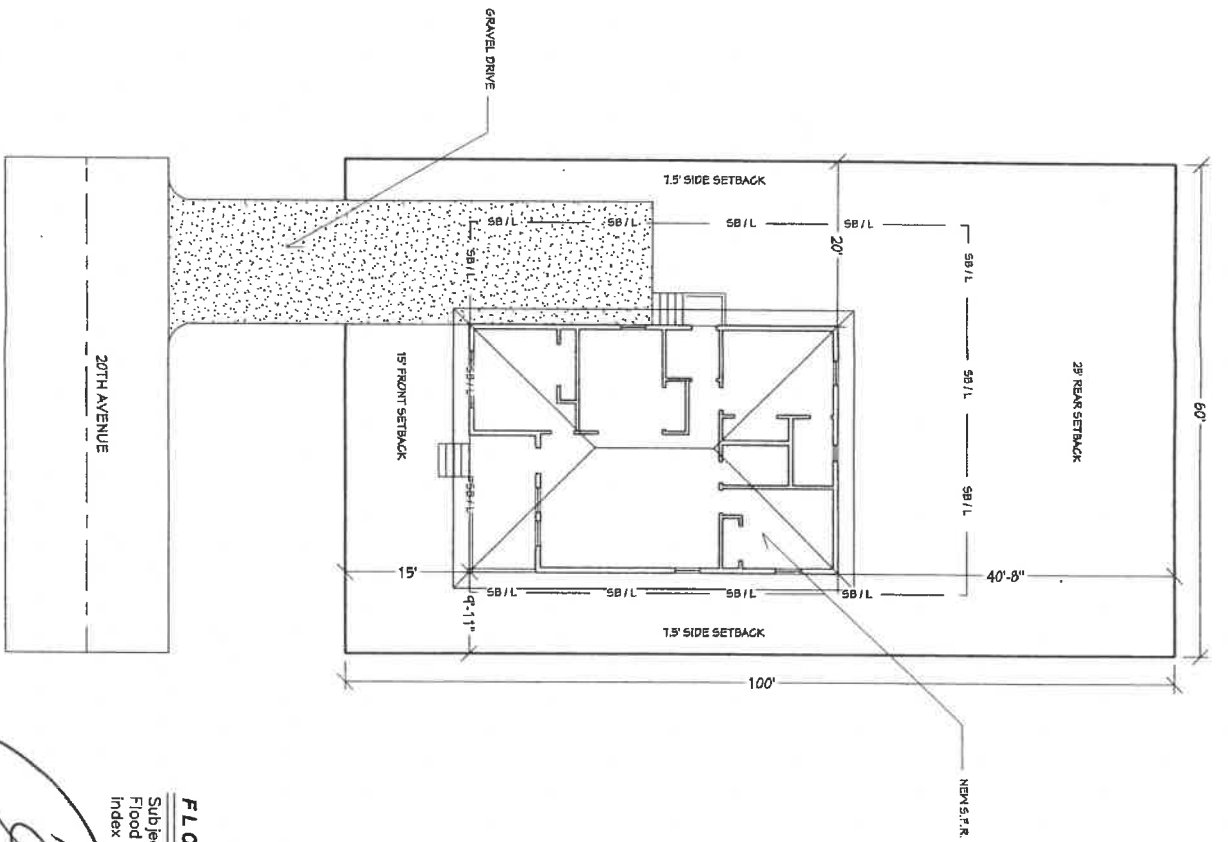


date	rev	drawn
09/30/2019	0	LEE BENOIT

plm1714@gallowayll



**SITE PLAN**  
1" = 15'

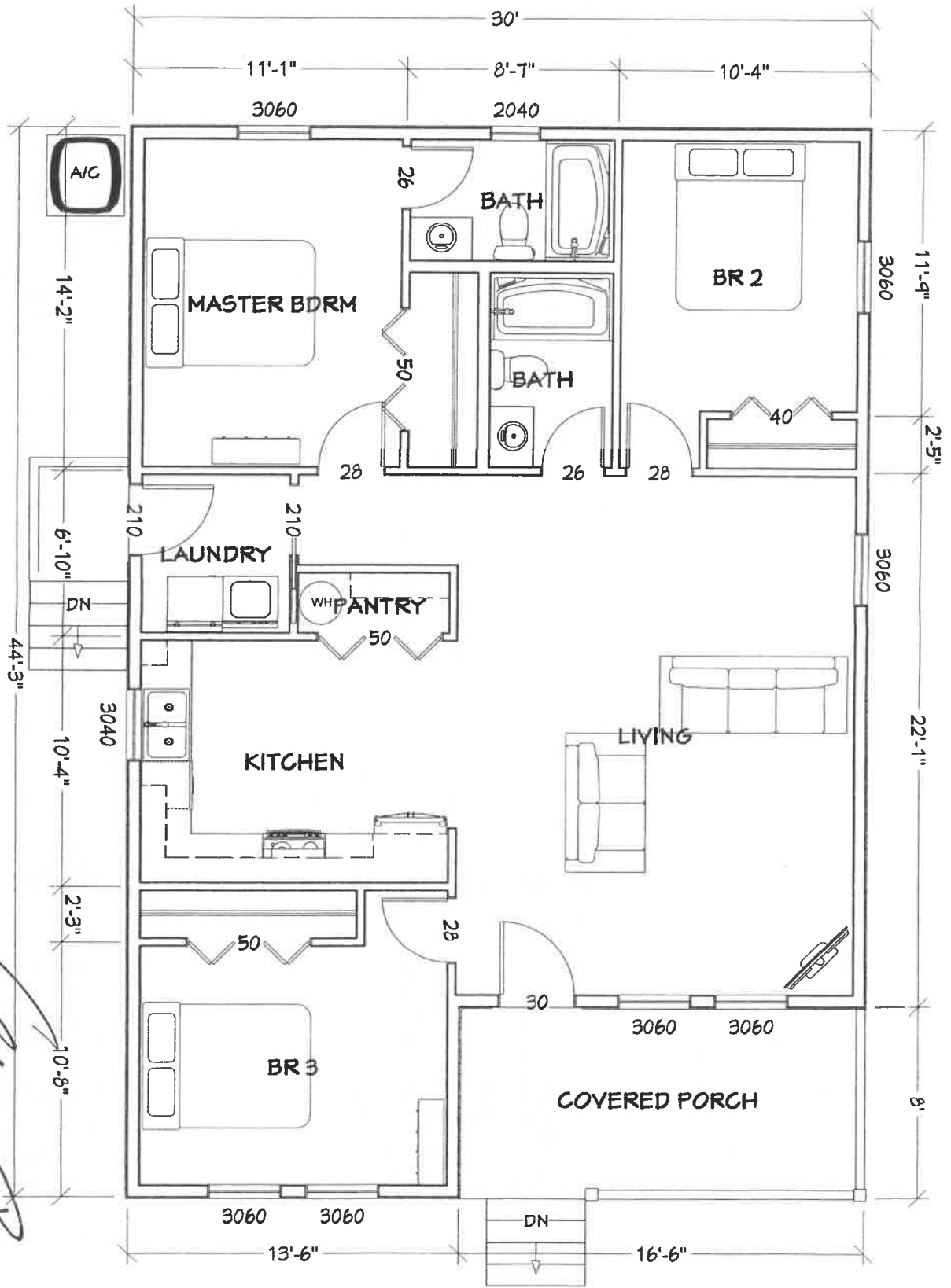


**FLOOD ZONE INFORMATION:**

Subject property is located in Zones "X" and "X-0.2%" as per Flood Insurance Rate Map Community Panel No: 120089 0526F. Index date: February 05, 2014, Franklin County, Florida.

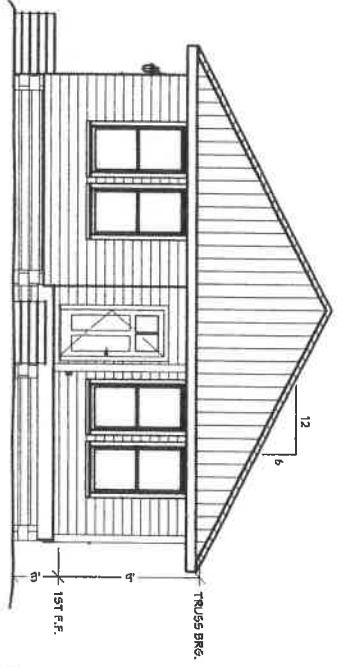
**FLOOR PLAN**

1/4" = 1' 1,200 SF H&C



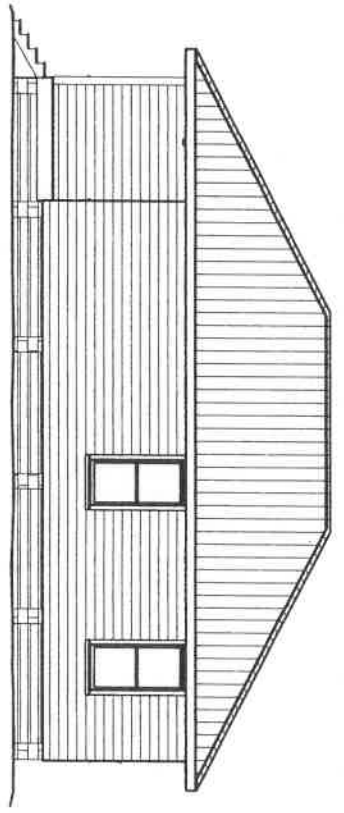
**FRONT ELEVATION**

1/8" = 1'



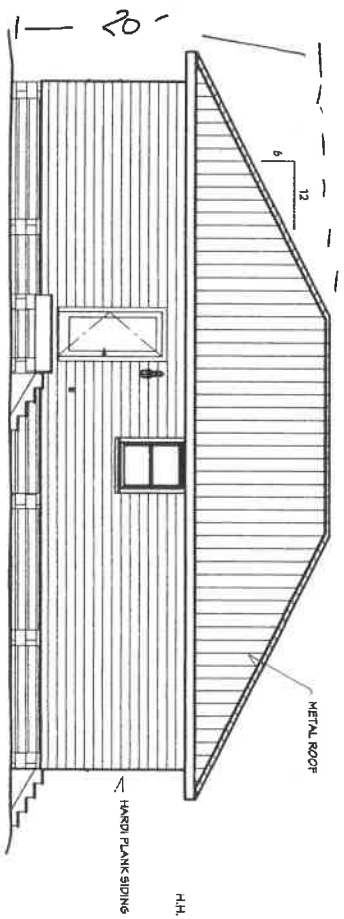
**RIGHT ELEVATION**

1/8" = 1'



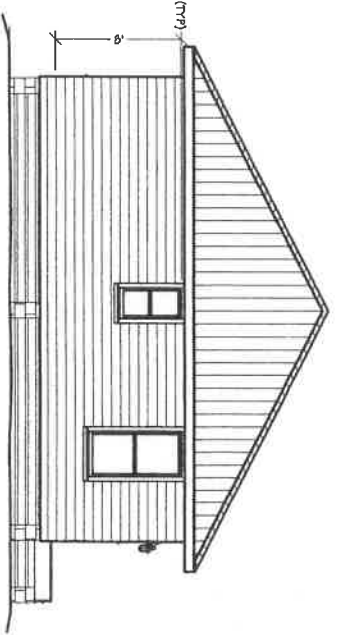
**LEFT ELEVATION**

1/8" = 1'

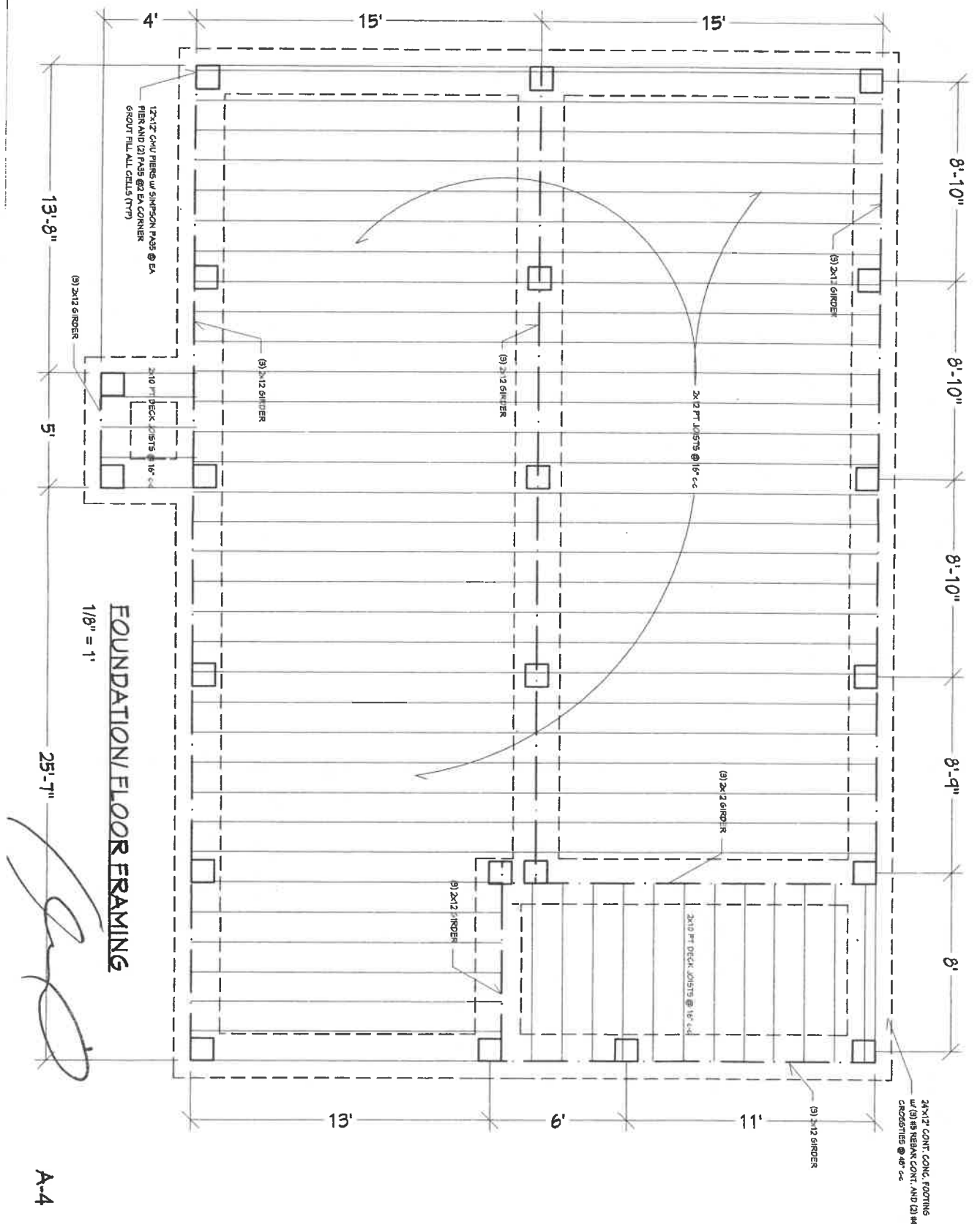


**REAR ELEVATION**

1/8" = 1'



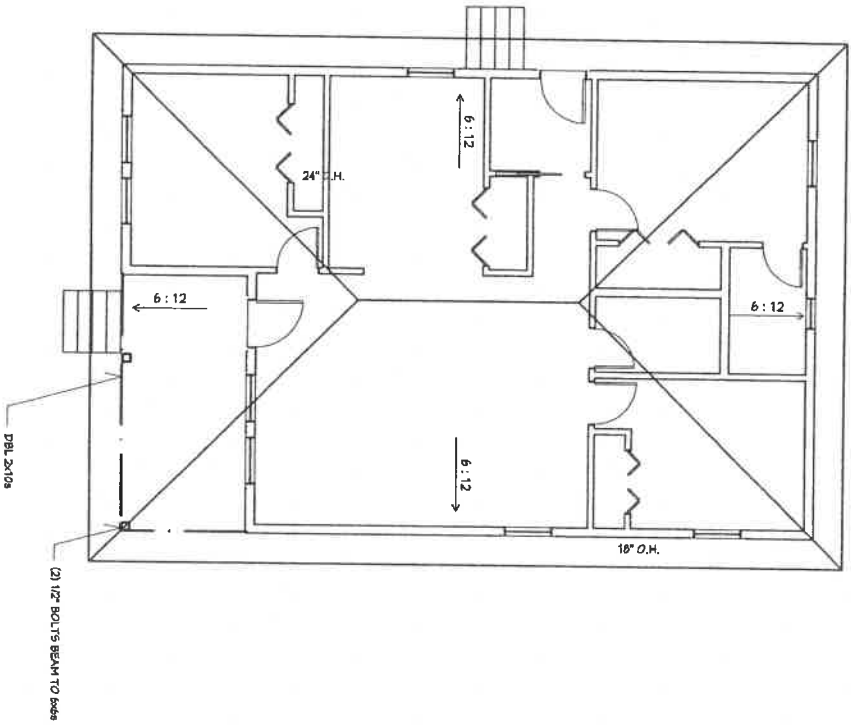
Handwritten signature or initials.



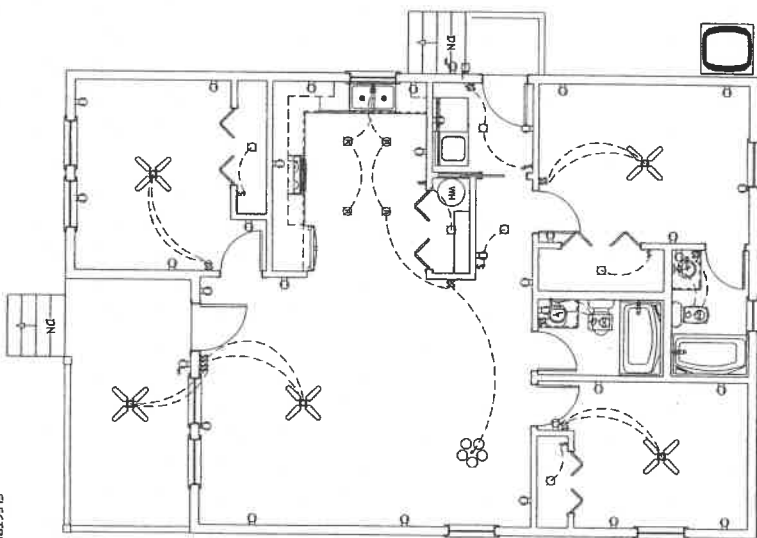
**FOUNDATION/FLOOR FRAMING**

1/8" = 1'

*[Handwritten Signature]*



**ROOF FRAMING**  
1/8" = 1'

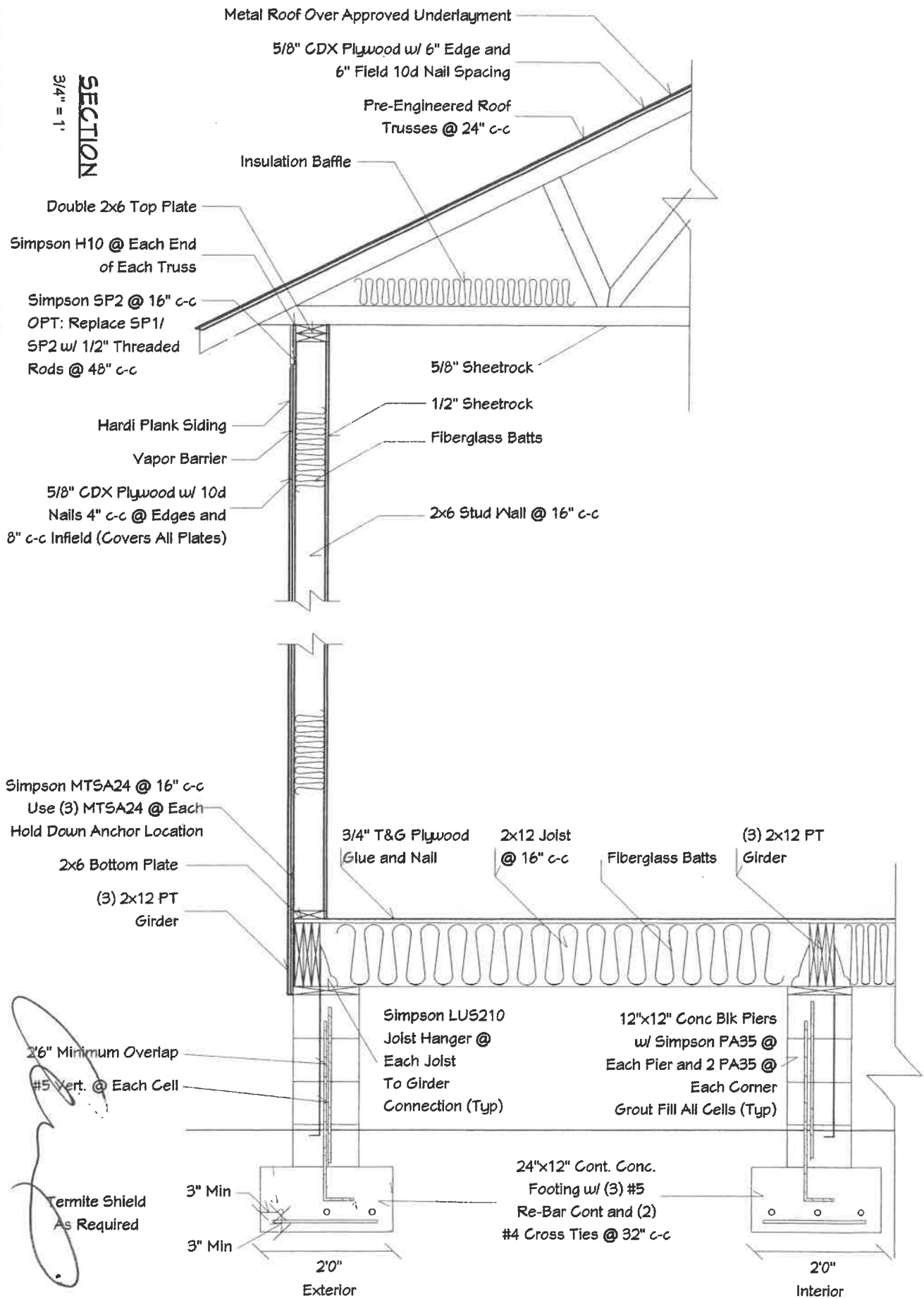


ELECTRICAL PLAN IS SCHEMATIC  
CONSULT OWNER FOR FINAL  
PLACEMENT AND QUANTITIES  
NOTE: HVAC IN ATTIC

**ELECTRICAL**  
1/8" = 1'



**SECTION**  
3/4" = 1'



2'6" Minimum Overlap  
#5 Vert. @ Each Cell  
Termite Shield As Required

