

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, DECEMBER 10th, 2018
Community Center/City Hall – 1 Bay Avenue
AGENDA

Regular Meeting – 6p.m.

- 1) Approval of November 19th, 2018 Regular Meeting Minutes.
- 2) Review, Discussion and Decision for Fence Permit @ 317 Earl King Street, Block 207, Lot(s) 14 through 16, For – Elinor Mount-Simmons, Contractor – Owner/Self.
- 3) Review, Discussion and Decision for Relocation of the Taranto House (**Historic District**) (C-1) @ Corner of 4th and B, Block 11, Lot(s) 1 & 2, For – Gibson Inn, LLC, Contractor – TBD
- 4) Review, Discussion and Decision for the New Construction of Hotel, Pool, & Spa (**Historic District**) (C-1) @ 53 Avenue C, Block 10, Lot(s) 1 & 2, For – Gibson Inn, LLC, Contractor – TBD
- 5) Review and Discussion of Rezoning City Hall Parcel to O/R (Office Residential)

In our continuing effort to keep the citizens of Apalachicola informed, this agenda is posted on our website at www.cityofapalachicola.com prior to the scheduled meeting for public review. Additional information such as the City's Land Development Code and zoning related maps, along with other development information is also available on the site for your convenience. Please direct any questions concerning items on this agenda or the Apalachicola Building Department to Cortni Bankston, (850)653-1522, cortnibankston@cityofapalachicola.com.



CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, November 19th, 2018
Community Center/City Hall – 1 Bay Avenue
AGENDA MINUTES

Present: Chairperson: Tom Daly, Uta Hardy, Jim Bachrach, Joe Taylor. Cindy Clark – City Planner, Cortni Bankston – Permitting and Development Coordinator

Joint Workshop – 5p.m.

Historic Guidelines - Discussion held – Motion to transmit changes to joint workshop – Jim Bachrach. 2nd: Joe Taylor. Motion Approved.

Regular Meeting – 6p.m.

- 1) Approval of October 8th, 2018 Regular Meeting Minutes. Motion to Approve: Jim Bachrach, 2nd: Uta Hardy. Motion Carried.
- 2) Review, Discussion and Decision for Renovation/Addition of the Bookstore (Historic District) @ 67 Commerce Street, Block D1, Lot(s) 13 & 14, For – William Zingarelli, Contractor – Warren Emo. Motion to approve contingent upon submittal and review of FEMA required site plan documentation. Certificate of appropriateness will not be issued until City Staff has deemed paperwork to be sufficient: Joe Taylor, 2nd: Jim Bachrach. Motion Carried.

Other Items for Discussion:

- 3) Review and Discuss a Policy Revision of the 10 day review period. Motion to move forward with amending review period: Jim Bachrach, 2nd: Uta Hardy. Motion Carried.

Motion to Adjourn: Jim Bachrach, 2nd: Uta Hardy. Motion Carried.

Chairperson

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EPCI
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: _____ Permit # _____ Permit Fee _____

OWNER'S NAME: Elinor S. Mount-Simmons

ADDRESS: 317 Earl King St (current: 297-23rd Ave)

CITY, STATE & ZIP CODE: Apalachicola, FL PHONE # 850.323.0544
32320

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): na

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: self

ADDRESS: 297-23rd Ave

CITY, STATE & ZIP CODE: Apalachicola, FL PHONE # 850.323.0544
32320

STATE LICENSE NUMBER: na COMPETENCY CARD # _____

ADDRESS OF PROJECT: 317 Earl King St, Apalachicola

PROPOSED USE OF SITE: fence in side+back yard - left wood

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? YES
 NO

PROPERTY PARCEL ID # 01-09S-08W-8330-0207-0140

LEGAL DESCRIPTION OF PROPERTY: BL 207 Lots 14-16

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

see map to left page

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family ___ Townhouse ___ Commercial ___ Industrial
___ Duplex ___ Swimming Pool ___ Storage ___ Sign
___ Multi-Family ___ Demolition ___ Other
___ Addition, Alteration or Renovation to building. _____

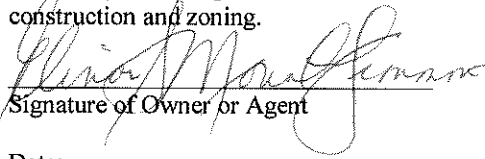
Distance from property lines: Front 15 Rear L. Side 25
R. Side _____

Cost of Construction \$ 300 Square Footage _____
EPI _____ Flood Zone _____ Lowest Floor Elevation _____
Area Heated/Cooled _____ # Of Stories _____ # Of Units _____
Type of Roof _____ Type of Walls _____ Type of Floor _____
Extreme Dimensions of: Length _____ Height _____ Width _____

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.



Signature of Owner or Agent

Signature of Contractor

Date: _____

Date: _____

na

Notary as to Owner or Agent

Notary as to Contractor

My Commission expires: _____

My Commission expires: _____

APPLICATION APPROVED BY:  BUILDING OFFICIAL.

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 ELINOR MOUNT-SIMMONS,
 CENTENNIAL BANK,
 COSTIN & COSTIN, P.A.,
 FIRST AMERICAN TITLE INSURANCE COMPANY

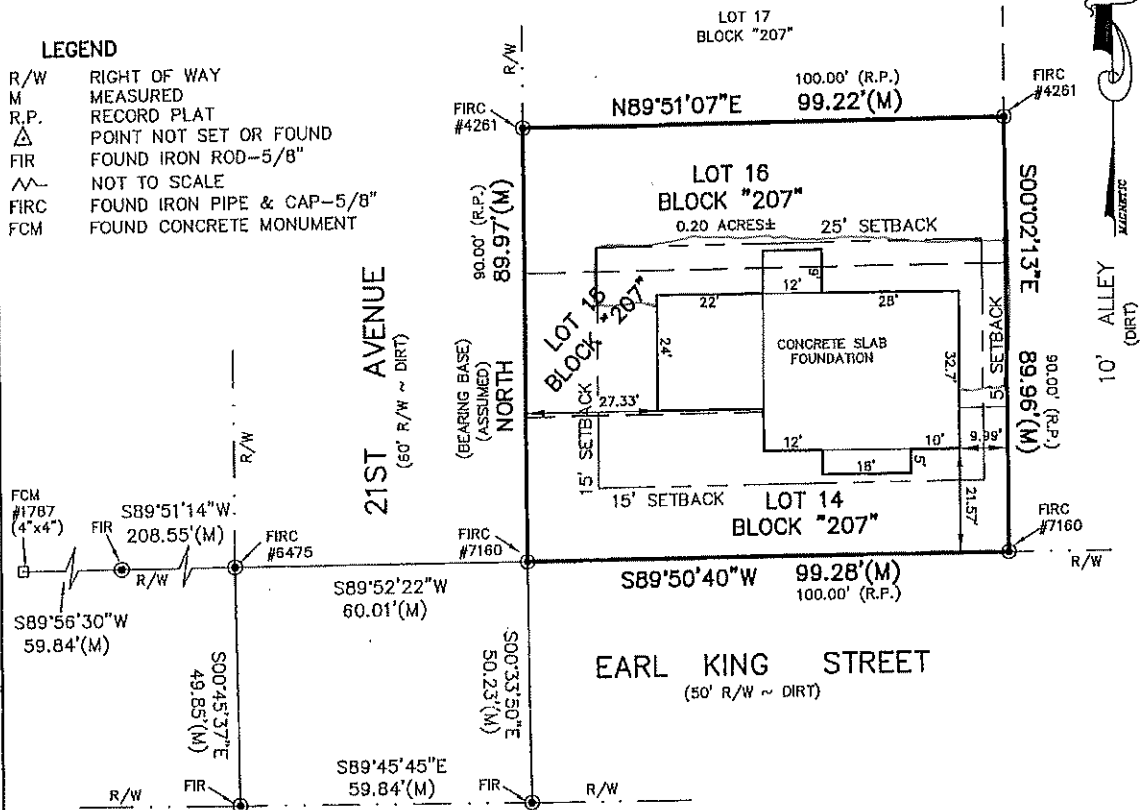
GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.

LEGEND

- R/W RIGHT OF WAY
- M MEASURED
- R.P. RECORD PLAT
- △ POINT NOT SET OR FOUND
- FIR FOUND IRON ROD-5/8"
- ∧∧ NOT TO SCALE
- FIRC FOUND IRON PIPE & CAP-5/8"
- FCM FOUND CONCRETE MONUMENT



LEGAL DESCRIPTION:

Lots 14, 15, and 16, Block "207" of the CITY OF APALACHICOLA, as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Easterly right of way boundary of 21st Avenue having an assumed bearing of North.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0507F, index date: February 5, 2017, Franklin County, Florida.

REVISED 09/20/18: ADDED FOUNDATION-BB

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.S. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry
 JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4261



Thurman Roddenberry & Associates, Inc.

PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358
 PHONE NUMBER: 850-962-3338 FAX NUMBER: 850-962-1103
 LB # 7160

DATE: 09/20/18	DRAWN BY: BB	NB Folder	COUNTY: FRANKLIN
FILE: 99248.DWG	DATE OF LAST FIELD WORK: 09/19/18	JOB NUMBER: 99-248	



CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT-

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

Owner GIBSON INN LLC
Address 433 Cape San Blas RD
City Port St. Joe State FL Zip 32456
Phone (850) 312-8339

CONTRACTOR INFORMATION

State License # Not yet determined
City License # _____ County License # _____
Email Address _____
Phone (L) _____

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- | | |
|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Repair (Extensive) |
| <input type="checkbox"/> Alteration/Renovation | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Relocation | <input checked="" type="checkbox"/> Other <u>The Taranto House is being moved to</u> |
| <input type="checkbox"/> Demolition | <u>this location and slightly refurbished.</u> |
| | <u>Later additions will be removed.</u> |

PROPERTY INFORMATION:

Street Address: Corner of 4th and B City & State: Apalachicola, FL Zip 32320
 Historic District Non-Historic District Zoning District C-1
Parcel #: 01-09S-08W-8330-0011-0010 (& 0020) Block(s) 11 Lot(s) 1&2 (one)
FEMA Flood Zone/Panel #: Zone AE 12
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, E.P.C.

Cornel Bankston
Permitting and Development Coordinator
(850) 653-1522 (ext 205) Phone
(850) 653-5023 Cell
cornelbankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

This building is known as the Taranto House. We plan to move it to the site nearby along 4th St. The building will remain offices (for the Gibson, SPA, and others as required). The House is being moved to allow empty lots available for the SPA building and pool structure. For the older house, The intent is to replace asbestos siding with cementitious lap, and to remove later rear and side additions leaving the existing porch. The site arrangement respects existing streetscape. If additional parking is found needed, the bank along 4th and D has offered spaces (both SPA and Taranto).

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		Replace asbestos siding with cementitious lap or other historic "looks"	
Doors		Replaced as needed with "historic" replacements to meet code	
Windows		Replaced as needed with "historic" replacements to meet code	
Roofing		Repair if necessary	
Trim		Min. 3/4" thick Hardi Board (or similar) cementitious boards, various widths.	
Foundation		Concrete piers clad with brick to mimic original, with flow through break-away under pinning attached with finish nails as per Flood Zone requirements.	
Shutters		Custom	
Porch/Deck		KDAT Wood over concrete or frame	
Fencing		If required/ designed to Apalachicola requirements later.	
Driveways/Sidewalks		All gravel to allow minimum Lot coverage. Steps of concrete or wood.	
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submitted requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is/are the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submitted may cause my application to be delayed to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB, otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work.**
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

10-29-2018

DATE


SIGNATURE OF APPLICANT

George Coon, Designer (British registered)
with Lucas Associates Architects, P.C.
L. Franklyn Lucas, Jr., AIA, LEED AP

EPCI

APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: _____ Permit #: _____ Permit Fee: _____

OWNER'S NAME: Gibson Inn LLC

ADDRESS: 433 Cape San Blas Rd.

CITY, STATE & ZIP CODE: Port St Joe, FL 32456 PHONE #: (850) 312-8330

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): Not Applicable (NA)

ADDRESS: NA

CITY, STATE & ZIP CODE: NA PHONE #: NA

CONTRACTOR'S NAME: Not yet determined

ADDRESS: NA

CITY, STATE & ZIP CODE: _____ PHONE #: _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD #: _____

ADDRESS OF PROJECT: 4th Street and Ave B, Apalachicola, FL 32320

PROPOSED USE OF SITE: Office/Studio

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? YES
 NO

PROPERTY PARCEL ID#: 01-095-08W-8330-0011-0010

LEGAL DESCRIPTION OF PROPERTY: BL 11 FRACT LOTS 1-2 CITY APALACHICOLA 835/744835

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: Gibson Inn LLC

ADDRESS: As Above CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: Lucas Associates Architects P.C. (George Coon)

ADDRESS: 252 6th Street CITY, STATE & ZIP: Apalach, FL 32320

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial
 Duplex Swimming Pool Storage Sign
 Multi-Family Demolition Other

Addition, Alteration or Renovation to building. Phase 2, Taranto House

Distance from property lines: Front (4th St) 0 ft Rear (Alley) 0 ft L. Side (Point) 51 ft
R. Side Interior 0 ft

Cost of Construction \$ ND Square Footage 1,369 sf
EPI SCE Engineers Flood Zone AE 12 Lowest Floor Elevation FFE 13'-6"
Area Heated/Cooled 1,870 sf # Of Stories 2 # Of Units 0
Type of Roof Galvalume SS Type of Walls 2x6 frame/concrete Type of Floor Framed or concrete
Extreme Dimensions of: Length 37 ft Height 34 ft max Width 37 ft

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPC1: The EPC1/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.


Signature of Owner or Agent
George Coon for Owner
Date: 10-29-2018

Not Determined
Signature of Contractor
Date: _____

Notary as to Owner or Agent
My Commission expires: _____

Notary as to Contractor
My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

FLOOD PLAIN MANAGEMENT
PERMIT APPLICATION REVIEW
TARANTO HOUSE MOVE

DATE: _____

PERMIT #: _____

NAME: GIBSON INN LLC, (George Coon, Lucas Associates Arcitects, for Steven Etchen)
MAILING ADDRESS: 433 Cape San Blas Rd CITY/STATE/ZIP: Port St. Joe, FL 32456
PHONE: (850) 227-6898 (Designer)

STREET ADDRESS: Block 11 Lots 1&2/ no legal address. is on beginning of 4th St.
LEGAL DISCRPTION: 08W09S018330000110010
PARCEL ID #: 01-09S-08W-8330-0011-0010 (&0020)

DESCRIBE DEVELOPMENT: Taranto House Move. Relocate Historic House from 53 Ave C to this Block (1 away).

RESIDENTIAL: _____ COMMERCIAL: NEW STRUCTURE: _____ SUBSTANTIAL IMPROVEMENT: _____

FLOOD ZONE INFORMATION:

PANEL NO.: FEMA 2014 FIRM ZONE: AE12 BFE: BFE 13.6' GRADE ELEVATION: EL. 10.23'

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE:
AND/OR TOP OF THE BOTTOM FLOOR EL. 13.73' (PER PLANS)

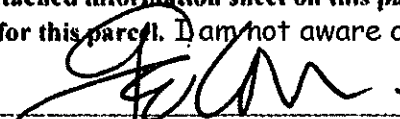
SQUARE FEET OF ENCLOSURE BELOW BFE: 0 SQUARE FEET (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, STEVEN ETCHEN (GEORGE COON DESIGNER) have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014; my/our property may be adversely affected by these changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: 4th Street (no address given) PARCEL ID #: BL 11 LOTS 1&2
EFFECTIVE FLOOD ZONE: AE12 PRELIMINARY FLOOD ZONE: _____

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel. I am not aware of the preliminary flood zone, just effective



Signature of owner or developer
GEORGE COON, DESIGNER
WITH LUCAS ASSOCIATES ARCHITECTS

9 Nov 2018

Date

Material used for enclosure below BFE: solid wall/breakaway wall N/A, flow through vents
_____ (sq ft of vent opening), screen wire, lattice or louvers: louvers on breakaway structure

Type of foundation: concrete piers with flow through break away underpinning, attached with
finish nails as per flood zone requirements

Pile Support

Concrete block stem wall

Other

Application meets all requirements designated in the flood plain management ordinance
ORDINANCE 2013-02 Date.

Inspections:

Foundation meets the requirement for the flood zone designation: _____

Under construction elevation certificate has been submitted and meets elevation standards for flood zone

Enclosures below the BFE are designed as required by the flood plain management ordinance:

Final elevation certificate has been submitted and all aspects of the structure meet designated flood zone
requirements: _____

All Mechanical and A/C equipment meet the required elevation for the designated BFE:

Final Inspection on structure meets all requirements designated in the flood plain management ordinance:
_____ Date.

Flood Plain Administrator

Date

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4TH STREET			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32320	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
 Complete items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
 Benchmark Utilized: 10.23' Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|-------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 13.60 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | 23.60 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | 10.01 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | 10.71 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name JAMES T. RODDENBERRY		License Number 4261
Title PRESIDENT		
Company Name THURMAN RODDENBERRY & ASSOCIATES, INC.		
Address P.O. BOX 100		
City SOPCHOPPY	State Florida	ZIP Code 32358



Signature <i>James T. Roddenberry</i>	Date 11-20-2018	Telephone (850) 962-2538	Ext.
--	--------------------	-----------------------------	------

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
 JOB NUMBER 18-300CD
 SITE BENCHMARK TOP OF LAG BOLT LOCATED AT THE INTERSECTION OF THE 30' ALLEY AND AVENUE B @ ELEV. 9.40' (NAVD 88)

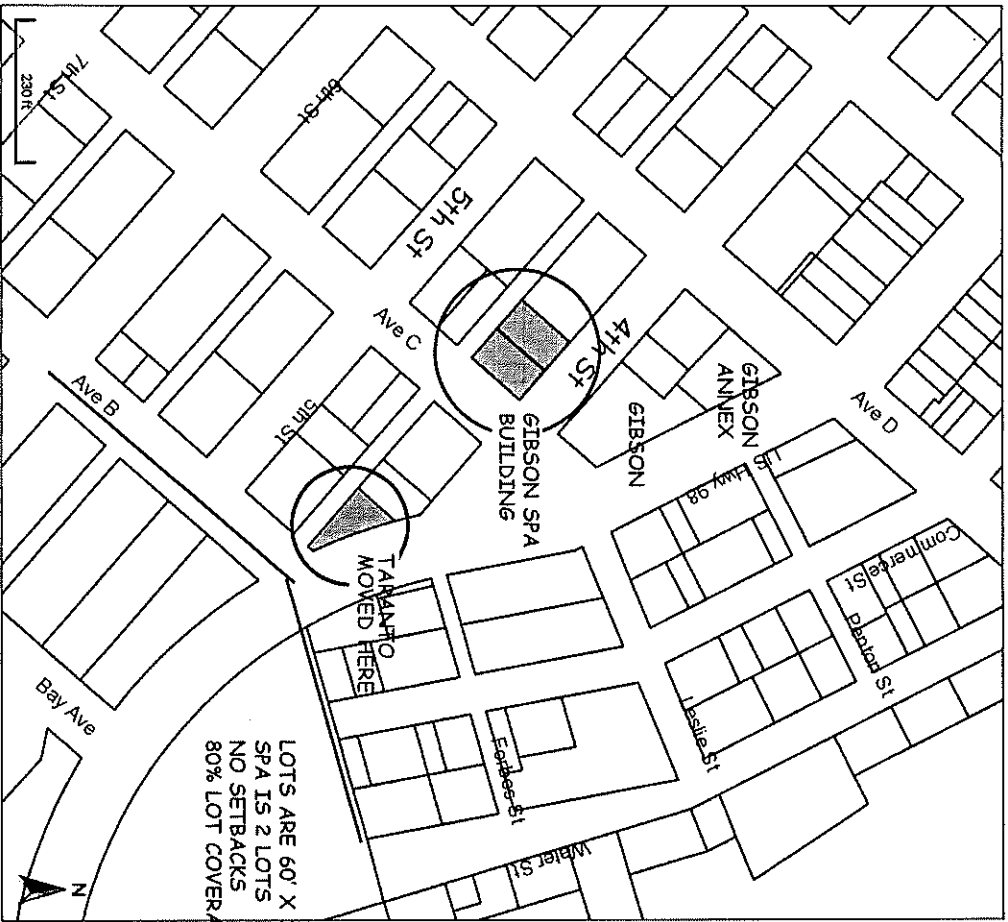
ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
A1. Building Owner's Name GIBSON INN, LLC	Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4TH STREET	Company NAIC Number:
City APALACHICOLA	State Florida
	ZIP Code 32320
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOTS 1 & 2, BLOCK "11" CITY OF APALACHICOLA	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>NON-RESIDENTIAL</u>	
A5. Latitude/Longitude: Lat. <u>29.72498</u> Long. <u>-84.98316</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.	
A7. Building Diagram Number <u>5</u>	
A8. For a building with a crawlspace or enclosure(s):	
a) Square footage of crawlspace or enclosure(s) <u>0.00</u> sq ft	
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>	
c) Total net area of flood openings in A8.b <u>0.00</u> sq in	
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
A9. For a building with an attached garage:	
a) Square footage of attached garage <u>0.00</u> sq ft	
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>	
c) Total net area of flood openings in A9.b <u>0.00</u> sq in	
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number APALACHICOLA 120089			B2. County Name FRANKLIN		B3. State Florida
B4. Map/Panel Number 12037C0526	B5. Suffix F	B6. FIRM Index Date 02-05-2014	B7. FIRM Panel Effective/ Revised Date 02-05-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 12.00'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					



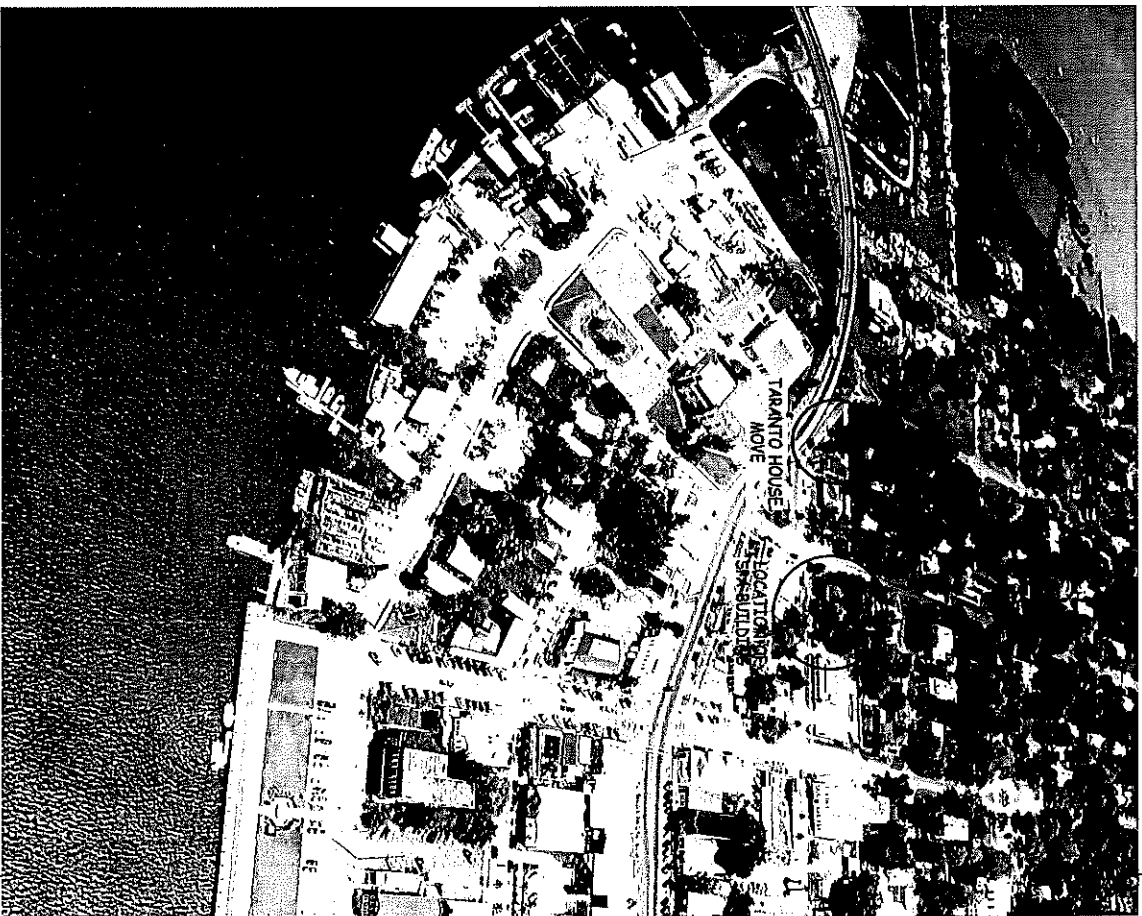
GIBSON SPA AND TARANTO MOVE
 NTS 9-11-2018

LOTS ARE 60' X 100'
 SPA IS 2 LOTS
 NO SETBACKS
 80% LOT COVERAGE

GIBSON INN / SPA & Taranto LOCATION

SCALE: AS SHOWN

DATE: OCTOBER, 2018



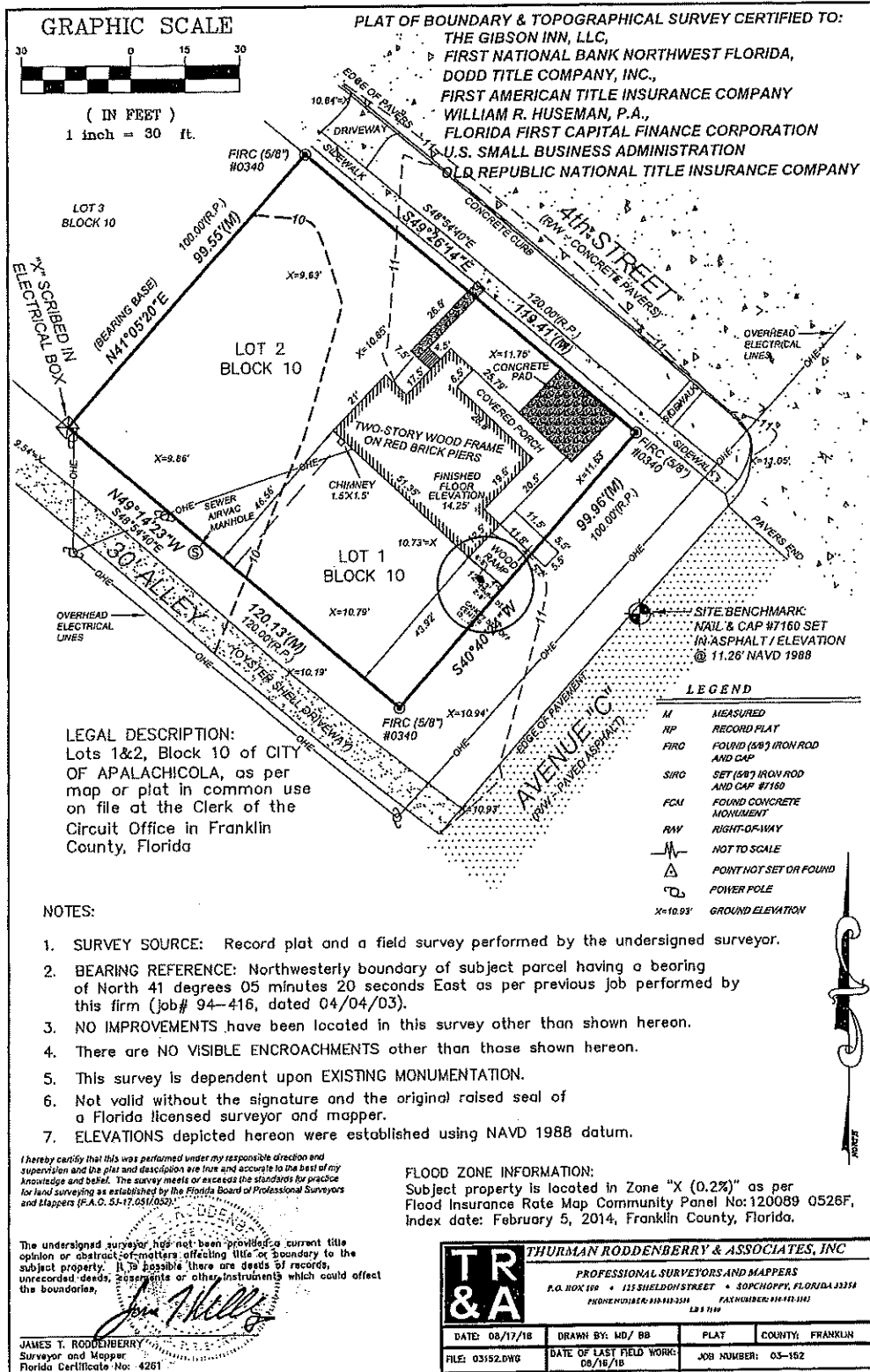
George coon inc

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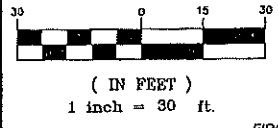
352 Sixth Street - Apalachicola · FL 32320 · (850)327 5898 · geor@georgecoon@gmail.com



AL



GRAPHIC SCALE



PLAT OF BOUNDARY & TOPOGRAPHICAL SURVEY CERTIFIED TO:
 THE GIBSON INN, LLC,
 FIRST NATIONAL BANK NORTHWEST FLORIDA,
 DODD TITLE COMPANY, INC.,
 FIRST AMERICAN TITLE INSURANCE COMPANY
 WILLIAM R. HUSEMAN, P.A.,
 FLORIDA FIRST CAPITAL FINANCE CORPORATION
 U.S. SMALL BUSINESS ADMINISTRATION
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

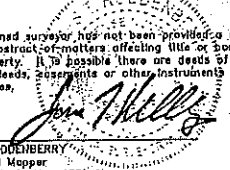
LEGAL DESCRIPTION:
 Lots 1&2, Block 10 of CITY
 OF APALACHICOLA, as per
 map or plat in common use
 on file at the Clerk of the
 Circuit Office in Franklin
 County, Florida

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northwesterly boundary of subject parcel having a bearing of North 41 degrees 05 minutes 20 seconds East as per previous job performed by this firm (job# 94-416, dated 04/04/03).
3. NO IMPROVEMENTS have been located in this survey other than those shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.S.-17-051/052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.



JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No. 4261

FLOOD ZONE INFORMATION:
 Subject property is located in Zone "X (0.2%) as per Flood Insurance Rate Map Community Panel No: 120089 0526F, index date: February 5, 2014, Franklin County, Florida.

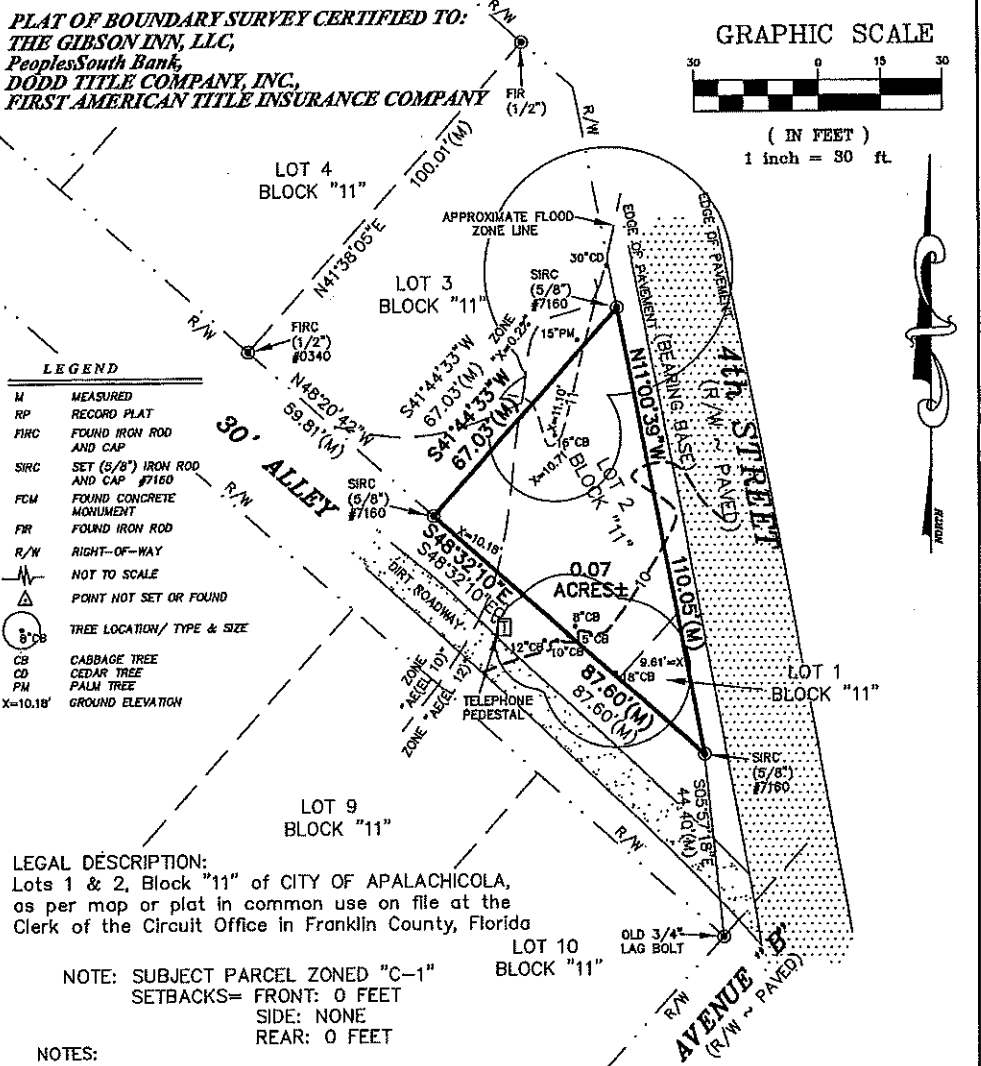
TR & A			
THURMAN RODDENBERRY & ASSOCIATES, INC			
PROFESSIONAL SURVEYORS AND MAPPERS			
P.O. BOX 150 • 115 SHIELDON STREET • SOPCHOPPY, FLORIDA 32354			
PHONE NUMBER: 910-943-2511		FAX NUMBER: 910-943-3182	
L.S. 8 7119			
DATE: 08/17/18	DRAWN BY: MD/BB	PLAT:	COUNTY: FRANKLIN
FILE: 03152.DWG	DATE OF LAST FIELD WORK: 08/16/18	JOB NUMBER: 03-152	

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
THE GIBSON INN, LLC,
PeoplesSouth Bank,
DODD TITLE COMPANY, INC.,
FIRST AMERICAN TITLE INSURANCE COMPANY

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.



LEGEND

M	MEASURED
RP	RECORD PLAT
FIRC	FOUND IRON ROD AND CAP
SIRC	SET (5/8") IRON ROD AND CAP #7160
FCM	FOUND CONCRETE MONUMENT
FR	FOUND IRON ROD
R/W	RIGHT-OF-WAY
△	POINT NOT SET OR FOUND
○	TREE LOCATION/ TYPE & SIZE
CB	CABBAGE TREE
CD	CEDAR TREE
PM	PALM TREE
X-10.18'	GROUND ELEVATION

LEGAL DESCRIPTION:
 Lots 1 & 2, Block "11" of CITY OF APALACHICOLA, as per map or plat in common use on file at the Clerk of the Circuit Office in Franklin County, Florida

NOTE: SUBJECT PARCEL ZONED "C-1"
 SETBACKS= FRONT: 0 FEET
 SIDE: NONE
 REAR: 0 FEET

- NOTES:**
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
 2. BEARING REFERENCE: Westerly right of way boundary of 4th Street having an assumed bearing of North 11 degrees 00 minutes 39 seconds East.
 3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
 4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
 5. This survey is dependent upon EXISTING MONUMENTATION.
 6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 11-17.001(15)).

FLOOD ZONE INFORMATION:
 Subject property is located in Zones "X-0.2%", "AE (EL 10 & 12)" as per Flood Insurance Rate Map Community Panel No: 120089 0526F, index date: February 5, 2014, Franklin County, Florida.

REVISED 06/19/18: CORRECTED SETBACKS TO C1 LOT-BB

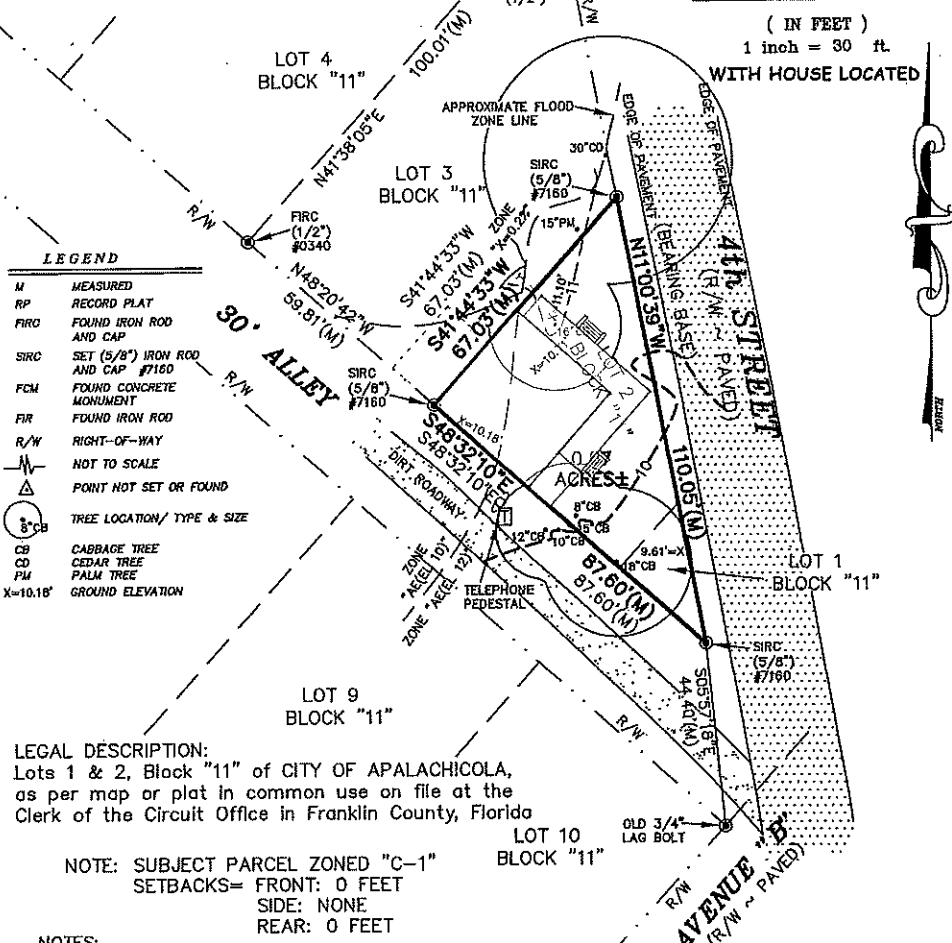
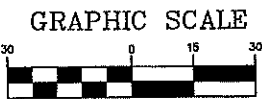
The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry
 JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4261

TR & A THURMAN RODDENBERRY & ASSOCIATES, INC
 PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 100 • 133 SHELDON STREET • SOPCHOPPY, FLORIDA 32333
 PHONE (NUMBER): 904-840-1511 FAX (NUMBER): 904-840-2111
 LA 8 7160

DATE: 06/15/18	DRAWN BY: BR	PLAT	COUNTY: FRANKLIN
FILE: 18300.DWG	DATE OF LAST FIELD WORK: 06/13/18	JOB NUMBER: 18-300	

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
THE GIBSON INN, LLC,
PeoplesSouth Bank,
DODD TITLE COMPANY, INC.,
FIRST AMERICAN TITLE INSURANCE COMPANY



- LEGEND**
- M MEASURED
 - RP RECORD PLAT
 - FIRC FOUND IRON ROD AND CAP
 - SIRC SET (5/8") IRON ROD AND CAP #7160
 - FCM FOUND CONCRETE MONUMENT
 - FIR FOUND IRON ROD
 - R/W RIGHT-OF-WAY
 - NTS NOT TO SCALE
 - △ POINT NOT SET OR FOUND
 - TREE LOCATION/ TYPE & SIZE
 - CB CABBAGE TREE
 - CD CEDAR TREE
 - PM PALM TREE
 - X=10.18' GROUND ELEVATION

LEGAL DESCRIPTION:
 Lots 1 & 2, Block "11" of CITY OF APALACHICOLA,
 as per map or plat in common use on file at the
 Clerk of the Circuit Office in Franklin County, Florida

NOTE: SUBJECT PARCEL ZONED "C-1"
 SETBACKS= FRONT: 0 FEET
 SIDE: NONE
 REAR: 0 FEET

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Westerly right of way boundary of 4th Street having an assumed bearing of North 11 degrees 00 minutes 39 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. SJ-17.051/052).

FLOOD ZONE INFORMATION:
 Subject property is located in Zones "X-0.2%", "AE (EL 10 & 12)" as per Flood Insurance Rate Map Community Panel No:120089 0526F, index date: February 5, 2014, Franklin County, Florida.

REVISED 06/19/18: CORRECTED SETBACKS TO C1 LOT-BB

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4261

TR & A	THURMAN RODDENBERRY & ASSOCIATES, INC		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 198 • 115 SHILTON STREET • SOPCHOPPY, FLORIDA 32316 PHONE NUMBER: 904-945-3111 FAX NUMBER: 904-945-3111 LB 1 7168		
DATE: 06/15/18	DRAWN BY: BB	PLAT	COUNTY: FRANKLIN
FILE: 18302.DWG	DATE OF LAST FIELD WORK: 06/13/18	JOB NUMBER: 18-300	

AREA LOCATION:
 HISTORIC APALACHICOLA,
 C-1 GENERAL COMMERCIAL DOWNTOWN
 PLANNED PERMITTED USES
 (3) Offices, Studios

AREA INCLUDES LOTS 1&2 combined legally as 1
 TOTAL LOT AREA = 2,915 SP
 LOT COVERAGE 68%
 Parking is gravel
 All site is considered pervious

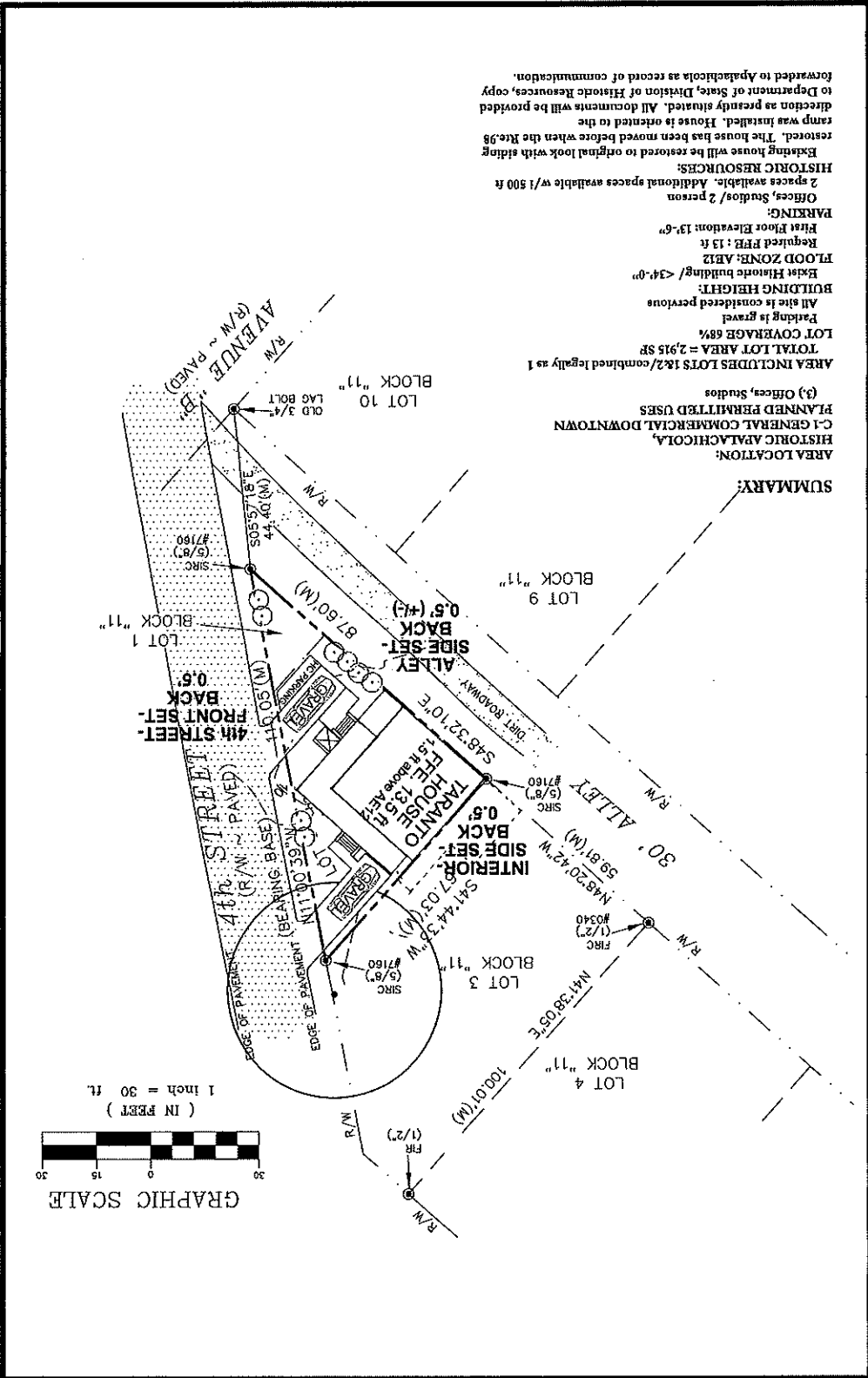
BUILDING HEIGHT:
 Under Historic building / <34'-0"

FLOOD ZONE: ARI2
 Required FFE: 13 ft
 First Floor Elevation: 13'-6"

PARKING:
 Offices, Studios / 2 person
 2 spaces available. Additional spaces available w/ 1 500 ft

HISTORIC RESOURCES:
 Existing house will be restored to original look with siding restored. The house has been moved before when the Kie. 98 ramp was installed. House is oriented to the direction as presently situated. All documents will be provided to Department of State, Division of Historic Resources, copy forwarded to Apalachicola as record of communication.

SUMMARY:



GIBSON INN / TARANTO SITE

SCALE: AS SHOWN

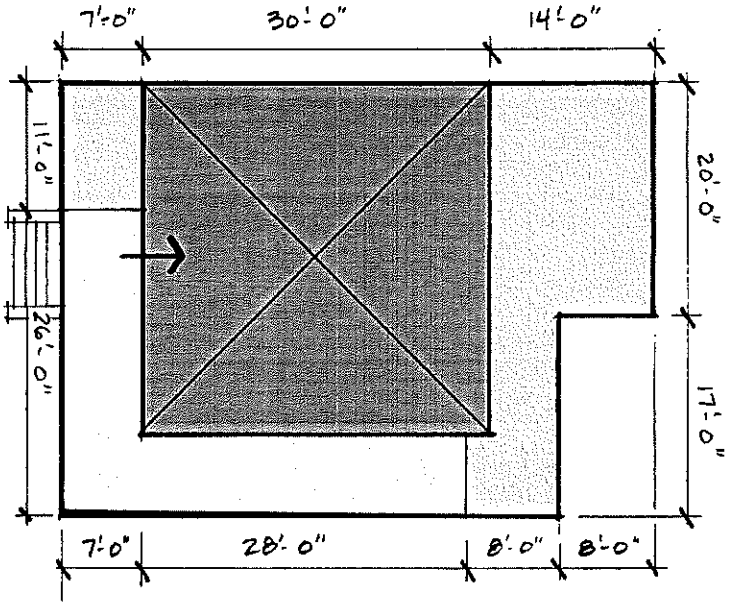
DATE: OCTOBER, 2018

george coon inc

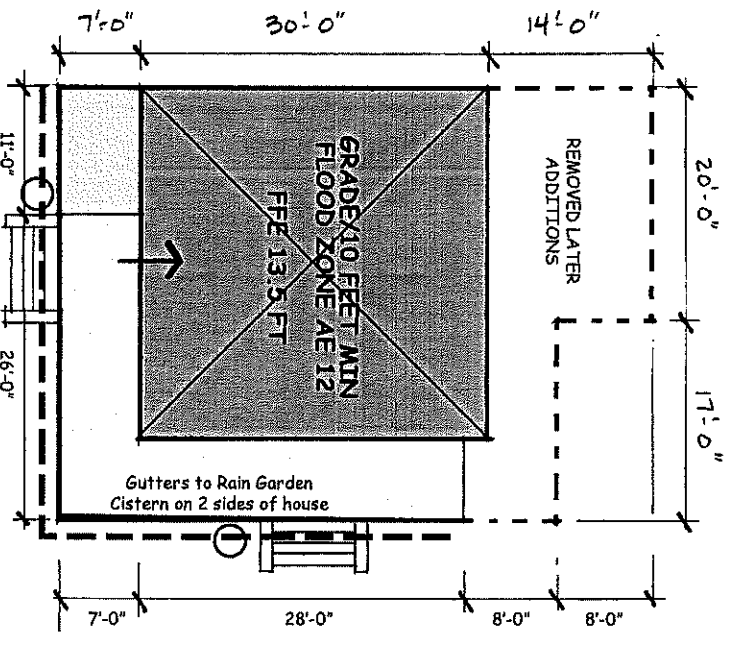
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TARANTO HOUSE EXISTING
SCALE: 3/32"



TARANTO HOUSE WITH REMOVED ADDITIONS
SCALE: 3/32"

STRUCTURAL PIERS WILL BE LIKE EXISTING, CONCRETE PIERS BRICK CLAD, ENSURING HOUSE IS ABOVE AE12 FLOOD ZONE REQUIREMENTS

GIBSON INN / TARANTO SITE

SCALE: AS SHOWN

DATE: OCTOBER, 2018

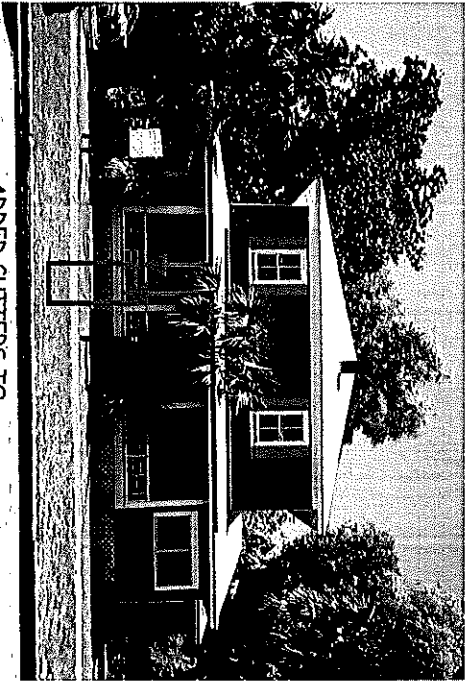
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AIA



ADDED GUTTERS TO
RAIN BARREL

FOURTH STREET VIEW



GUTTERS ADDED

ADDED GUTTERS TO
RAIN BARREL

FRONT VIEW

GIBSON INN / TARANTO SITE

SCALE: AS SHOWN

DATE: OCTOBER, 2018

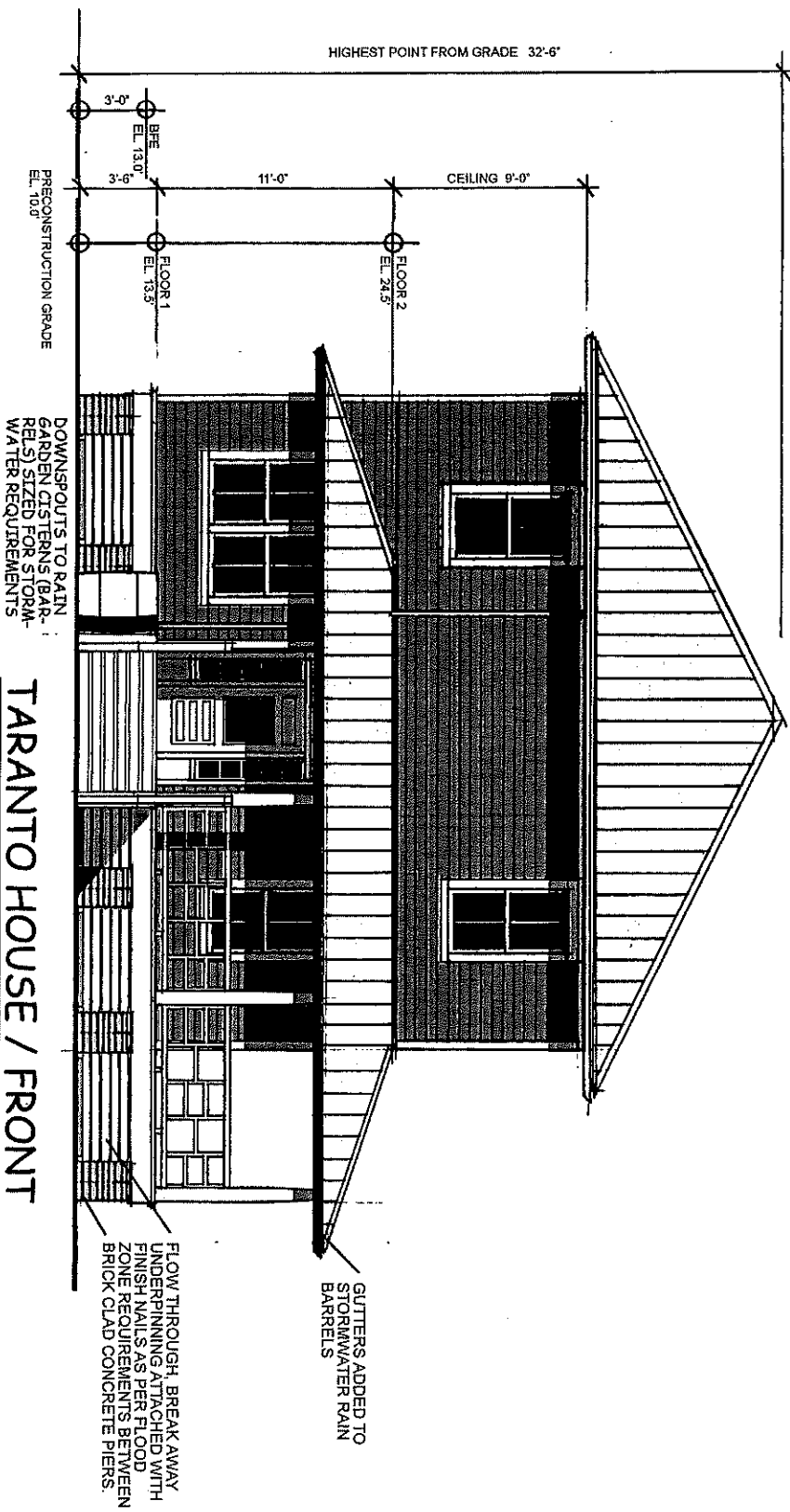
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A2



TARANTO HOUSE / FRONT
SCALE: 3/16"

GIBSON INN / TARANTO SITE

SCALE: AS SHOWN DATE: OCTOBER, 2018

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A3



CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION

HISTORIC DISTRICT

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

Owner GIBSON INN LLC
Address 433 Cape San Blas RD
City Port St. Joe State FL Zip 32456
Phone (850) 312-8339

CONTRACTOR INFORMATION

State License # Not yet determined
City License # _____ County License # _____
Email Address _____
Phone (_____) _____

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: _____

PROPERTY INFORMATION:

Street Address: 53 Ave C City & State: Apalachicola, FL Zip 32320

Historic District Non-Historic District
01-09S-08W-0010-0010 Zoning District C-1
Parcel #: 01-09S-08W-0010-0020 Block(s) Block 10 Lots 1&2

FEMA Flood Zone/Panel #: Zone 0.2 PCT
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

(Chairperson, Apalachicola Planning & Zoning Board)

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Corri Bankston
Permitting and Development Coordinator
(850) 653-1522 (ext 205) Phone
(850)653-5023 Cell
corribankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

The building is called the Gison SPA. It will have a small (720sf) rental public function, with remaining areas devoted to Hotel client uses and the 12 rooms in upper floors. A pool is provided for this building and the Gibson Inn. All Building Codes will be adhered to, as will all related Apalachicola Land Development codes.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		Cementitious lap siding & board and batten	
Doors		Not Specified but designed	
Windows		Not Specified but designed	
Roofing		Galvalume Low Profile Standing Seam or 5 V-Crimp. Not yet determined.	
Trim		Min. 3/4" thick Hardi Board (or similar) cementitious boards, various widths.	
Foundation		1'-0" Solid raised slab with wood flooring.	
Shutters		Custom	
Porch/Deck		Either KDAT boards or concrete. KDAT Pool deck	
Fencing		4th Street pool fence is designed as a 2 part pergolla to allow 5' wide planter for pool fence	
Driveways/Sidewalks		Gravel driveways and delivery. Gravel parking along Ave C where it presently exists. Concrete sidewalks	
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is/are the true and proper identification of the area of this petition.
2. I We authorize staff from the City of Apalachicola and the Planning and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work.**
11. I We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is a violation of any association rule or regulation.

10-29-2018

DATE



SIGNATURE OF APPLICANT

George Coon, Designer (British registered)
with Lucas Associates Architects, P.C.
L. Franklyn Lucas, Jr., AIA, LEED AP

EPCI
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: _____ Permit #: _____ Permit Fee: _____

OWNER'S NAME: Gibson Inn LLC

ADDRESS: 433 Cape San Blas Rd.

CITY, STATE & ZIP CODE: Port St Joe, FL 32456 PHONE #: (850) 312-8330

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): Not Applicable (NA)

ADDRESS: NA

CITY, STATE & ZIP CODE: NA PHONE #: NA

CONTRACTOR'S NAME: Not yet determined

ADDRESS: NA

CITY, STATE & ZIP CODE: _____ PHONE #: _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD #: _____

ADDRESS OF PROJECT: 53 Ave C, Apalachicola, FL 32320

PROPOSED USE OF SITE: SPA, Hotel, Pool

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? X YES
NO

PROPERTY PARCEL ID# 01-095-08W-8330-0010-0010
01-095-08W-8330-0010-0020

LEGAL DESCRIPTION OF PROPERTY: BL 10 LOTS 1-2 CITY APALACHICOLA 835/744835

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: Gibson Inn LLC

ADDRESS: As Above CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: Lucas Associates Architects P.C. (George Coon)

ADDRESS: 252 6th Street CITY, STATE & ZIP: Apalach, FL 32320

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial
 Duplex Swimming Pool Storage Sign
 Multi-Family Demolition Other

Addition, Alteration or Renovation to building. Phase 2, Taranto House

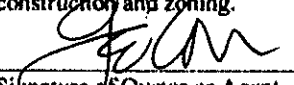
Distance from property lines: Front (Ave C) 0 ft Rear 50 ft L. Side (Alley) 13 ft
R. Side (4th St) 2 ft

Cost of Construction \$ ND Square Footage 3,320 foot print
EPI SCE Engineers Flood Zone 0.2 PCT Lowest Floor Elevation FFE +12 (+1' Grade)
Area Heated/Cooled 7,500 sf # Of Stories 3 # Of Units 12 Units
Type of Roof Galvalume SS Type of Walls 2x6 frame/concrete Type of Floor Framed or concrete
Extreme Dimensions of: Length 84 ft Height 35 ft max Width 54

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.



Signature of Owner or Agent
George Coon for Owner
Date: 10-29-2018

Not Determined

Signature of Contractor
Date: _____

Notary as to Owner or Agent

Notary as to Contractor

My Commission expires: _____

My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name GIBSON INN, LLC				Policy Number:	
A2. Building Street Address (Including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4TH STREET				Company NAIC Number:	
City APALACHICOLA	State Florida	ZIP Code 32320			
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOTS 1 & 2, BLOCK "10" OF THE CITY OF APALACHICOLA					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>NON-RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>29.72571</u> Long. <u>-84.98389</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>5</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>0.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>000</u>					
c) Total net area of flood openings in A8.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>000</u>					
c) Total net area of flood openings in A9.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF APALACHICOLA 120089			B2. County Name FRANKLIN		B3. State Florida
B4. Map/Panel Number 12037C 0526	B5. Suffix F	B6. FIRM Index Date 02-05-2014	B7. FIRM Panel Effective/ Revised Date 02-05-2014	B8. Flood Zone(s) X-0.2%	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) N/A
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4TH STREET			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32320	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
 Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
 Benchmark Utilized: 11.26 FEET Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

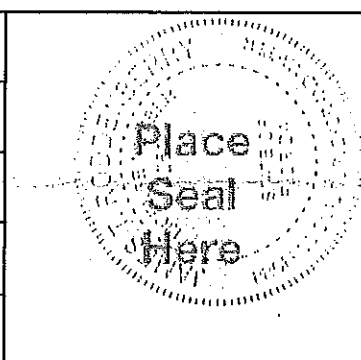
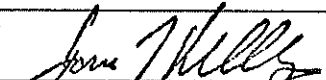
Check the measurement used.

- | | | | |
|---|--------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | <u>14.25</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | <u>24.25</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | <u>16.45</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>10.73</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>11.63</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

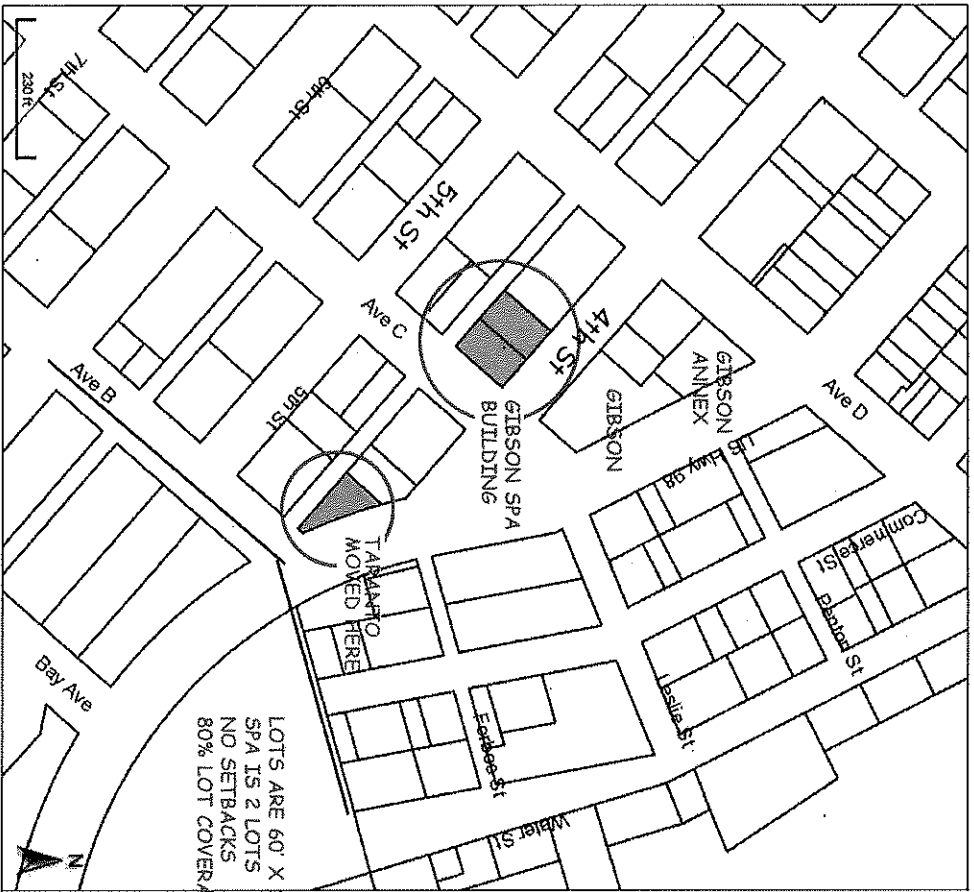
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name JAMES T. RODDENBERRY	License Number 4261		
Title PRESIDENT			
Company Name THURMAN RODDENBERRY AND ASSOCIATES, INC.			
Address PO BOX 100/ 125 SHELDON STREET			
City SOPCHOPPY	State Florida		ZIP Code 32358
Signature 	Date 11-20-2018	Telephone (850) 962-2538	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
 JOB#03-152 PSC#1666



GIBSON SPA AND TARANTO MOVE
 NTS 9-11-2018

LOTS ARE 60' X 100'
 SPA IS 2 LOTS
 NO SETBACKS
 80% LOT COVERAGE

GIBSON INN / SPA & Taranto LOCATION

SCALE: AS SHOWN

DATE: OCTOBER, 2018

george coon inc

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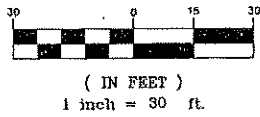
132 Sixth Street - Apalachicola - FL 32320 - (850)227 8398 - georgecoon@gmail.com

Architectural
 Planning
LUCAS
 ASSOCIATES
 ARCHITECTS

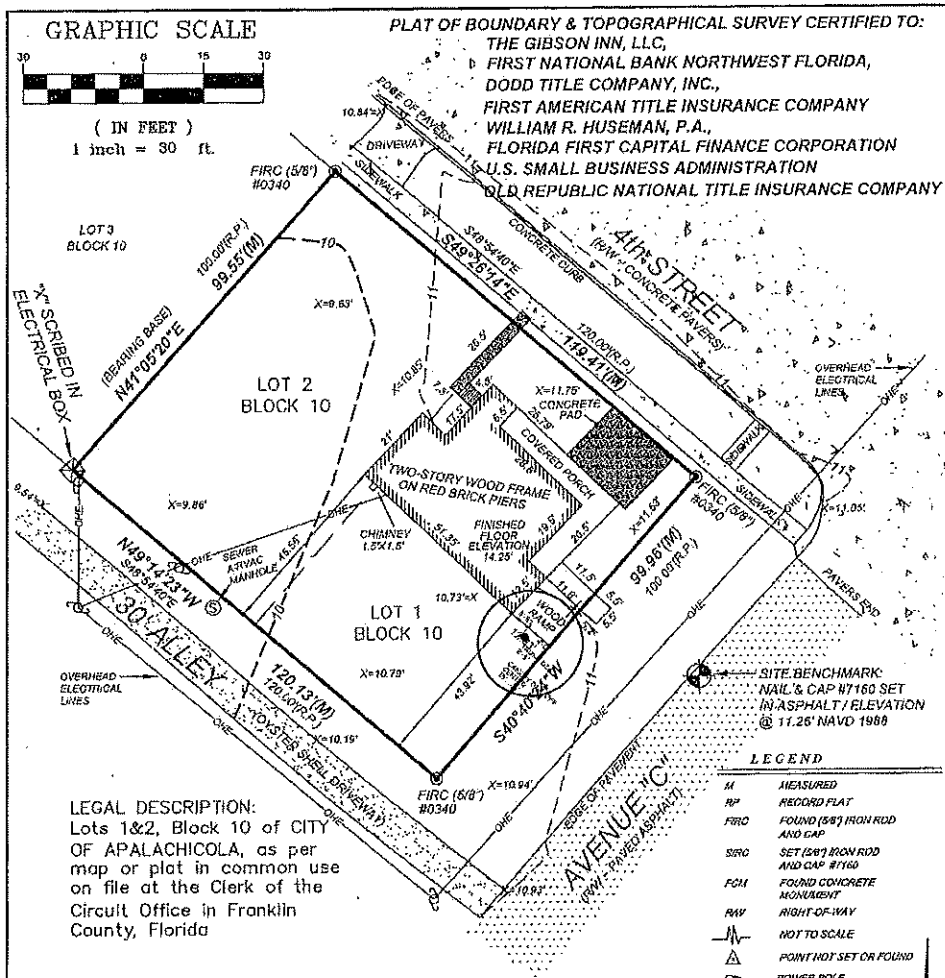
AL



GRAPHIC SCALE



PLAT OF BOUNDARY & TOPOGRAPHICAL SURVEY CERTIFIED TO:
 THE GIBSON INN, LLC,
 FIRST NATIONAL BANK NORTHWEST FLORIDA,
 DODD TITLE COMPANY, INC.,
 FIRST AMERICAN TITLE INSURANCE COMPANY
 WILLIAM R. HUSEMAN, P.A.,
 FLORIDA FIRST CAPITAL FINANCE CORPORATION
 U.S. SMALL BUSINESS ADMINISTRATION
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY



LEGAL DESCRIPTION:
 Lots 1&2, Block 10 of CITY OF APALACHICOLA, as per map or plat in common use on file at the Clerk of the Circuit Office in Franklin County, Florida

LEGEND

M	MEASURED
RP	RECORD PLAT
FIRC	FOUND (5/8") IRON ROD AND CAP
SIRC	SET (2") IRON ROD AND CAP #1160
FCM	FOUND CONCRETE MONUMENT
RW	RIGHT-OF-WAY
HTS	HOT TO SCALE
△	POINT NOT SET OR FOUND
⊕	POWER POLE
X=10.8'	GROUND ELEVATION

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northwesterly boundary of subject parcel having a bearing of North 41 degrees 05 minutes 20 seconds East as per previous job performed by this firm (job# 94-416, dated 04/04/03).
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mopper.
7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 58-17.001(2)(b)).

The undersigned surveyor has not been provided a current title opinion or abstract, matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry
 JAMES T. RODDENBERRY
 Surveyor and Mopper
 Florida Certificate No. 4261

FLOOD ZONE INFORMATION:
 Subject property is located in Zone "X (0.2%)" as per Flood Insurance Rate Map Community Panel No. 120089 0526F, index date: February 5, 2014, Franklin County, Florida.

TR & A	THURMAN RODDENBERRY & ASSOCIATES, INC.		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 109 • 125 S.W. 4TH STREET • SOPCHOPPE, FLORIDA 32334 PHONE NUMBER 904-331-1111 FAX NUMBER 904-331-1111 EMB # 116		
DATE 06/17/18	DRAWN BY: MD/BB	PLAT	COUNTY: FRANKLIN
FILE 03152.DWG	DATE OF LAST FIELD WORK: 06/16/18	JOB NUMBER: 03-152	

SUMMARY

MAXIMUM BUILDING RESTRICTIONS

ZONING C-1 / FLOOD ZONE 10.2
 IMPERVIOUS AREA INCLUDING
 POOL & PAVERS 7,400SF
 LOT AREA 12,000SF
 LOT COVERAGE ALLOWED 80%
 LOT COVERAGE PROVIDED 62%
 BUILDING HEIGHT ALLOWED 35 FEET
 BUILDING HEIGHT DESIGNED 35 FEET

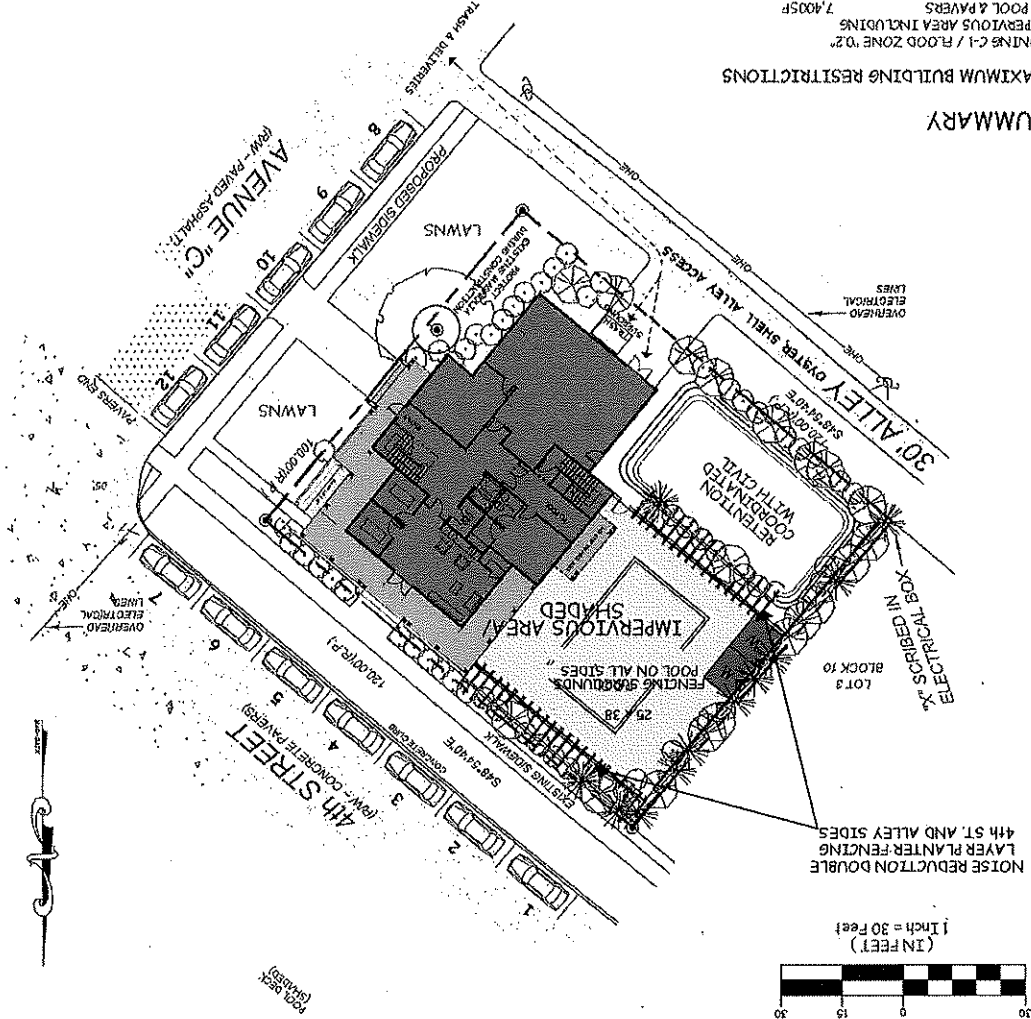
REQUIRED PARKING

DWELLING/ONE (1) SPACE PER UNIT = 12 SPACES
 EMPLOYEE/ ONE (1) SPACE PER 2 EMPLOYEES = 1 SPACE
 SPA AND SALON - ONE (1) SPACE PER 500 SQ FT = 4 SPACES
 TOTAL REQUIRED PARKING: 17 SPACES
 PARKING PROVIDED: 12 SPACES

9 ADDITIONAL PARKING SPACES ARE AVAILABLE ACROSS AVENUE "C" BY MITIGATION.

STORM WATER MANAGEMENT

SECTION VIII - PROVIDE FLOOD PROTECTION FOR 25-YEAR/ 24 HOUR DURATION
 STORM EVENT SHALL BE PROVIDED BY DETENTION FACILITY
 STORM WATER MANAGEMENT PROVIDED BY CIVIL ENGINEERING FIRM/ TO
 PROVIDE FULL DETENTION AND STORM WATER DESIGN SERVICES.



GIBSON INN / SPA SITE

SCALE: AS SHOWN

DATE: OCTOBER, 2018

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AO

GIBSON INN / SPA BUILDING

SCALE: AS SHOWN

DATE: OCTOBER, 2018

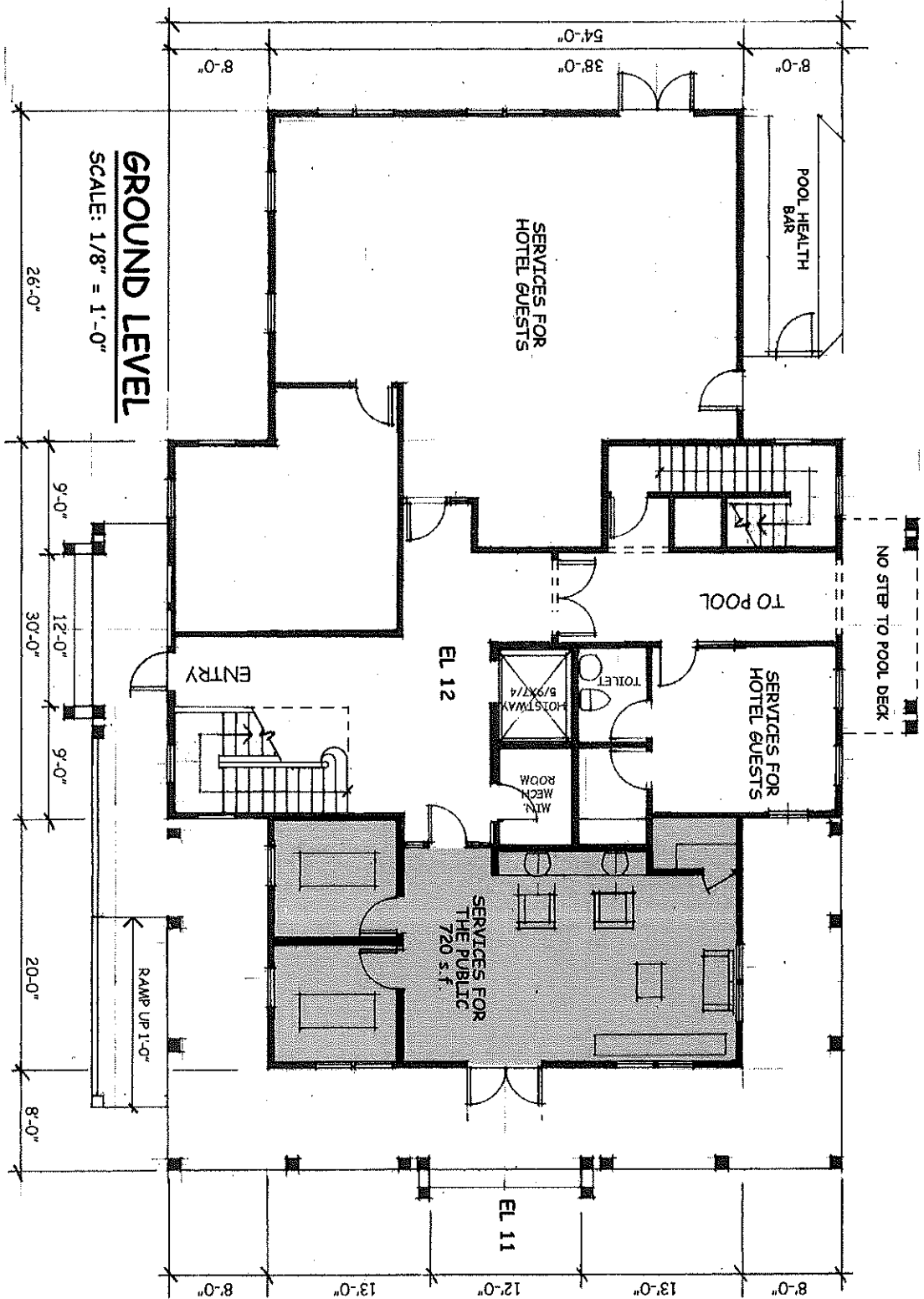
George coon inc

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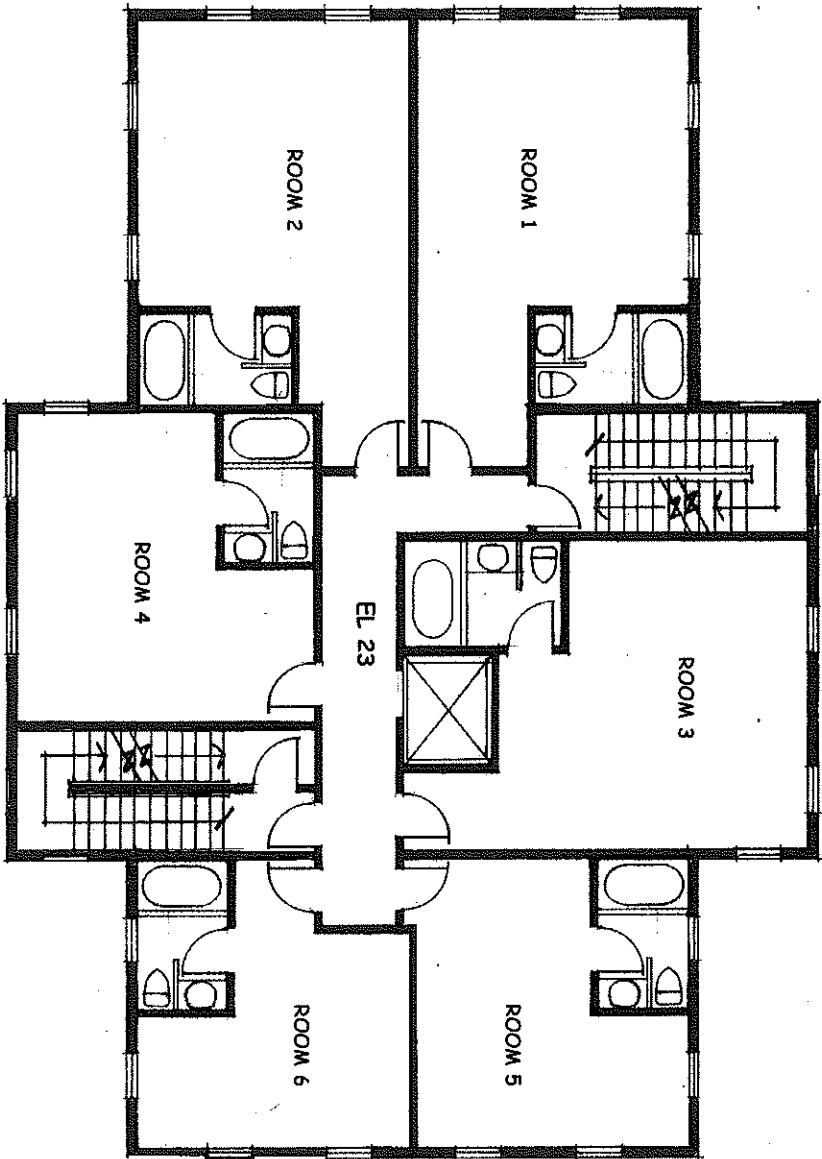
152 Swift Street, Appalachicola - FL 32320 - (850) 227 6398 - georgecoon@gmail.com



A2



GROUND LEVEL
SCALE: 1/8" = 1'-0"



2ND FLOOR LEVEL

SCALE: 1/8" = 1'-0"

GIBSON INN / SPA BUILDING

SCALE: AS SHOWN

DATE: OCTOBER, 2018

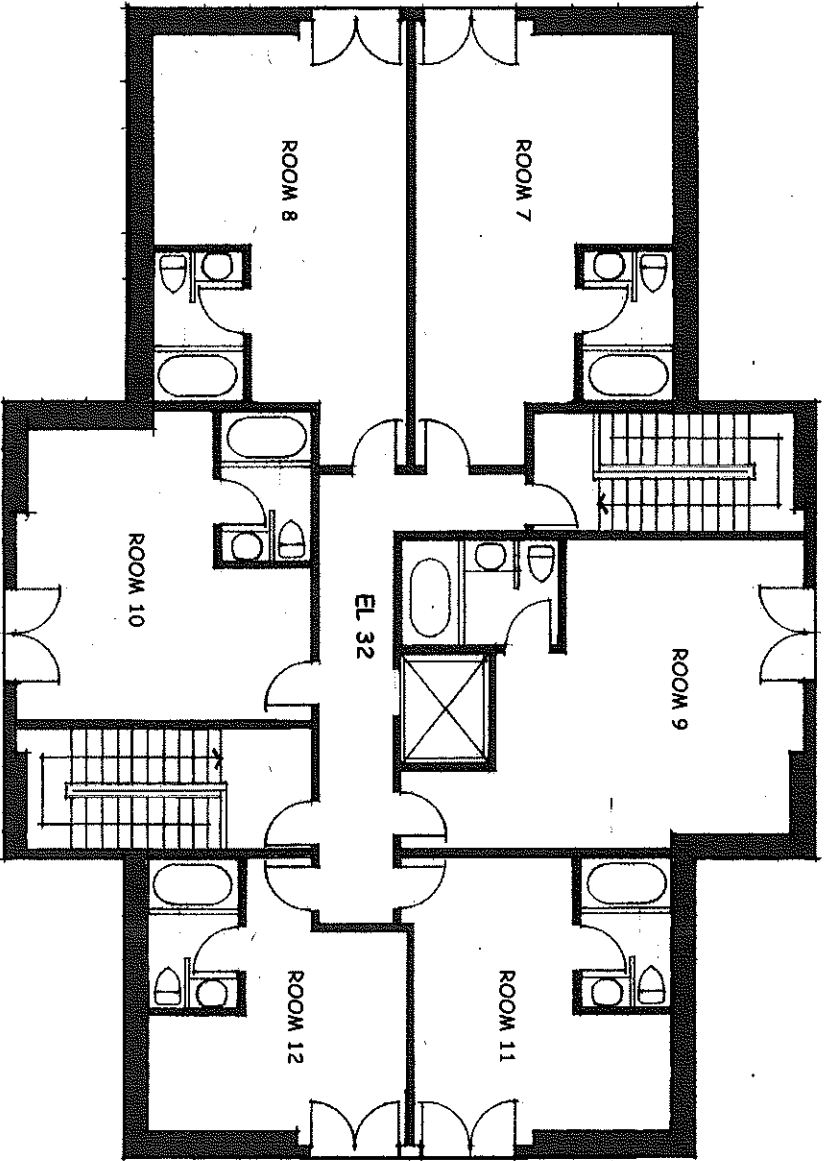
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A3



3RD FLOOR LEVEL
SCALE: 1/8" = 1'-0"

GIBSON INN / SPA BUILDING

SCALE: AS SHOWN

DATE: OCTOBER, 2018

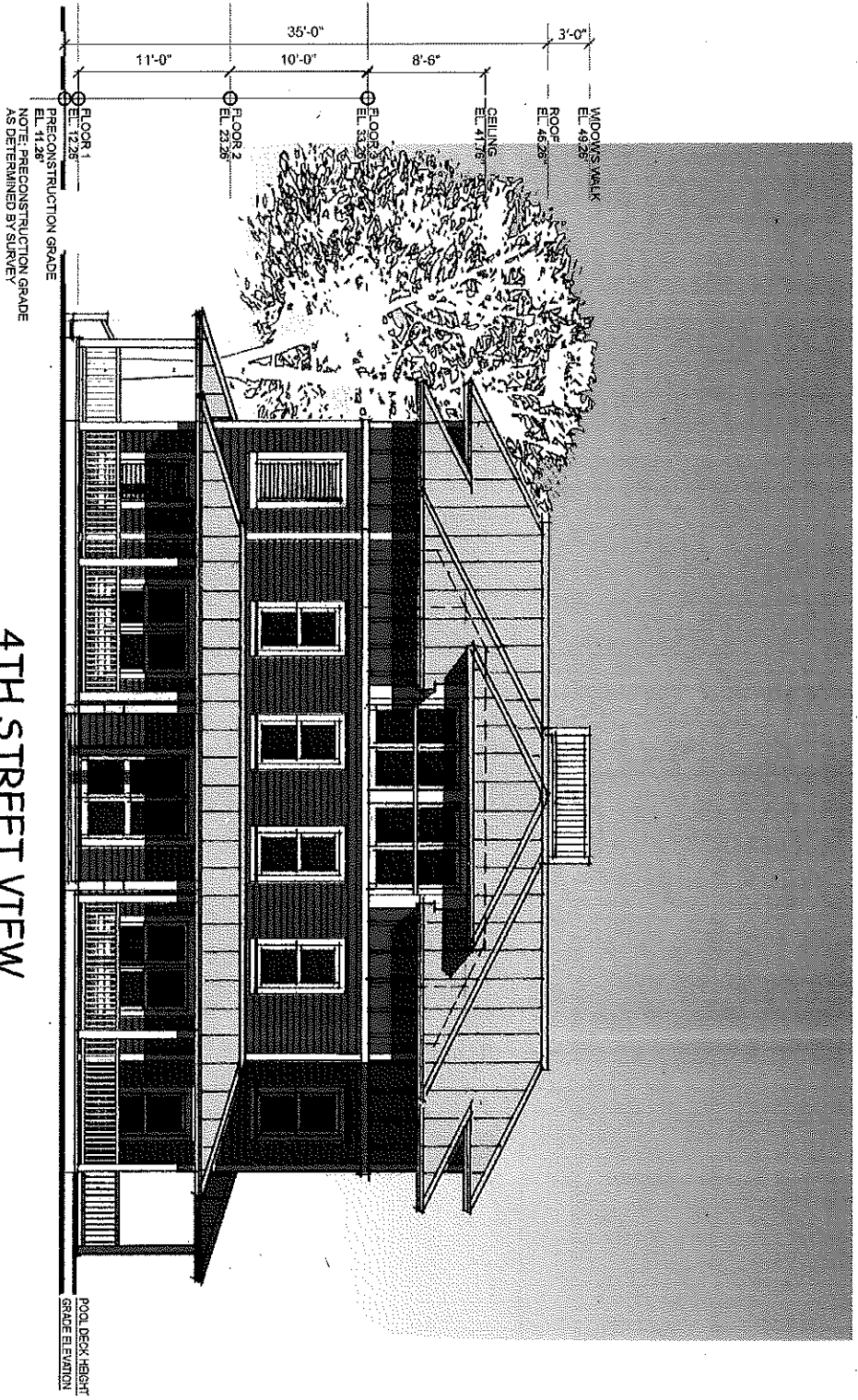
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A4



4TH STREET VIEW
SCALE: 1/8"

GIBSON INN / SPA BUILDING

SCALE: AS SHOWN

DATE: AUGUST 27, 2018

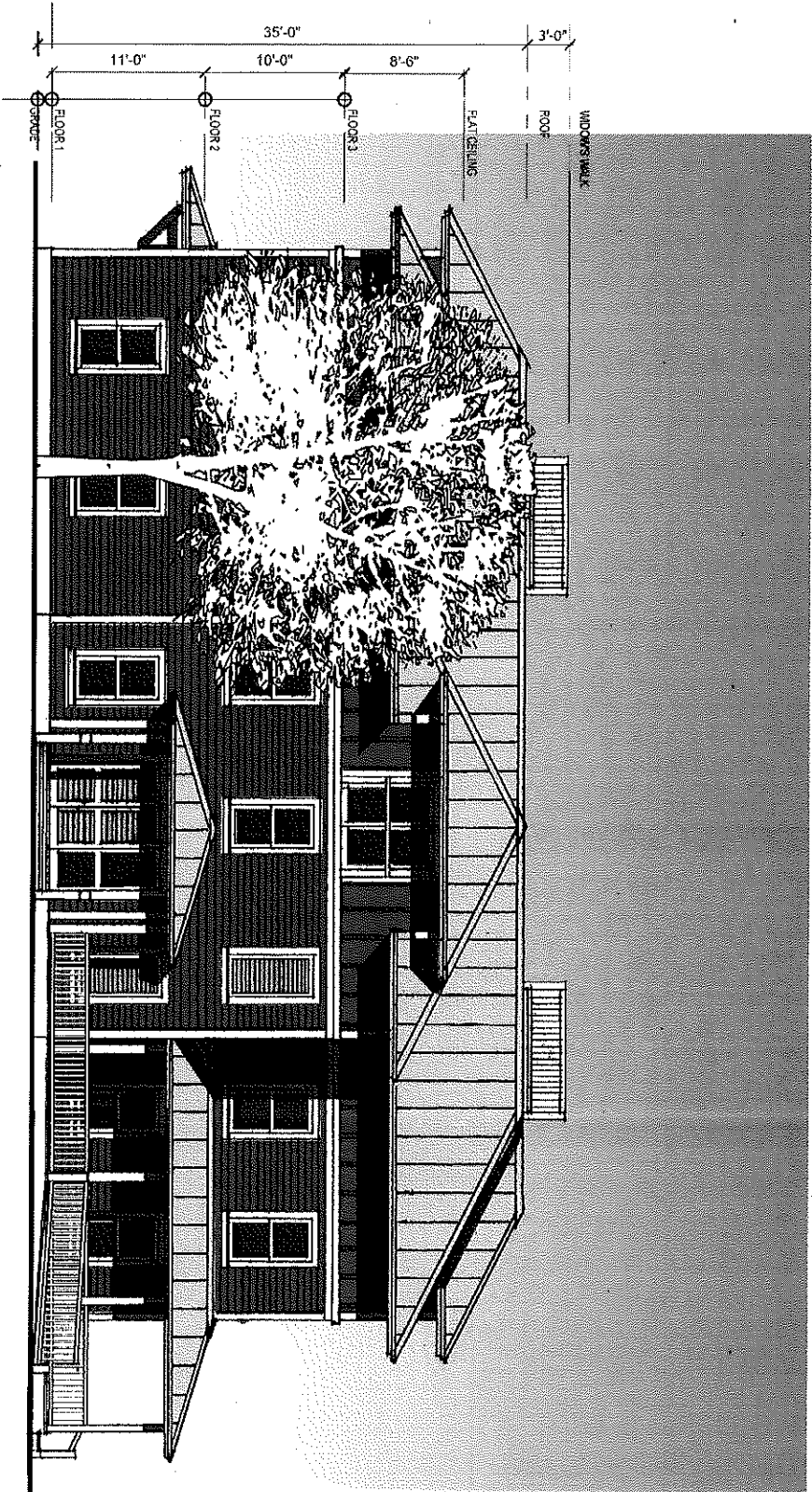
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A6



AVENUE "C" VIEW
SCALE: 1/8"

GIBSON INN / SPA BUILDING

SCALE: AS SHOWN

DATE: AUGUST 27, 2018

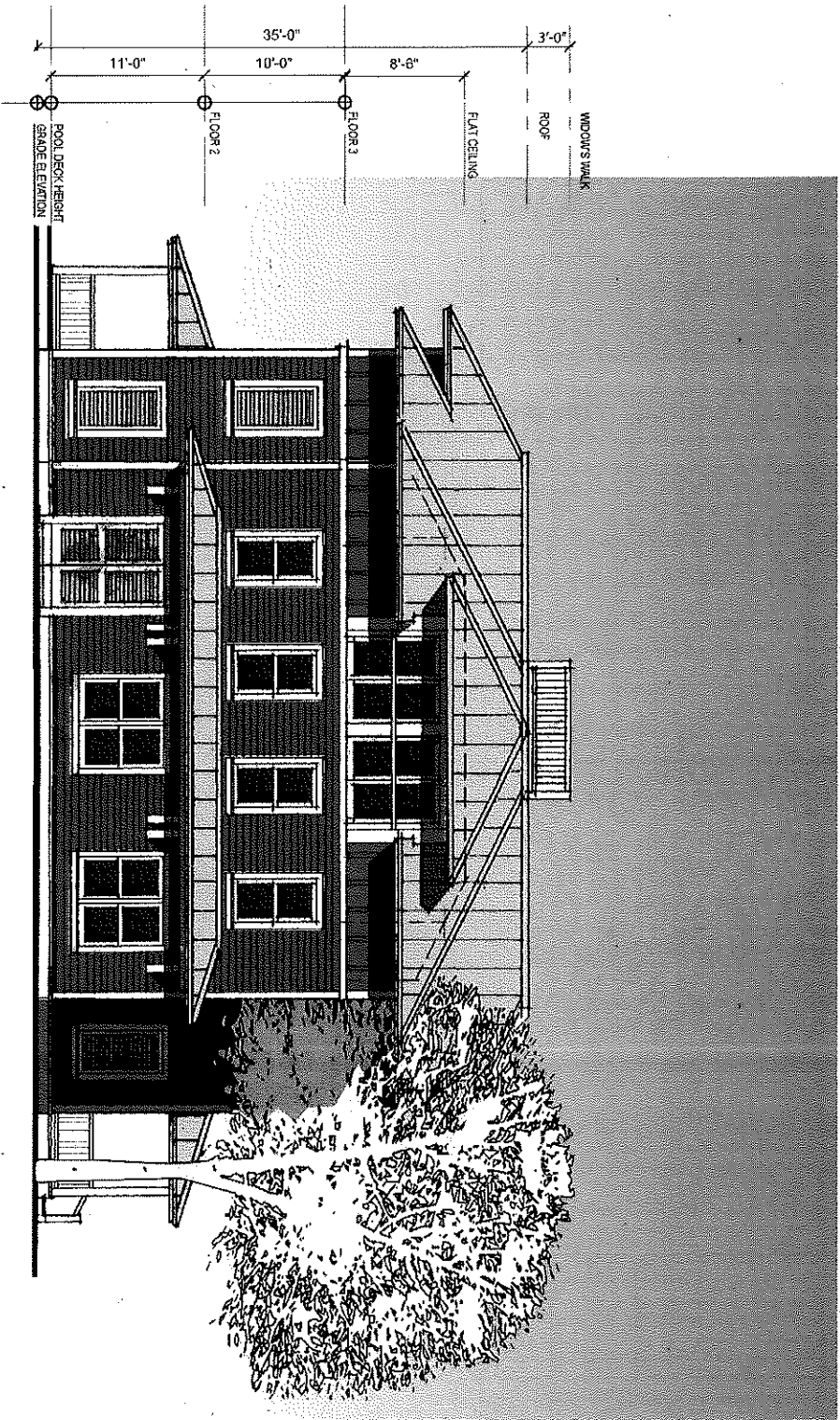
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Architecture
Planning
LUCAS
Associates
Architects

A7



ALLEY VIEW / SERVICE
SCALE: 1/8"

GIBSON INN / SPA BUILDING

SCALE: AS SHOWN

DATE: AUGUST 27, 2018

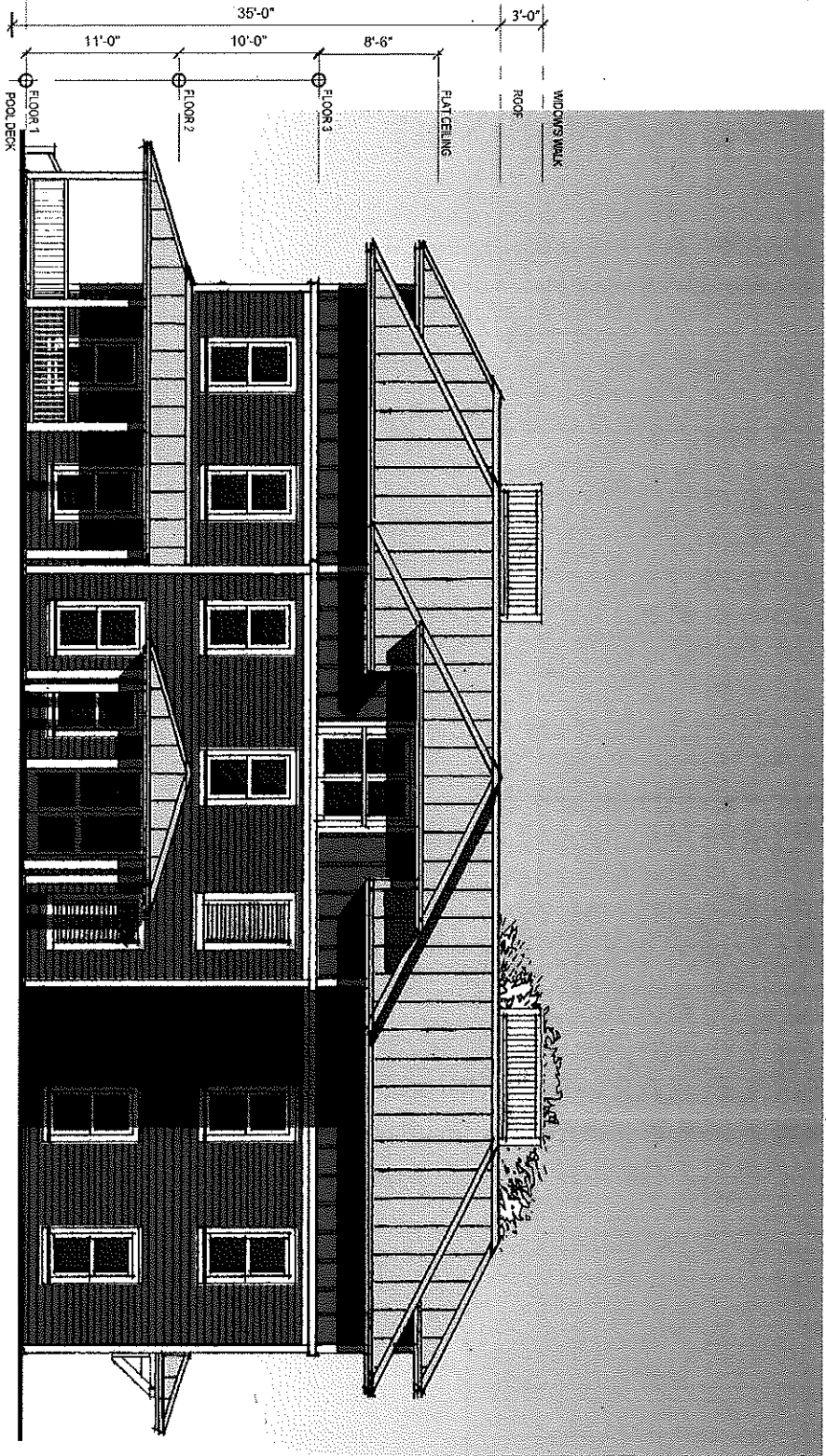
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Structural
Planning
Interior
LUCAS
ASSOCIATES
ARCHITECTS

A8



POOL SIDE VIEW
SCALE: 1/8"

GIBSON INN / SPA BUILDING

SCALE: AS SHOWN

DATE: AUGUST 27, 2018

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A9

STORMWATER ANALYSIS REPORT

Gibson Inn Spa and Pool
Apalachicola, Florida

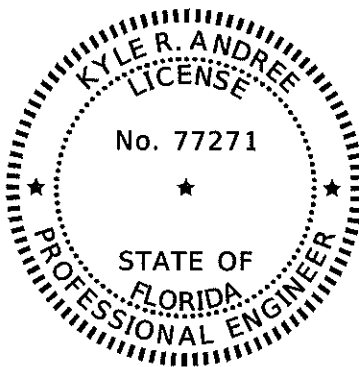
November 21, 2018

CLIENT:

Gibson Inn, LLC
433 Cape San Blas Road
Port St. Joe, FL 32456

PREPARED BY:
INOVIA CONSULTING GROUP

2015 Centre Point Blvd., Suite 103
Tallahassee, FL 32308
CA8225



Kyle R Andree

2018.11.21

15:16:24 -05'00'



GIBSON INN SPA AND POOL

November 21, 2018

STORMWATER ANALYSIS NARRATIVE

General

The project includes three (3) parcels within the City of Apalachicola. The parcels are located at the intersection of 4th Street and Avenue C and the intersection of 4th Street and Avenue B.

The project will include relocating the existing Taranto building from the parcel at the intersection of 4th Street and Avenue C to the parcel located at the intersection of 4th Street and Avenue B. Improvements will also include the construction of a 2.5 story, 3,320 square foot building with pool and associated on-street parking on the previous Taranto Building site.

Stormwater

There are no facilities located onsite.

Proposed onsite stormwater will be addressed within the redevelopment through the utilization of one stormwater management facility (SWMF). This facility will discharge to an existing inlet located at the northwest corner of the intersection of 4th Street and Avenue C. The facility has been designed in accordance with the stormwater standards City of Apalachicola Land Use Code and Northwest Florida Water Management District (NFWWMD).

Water Quality Treatment

The SWMF will be constructed behind the proposed building on the northwest side of the project area and will provide treatment for the project parcels. According to the stormwater treatment standards for NFWWMD, the SWMF must provide treatment volume for either one inch of rainfall over the contributing basin area, or one half (0.5) inches of runoff over the basin area. Since the off-site area will not be captured in the proposed SWMF, compensating treatment volume for the off-site impervious has been provided. The maximum treatment volume, using the two NFWWMD standards, is 1,076 cubic feet. The proposed SWMF will contain the treatment volume below elevation 9.0 (See Section B, Stage Storage & Treatment Volume Calculations). The volume will be recovered within the required 72 hours via a proposed sand filter (See Section B, Sand Filter Calculations).

Stormwater Management Facility

The proposed stormwater management facility will be constructed with vertical retaining walls. The pond bottom will be at an elevation of 8.0.0 feet and the top-of-wall elevation will be 12.0 feet. The SWMF will utilize an FDOT Type 'C' inlet as the control structure with one (1) 3-inch orifice at an elevation at 11.0 feet and the top at elevation 11.5 feet. An emergency spillway will be constructed across the wall along the northwestern edge of the pond, with a crest elevation of 11.75 feet. The concrete spillway will be four (4) feet wide and will serve as an emergency spillway for storms greater than the 100-year event.

Per the Advanced ICPR4 model, the maximum stage of the facility in all storms, up to and including the 25yr 24hr storm, is at an elevation of 11.24 feet during the 25yr 8hr storm event (See Section B, Pre-Post Comparison Report).

Stormwater Runoff Attenuation

Calculations for peak pre-development (pre) and post-development (post) stormwater runoff were prepared using the SCS Runoff Curve Number Method. The pre and post Curve Number (CN) was based on a hydrologic soil group of 'A' (See Section B, Basin Calculations).

As required by City of Apalachicola Land Use Code and NFWFMD, Advanced ICPR4 (ICPR) routing software was used to compare the peak runoff rates for pre and post up to and including the 25yr 24 hr storm event (See Section B, Pre-Post Comparison Report).

GIBSON INN SPA AND POOL

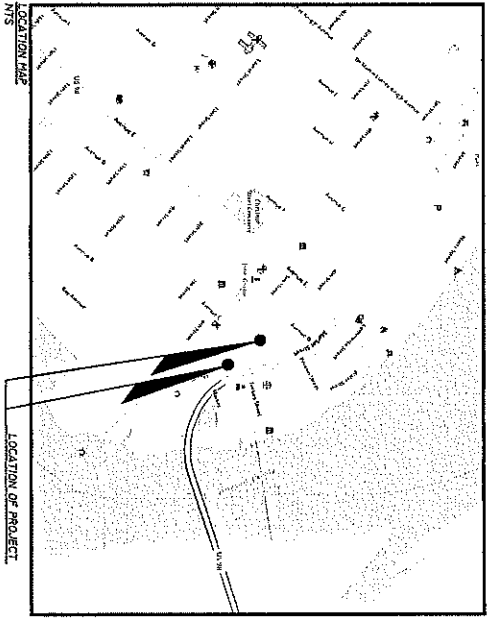
APALACHICOLA, FLORIDA

PREPARED FOR:
GIBSON INN, LLC

MAJOR COMMISSIONERS
VAN JOHNSON
BRENDA ASH
MICHIEL BARTLEY
CITY MANAGER
RON WALLEY
CITY ADMINISTRATOR
LEE WATERS

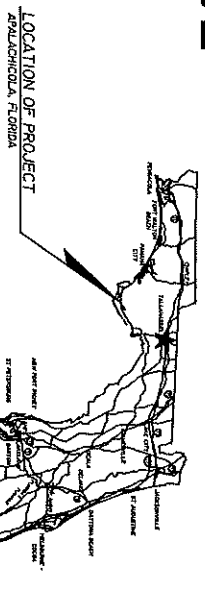
OWNER/RESPONSIBLE AUTHORITY
GIBSON INN, LLC
435 CAFE SAN BLAS ROAD
PORT ST. JOE, FL 32456

PROJECT TEAM
ENGINEER OF RECORD
INOVA CONSULTING GROUP
2015 CENTRE POINT BOULEVARD, SUITE 103
TALLAHASSEE, FLORIDA 32308
(850) 298-4232 P.E. NO. 77271
KYLE R. ANDREE, P.E.
SUPERVISOR OF RECORD
THURMAN ROODENBERY & ASSOCIATES
425 SHELTON STREET
SOPCHOPY, FLORIDA 32359
JAMES T. ROODENBERY, P.E., S. 4261



STATE OF FLORIDA
PROFESSIONAL ENGINEER
KYLE R. ANDREE
LICENSE NO. 77271

INOVA CONSULTING GROUP
2015 CENTRE POINT BOULEVARD, STE. 103
TALLAHASSEE, FL 32308
CERTIFICATE OF AUTHORIZATION 8225
KYLE R. ANDREE, P.E. NO. 77271



PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON THE ELECTRONIC DOCUMENTS. THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.001, F.A.C.

INDEX OF PLANS

SHEET	DESCRIPTION
C1	GENERAL NOTES
C2	CONSTRUCTION DETAILS
C3	GIBSON INN SPA
C4	POOL, SPA, AND SHOWER FOUNDATIONS & DEMOLITION PLAN
C5	GIBSON INN SPA DIMENSIONAL SITE PLAN
C6	GIBSON INN SPA DRAINAGE PLAN
C7	TARRANTO HOUSE RELOCATION DIMENSIONAL SITE PLAN

PARCEL INFORMATION
LOCATION: APALACHICOLA
TAX ID NO. 01-095-081W-4330-0010-0010
01-095-081W-4330-0010-0020 & 01-095-081W-4330-0010-0030
ZONING: C-1 USE: SINGLE FAMILY & VACANT
FORMERLY: C-1 USE: SINGLE FAMILY & VACANT
FRONTAGE STREET: 5TH ST
STREET MAINTENANCE: CITY OF APALACHICOLA
SEWER SERVICE: CITY OF APALACHICOLA
ELECTRIC SERVICE: DUKE ENERGY
ROADWAY SERVICE: THURMAN ROODENBERY & ASSOC., INC.
ROADWAY SERVICE: THURMAN ROODENBERY & ASSOC., INC.
DATE: NOV 10 1988

NO.	REV.	DESCRIPTION	DATE



2015 CENTRE POINT BLVD, SUITE 103
TALLAHASSEE, FL 32303
PHONE (850) 298-4232
CNS2023

RELEASED DATE	2:15 PM '18
PROCESSING	<input type="checkbox"/>
PERMIT RELEASE	<input type="checkbox"/>
CONSTRUCTION RELEASE	<input type="checkbox"/>

KYLE ANDREE, P.E.
DATE: 11/21/18

GENERAL NOTES

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE APPROPRIATE STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. CONTACT SUNSHINE STATE ONE CALL AT 811.
2. ALL VALVE AND METER BOXES SHALL BE SET FLUSH WITH GRADE.
3. CONTRACTOR TO COORDINATE WITH LOCAL UTILITIES FOR METER AND/OR MOUNTING OF EXISTING UTILITY POLES, AERIAL LINES, BORED CABLE, AND OTHER UTILITIES.
4. PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS.
5. DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL PLACE AND MAINTAIN BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, ETC. DURING THE PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH M.U.T.C.D. AND F.D.O.T. STANDARDS.
7. CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY TO A CONDITION AS EXISTED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING.
9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONFLICTS BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
10. THESE DRAWINGS REPRESENT KNOWN STRUCTURES AND UTILITIES LOCATED IN THE PROJECT AREA. THE CONTRACTOR IS CAUTIONED THAT OTHER STRUCTURES AND UTILITIES, ABOVE OR BELOW GROUND MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON ENCOUNTERING AN UNEXPECTED STRUCTURE, UTILITY LINE OR OTHER ENCOUNTERING CONDITION. VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
11. IF EXISTING UTILITY LINES ARE DISTURBED DUE TO CONSTRUCTION ACTIVITY THEY WILL BE ACCOMMODATED/RELOCATED AS PER APPROPRIATE UTILITY REQUIREMENTS.
12. CONTRACTOR SHALL SOD ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
13. MATCH NEW PAVEMENT ELEVATION WITH EXISTING PAVEMENT ELEVATION AT DRIVEWAYS, ETC.
14. IN CASES WHERE CONSTRUCTION IS REFERENCED BY FOOT STANDARD DIMENSIONS, ALL CONSTRUCTION METHODS AND METHODS SHALL STANDARDS FP2017-18 MISCELLANEOUS CONSTRUCTION NOT SPECIFICALLY DETAILED SHALL ALSO BE ACCOMPLISHED IN ACCORDANCE WITH THESE STANDARDS.
15. STANDARD SPECIFICATIONS GOVERNING CONSTRUCTION: FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, JANUARY 2018 EDITION.
16. ALL STORAGE AND PAVEMENT MARKINGS SHALL CONFORM WITH M.U.T.C.D. AND SHALL BE IN ACCORDANCE WITH FOOT AND LEON COUNTY PUBLIC WORKS SPECIFICATIONS. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC EXCEPT REGULAR WHITE PARKING STRIPES STRIPES.
17. DURING ALL CONSTRUCTION PHASES THE CONTRACTOR SHALL POST THE ENTIRE PROPERTY AS A CONSTRUCTION SITE IN ACCORDANCE WITH FLA. STATUTE 810.09 (D). SIGNING SHALL BE POSTED WHICH READS "THIS AREA IS A DESIGNATED CONSTRUCTION SITE AND ANYONE WHO TRESPASSES ON THIS PROPERTY COMMITS A FELONY"
18. ALL EASEMENTS SHALL BE RECORDED PRIOR TO PERMITTING.
19. UNLESS OTHERWISE NOTED PIPE LENGTHS SHOWN ARE FROM CENTERLINE TO CENTERLINE OF STRUCTURES.
20. CONTRACTOR IS RESPONSIBLE FOR STAKEOUT.
21. CONTRACTOR TO SECURE SERVICE OF AN APPROVED TESTING LAB FOR ALL REQUIRED TESTING.
22. RETAINING WALLS WITH GREATER THAN 24 INCHES EXPOSED WALL HEIGHT REQUIRING A SEPARATE BUILDING PERMIT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING BUILDING PERMITS.

23. EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED PER THE ENVIRONMENTAL INSPECTOR.
24. THE CONTRACTOR SHALL NOT SUBSTITUTE ANY ARTICLE, DEVICE, PRODUCT, MATERIAL OR FEATURE OR ANY FORM OR TYPE OF CONSTRUCTION FOR THAT WHICH IS INDICATED IN THE APPROVED PLANS WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE ENGINEER.
25. THE CONTRACTOR SHALL ENSURE THAT A FOREMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE IN PERSON OR BY PHONE AT ALL TIMES DURING THE CONSTRUCTION ACTIVITIES.
26. ALL DISTURBED AREAS TO BE LEFT IDEL LONGER THAN 14 DAYS MUST BE STABILIZED WITH QUICK GROW GRASS SEED AND MULCH.

EARTHWORK NOTES:

1. ALL EXCAVATED MATERIAL SHALL BE STOCKPILED ON SITE.
2. ALL TOPSOIL SHALL BE STRIPPED AND STOCKPILED SEPARATELY FROM EXCAVATED MATERIAL.
3. EXCAVATED MATERIAL FROM ON SITE SHALL BE USED AS EMBANKMENT FOR AREAS OF FILL. SOILS USED FOR EMBANKMENT SHALL BE GENERALLY CONSISTENT WITH THE SCS DESCRIPTION OF SOIL CLASSIFIED AS HYDROLOGIC GROUP A.
4. HOWEVER THE CONTRACTOR SHALL PROVIDE TESTS FROM A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF FILL TO VERIFY THE SUITABILITY OF SOILS TO BE USED AS EMBANKMENT AND THAT THEY ARE GENERALLY CONSISTENT WITH HYDROLOGIC GROUP.

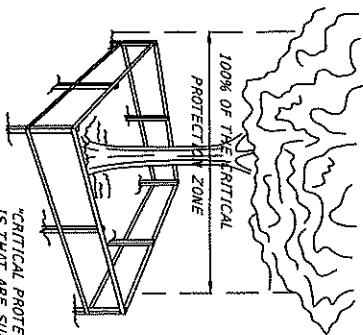
CONSTRUCTION SEQUENCE

1. THE CONTRACTOR SHALL REQUEST A PRE-CONSTRUCTION CONFERENCE WITH THE ENGINEER OF RECORD, THE CITY OF PALM BEACH COUNTY AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PRIOR TO CONSTRUCTION.
2. SHALL THE EROSION AND SEDIMENT CONTROL MEASURES IN CONSTRUCTION ACTIVITIES SHALL BE IN PLACE UNTIL THE SEDIMENT AND EROSION CONTROLS HAVE BEEN INSPECTED.
3. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES
4. FINAL SITE STABILIZATION AND CLEANUP.

EROSION CONTROL NOTES

1. EROSION CONTROL FEATURES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED PER THE ENVIRONMENTAL INSPECTOR.
2. THE CONTRACTOR SHALL NOT SUBSTITUTE ANY ARTICLE, DEVICE, PRODUCT, MATERIAL OR FEATURE OR ANY FORM OR TYPE OF CONSTRUCTION FOR THAT WHICH IS INDICATED IN THE APPROVED PLANS WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE ENGINEER.
3. THE CONTRACTOR SHALL ENSURE THAT A FOREMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE IN PERSON OR BY PHONE AT ALL TIMES DURING THE CONSTRUCTION ACTIVITIES.
4. ALL DISTURBED AREAS TO BE LEFT IDEL LONGER THAN 14 DAYS MUST BE STABILIZED WITH QUICK GROW GRASS SEED AND MULCH.
5. THE CONTRACTOR SHALL OBTAIN THE FDEP GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES) FROM FDEP.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE ACTIVITY (NPDES) FROM FDEP.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND REPORTING REQUIRED BY THE EROSION CONTROL PLAN, MONITORING AND REPORTING REQUIRED BY THE INSPECTION PERMIT AND THE ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN. MONITORING SHALL BE PERFORMED EVERY 24 HOURS AND REPORTED TO THE ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN. ANY DEFICIENCIES SHALL BE REPAIRED WITHIN 24 HOURS.
8. THE CONTRACTOR SHALL ENSURE THAT ALL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED TO PREVENT VIOLATION OF STATE WATER QUALITY STANDARDS IN RECEIVING WATERS.

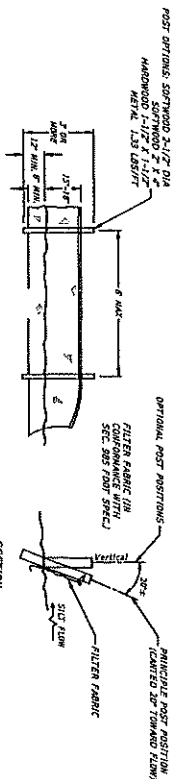
	2018 CENTRE POINT BLVD TALLAHASSEE, FLORIDA 32310 PHONE: 904.226.2200 WWW.INOVIAINC.COM	PROJECT NO.: 385.001.00 DRAWING FILE: J:\385\385.001\00\DWG\UPLANS.dwg	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>BY</th> <th>DATE</th> <th>REVISIONS</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	BY	DATE	REVISIONS					<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">CLIENT</td> <td>GIBSON INN, LLC</td> </tr> <tr> <td>PROJECT</td> <td>GIBSON INN SPA AND POOL</td> </tr> <tr> <td>SHEET</td> <td>GENERAL NOTES</td> </tr> </table>	CLIENT	GIBSON INN, LLC	PROJECT	GIBSON INN SPA AND POOL	SHEET	GENERAL NOTES	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"> <input type="checkbox"/> APPROVED FOR <input type="checkbox"/> REVISION RELEASE <input type="checkbox"/> NO RELEASE </td> <td style="width: 50%;"> DATE: 01/27/2018 TIME: 10:00 AM USER: JACOB </td> </tr> </table>	<input type="checkbox"/> APPROVED FOR <input type="checkbox"/> REVISION RELEASE <input type="checkbox"/> NO RELEASE	DATE: 01/27/2018 TIME: 10:00 AM USER: JACOB
NO.	BY	DATE	REVISIONS																		
CLIENT	GIBSON INN, LLC																				
PROJECT	GIBSON INN SPA AND POOL																				
SHEET	GENERAL NOTES																				
<input type="checkbox"/> APPROVED FOR <input type="checkbox"/> REVISION RELEASE <input type="checkbox"/> NO RELEASE	DATE: 01/27/2018 TIME: 10:00 AM USER: JACOB																				



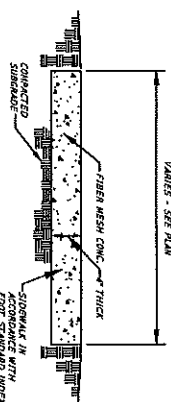
"CRITICAL PROTECTION ZONE" IS THAT ARE SURROUNDING A TREE WITHIN A CIRCLE DESCRIBED BY A RADIUS OF ONE FOOT FOR EACH INCH OF THE TREE'S DIAMETER (DBH)

Tree Protection Barricade

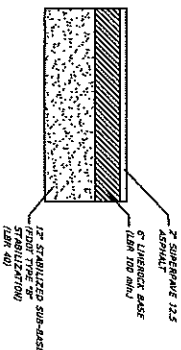
N.T.S.



ELEVATION TYPE III SLIT FENCE N.T.S.

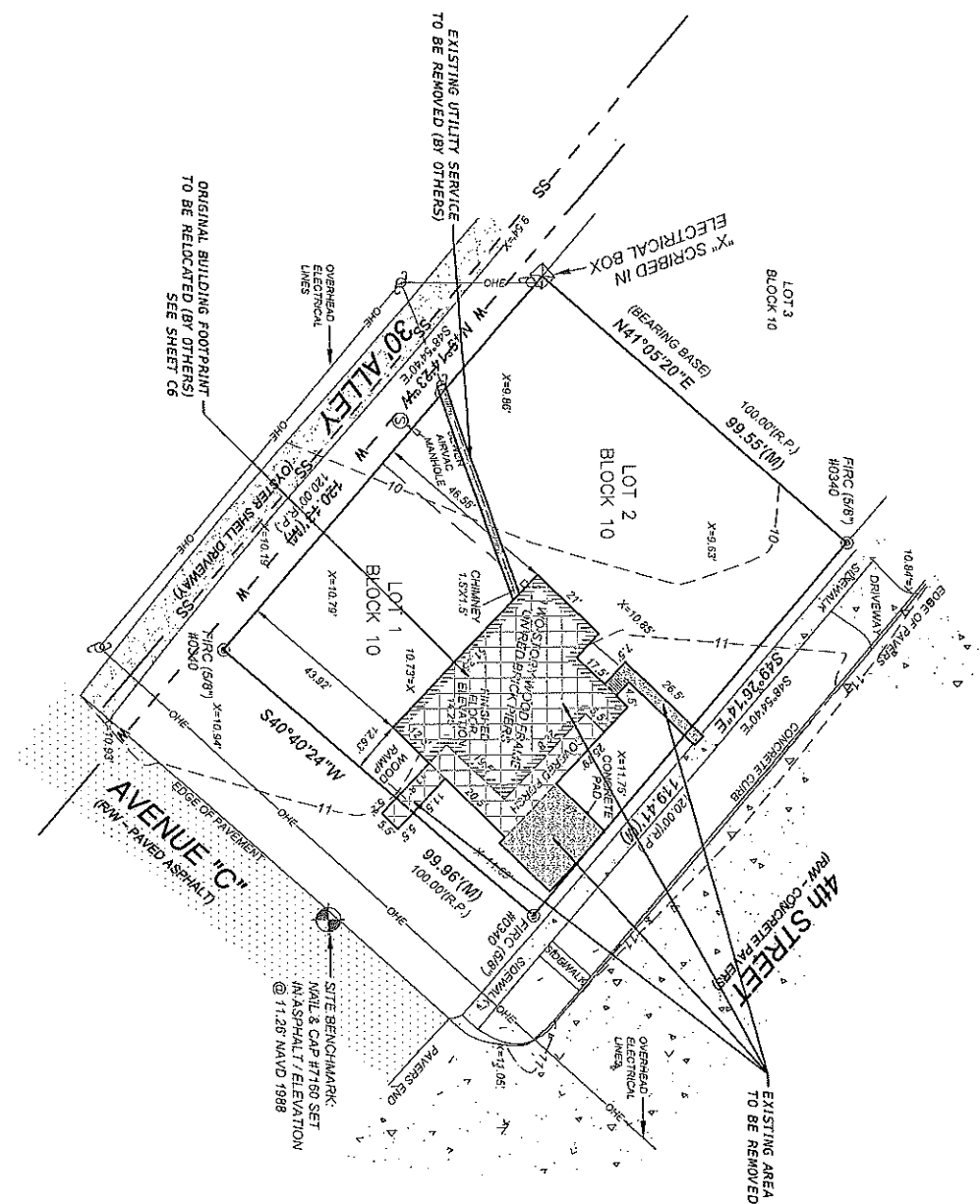


SIDEWALK DETAIL N.T.S.

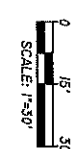


TYPICAL PAVEMENT SECTION DETAIL N.T.S.

CLIENT GIBSON INN, LLC PROJECT GIBSON INN SPA AND POOL SHEET CONSTRUCTION DETAILS	NO. 17 REVISIONS DATE	2815 CENTRE POINT BLVD. TALLAHASSEE, FLORIDA 32309 PHONE 850.224.2000 WWW.INOVIA-CONSULTING.COM ©2008	inovia CONSULTING GROUP
	PROJECT NO.: 385.001.00 DRAWING FILE: J:\15151515_001\04\WG\PLANS.dwg		
	DATE: 2/20/18 SHEET: 02		



FLOOD ZONE INFORMATION:
 SUBJECT PROPERTY IS LOCATED IN ZONE "X" (0.2%) AS PER
 FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO:120089 0526F.
 INDEX DATE: FEBRUARY 5, 2014, FRANKLIN COUNTY, FLORIDA.



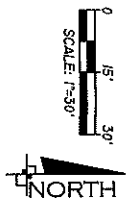
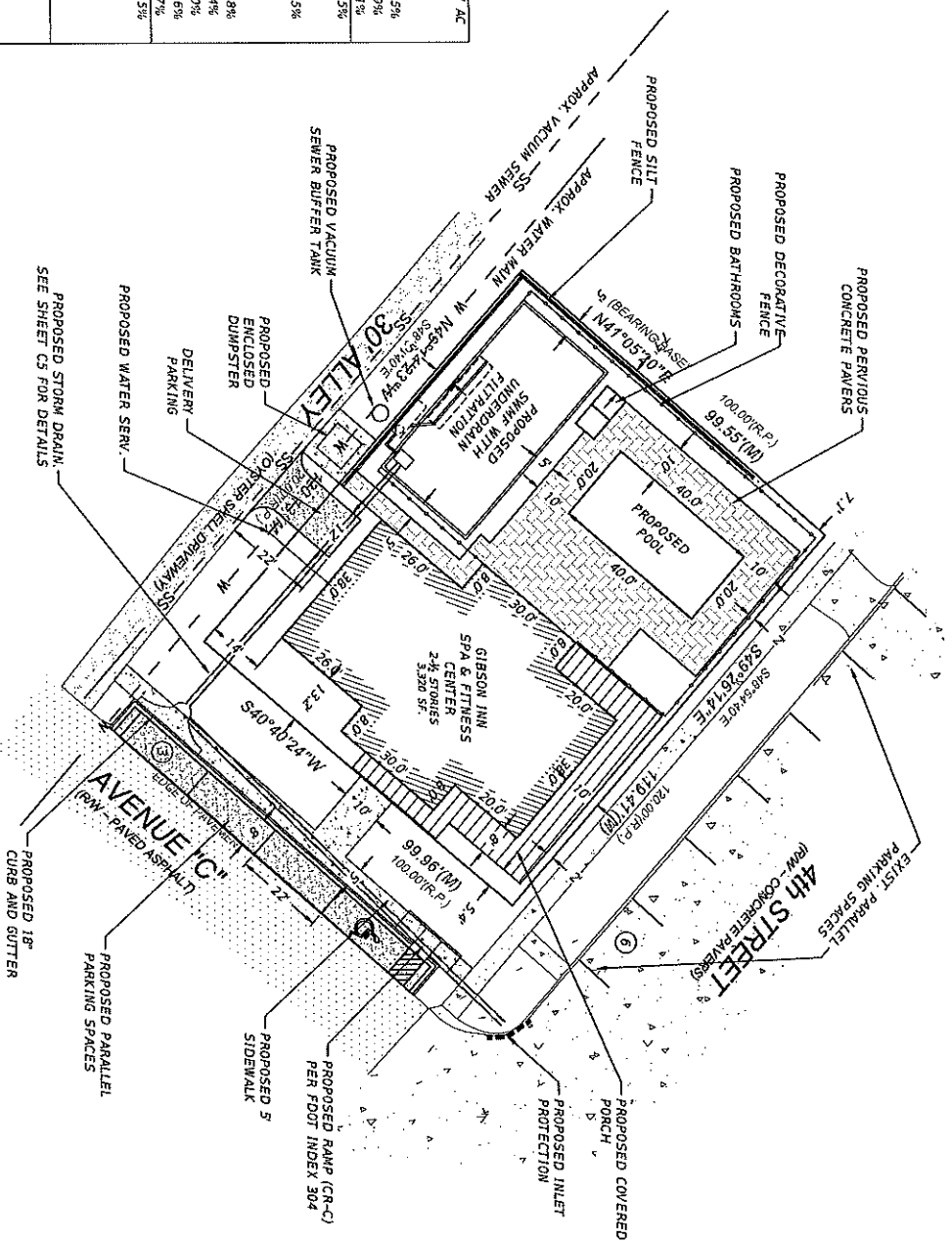
CLIENT GIBSON INN, LLC		NO.	BY	REVISIONS	DATE
PROJECT GIBSON INN SPA AND POOL					
SHEET EXISTING CONDITIONS & DEMOLITION PLAN					
PROJECT NO.: 335.001.00 DRAWING FILE: 413281345.DWG		2016 CENTRE POINTE BLVD. TALLAHASSEE, FLORIDA 32310 PHONE: 904.242.2222 WWW.INOVIACONSULTING.COM			
TITLE: ARCHITECT NAME: JAMES R. WOOD DATE: 02/11/16 SCALE: AS SHOWN		PROJECT NO.: 335.001.00 DRAWING FILE: 413281345.DWG			

GENERAL INFORMATION:

Parcel ID #s:	01-005-08W-8330-0010-0010 & 01-005-08W-8330-0010-0020
Zoning:	C-1
Setbacks:	0 ft
Front - Interior Lot:	None
Side - Corner Lot:	None
Rear:	0 ft
Lot Coverage:	80 Percent
Flood Zone:	X (0.2%)
Building Height:	35 ft
Existing Use(s):	Single Fam & Vacant
Proposed Use(s):	Hotel, Hotels

SITE STATISTICS:

LOTS 1 AND 2, BLOCK 10	11,948 SF	0.27 AC
EXISTING IMPERVIOUS AREA	1,493 SF	12.5%
EXIST. BUILDING	352 SF	2.9%
EXIST. PORCH	489 SF	4.1%
EXIST. CONCRETE	2,334 SF	19.5%
TOTAL IMPERVIOUS AREA	4,228 SF	35.5%
LANDSCAPE AREA	9,614 SF	80.5%
PROPOSED		
ON-SITE IMPERVIOUS AREA	3,440 SF	28.8%
PROPOSED BUILDING (INCLUDING POOL, BATHROOMS)	887 SF	7.4%
PROPOSED COVERED PORCH	118 SF	1.0%
PROPOSED VEHICULAR USE AREA WITHIN BOUNDARY	2,337 SF	19.6%
PROPOSED PERVIOUS CONCRETE PAVEMENTS	800 SF	6.7%
PROPOSED POOL	7,583 SF	63.5%
TOTAL ON-SITE IMPERVIOUS AREA	11,065 SF	92.6%
OFF-SITE IMPERVIOUS AREA	1,106 SF	9.3%
PROPOSED PARKING	168 SF	1.4%
PROPOSED ENCLOSED DUMPSTER	753 SF	6.3%
PROPOSED SIDEWALK	2,028 SF	17.0%
TOTAL OFF-SITE IMPERVIOUS AREA	4,955 SF	41.5%
LANDSCAPE AREA	4,365 SF	36.5%



NO.	BY	REVISION	DATE

2018 CENTRE POINT AND TALLAHASSEE, FLORIDA
 PHONE: 850-433-1100
 WWW.INOVIACONSULTING.COM

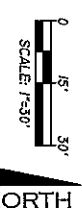
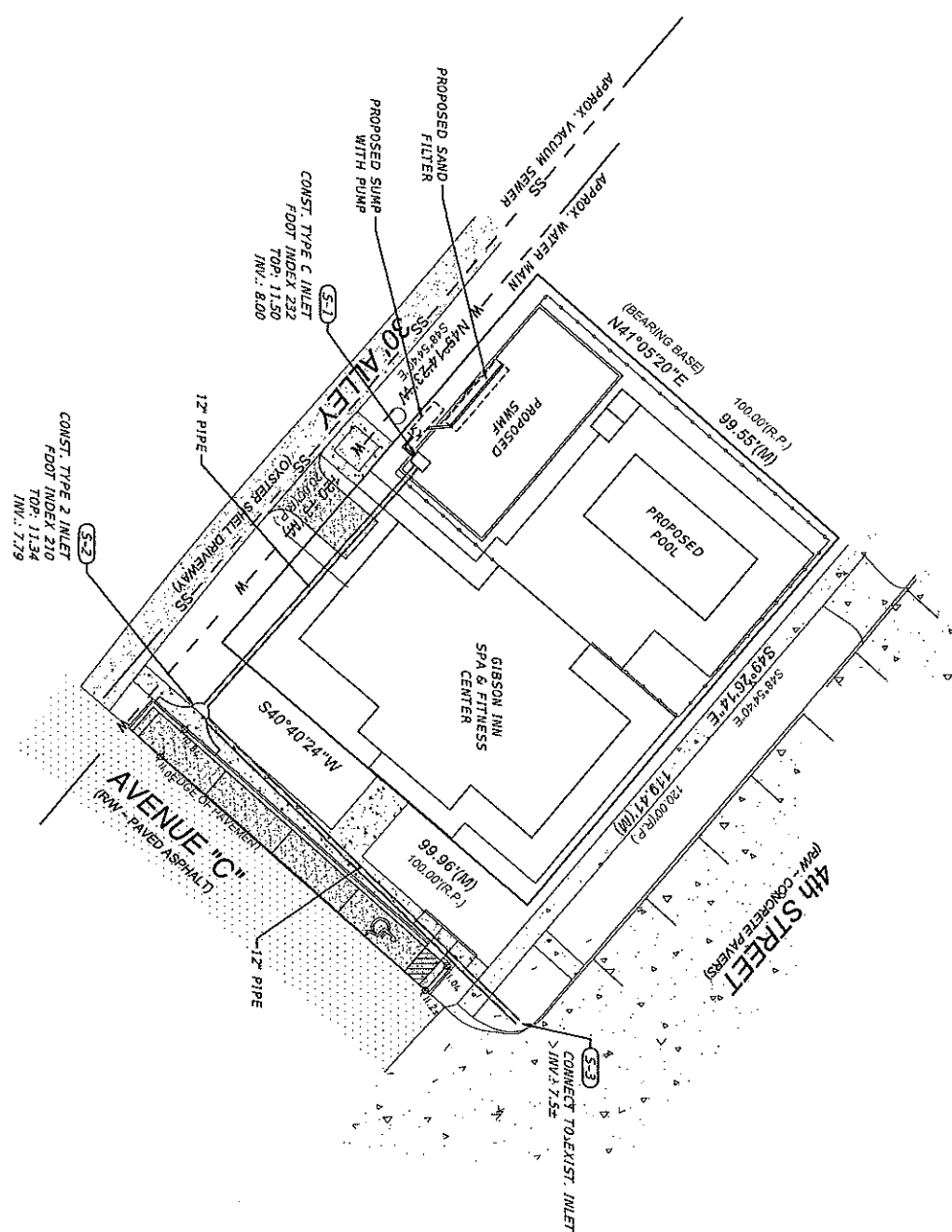
PROJECT NO.: 555-0010
 DRAWING FILE: J:\555\555-001-001\DWG\PLANS.dwg

CLIENT: GIBSON INN, LLC
 PROJECT: GIBSON INN SPA AND POOL
 SHEET: DIMENSIONAL SITE PLAN

DATE: 07/11/18
 SCALE: AS SHOWN

FILE: A555-001-001-001.dwg
 SHEET: C4





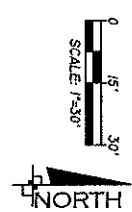
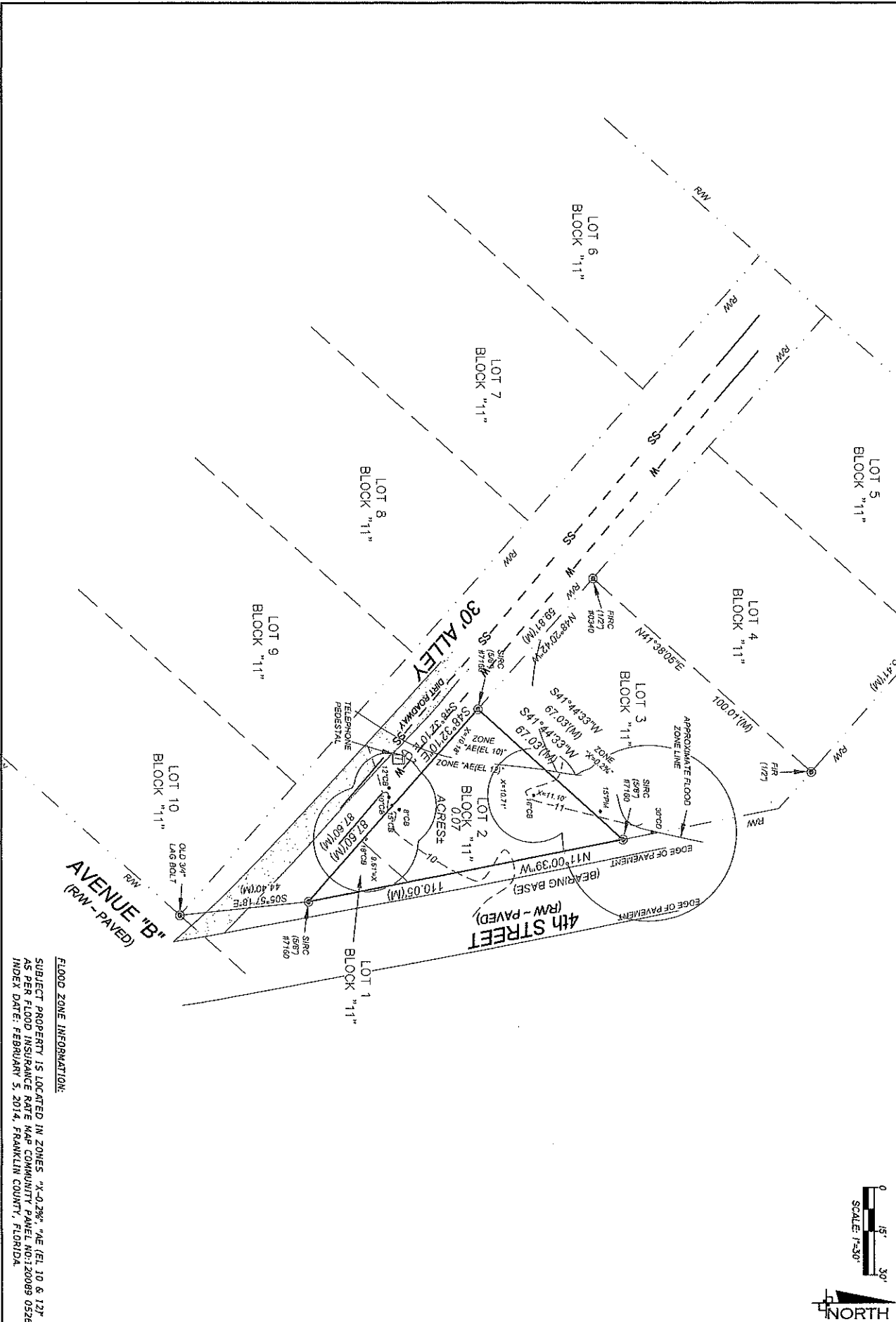
CLIENT	GIBSON INN, LLC
PROJECT	GIBSON INN SPA AND POOL
SHEET	DRAINAGE PLAN

NO.	BY	REVISIONS	DATE

<input type="checkbox"/> PROGRESS PLAN <input type="checkbox"/> PERMIT RELEASE <input type="checkbox"/> NO RELEASE <input type="checkbox"/> CONSTRUCTION RELEASE RELEASE DATE: 21 MAR 21 DRAWN BY: JAC CHECKED BY: JAC SCALE: AS SHOWN	PROJECT NO: 285.001.00 DRAWING FILE: J:\15851585.00\00LDM\PLANS.dwg 2019 CENTRE POINT BLVD. TALLAHASSEE, FLORIDA 32309 PHONE: 904.252.2300 WWW.INOVIAENGINEERING.COM CALEDO
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inovia
CONSULTING GROUP

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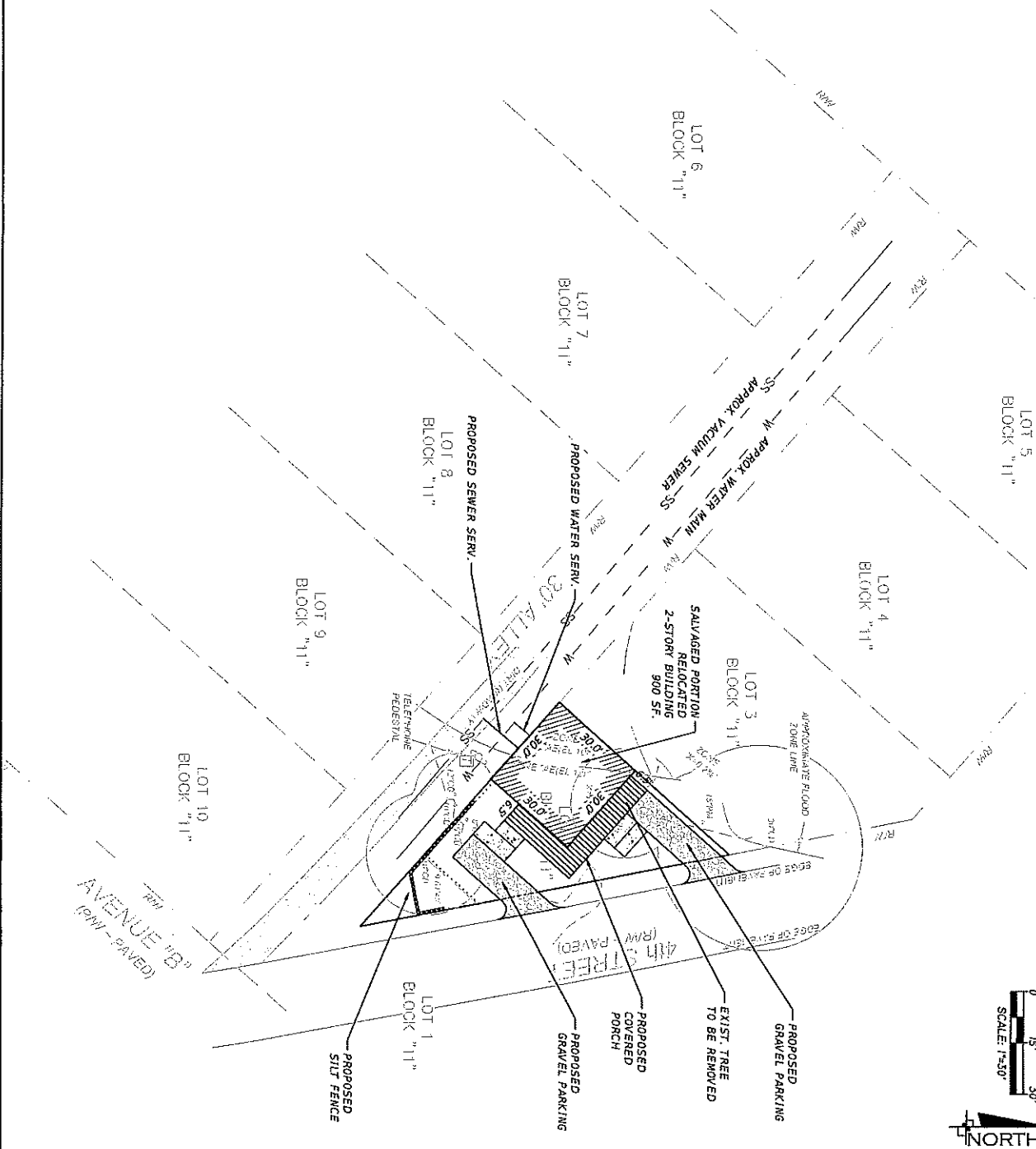
FLOOD ZONE INFORMATION:

SUBJECT PROPERTY IS LOCATED IN ZONES "X-0.2%", "AE (EL. 10 & 12)" AS PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO: 20089 0526F. INDEX DATE: FEBRUARY 5, 2014, FRANKLIN COUNTY, FLORIDA.

CLIENT	GIBSON INN, LLC	NO.	87	REVISIONS	DATE
PROJECT	GIBSON INN SPA AND POOL				
SHEET	TARANTO HOUSE RELOCATION EXISTING CONDITIONS				
PROJECT NO: 385.001.60 DRAWING FILE: J:\3353\385.001.00\DWG\PLANS.dwg		2910 CENTRE POINT BLVD TALLAHASSEE, FLORIDA 32309 PHONE 904.266.4444 WWW.INOVIACONSULTING.COM			
DATE: 02/11/14 SHEET: 66 SCALE: AS SHOWN	FILE: ANS087.PLT DATE: 02/11/14 SHEET: 66				

GENERAL INFORMATION:

Parcel ID #(s):	01-095-08W-8330-0011-0010
Zoning:	C-1
Setbacks:	
Front:	0 ft
Side - Interior Lot:	None
Side - Corner Lot:	None
Rear:	0 ft
Lot Coverage:	80 Percent
Flood Zone:	X (0.2%) and AE (EL 10 & 12)
Building Height:	35 ft
Existing Use(s):	Vacant
Proposed Use(s):	Hotel, Motel



2018 CENTRE POINTS BLDG. TALKAWASEE, FLOREN PHONE: 853-333-3338 WWW.HDR.COM CADSS	DATE		REVISED	
	BY			
	HL			
PROJECT NO.: 345 001 00 DRAWING FILE: J:\345\345_001_001\DWG\PLANS.dwg				
CLIENT GIBSON INN, LLC	PROJECT GIBSON INN SPA AND POOL			
SHEET TARANTO HOUSE RELOCATION DIMENSIONAL SITE PLAN				
PLAN RELEASE STATUS <input type="checkbox"/> PREPARED FOR PERMIT REVIEW <input type="checkbox"/> PREPARED FOR CONSTRUCTION <input type="checkbox"/> PREPARED FOR RELEASE <input type="checkbox"/> CONSTRUCTION RELEASED				
RELEASE DATE: 21 JAN 18				
DRAWN BY: WJG CHECKED BY: WJG DATE: 23 NOV 17	SCALE: AS SHOWN			
KYLE ARNOLD, P.E. P.L. NO. 7129 SHEET C7				





Cortni Bankston <cityofapalachicola@gmail.com>

Gibson Hotel expansion

8 messages

Bill Barnes <bbarnezz@gmail.com>
To: cityofapalachicola@gmail.com

Sun, Dec 2, 2018 at 10:30 AM

Ms. Bankston,

Thanks for meeting with me about this issue. I want to make clear that I am not opposed to the plans of the new owner of the Gibson Hotel to improve his property. I am however opposed to allowing any parking or regular access to the new addition which would make use of the alley which separates my property from theirs. I have seen a preliminary plan which includes a number of parking spaces on the alley side which can only be accessed by way of the alley. This will not only add to the traffic coming down the alley right next to my bedroom window in my home, but will also increase the noise and the dust that accompanies that traffic.

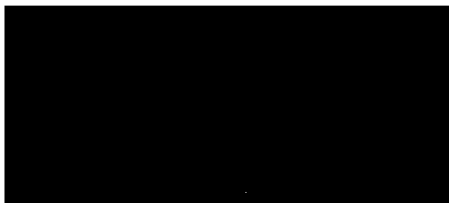
In addition, I believe that the new activities at this site should be required to be separated from my residential property by a solid and substantial fence along the alley. This is one of the few locations in town where residential zoning (R1) is located immediately next to commercial zoning (C1), and particular sensitivity should be shown to the noise and traffic that will be generated by this new usage.

Please feel free to contact me should you need to discuss this in the future, and please notify me by phone or email whenever this issue comes up in meetings so that I can respond.

Best regards,



59 Avenue C
Apalachicola, FL 32320
850-774-7178



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14K

Cortni Bankston <cityofapalachicola@gmail.com>
To: cclark@cityofapalachicola.com

Mon, Dec 3, 2018 at 8:13 AM

If you should have any questions and/or concerns please feel free to contact me.

Sincerely,

Cortni Bankston
Permitting and Development Coordinator
& Building Manager @ The Mayer Van W. Johnson Sr. Recreation & Community Service Complex
192 Coach Wagoner Blvd
Apalachicola, FL 32320
(850)653-1522 Phone

[Quoted text hidden]



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Cindy Clark <cclark@cityofapalachicola.com>
To: Cortni Bankston <cityofapalachicola@gmail.com>
Cc: Ron Nalley <rnalley@cityofapalachicola.com>

Tue, Dec 4, 2018 at 9:28 AM

Cortni – pls make sure all board members have an opportunity to review the concerns. I will load the most recent plans to the website today. Thanks - cindy

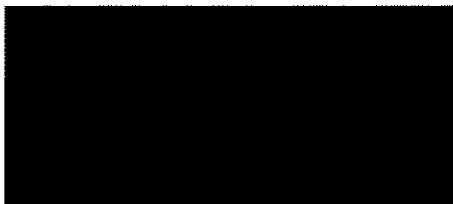
From: Cortni Bankston <cityofapalachicola@gmail.com>
Date: Monday, December 3, 2018 at 8:13 AM
To: <cclark@cityofapalachicola.com>
Subject: Fwd: Gibson Hotel expansion

[Quoted text hidden]

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Cortni Bankston <cityofapalachicola@gmail.com>

Tue, Dec 4, 2018 at 9:33 AM

Bcc: thmsdaly@aol.com, Ufa Hardy <uhardy21@gmail.com>, Joe Taylor <palme2blue@yahoo.com>, lynnwilson2 <lynnwilson2@aol.com>, g.hewell@yahoo.com, shadow1@fairpoint.net, Cortni Bankston <cityofapalachicola@gmail.com>

Good morning, please see correspondence from concerned neighbor in regards to the Gibson. Cindy Clark will be putting the latest plans on the City website today

If you should have any questions and/or concerns please feel free to contact me.

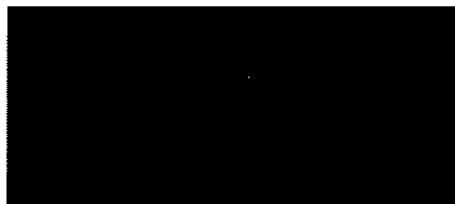
Sincerely,

Cortni Bankston
Permitting and Development Coordinator
& Building Manager @ The Mayer Van W. Johnson Sr. Recreation & Community Service Complex
192 Coach Wagoner Blvd
Apalachicola, FL 32320
(850)653-1522 Phone

----- Forwarded message -----

From: **Bill Barnes** <bbarnezz@gmail.com>
Date: Sun, Dec 2, 2018 at 10:30 AM
Subject: Gibson Hotel expansion
To: <cityofapalachicola@gmail.com>

[Quoted text hidden]



PastedGraphic-1.tiff
14K

George Coon <georgecoon@gmail.com>

Tue, Dec 4, 2018 at 10:48 AM

To: Cynthia Clark <cclark@cityofapalachicola.com>

Cc: Cortni Bankston <cortnibankston@cityofapalachicola.com>, Steven Etchen <steven@whitesandsinvestment.com>

Cynthia,

As we no longer have parking via the Alley, have deliveries/trash picked up on 4th Street, and have designed a substantial fence behind a larger grassed area, I suggest we show Bill (and others) our revised solutions on Monday, 10 December...perhaps a before and after.

Do you agree?

I am also copying the owner, Steven, to see if he agrees to proceed this way. Steven is most likely going to be the person presenting.

On Tue, Dec 4, 2018 at 9:25 AM Cindy Clark <cclark@cityofapalachicola.com> wrote:

Fyi -

From: Cortni Bankston <cityofapalachicola@gmail.com>

Date: Monday, December 3, 2018 at 8:13 AM

To: <cclark@cityofapalachicola.com>

Subject: Fwd: Gibson Hotel expansion

[Quoted text hidden]

[Quoted text hidden]

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--
George Coon, ARB, LEED AP
George Coon Inc.,
Residential-Planning-Design
(850) 227-6898 office mobile

Steven Etchen <steven@whitesandsinvestment.com>

Tue, Dec 4, 2018 at 1:02 PM

To: George Coon <georgecoon@gmail.com>, Cynthia Clark <cclark@cityofapalachicola.com>

Cc: Cortni Bankston <cortnibankston@cityofapalachicola.com>

Thanks George.

I am fine with sharing these revisions with the neighbor, Mr. Barnes.

Many thanks to all of you-

Steven

From: georgecoon@gmail.com
Sent: December 4, 2018 16:49
To: cclark@cityofapalachicola.com
Cc: cortnibankston@cityofapalachicola.com; steven@whitesandsinvestment.com
Subject: Re: FW: Gibson Hotel expansion

[Quoted text hidden]

Cindy Clark <cclark@cityofapalachicola.com>
To: Cortni Bankston <cityofapalachicola@gmail.com>

Tue, Dec 4, 2018 at 1:40 PM

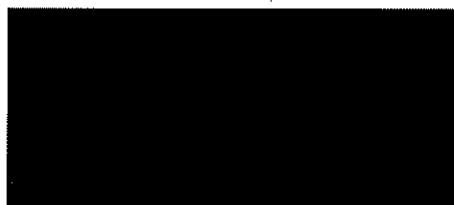
Hi Bill – Thanks for your feedback. The Gibson spa plans have been modified since original submission. Alley access for deliveries or garbage pickup is no longer part of the plan and I believe a fence has been added to the proposal. The current proposed project plans are available to review online at <http://www.cityofapalachicola.com/BuildingDept.cfm>. You may directly access the current plans online here. The project is on the agenda for P&Z on Monday, December 10 6pm. Thank you – Cindy

From: Cortni Bankston <cityofapalachicola@gmail.com>
Date: Monday, December 3, 2018 at 8:13 AM
To: <cclark@cityofapalachicola.com>
Subject: Fwd: Gibson Hotel expansion

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Cortni Bankston <cityofapalachicola@gmail.com>
To: bbarnezz@gmail.com

Wed, Dec 5, 2018 at 10:18 AM

Hey Bill, see comments below. Thank you so much for sharing your concerns with us.

If you should have any questions and/or concerns please feel free to contact me.

Sincerely,

Cortni Bankston
Permitting and Development Coordinator

& Building Manager @ The Mayer Van W. Johnson Sr. Recreation & Community Service Complex
192 Coach Wagoner Blvd
Apalachicola, FL 32320
(850)653-1522 Phone

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Cortni Bankston <cityofapalachicola@gmail.com>

Gibson Hotel expansion

Bill Barnes <bbarnezz@gmail.com>

Wed, Dec 5, 2018 at 11:30 AM

To: Cortni Bankston <cityofapalachicola@gmail.com>

Hi Cortni (and Cindy),

Thanks so much for the followup and the links to the plans. It is much appreciated. I will attend the meeting on the 10th and listen to the proposals carefully. If we can be sure to get that fence on the alley side into the final plans as mentioned, I will be ok with everything. The design is certainly compatible with the style of the Gibson.



59 Avenue C
Apalachicola, Fl 32320

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59 Avenue C
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850-774-7178

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