

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, July 9th, 2018
Community Center/City Hall – 1 Bay Avenue
AGENDA

Workshop – 5p.m.

Proposed Tree Ordinance Revisions

Regular Meeting – 6p.m.

- 1) Approval of June 11th, 2018 Regular Meeting Minutes.
- 2) Review, Discussion and Decision for New Construction @ 123 Bay Colony Way, Block(s) Bay Colony, Lot(s) 23, For – Jeff & Dawn Grzelak, Contractor – 1st Choice Builders.
- 3) Review, Discussion and Decision for New Construction @ 154 Bay Colony Way, Block(s) Bay Colony, Lot(s) 9, For – Leon & Geraldine Swarts, Contractor – 1st Choice Builders.
- 4) Review, Discussion and Decision for installation of a 12x12 Wood Gazebo @ 148 5th Street, Block 63, Lot(s) 2 & 3, For – Jim & Gayle Doherty, Contractor – Owner/Self.
- 5) Review, Discussion and Decision for removal of current chain link fence and installation of a 6 foot wood privacy fence @ 112 4th Street, Block(s) 8, Lot(s) 3, For – Douglas Morgan & Manuela Zarate, Contractor – Owner/Self.

In our continuing effort to keep the citizens of Apalachicola informed, this agenda is posted on our website at www.cityofapalachicola.com prior to the scheduled meeting for public review. Additional information such as the City's Land Development Code and zoning related maps, along with other development information is also available on the site for your convenience. Please direct any questions concerning items on this agenda or the Apalachicola Building Department to Cortni Bankston, (850)653-1522, cortnibankston@cityofapalachicola.com.

PAGE BREAK

Tree Committee Workshop on Proposed Revisions to Tree Ordinance

On Monday, July 9, 2018, at 5 p.m., the Tree Committee will hold a workshop at the City's Battery Park meeting room to discuss its proposed revisions to the City's Tree Ordinance. The workshop will precede the regularly-scheduled Planning and Zoning Board meeting.

The Planning and Zoning Board and interested public are invited to make oral comments or to submit written comments at that time.

The City Commission adopted the current Tree Ordinance in 2011. A copy is posted below in the "Associated Ordinances" section.

For your review and download are [the 2018 proposed revisions to the Tree Ordinance](#) and a [summary of the proposed revisions](#).

PROPOSED LAND DEVELOPMENT CODE REVISIONS CONCERNING TREE PROTECTION

The following would replace in its entirety Land Development Code revisions adopted in Ordinance 2011-01. The following are proposed changes to the Code as it existed prior to the adoption of Ordinance 2011-01.

II. LANGUAGE AND DEFINITIONS

Remove the definition of “caliper.”

~~**Caliper**—caliper shall be the diameter at breast height (DBH) of the trunk of all trees four (4) feet above ground.~~

Revise the definition of “tree.”

Tree- A woody plant having one or more well defined trunks capable of being maintained with a clear trunk and normally growing to an overall height at maturity of a minimum of fifteen (15) feet.

Add the definitions of “diameter at breast height,” “patriarch tree,” “relocate,” and “substantial alteration.”

Diameter at Breast Height - The diameter of a tree trunk as measured four and a half (4 ½) feet above ground level.

Patriarch Tree – A protected native tree (section XI.A) whose trunk is thirty five (35) or more inches in diameter at breast height.

Relocate - As used in the Chapter XI tree protection regulations and elsewhere in this Code, the digging up of a protected tree by a property owner from a place on the owner’s property and the planting of the same tree in another place on the same property or in a public place.

Substantial Alteration - The heavy cutting of top branches (topping), cutting of major lower limbs (elevating), or significant trimming of a tree that alters the natural symmetry of the tree. The term does not include customarily accepted practices used by certified arborists for pruning shade trees.

In the Chapter VII Site Plan Review Regulations, revise section B, Applicability, to read as follows; revise section E, Time Limit on Approval, to read as follows; and revise section F, Site Plan Requirements, to add paragraphs 13 and 14.

B. APPLICABILITY

This Chapter establishes procedures and standards for the preparation, review and approval of plans to carry out development.

* * *

E. TIME LIMIT ON APPROVAL

Following approval of the site plan, the applicant shall have one hundred and eighty (180) days to commence substantial construction and one (1) year to complete construction (section III.C.1) on the site. Any site where construction has not begun and been completed within these time periods shall cause the site plan to be reevaluated by the appropriate bodies and any newly-adopted standards to be considered.

F. SITE PLAN REQUIREMENTS

* * *

13. Tree protection.

a. A map of sufficient scale to clearly show the locations of lot boundaries; footprints of existing and proposed structures and improvements; species and size (inches diameter breast height) of existing protected trees; protected trees that are proposed to be removed, relocated, or substantially altered; and fences or other protective barriers that will be erected around protected trees at the tree drip lines.

b. A plan for protecting trees from equipment, material, debris, fill, gasoline, oil, paint, chemicals or other harmful materials.

c. A discussion of proposed grade changes and how the changes would affect protected trees.

14. Landscape planting plan for multi-family developments.

Add new Chapter XI.

XI. TREE PROTECTION

A. PROTECTED NATIVE TREES

The native trees predominately foresting the City of Apalachicola are:

bald and pond cypress (*Taxodium distichum* and *Taxodium ascendens*)
eastern and southern redcedar (*Juniperus virginiana* and *Juniperus solidicola*),
live oak (*Quercus virginiana*),
loblolly pine (*Pinus taeda*),
longleaf pine (*Pinus palustris*),
pecan (*Carya illinoensis*),
pignut hickory (*Carya glabra*),

red maple (*Acer rubrum*),
sabal (cabbage) palm (*Sabal palmetto*),
slash pine (*Pinus elliottii*),
southern magnolia (*Magnolia grandiflora*),
southern red oak (*Quercus falcata*),
sugarberry (*Celtis laevigata*),
sycamore (*Platanus occidentalis*),
water oak (*Quercus nigra*), and
white oak (*Quercus alba*).

Individual trees of these species having diameters of four (4) or more inches at breast height are protected (hereinafter referred to as “protected trees”). Other native trees and all nonnative trees are not protected.

B. PRESERVATION OF PATRIARCH TREES

No patriarch tree on privately- or City-owned property shall be removed or substantially altered by a private landowner or a department of the City unless:

1. Under a declared emergency (section C.3) or in the case of an imminent hazard (section C.4), the Code Enforcement Officer, City Administrator, or a designee in their absence finds for a specific tree that immediate action is required to eliminate a condition endangering public safety or property.
2. In a non-emergency or non-imminent hazard situation, the City Commission approves the issuance of a tree permit to a private landowner to remove or substantially alter a tree on a lot because not doing so would make the lot undevelopable for any principal structure (section D.1.a).

C. EXEMPTIONS FROM REQUIREMENTS TO OBTAIN TREE PERMIT

The following circumstances do not require a tree permit.

1. Unprotected trees.--The removal, relocation, or substantial alteration of:
 - a. Native trees not listed in section A;
 - b. Native trees listed in section A that are less than 4 inches in diameter at breast height;
 - c. Cultivated varieties of once native trees developed by selective breeding and sold by plant nurseries; and
 - d. Nonnative trees, including invasive species.

2. Pruning.--Pruning of unprotected trees, and light pruning of protected trees that does not substantially alter the protected trees.
3. Emergency.--The removal or substantial alteration of any significantly-damaged, protected, non-patriarch tree during or following a natural or man-made disaster (e.g., hurricane, tornado, high wind, flood, or forest fire) when the City Commission or Administrator declares a state of emergency and determines that permitting requirements will hamper private or public work to restore safety and order to the City. Permission is required to remove or substantially alter a patriarch tree (section B.1).
4. Imminent hazard.--The removal or substantial alteration of any protected, non-patriarch tree when the Code Enforcement Officer, City Administrator, or a designee in their absence finds that immediate action is required due to a condition endangering public safety or property.
5. Diseased or pest-infested trees.--The removal of a diseased or pest-infested tree when the Code Enforcement Officer, City Administrator, or a designee in their absence finds that doing so will prevent the spread of the disease or pests to healthy trees.
6. Highway and electric utility rights of way.--The removal or trimming of protected trees by:
 - a. The Florida Department of Transportation along roads under its jurisdiction to maintain safe lines of sight at road intersections and alleys and horizontal clearance areas along roadways where errant vehicles leaving the roadway might travel.
 - b. The electric utility along power lines necessary for the maintenance of accepted public safety standards and system reliability.

D. PERMITS FOR REMOVAL, RELOCATION, OR SUBSTANTIAL ALTERATION OF PROTECTED TREES

Substantial alteration of a protected, non-patriarch tree shall be allowed only under a declared emergency (section C.3), when a permit is obtained in the case of an imminent hazard (section C.4), or when a permit is obtained in a non-emergency or non-imminent hazard situation to eliminate limbs that encroach on an adjacent structure.

A tree permit shall be issued to remove or substantially alter a protected tree only if such action is in compliance with these Chapter XI requirements and the section VII.F site plan requirements.

Any person wishing to remove or substantially alter a protected tree shall make application to the Code Enforcement Officer on a tree application form provided by the Officer.

1. Private property.

a. Patriarch trees.--If the proposal is the removal or substantial alteration of a patriarch tree, only the City Commission shall make a decision on the tree permit application. The Planning and Zoning Board shall review the application and make a recommendation to the City Commission as to whether the permit should be issued, conditionally issued, or denied. A recommendation to approve or conditionally approve shall only be made when no principal structure could be legally built on a lot taking into consideration the location of the tree and such requirements as setbacks and minimum required size for single-family dwellings.

Other protected trees.--If the proposed tree removal or substantial alteration is in conjunction with proposed development the Planning and Zoning Board reviews (e.g., a newly-proposed structure, the expansion of an existing structure where the footprint increases in size, the construction of a driveway or walkway, or other such development that disturbs the land surface), the Board shall implement these tree protection requirements at the time it reviews and decides to approve, conditionally approve, or disapprove the site plan.

b. If the proposed tree removal or substantial alteration is not in conjunction with proposed development that the Planning and Zoning Board reviews (e.g., tree removal due to tree roots affecting the structural integrity of a building foundation), the Code Enforcement Officer, City Administrator, or a designee in their absence shall review the tree permit application and make a decision on it.

2. City property.

a. A person wanting to remove or substantially alter a protected tree on City property adjacent to private property owned by the person (e.g., to create an entryway to a proposed driveway on private property) shall apply for a tree permit. Cost of the permit and tree removal or substantial alteration shall be borne by the applicant.

b. A City department wanting to remove or substantially alter a protected tree on City property shall make a request to the Code Enforcement Officer. To document the request, the Code Enforcement Officer shall prepare a tree application for the proposed action. Removal or substantial alteration of the tree shall not occur unless the Code Enforcement Officer, City Administrator, or one of their designees approves the application.

As a condition of approval, decision makers may require that certain protected trees or native trees listed in section A that are less than four (4) inches in diameter at breast height be relocated from the area of proposed development to an undeveloped location.

Under a tree permit, thinning of healthy protected trees may be justified if selective removal of trees improves the development of remaining trees and allows them to grow faster and in a fuller, characteristic form.

To ensure that a tree permit is not prematurely issued for a proposed development that is never approved, the tree permit and building permit will be issued simultaneously.

E. DURATION OF PERMITS

Work to remove or substantially alter a protected tree shall commence within one hundred eighty (180) days of tree permit issuance (section VII.E). Such work shall be completed within one (1) year of permit issuance unless the work for the tree permit is happening on a property where building construction is also occurring and the building inspector determines that construction is occurring on an uninterrupted basis and more time is needed for completion (section III.C.1).

F. PROTECTION OF TREES DURING BUILDING OPERATIONS

It is unlawful for any person, in the development, redevelopment or improvement of any parcel of land to store within ten (10) feet of the trunk of any protected tree equipment, material, debris, fill, gasoline, oil, paint, chemicals or other materials harmful to trees.

Before development, redevelopment, or improvement the developer or builder is required to erect and maintain suitable protective barriers at the drip line of the tree. The drip line is a limiting line established by a series of perpendicular drop points marking the maximum radius of the crown of an existing tree, but not less than ten (10) feet from the trunk, whichever is greater. No construction or disturbance shall occur within this radius. Wood, metal, or other substantial material shall be utilized in the construction of protective barriers. This protection shall remain until such time as the development, redevelopment, or improvement is completed.

During construction, no attachments, including wires, shall be made on any protected tree.

Concrete, asphalt, or any other impervious material may not be placed within a specified distance of any protected tree as determined to be appropriate by the Planning and Zoning Board for the size and species of tree that would be affected.

G. UTILITY EASEMENT TRIMMING

Electric utility companies and their contractors that perform vegetation maintenance and tree pruning or trimming within electric utility right-of-way corridors shall do so in accordance with the following requirements. As defined in State law (F.S. 163.3209), “vegetation maintenance and tree pruning or trimming” means “the mowing of vegetation within the right-of-way, removal of trees or brush within the right-of-way, and selective removal of tree branches that extend within the right-of-way.”

1. All tree management will be limited to what is necessary for the proper maintenance of existing and new utility facilities in order to provide safe and reliable utility service.
2. Prior to vegetation maintenance and tree pruning or trimming, the utility shall provide the City Administrator with a minimum of five (5) business days’ advance notice. Such

- advance notice is not required for vegetation maintenance and tree pruning or trimming required to restore electric service or to avoid an imminent vegetation-caused outage.
3. The electric utility shall meet with the City Administrator to discuss and submit the utility's vegetation maintenance plan, including the utility's trimming specifications and maintenance practices. The plan shall identify any patriarch trees that are proposed for trimming and the amount of trimming proposed.
 4. Vegetation maintenance and tree pruning or trimming conducted by utilities shall conform to American National Standards Institute (ANSI) A300 (Part I)—2001 pruning standards and ANSI Z133.1-2000 Pruning, Repairing, Maintaining, and Removing Trees, and Cutting Brush—Safety Requirements.
 5. Vegetation maintenance and tree pruning or trimming conducted by utilities must be supervised by qualified electric utility personnel or contractors licensed to do business in the City of Apalachicola and trained to conduct vegetation maintenance and tree trimming or pruning consistent with these requirements or by Certified Arborists certified by the certification program of the International Society of Arboriculture. Trimming of patriarch trees may only be performed by Certified Arborists.
 6. In their decisions on proposed site plans and tree permits, the Planning and Zoning Board and Building Department shall not require the planting of trees that will reach a height of greater than fourteen (14) feet in electric utility rights-of-way or intrude from the side on power lines.
 7. The utility shall develop standards to minimize clearing distances for eighteen (18)-month cyclical pruning. The standards shall be tiered to recognize growth patterns of different species and maintain the essential character of the trees and at no time shall the removal of more than twenty five (25) percent of any tree's canopy occur within an eighteen (18)-month period.
 8. Target clearance distance shall fall within the four to six (4 to 6) foot range, trimmed according to International Society of Arboriculture standards.
 9. The utility shall continue its program of community education to ensure that the public is made aware of the need for utility pruning, what to expect when the pruning trucks come into a neighborhood, and to allow citizens to express their concerns and get answers before trimming begins.
 10. The City of Apalachicola and the utility will evaluate alternative system engineering design whenever trees twenty-four (24) inches diameter breast height or larger are to be affected. If the alternative design is determined to be economically viable the utility will perform the alternative construction.
 11. Should disagreements on tree trimming arise between the utility and the owner of property on which an affected tree is located, the Code Enforcement Officer shall meet

with the utility and property owner to reach resolution, if possible.

12. The utility should continue to explore and propose to the City Commission alternatives for converting overhead lines to underground transmission lines.

H. SPECIAL BEAUTIFICATION FUND

At a rate of [\$__ per protected tree with a maximum of \$__ per lot per tree permit; \$__ per tree permit (flat fee no matter how many trees removed); or progressively increasing amount per tree], fees collected for the lawful removal or relocation of protected trees and fines from the unlawful removal, relocation, or substantial alteration of protected trees (section I) shall be placed in a Special Beautification Fund maintained by the City of Apalachicola. These funds will be spent to establish, maintain, and promote a beautification and reforestation program on City property, primarily along highway corridors and in City parks. These fees are in addition to the per-permit fee charged by the City for the administrative processing of a tree permit application, which are not deposited in the Special Beautification Fund.

I. PENALTIES FOR VIOLATIONS

Any person that removes or substantially alters a protected tree before a tree permit is obtained shall be charged a doubled application fee for an after-the-fact permit.

If an after-the-fact tree permit is not issued because the tree removal or substantial alteration is not in accordance with these tree protection regulations, a fine in the amount specified in section III.D.1 of this Code shall be imposed.

Any person that illegally removes or substantially alters a patriarch tree shall be fined up to \$25,000.

Commercial tree care contractors or general contractors are required to be licensed by the City in order for them to conduct business within the City. Two or more violations of any provision of these tree protection requirements by any commercial tree care contractor or general contractor may result in revocation of such person's license to do business within the City.

J. APPEALS

Any person who is denied a tree permit by the Planning and Zoning Board, Code Enforcement Officer, or City Administrator may appeal that decision to the City Commission (section III.A.1.d).

Any person who is denied a tree permit for a patriarch tree by the City Commission may appeal that decision to the circuit court (section III.A.1.d.3).

SUMMARY OF PROPOSED REVISIONS TO CITY TREE PROTECTION REQUIREMENTS

1. Three Land Development Code sections containing the tree protection requirements.

- Chapter II definitions,
- Chapter VII site plan requirements, and
- New Chapter XI, which concerns tree protection.

2. Site plan review regulations.

- Applicability - Changed to apply to all single-family dwellings (formerly didn't apply to single-family dwellings outside the Special Waterfront District).
- Time limit on construction – To be consistent with Chapter III building inspector requirement, changed time limit to commence construction from 1 year to 180 days.
- Tree protection.
 - A map showing lot boundaries; footprints of existing and proposed structures and improvements; tree species and size (inches diameter breast height) of existing protected trees; protected trees that are proposed to be removed, relocated, or substantially altered; and fences or other protective barriers that will be erected around protected trees at the tree drip lines.

3. Protected, native trees.

2011 Tree Ordinance – no minimum size	Proposed 2018 Tree Ordinance – diameter ≥ 4"
Live oak	Live oak
Magnolia	Southern magnolia
Sabal/cabbage palm	Sabal palm
Slash pine	Slash pine
Red oak	Southern red oak
White oak	White oak
	Water oak
	Eastern and southern redcedar
	Longleaf pine
	Pecan
	Bald and pond cypress
	Sycamore
	Sugarberry
	Red maple
	Loblolly pine
	Pignut hickory

4. Patriarch trees (protected trees greater or equal to 35 inches in diameter) cannot be removed or substantially altered unless:

- During a City-declared emergency or in case of imminent hazard (danger to public safety or property), the Code Enforcement Officer, City Administrator, or their designee approves or
- In a non-emergency or non-imminent hazard situation, the City Commission approves.
 - Planning and Zoning Board reviews tree application and makes recommendation to Commission.
 - City Commission approves tree permit only if not doing so would make the lot undevelopable for a principal structure (taking into consideration the location of the tree and such requirements as setbacks and minimum required size for single-family dwellings).
 - For instance, if a property owner wants to remove a patriarch tree to build a 2,000 square foot house, but building an 800 square foot house (the minimum house size allowed in zone R-1, single-family residential) could be done without the need to remove the tree, the tree application for the larger house would not be approved.

5. Substantial alteration (topping, cutting of major lower limbs (severe elevating), and significant trimming that destroys natural symmetry) of protected tree not allowed except:

- During a City-declared emergency,
- In case of an imminent hazard to public safety or property, or
- When a permit is obtained in a non-emergency or non-imminent hazard situation to eliminate limbs that encroach on an adjacent structure.

6. Tree permits (tree removal, substantial alteration, and relocation).

- Required on both private property and City property.
 - Private landowner has to obtain permit and bear cost of removal or substantial alteration of protected trees on City property adjacent to landowner's property.
 - A City department wanting to remove or substantially alter a protected tree on City property (e.g., parks, rights of way along streets) has to receive approval from the Code Enforcement Officer, City Administrator, or their designee.

7. Utility easement trimming (Duke Energy trimming along electric power lines).

- Reiterates State law requirements allowing tree management necessary for the proper maintenance of existing and new utility facilities in order to provide safe and reliable utility service.
- No trees that will get taller than 14 feet are to be planted in electric utility rights of way.
- Utility has to give City Manager at least 5 business day advance notice of tree trimming.
- Utility allowed to trim trees adjacent to lines so that in the coming 18-month period limbs won't grow closer than 4 to 6 feet of lines.

- Utility is not allowed to remove more than 25 percent of a tree’s canopy in any 18-month period.

8. Special Beautification Fund and fines.

Fund to be used for beautification and reforestation program on City property, primarily along highway corridors and in City parks (separate from \$50 administrative fee charged for processing each tree permit).

Current Tree Ordinance (adopted in 2011).

Diameter of protected tree removed (inches)	Number of <u>replacement trees</u> required	Fines for illegal removal
Less than 8	2	\$500
8 to 15	4	\$2,000
15 to 25	6	\$5,000
25 to 35	8	\$10,000

Changes to Tree Ordinance proposed in 2015, but not adopted.

Diameter of protected tree removed (inches)	<u>Value of tree</u> or fine (per tree)
4 to 8	\$200
8 to 15	\$400
15 to 25	\$600
25 to 35	\$800

Tree Committee’s current proposal.

- No replacement trees required.
- Fees for removal of protected trees - alternatives.
 - \$X per protected tree with a maximum of \$Y per lot per tree permit (e.g., \$25/tree with maximum of \$100/lot).
 - Flat fee (same fee for removal of one or many protected trees; e.g., \$100/lot).
 - Progressively increasing amount (\$X each for each of first five trees (e.g., \$25/tree), \$2X each for each of next five trees (e.g., \$50/tree), etc.).
 - Other suggestions?
- Fines.
 - Doubled application processing fee (\$100) if a person removes, relocates, or substantially alters a protected tree and receives an after-the-fact permit.
 - Up to \$500 fine for illegal removal of protected, nonpatriarch tree (Land Development Code section III.D.1). Considerably less than the \$500 to \$10,000 fines of current (2011) Tree Ordinance.
 - Up to \$25,000 fine for illegal removal of patriarch tree.

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CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, June 11th, 2018
Community Center/City Hall – 1 Bay Avenue
AGENDA MINUTES

Present: Chairperson: Tom Daly, Jim Bachrach, Geoff Hewell, Fred Vogt, Uta Hardy, Joe Taylor. City Planner: Cindy Clark. City Administrator: Lee Mathes. Code Enforcer: Wilbur Bellew. Permitting and Development Coordinator: Cortni Bankston

Joint Workshop – 5p.m.

Short Term Vacation Rentals Clarification – **Discussion Held**

Regular Meeting – 6p.m.

- 1) Approval of May 14th, 2018 Regular Meeting Minutes. **Motion to approve: Jim Bachrach, 2nd: Geoff Hewell. Motion Carried.**
- 2) Review, Discussion and Decision for a revision of an existing 3 foot fence to a 6 foot wood privacy fence on partial of the rear of property and left side of property (**HISTORIC DISTRICT**) @ 25 5th Street, Block(s) 11, Lot(s) 9 & 10, For – David Sutton, Contractor – Forgotten Coast Solutions, LLC. **Motion to Table (Fence height needs to be revised – front yard requirement) Geoff Hewell. 2nd: Joe Taylor. Motion Carried.**
- 3) Review, Discussion and Decision for new construction for new single family residence @ (Address to be determined), Block 207, Lot(s) 14, 15, & 16, For – Elinor Mount Simmons, Contractor – America's Home Place. **Motion to Approve: Jim Bachrach. 2nd: Fred Vogt. Motion Carried.**
- 4) Review, Discussion and Decision for new construction for new single family residence @ 108 Bay Avenue, Block 194, Lot(s) 6, 7, 8, 9, & 10, For – Glen/Curtis G Moon, Contractor – Owner/Self. **Motion to Table: Jim Bachrach, 2nd: Uta Hardy. Motion Carried.**

Chairperson

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Parcel Summary

Parcel ID 12-095-08W-1000-0000-0230
 Location Address 123 BAY COLONY WAY
 APALACHICOLA 32320
 Brief Tax Description* BAY COLONY SUB LOT 23 PB 8/5 808/744 1000/585 1190/485
 *The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng --
 Tax District Apalachicola (District 3)
 Millage Rate 22.1988
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Grzelak Jeff F & Donna M
 As Joint Tenants W/R/O/S
 1218 Woodbury Commons, Unit B
 Waukesha, WI 53189

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	1.00	UT	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/17/2017	\$42,500	WD	1190	485	Qualified (Q)	Vacant	COOK	GRZELAK/GRZELAK
N	11/16/2009	\$100	WD	1000	585	Unqualified (U)	Vacant	BLOODWORTH/COOK	COOK
N	08/26/2004	\$77,500	WD	808	744	Unqualified (U)	Vacant	FIGHTING CHAIR PARTNERS LLC	BLOODWORTH

Valuation

	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0
Land Value	\$38,000	\$35,000	\$35,000
Land Agricultural Value	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0
Just (Market) Value	\$38,000	\$35,000	\$35,000
Assessed Value	\$38,000	\$35,000	\$35,000
Exempt Value	\$0	\$0	\$0
Taxable Value	\$38,000	\$35,000	\$35,000
Maximum Save Our Homes Portability	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

Last Data Upload: 7/2/2018 7:54:39 AM

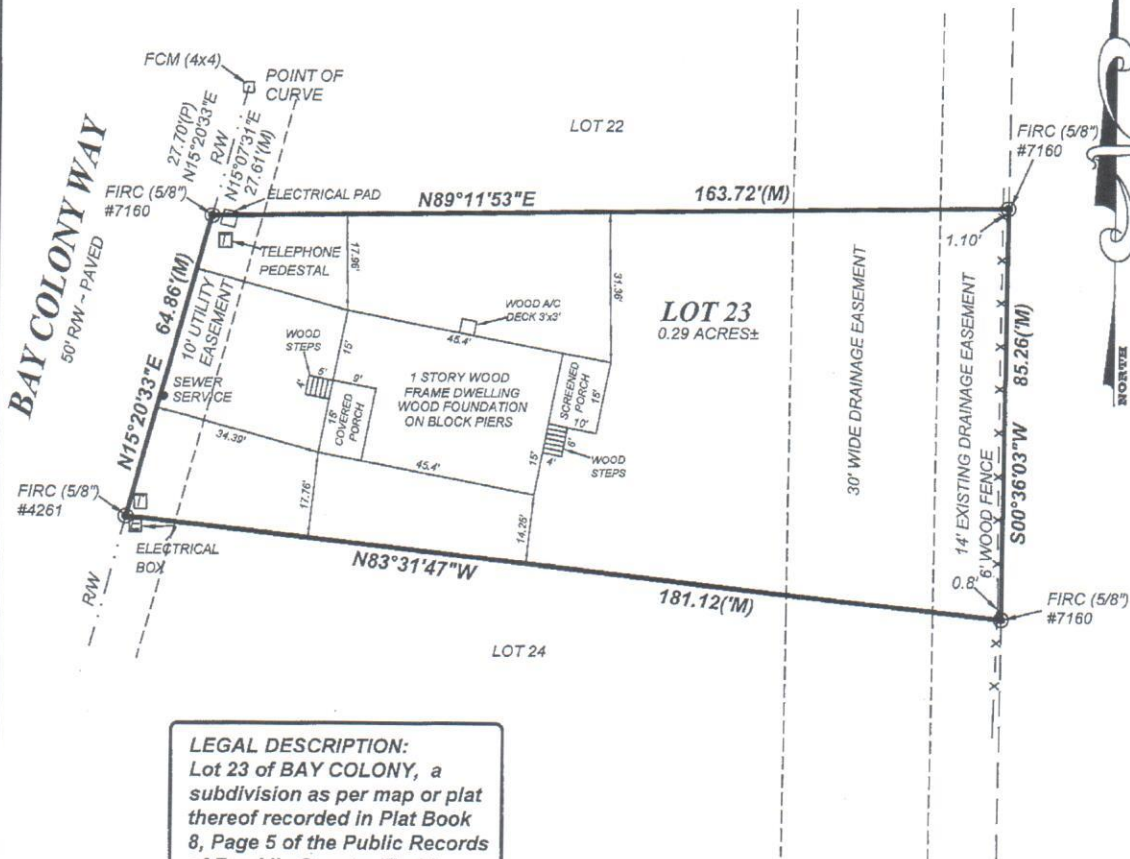


PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 JEFF F. GRZELAK and DONNA M. GRZELAK,
 CAPITAL CITY BANK,
 SANDERS & DUNCAN, P.A.,
 CHICAGO TITLE INSURANCE COMPANY

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.



LEGAL DESCRIPTION:
 Lot 23 of BAY COLONY, a
 subdivision as per map or plat
 thereof recorded in Plat Book
 8, Page 5 of the Public Records
 of Franklin County, Florida

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southerly boundary of subject parcel being North 83 degrees 31 minutes 47 seconds West as per record plat.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

LEGEND

FCM	FOUND CONCRETE MONUMENT
RW	RIGHT-OF-WAY
M	MEASURED
— —	NOT TO SCALE
△	POINT NOT SET OR FOUND
SIRC	SET (5/8") IRON ROD AND CAP #7160
FIRC	FOUND (5/8") IRON ROD AND CAP
RP	RECORD PLAT
FND	FOUND
RND	ROUND
CM	CONCRETE MONUMENT

REVISED 05/10/18; FINAL SURVEY-BB
 REVISED 12/19/17; FOUNDATION SURVEY

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

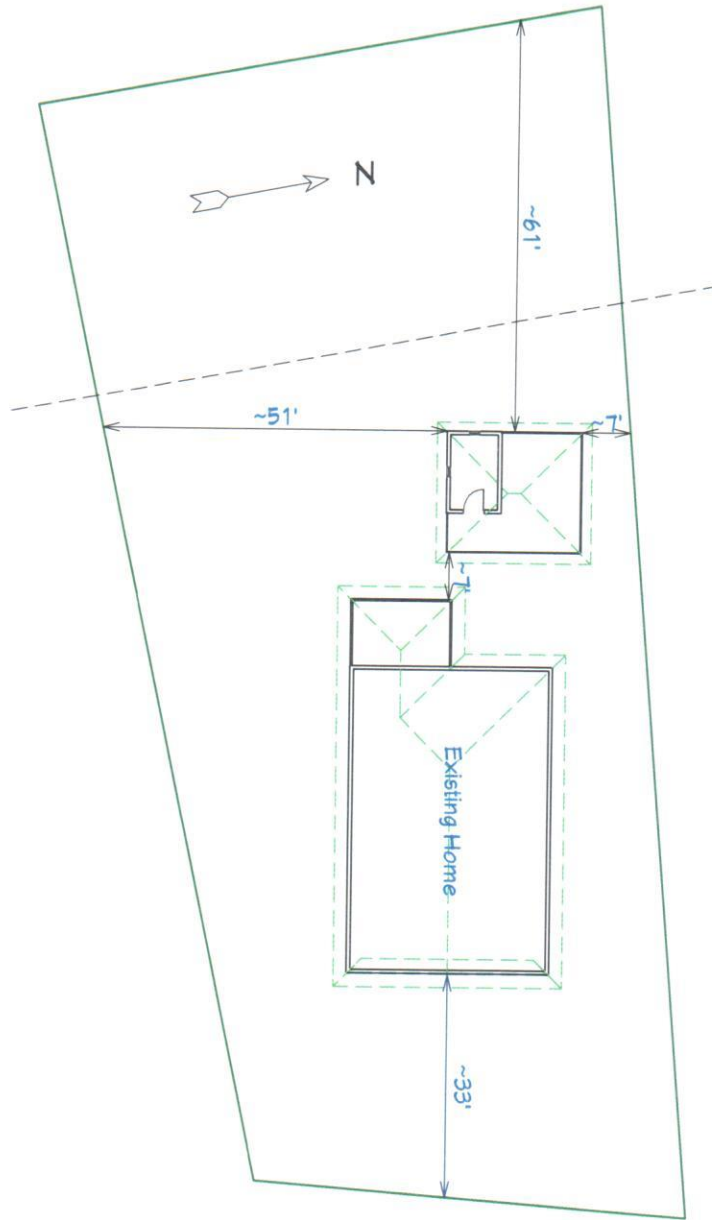
The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundary.

James T. Roddenberry
 JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4261

FLOOD ZONE INFORMATION:

Subject property is located in Zone "AE" (EL 11) as per Flood Insurance Rate Map Community Panel No: 120088 0509F index date: February 5, 2014, Franklin County, Florida.

TR & A	Thurman Roddenberry & Associates, Inc.		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 850-943-2538 FAX NUMBER: 850-943-3788 LB # 7160		
DATE: 04/06/17	DRAWN BY: MMD	N.B.804 PG.13	COUNTY: Franklin
FILE: 02467L23.DWG	DATE OF LAST FIELD WORK: 05/08/18	JOB NUMBER: 02-487	



← Bay Colony Way →

Owner	123 Bay Colony Way	1st Choice Builders, Inc.	Site Plan	Storage: 94 sq ft	1/16" = 1'	6/25/15
Jeff and Donna Grzelak	Apalachicola, FL 32320	Baye Yard	Refer to Page 2 Site Plan Details for Additional Information	Carport: 260 sq ft	Z1114	1
						1

GENERAL NOTES:

- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS, PITCHES, OVERHANGS, ETC PRIOR TO START
- FINAL PLACEMENT OF HOUSE AND GARPORT (PAGE 1) IS APPROXIMATE
- ARCHITECTURAL FINISHES PER OWNER/CONTRACTOR. MAY VARY FROM SHOWN.

GENERAL FRAMING NOTES:

(See Page 4)

- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS PRIOR TO START
- ARCHITECTURAL FINISHES PER OWNER/CONTRACTOR. MAY VARY FROM SHOWN.
- METAL ROOF
- 2X6 STUD @ 16" C-C EXTERIOR WALLS
- PRE-ENGINEERED ROOF TRUSSES
- 10' CEILING HEIGHT
- HARDI PLANK SIDING (EXTERIOR)

GENERAL ELECTRICAL NOTES:

(See Page 5)

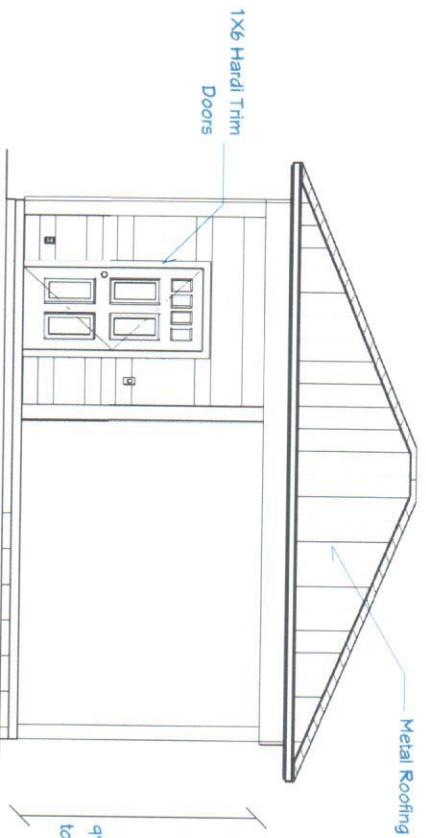
- ELECTRICAL DESIGN & INSTALLATION TO BE BY FLORIDA LICENSED ELECTRICAL CONTRACTOR PER N.E.C. REQUIREMENTS/LOCAL CODES
- ELECTRICAL CONTRACTOR TO SIZE AND LOCATE ALL ELECTRICAL SERVICE PANELS, BREAKERS, AND/OR DISCONNECTS AS REQUIRED BY THE ELECTRICAL SYSTEM AND IOR CODE
- ELECTRICAL CONTRACTOR TO PROVIDE AND SIZE ELECTRICAL SERVICES FOR ALL EQUIPMENT PER MANUFACTURERS' REQUIREMENTS AND INSTALL IN COMPLIANCE WITH ALL GOVERNING CODES
- ELECTRICAL FINISHES PER OWNER/CONTRACTOR. MAY VARY FROM SHOWN
- ALL SWITCHES MUST BE GROUNDED
- DISCONNECTS FOR ELECTRICAL PANELS MUST HAVE WORKING CLEARANCES
- ALL DAMP AREA ELECTRICAL FIXTURES MUST BE U.L. WEATHER RELATED
- WALL SWITCHES MOUNTED 48" AFF
- DUPLEX RECEPTACLES MOUNTED 48" AFF

GENERAL ROOF NOTES:

(See Page 5)

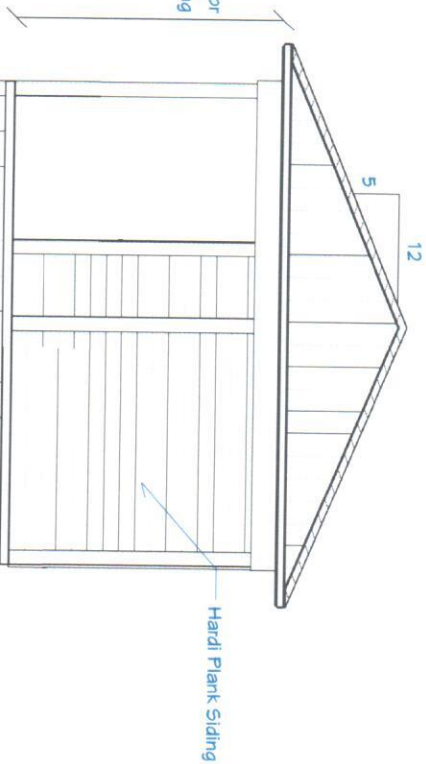
- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS, PITCH, OVERHANGS, PRIOR TO START
- PRE-ENGINEERED ROOF TRUSSES
- TRUSS SPACING SHALL BE NO MORE THAN 24" ON CENTER
- SHOWN AS 5" IN 12" PITCH
- OVERHANG: 16"
- METAL ROOF

30 Jeff and Donna Grzelak	123 Bay Colony Way Apalachicola, FL 32320	181 Choice Builders, Inc. Bryce Ward	General Notes	Storage: 94 sq ft Carport: 268 sq ft	1 1/4" = 1' 2/11/14 Pg 1 of 2
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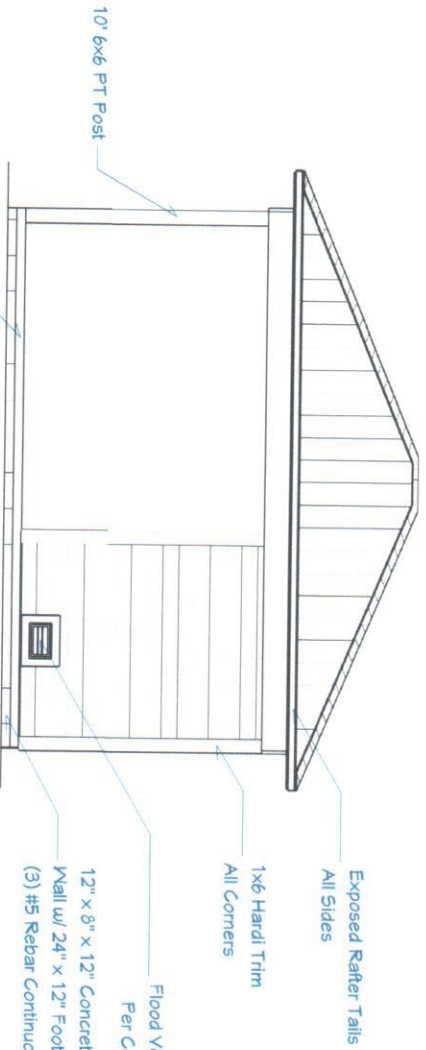


Front Elevation

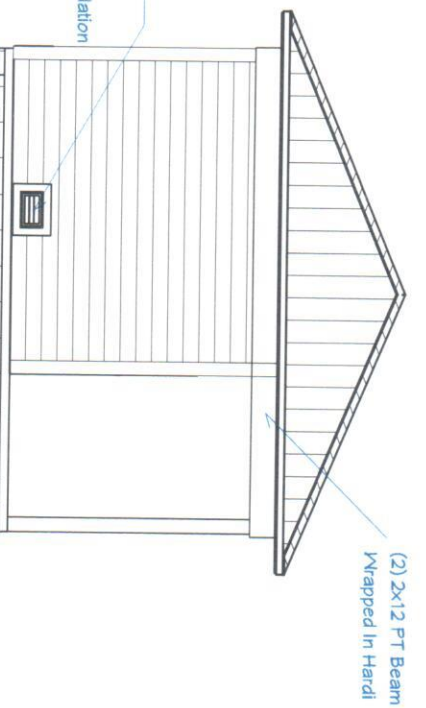
Height of Finished Floor Above Grade To Be Determined On Site By Contractor



Right Elevation

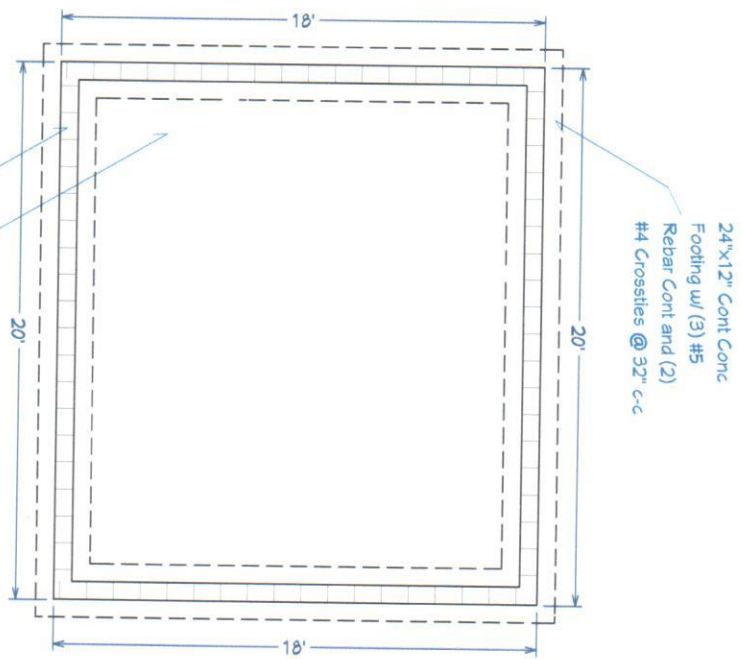
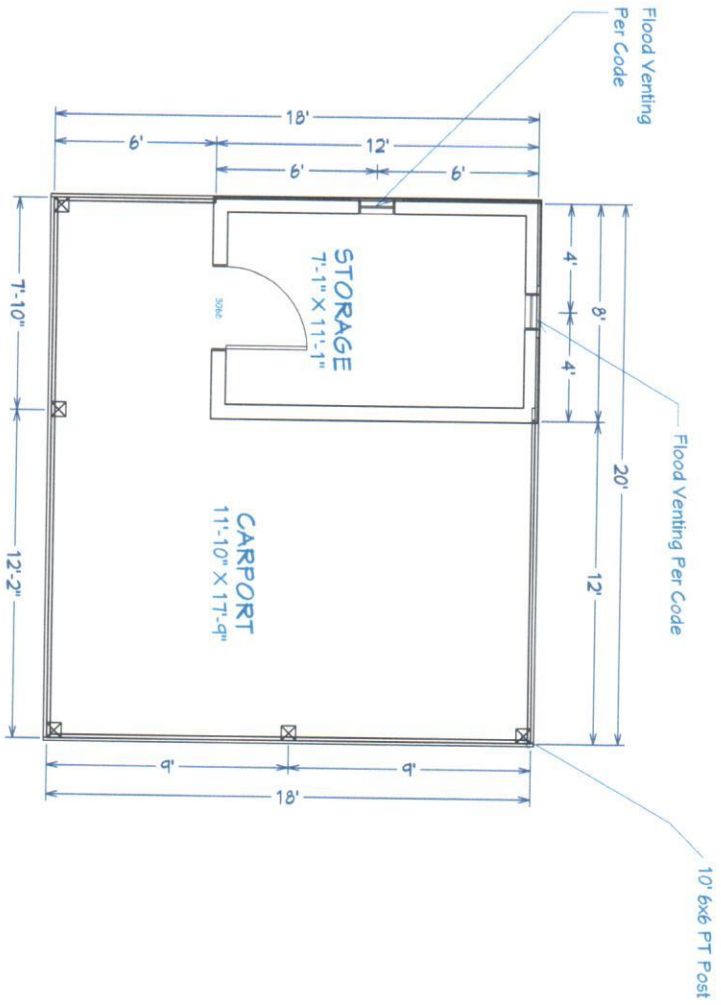


Rear Elevation



Left Elevation

Owner Jeff and Donna Grzelak	Address 123 Bay Colony Way Apalachicola, FL 32320	Builder 1st Choice Builders, Inc. Bryce Ward	Elevations	Storage: 94 sq ft Carport: 260 sq ft	21/4" = 1' 21114	6/25/15 1	3
---------------------------------	---	--	------------	---	---------------------	--------------	---

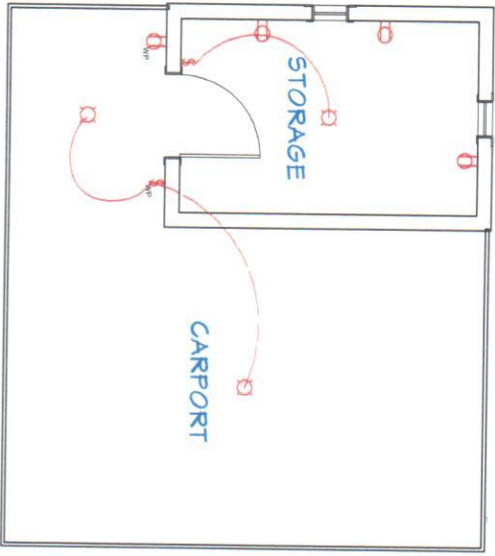


Dimensioned Floor Plan

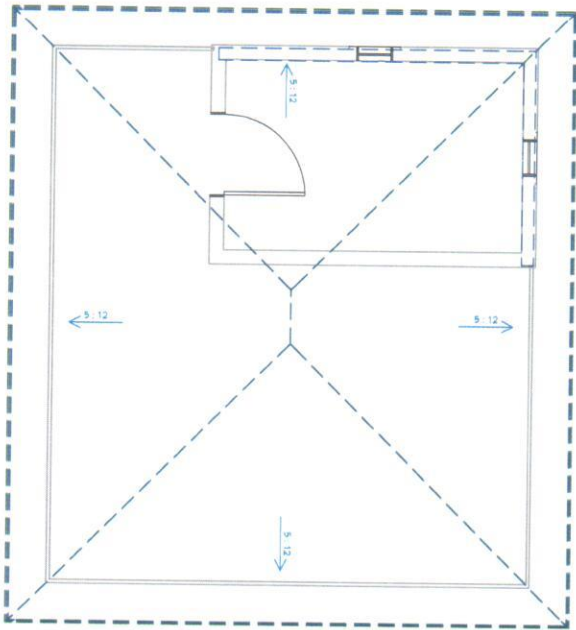
Foundation Plan

Client Jeff and Donna Grzelak	Address 123 Bag Colony Way Apalachicola, FL 32320	Builder 1st Choice Builders, Inc. Byge Ward	Project Dimensioned Floor & Foundation Plan	Storage 94 sq ft Carport: 268 sq ft	Scale 1/4" = 1'-0" 21/114	Date 6/25/15
----------------------------------	---	---	---	---	---------------------------------	-----------------

Refer to Page 2 Drawing Notes for Additional Information



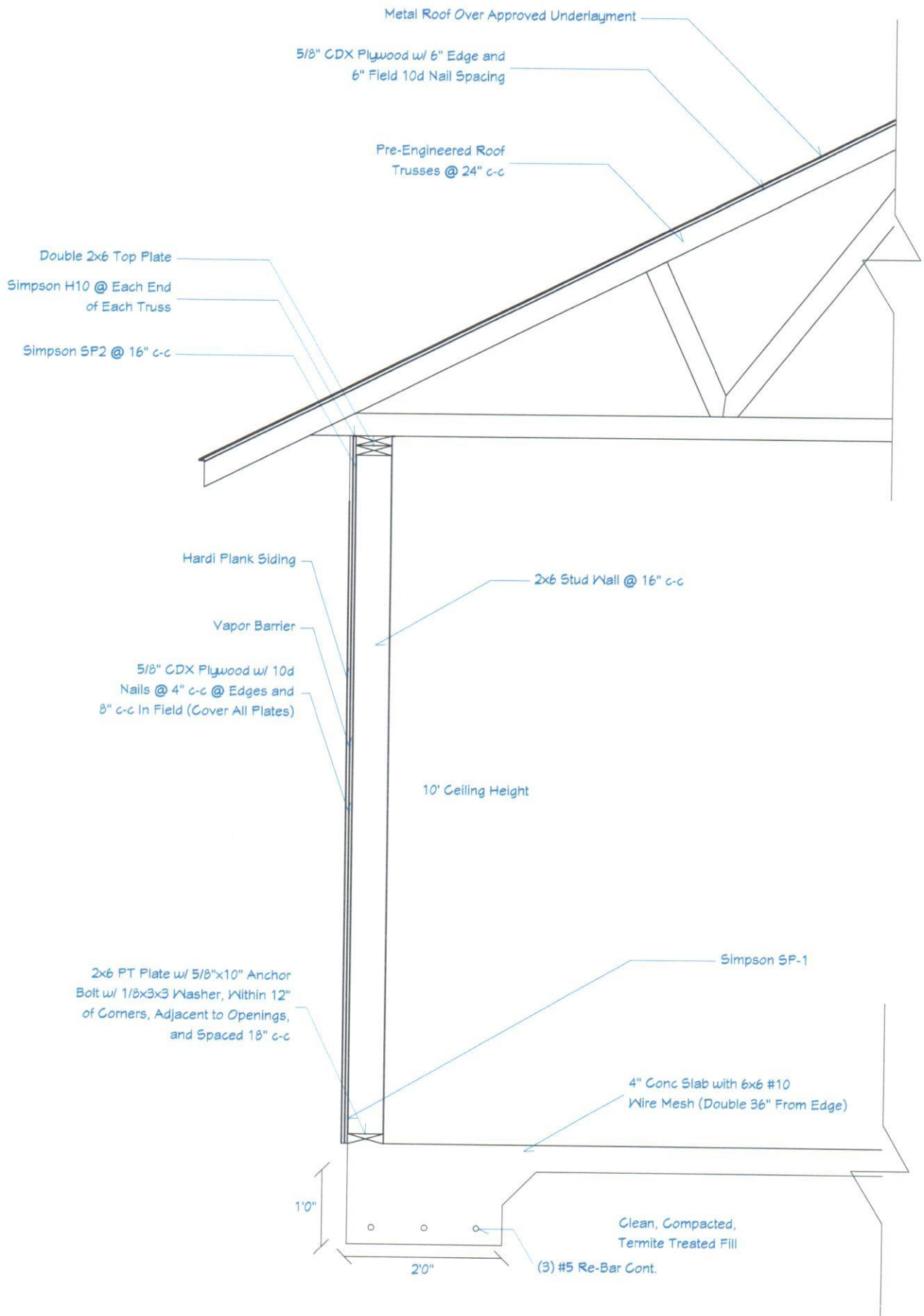
Electrical Plan



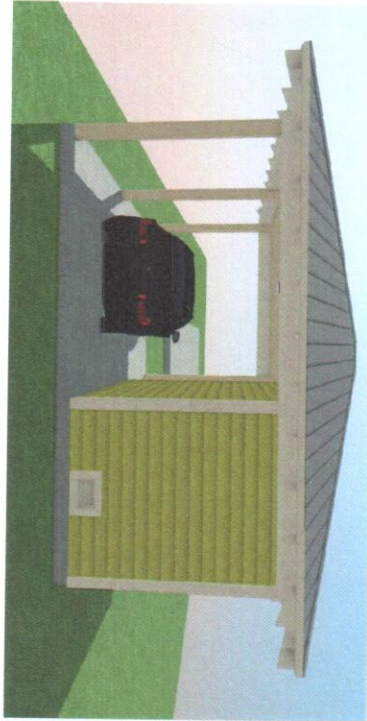
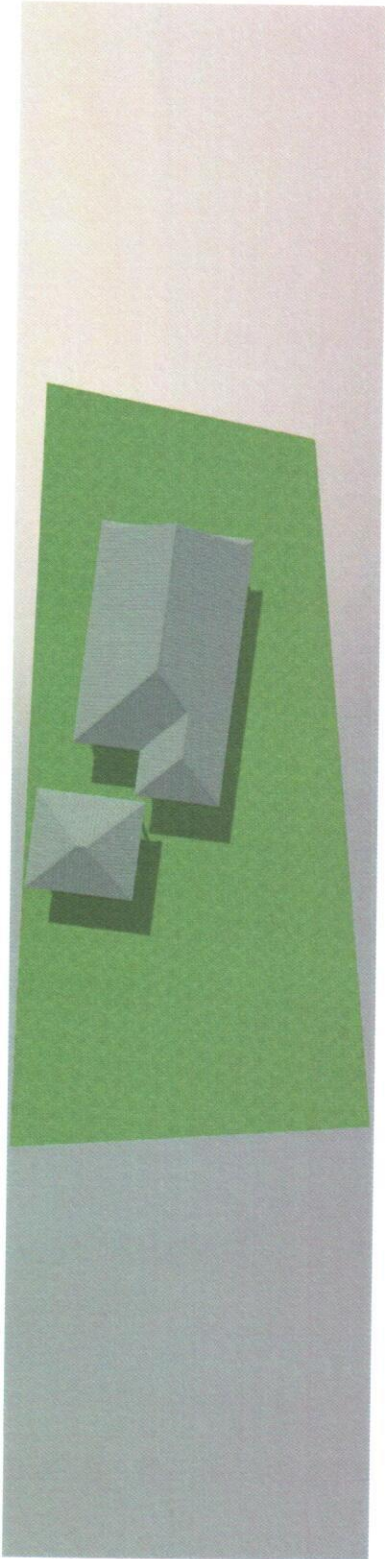
Roof Overview

3 Jeff and Donna Grzelak	Address 123 Bag Colony Way Apalachicola, FL 32320	Building 1st Choice Builders, Inc. Bryce Ward	Electrical Plan & Roof Overview	Storage: 94 sq ft Carport: 260 sq ft	Scale $\frac{1}{4}'' = 1'$ 21114	Date 6/25/18	Sheet 1 of 5
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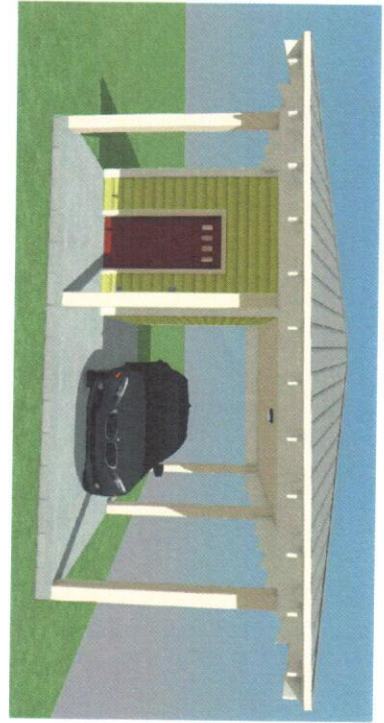
Refer to Page 2 General Notes for additional information



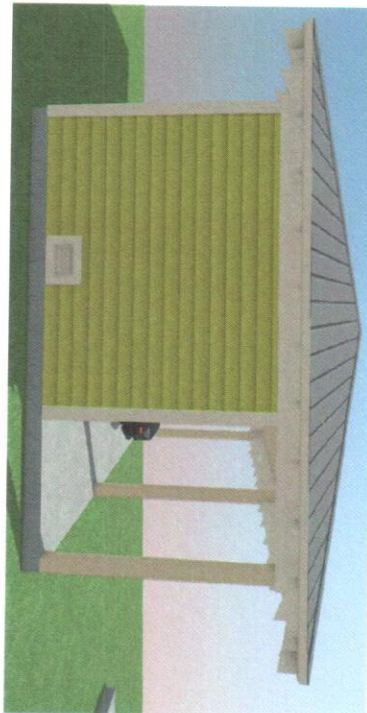
Owner	Jeff and Donna Grzelak
Address	123 Bag Colony Way Apalachicola, FL 32320
Builder	1st Choice Builders, Inc. Byrce Ward
Details	
Storage	94 sq ft
Carport	268 sq ft
Plan	Scale 1" = 1' Z1114
Rev	Date
1	6/25/18
Page	6



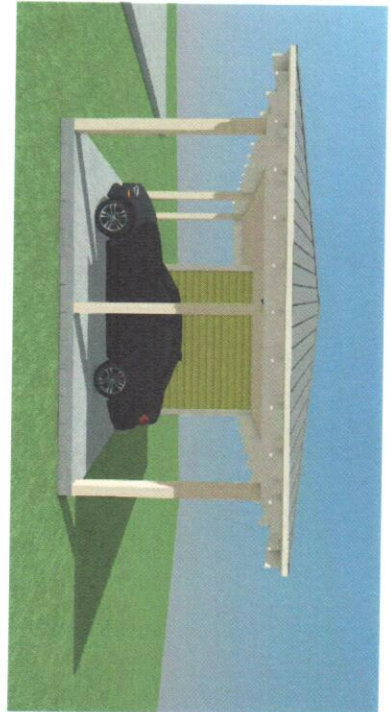
Rear



Front



Left



Right

Owner	Jeff and Donna Grzelak
Address	123 Bay Colony Way Apalachicola, FL 32320
Builder	1st Choice Builders, Inc. Bryce Yard
Images	Images Not to Scale - Final Architectural Renderings May Vary Project: 20240101-001
Storage:	94 sq ft
Carport:	260 sq ft
Scale	N/A
Date	6/25/15
Page	1
Total Pages	N/A

PAGE BREAK



Parcel Summary

Parcel ID 12-095-08W-1000-0000-0090
 Location Address 154 BAY COLONY WAY
 APALACHICOLA 32320
 Brief Tax Description* BAY COLONY SUB LOT 9 PB 8/5 773/741 791/86 801/593 1067/681 1216/418
 *The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng --
 Tax District Apalachicola (District 3)
 Millage Rate 22.1988
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Swarts Leon & Geraldine Swarts
 1278 Cherokee Road
 Louisville, KY 40204

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	1.00	UT	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/13/2018	\$32,500	WD	1216	418	Qualified (Q)	Vacant	MCINTIRE	SWARTS
N	06/09/2012	\$39,000	WD	1067	681	Qualified (Q)	Vacant	AMRHEIN	MCINTIRE
N	07/19/2004	\$139,900	WD	801	593	Qualified (Q)	Vacant	DOG CATCHER PROPERTIES,LLC	NORMAN III/DOG CATCHER,LLC
N	05/24/2004	\$100	WD	791	86	Unqualified (U)	Vacant	MATHEWS	DOG CATCHER PROPERTIES,LLC
N	01/28/2004	\$130,000	WD	773	741	Unqualified (U)	Vacant	FIGHTING CHAIR	MATHEWS

Valuation

	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0
Land Value	\$38,000	\$35,000	\$35,000
Land Agricultural Value	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0
Just (Market) Value	\$38,000	\$35,000	\$35,000
Assessed Value	\$38,000	\$35,000	\$33,275
Exempt Value	\$0	\$0	\$0
Taxable Value	\$38,000	\$35,000	\$33,275
Maximum Save Our Homes Portability	\$0	\$0	\$1,725

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

[NWFWMD Flood Information Report, Effective FIRM Issue Date: 2/5/2014](#) [Close this report window to get back to the information portal](#)

Effective Flood Map, Has been effective since 2/5/2014



Geographical Information

Latitude/Longitude: 29.71565 / -84.999883

[Print this report](#)

Address: ALPHA ST APALACHICOLA FL 32320 [APPROXIMATE]

Parcel ID: 01-09S-08W-8370-0005-0010

Firm Panel: 12037C0528F (Effective)

Flood Information

Flood Zone Information

Geographic Entity

Location of Interest

Parcel

Effective Flood Zone

AE

AE:100%

Base Flood Elevation*

11.0ft

(Effective BFE)

*The computed elevation to which floodwater is anticipated to during the base flood (100 Year Flood). Base Flood Elevations are shown on Flood Insurance Rate Maps (FIRMs) and on the profiles. The BFE is the regulatory requirement for the elevati floodproofing of structures. The relationship between the BFE structure's elevation determines the flood insurance premium. of measurement is NAVD1988.

Legend

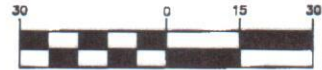


Location of Interest



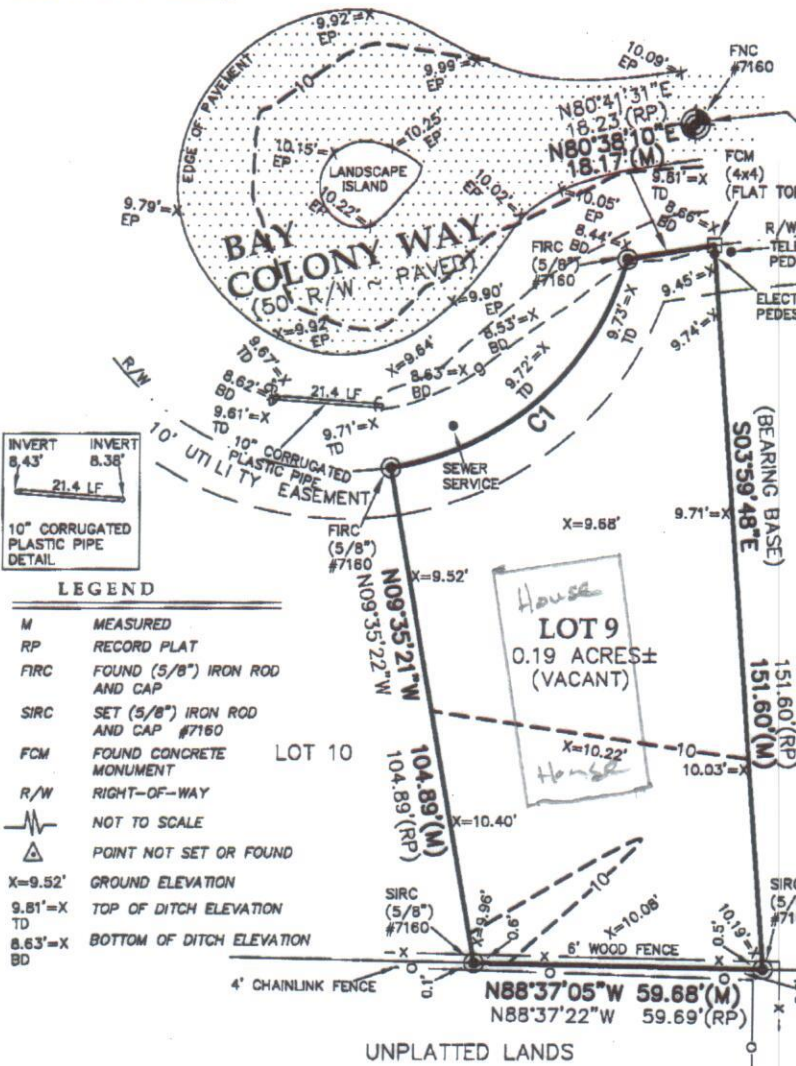
Parcel Outline

**PLAT OF BOUNDARY & TOPOGRAPHICAL SURVEY CERTIFIED TO:
LEON SWARTS,
GRAPHIC SCALE**

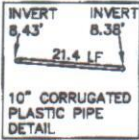


(IN FEET)
1 inch = 30 ft.

SITE BENCHMARK:
NAIL & CAP #7160 SET IN R/W
ELEVATION 10.28' NAVD 1988



C1
R=60.00'
L=68.93'
Δ 65°49'09"
CH=N48°15'08"E
65.20'(M)
R=60.00'
Δ=65°46'58"
L=68.89'
CH=N48°12'48"E
65.17'(RP)



- LEGEND**
- M MEASURED
 - RP RECORD PLAT
 - FIRC FOUND (5/8") IRON ROD AND CAP
 - SIRC SET (5/8") IRON ROD AND CAP #7160
 - FCM FOUND CONCRETE MONUMENT
 - R/W RIGHT-OF-WAY
 - NOT TO SCALE
 - POINT NOT SET OR FOUND
 - X=9.52' GROUND ELEVATION
 - 9.81'=X TOP OF DITCH ELEVATION
 - TD
 - 8.63'=X BOTTOM OF DITCH ELEVATION
 - BD

LOT 8

LEGAL

Lot 9, BAY COLONY, a subdivision as per map or plat thereof recorded in Plat Book 8, Page 5 of the Public Records of Franklin County, Florida.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Easterly boundary of subject parcel being South 03 degrees 59 minutes 48 seconds East as per record plat.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. FENCE LOCATION depicted hereon are exaggerated for clarity.
8. ELEVATIONS shown hereon are established using NAVD 1988 datum.

FLOOD ZONE INFORMATION:

Subject property is located in Zone "AE (EL 10)" as per Flood Insurance Rate Map Community Panel No: 120088 0509F, index date: February 05, 2014, Franklin County, Florida.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 6J-17.051/052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry

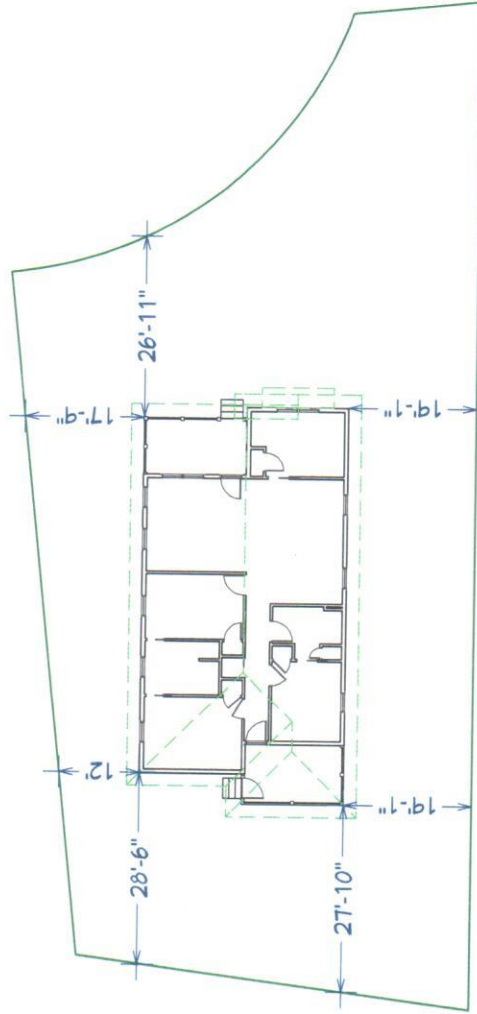
JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4251



THURMAN RODDENBERRY & ASSOCIATES, INC

PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358
 PHONE NUMBER: 850-940-2339 FAX NUMBER: 850-940-4100
 LB # 7360

DATE: 04/03/18	DRAWN BY: BB	N.B.603 PG.12	COUNTY: FRANKLIN
FILE: 02487L9.DWG	DATE OF LAST FIELD WORK: 04/02/18	JOB NUMBER: 02-487	



Pending Final Placement By
Owner/ Contractor To Comply
With All Applicable Setbacks

Leon and Geraldine Swarts Address 154 Bay Colony Way Apalachicola, FL 32320	1st Choice Builders, Inc. Bryce Ward	Site Plan <small>*Refer to Page 2 for Plot Details for Additional Information</small>	Heated and Cooled: 1541 sq ft Covered Floor: 1531 sq ft Screened Rear Porch: 152 sq ft 3/16" = 1' Z1111 6/25/18 1 1
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City of Apalachicola Tree Removal Application

Name: Leon & Geraldine Swarts
 Address: 154 Bay Colony Way - Apalachicola, FL 32320
 Phone #: 502-750-0955
 Contractor: 1st Choice Builders Inc.
 Contractor's Phone #: 850-653-7777
 Number of Trees: _____
 Type of Trees: Small Pines - Nothing Larger than 4" diameter

REQUESTED REASONS FOR REMOVAL; (MARK ONE OR MORE)

<input type="checkbox"/>	Trimming Limbs or Maintenance issues.
<input checked="" type="checkbox"/>	New Construction House or Building.
<input type="checkbox"/>	The tree has extensive decay throughout crown & main system.
<input type="checkbox"/>	Safety Issue, Leaning over house, In power lines, Foundation of house.
<input type="checkbox"/>	Insurance company will not cover unless tree is removed, Letter included.
<input type="checkbox"/>	Interfering with, Underground utilities, Sidewalks, Driveways, Etc.
<input type="checkbox"/>	Don't like tree or location on property, Will pay Mitigation of \$ _____.00

Applicant will provide all photos of trees and documentation that pertain to this application.

Applicant Signature: Boyer Ward Date: 6-25-18 Application Fee \$50.00

I understand a copy of the Ordinance is available on the City's website.

(www.cityofapalachicola.com)

And at City Hall's Office for review _____ initial.

NOTE: IF YOU ARE ADDRESSING A PROTECTED TREE (LIVE OAK, RED OAK, WHITE OAK, MAGNOLIA, SABLE/CABBAGE PALM, AND SLASH PINE) AN APPLICATION PROCESS AND P & Z APPROVAL ARE REQUIRED. SITE PLAN MUST BE SUBMITTED TO SHOW THE FOLLOWING INFORMATION AT A SCALE SUFFICIENT TO ENABLE THE DETERMINATION OF MATTERS REQUIRED UNDER ORDINANCE:

- _____ 1.) The shape and dimensions of the lot or parcel, together with the existing and/or proposed locations of structures and improvements, if any.
- _____ 2.) Location and dimensions of all existing trees which are subject to the protected tree provisions. Trees proposed to remain, to be re-located, or to be removed shall be so identified.
- _____ 3.) A statement showing how trees not proposed for removal are to be protected during land clearing and construction; i.e. a statement as to proposed protective barriers.
- _____ 4.) A statement as to grade changes proposed for the lot or parcel and how such changes will affect the matters regulated by Ordinance.

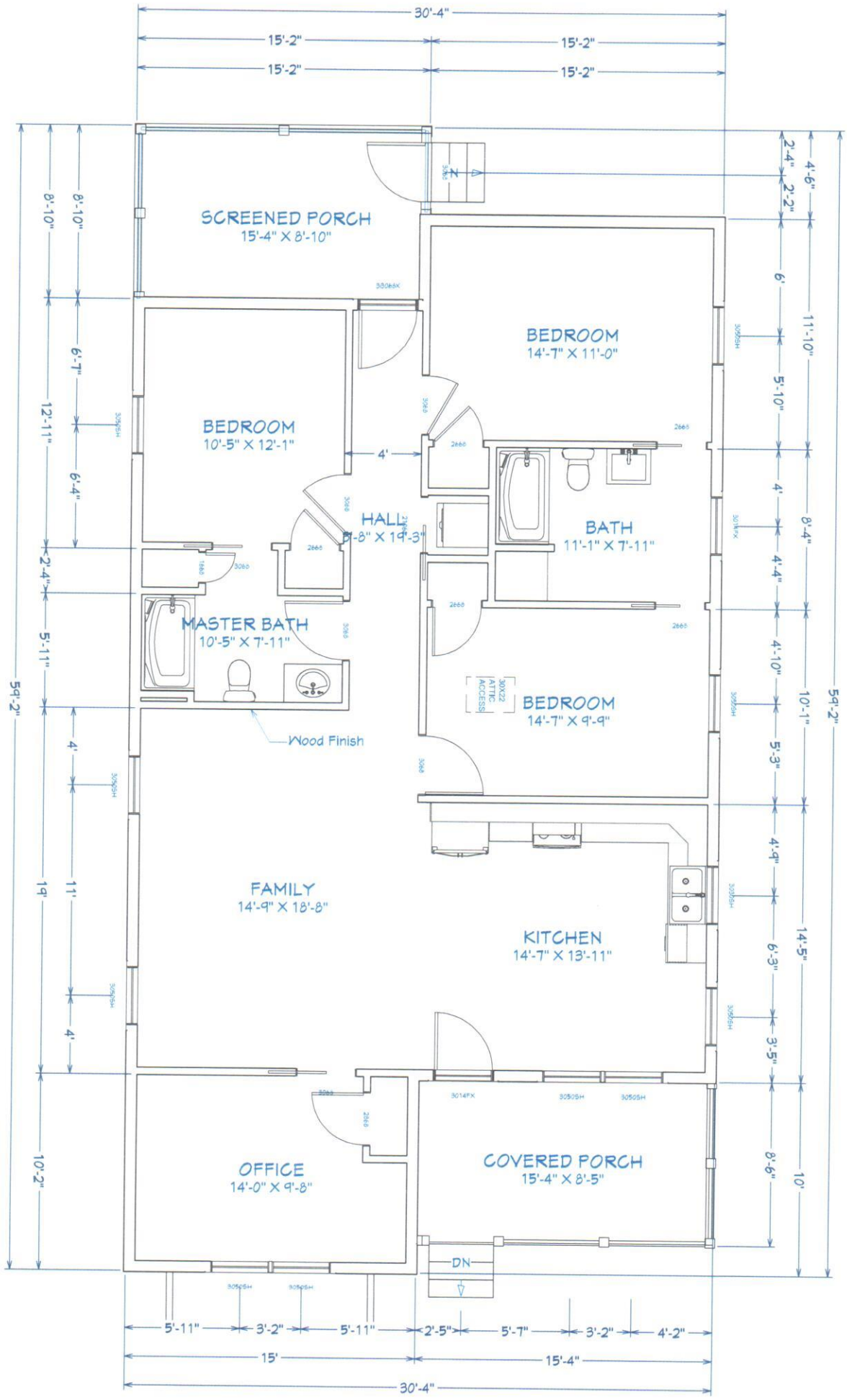
Date: _____	Approved: Yes ____ or No ____
Reason not approved: _____	
<p>Planning and Zoning's Recommendation is: Approved: _____ Denied: _____ Date: _____ Signature: _____</p>	<p style="text-align: center;">Approved By: City of Apalachicola</p> Code Enforcement Officer: _____ City Administrator: _____ Administrator's/Designee: _____ <hr/> City Commission; Approved: ____ or Denied: ____ Mayor, Van Johnson: _____ Date: _____



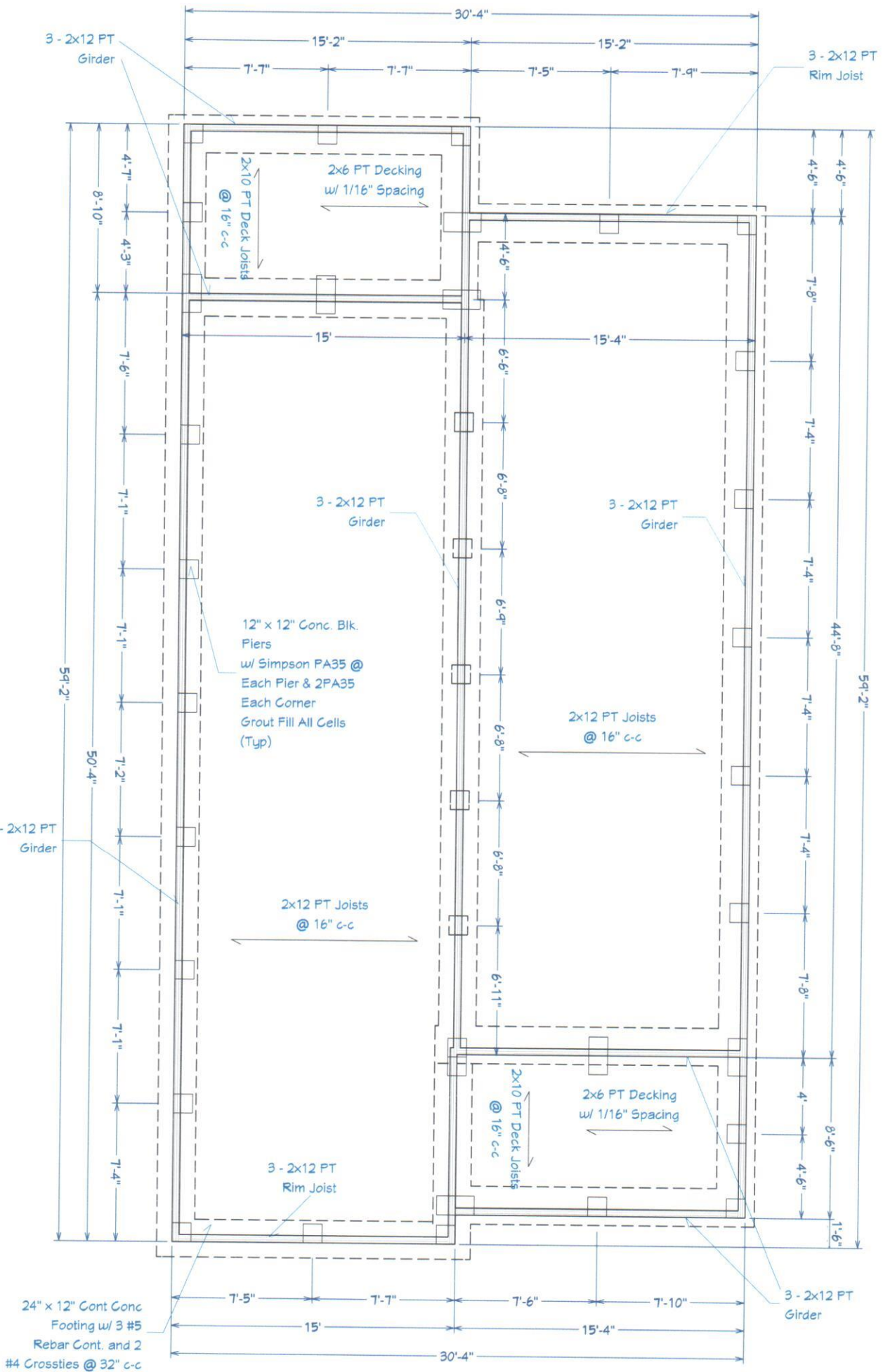
Cortni Bankston

From: Karen Ward <wardbk13@gmail.com>
Sent: Monday, June 25, 2018 12:58 PM
To: cortnibankston@cityofapalachicola.com
Subject: Swarts lot
Attachments: IMG_2356.JPG; Untitled attachment 00010.txt

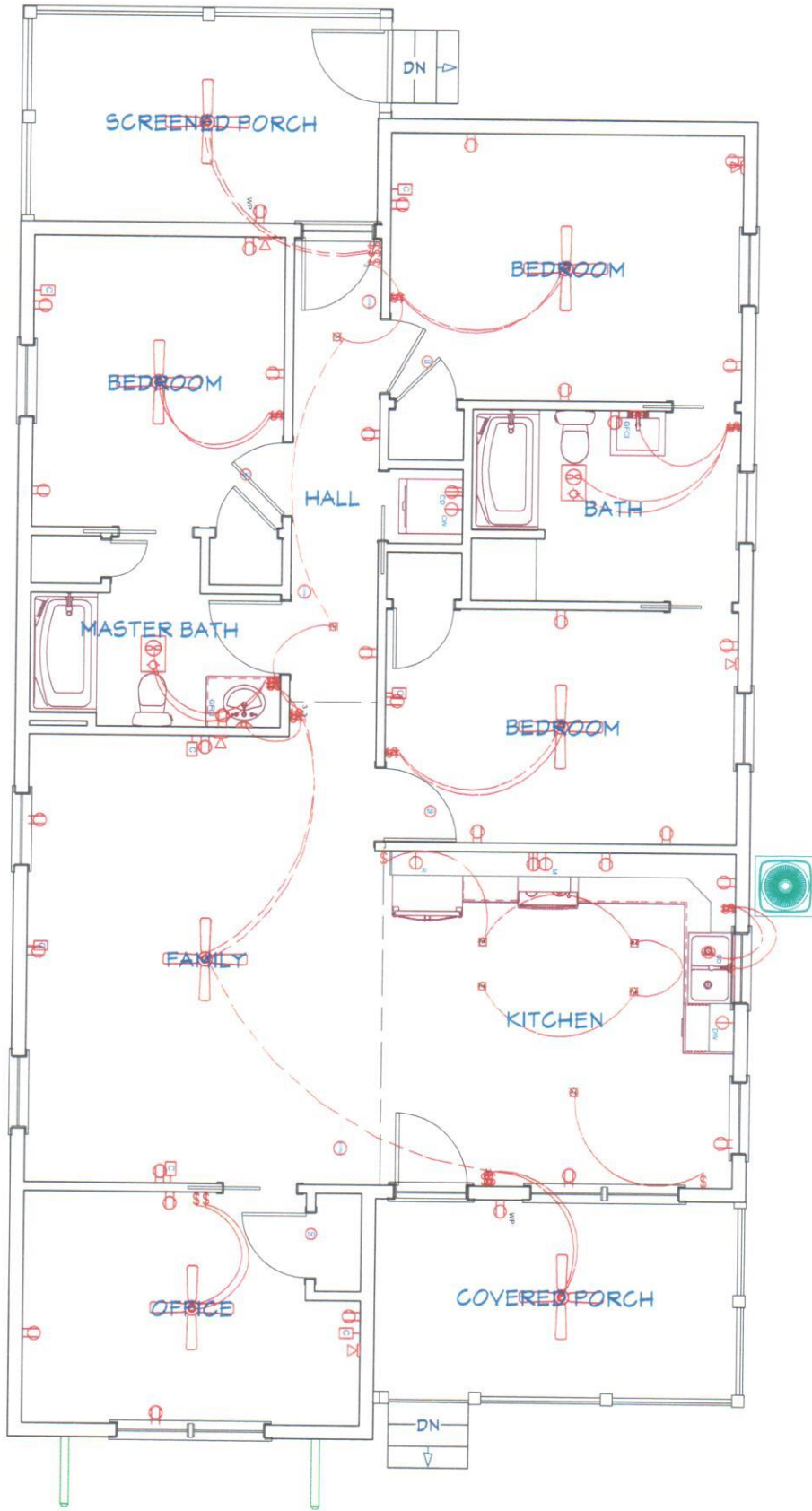
This is just showing there are no large trees being removed thx Bryce



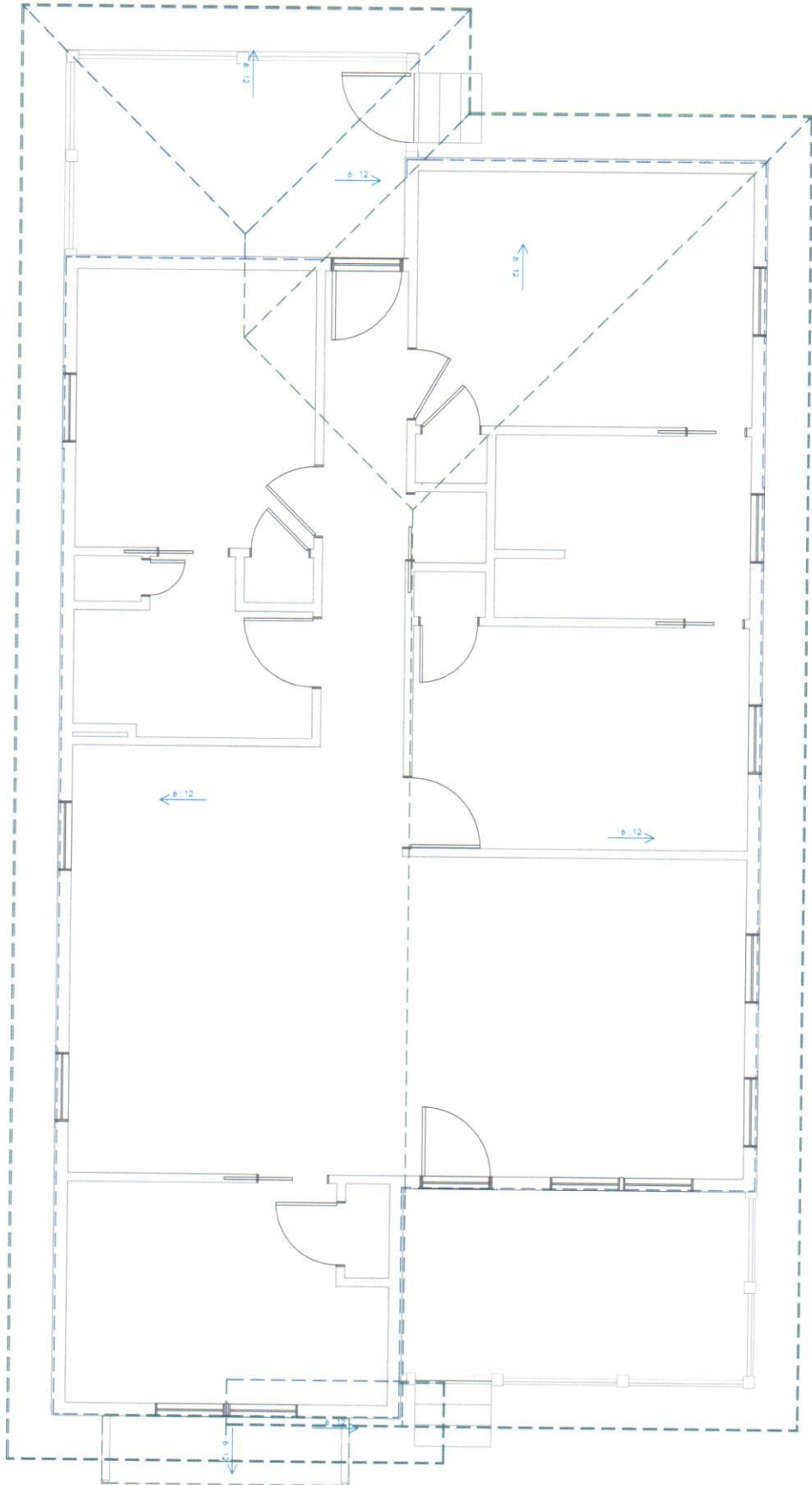
<p>Leon and Geraldine Swarts</p>	<p>154 Bay Colony Way Apalachicola, FL 32320</p>	<p>1st Choice Builders, Inc. Bryce Ward</p>	<p>Dimensioned Floor Plan</p> <p><small>Note: See Page 2 General Framing Notes For Additional Information</small></p>	<p>Handed and Checked: LAL, LSR Created: 11/11/11 Screened Room From: 12/24/11</p>	<p>1/4" = 1'-0"</p> <p>6/25/18</p> <p>21111</p> <p>1</p> <p>5</p>
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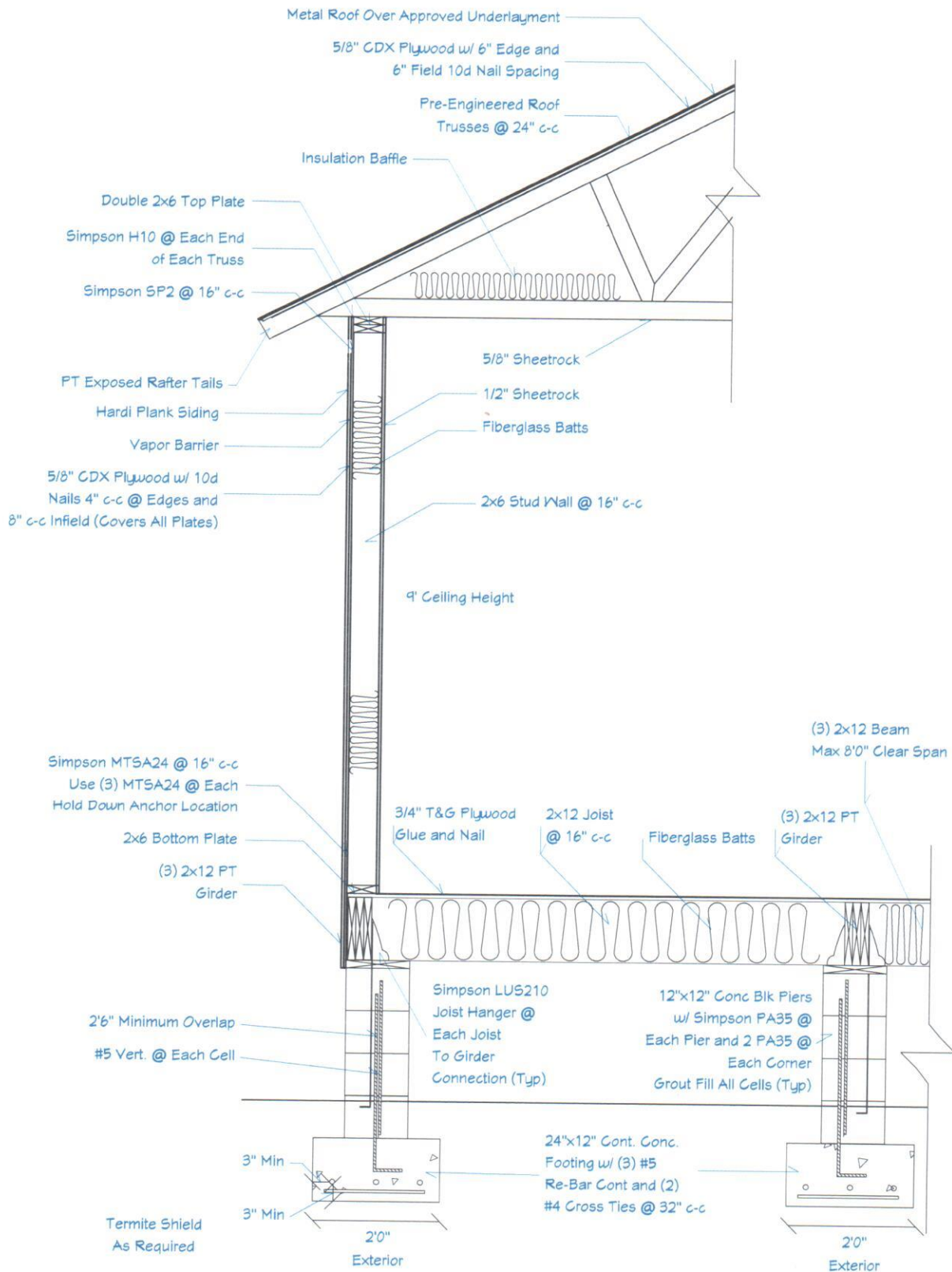
<p>Leon and Geraldine Swarts 154 Bay Colony Way Apalachicola, FL 32320</p>	<p>1st Choice Builders, Inc. 8 Bruce Ward</p>	<p>Foundation Plan Refer to Page 2 General Foundation Notes for Additional Information</p>	<p>Handed and Colored 1/4" = 1'-0" General Footing Form 131 9/4 8 Scaled Rear Form 132 9/4 8 Z1111 6/25/18 1 6</p>
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Client	Leon and Geraldine Swartz
Address	154 Bay Colony Way Apalachicola, FL 32920
Builder	1st Choice Builders, Inc. 8 Bruce Ward
Refer to Page 2 General Electrical Notes For Additional Information	Electrical Plan
Heated and Cooled	144 sq ft
Screened Rear Porch	132 sq ft
Scale	1/4" = 1'
Date	6/25/18
Sheet	1 of 7



Client	Leon and Geraldine Swartz
Address	154 Bay Colony Way Apalachicola, FL 32320
Builder	1st Choice Builders, Inc. Byce Yard
Roof Overview	Note: Refer to Page 2 General Roof Notes For Additional Information
Material and Cost	141 sq ft Suspended Roof: 132 sq ft
Scale	1/4" = 1'
Sheet	Z1111
Date	6/25/18
Page	1
Sheet	8



Owner	Leon and Geraldine Swarts
Address	154 Bay Colony Way Apoplachicola, FL 32320
Builder	1st Choice Builders, Inc. Byge Ward
Details	
Material and General	154 Bay Colony Way Apoplachicola, FL 32320 Screed Form Form 102-41
Scale	3/4" = 1'
Date	6/25/18
Sheet	1
Page	9

GENERAL NOTES:

- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS, PITCHES, OVERHANGS, ETC PRIOR TO START
- FINAL PLACEMENT OF HOUSE (PAGE 1) IS APPROXIMATE
- ARCHITECTURAL FINISHES PER OWNER/CONTRACTOR MAY VARY FROM SHOWN.
- REAR PORCH TO BE SCREENED. REFER TO FLOOR PLAN.

GENERAL FRAMING NOTES:

(See Page 5)

- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS PRIOR TO START
- ARCHITECTURAL FINISHES PER OWNER/CONTRACTOR MAY VARY FROM SHOWN.
- METAL ROOF
- 2X6 STUD @ 16" C-C EXTERIOR & PLUMBING WALLS
- 2X4 STUD @ 16" C-C INTERIOR WALLS
- PRE-ENGINEERED ROOF TRUSSES
- PT EXPOSED RAFTER TAILS
- 4" CEILING HEIGHT
- HARDI PLANK SIDING (EXTERIOR)
- UNDERPINNING ON CEILING OF COVERED PORCHES. HARDI SHEETS
- HVAC IN ATTIC
- BEDROOMS ARE REQUIRED TO HAVE A DOOR OR WINDOW ON AN EXTERIOR WALL TO MEET EMERGENCY EGRESS.
- BATHROOM & SHOWER WALLS, BATHTUB & SHOWER SPACES, BATHTUB & SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND INSIDE OF SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6' AFF
- WINDOW CODE FOR EGRESS:
- LOWER PORTION OF WINDOW MAX 44" AFF
- MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". THE MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQ FT
- GROUND FLOOR OPENINGS SHALL BE PERMITTED TO HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQ FT.
- VERIFY MANUFACTURERS SPECIFICATIONS TO ASSURE SIZE
- IF WINDOW IS MORE THAN 12" ABOVE FINISHED GRADE, OR OTHER SURFACE BELOW THE LOWEST PORTION OF CLEAR OPENING SHALL BE 24" ABOVE FINISHED FLOOR.
- INSPECTIONS AND TERTITE TREATMENT REQUIRED BEFORE POURING
- FINISHED FLOOR ELEVATION TO BE 12"+ ABOVE ADJACENT STREETS, OR COMPLY WITH ENGINEERED DRAINAGE PLANS FOR THE SITE
- ANY HOME IN A FLOOD ZONE MUST BE ELEVATED ABOVE THE BASE FLOOD ELEVATION
- HEIGHT OF PIERS TO BE DETERMINED ON SITE PER CONTRACTOR AND PER APPLICABLE CODE

GENERAL ELECTRICAL NOTES:

(See Page 7)

- ELECTRICAL DESIGN & INSTALLATION TO BE BY FLORIDA LICENSED ELECTRICAL CONTRACTOR PER N.E.C. REQUIREMENTS/LOCAL CODES
- HVAC DESIGN & INSTALLATION TO BE BY FLORIDA LICENSED MECHANICAL CONTRACTOR AND BE IN ACCORDANCE WITH DCA ENERGY CODE REQUIREMENTS
- ELECTRICAL CONTRACTOR TO SIZE AND LOCATE ALL ELECTRICAL SERVICE PANELS, BREAKERS, AND/OR DISCONNECTS AS REQUIRED BY THE ELECTRICAL SYSTEM AND IOR CODE
- ELECTRICAL CONTRACTOR TO PROVIDE AND SIZE ELECTRICAL SERVICES FOR ALL EQUIPMENT PER MANUFACTURERS REQUIREMENTS AND INSTALL IN COMPLIANCE WITH ALL-GOVERNING CODES
- ELECTRICAL FINISHES PER OWNER/CONTRACTOR MAY VARY FROM SHOWN
- ARC-FAULT PROTECTION IS REQUIRED FOR BEDROOMS
- ALL SWITCHES MUST BE GROUND
- SMOKE ALARMS ARE REQUIRED IN EACH SLEEPING ROOM & OUTSIDE OF EACH SLEEPING AREA. IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOM. WHEN ONE OR MORE DEVICES ARE REQUIRED, THEY MUST BE INTERCONNECTED (IF ONE IS ACTIVATED, ALL SHALL ACTIVATE)
- CARBON MONOXIDE DETECTORS REQUIRED AS SHOWN IF THERE ARE ANY GAS APPLIANCES, WOOD OR GAS BURNING FIREPLACE, ATTACHED GARAGE. IF ONE OR MORE CARBON MONOXIDE DETECTORS ARE INSTALLED, THEY MUST BE INTERCONNECTED
- DO NOT LOCATE DETECTORS WITHIN 3' OF AN AIR INTAKE OR EXHAUST
- AN OUTLET IS REQUIRED WITHIN 25' OF ALL HVAC EQUIPMENT
- DISCONNECTS FOR ELECTRICAL PANELS MUST HAVE WORKING CLEARANCES.
- ALL DAMP AREA ELECTRICAL FIXTURES MUST BE U.L. WEATHER RELATED
- CEILING FANS MUST HAVE APPROVED SUPPORT
- WALL SWITCHES MOUNTED 48" AFF
- DUPLEX RECEPTACLES MOUNTED 12" AFF
- PRE-WIRE FOR PHONE SERVICE
- FURNISH CABLE TV OUTLETS WITH COAXIAL CONNECTION NIPPLE AND CABLE
- MECHANICAL EXHAUSTS MUST DISCHARGE TO EXTERIOR

GENERAL ROOF NOTES:

(See Page 8)

- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS, PITCH, OVERHANGS, PRIOR TO START
- PRE-ENGINEERED ROOF TRUSSES
- TRUSS SPACING SHALL BE NO MORE THAN 24" ON CENTER
- PT EXPOSED RAFTER TAILS
- SHOWN AS 6" IN 12" PITCH
- OVERHANG: 24"
- METAL ROOF

GENERAL FOUNDATION NOTES:

(See Page 6)

- INSPECTIONS AND TERTITE TREATMENT REQUIRED BEFORE POURING
- FINISHED FLOOR ELEVATION TO BE 12"+ ABOVE ADJACENT STREETS, OR COMPLY WITH ENGINEERED DRAINAGE PLANS FOR THE SITE
- ANY HOME IN A FLOOD ZONE MUST BE ELEVATED ABOVE THE BASE FLOOD ELEVATION
- HEIGHT OF PIERS TO BE DETERMINED ON SITE PER CONTRACTOR AND PER APPLICABLE CODE

<p>3 Leon and Geraldine Swarts</p>	<p>Address 154 Bay Colony Way Apoplachicola, FL 32320</p>	<p>Builder 1st Choice Builders, Inc. Byge Ward</p>	<p>General Notes</p>	<p>Handed and Scaled: 1/4" = 1'-0" General Notes From: 1/23/24 Screws Note From: 1/23/24</p>	<p>3 N/A</p>	<p>3 6/25/18</p>
					<p>3 21111</p>	<p>3 1 2</p>

PAGE BREAK



Parcel Summary

Parcel ID 01-09S-08W-8330-0063-0020
 Location Address 148 5TH ST
 APALACHICOLA 32320
 Brief Tax Description* BL 63 LOTS 2 3 73/547 456/39 494/74 864/330 1043/163
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 District Apalachicola (District 3)
 Millage Rate 22.1988
 Acreage 0.000
 Homestead Y

[View Map](#)

Owner Information

Primary Owner
 Doherty James And Gayle
 148 5th St
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000801	THE HILL - APALACH	120.00	FF	0	0

Residential Buildings

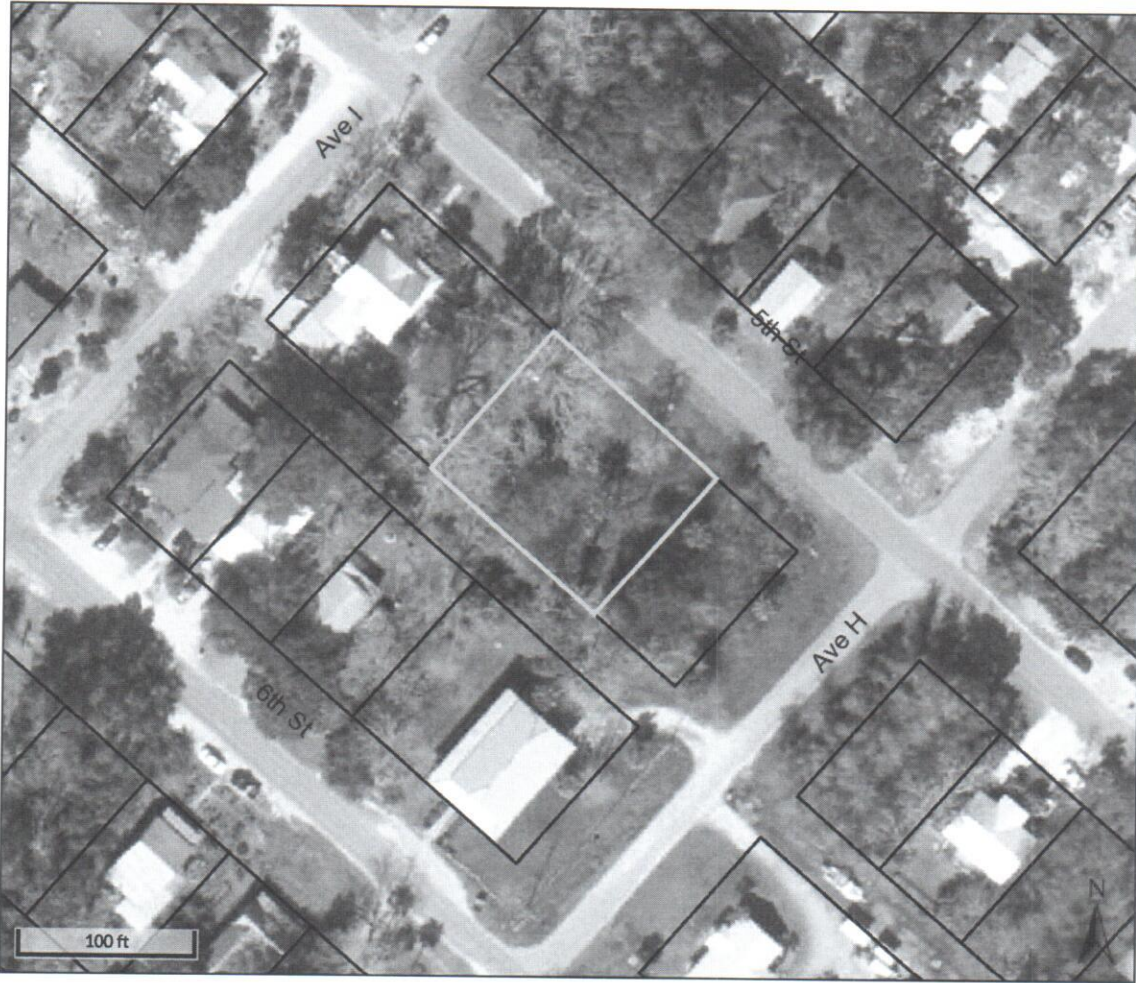
Building 2
 Type SINGLE FAM
 Total Area 2,976
 Heated Area 2,060
 Exterior Walls BD/BTN AVG
 Roof Cover MODULAR MT
 Interior Walls DRYWALL
 Frame Type WOOD FRAME
 Floor Cover CLAY TILE; HARDWOOD
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 2
 Stories 0
 Effective Year Built 2016

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0330	STORAGE, UTILITY	1	0x0x0	120	SF	2016

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	08/11/2011	\$80,000	WD	1043	163	Unqualified (U)	Improved	GULF & BAY HOLDINGS LLC	DOHERTY
N	08/03/2005	\$210,000	WD	864	330	Qualified (Q)	Improved	GARRETT/TALBERT	GULF & BAY HOLDINGS, LLC



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0063-0020	Alternate ID	08W09S01833000630020	Owner Address	DOHERTY JAMES AND GAYLE
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		148 5TH ST
Property Address	148 5TH ST	Acreage	n/a		APALACHICOLA, FL 32320
	APALACHICOLA				

District 3
Brief Tax Description BL 63 LOTS 2 3 73/547 456/39
 (Note: Not to be used on legal documents)

Date created: 6/15/2018
 Last Data Uploaded: 6/14/2018 10:03:25 PM

Developed by



NWFWMMD Flood Information Report, Effective FIRM Issue Date: 2/5/2014 *Close this report window to get back to the information portal*

Effective Flood Map, Has been effective since 2/5/2014



Geographical Information

Latitude/Longitude: 29.728659 / -84.989361 Print this report

Address: 5TH ST APALACHICOLA FL 32320 [APPROXIMATE]

Parcel ID: 01-09S-08W-8330-0063-0020

Firm Panel: 12037C0526F (Effective)

Flood Information

Flood Zone Information

Geographic Entity

Location of Interest

Parcel

Effective Flood Zone

AE

AE:97% 0.2 PCT ANNUAL CHANCE:3%

Base Flood Elevation*

9.0ft

(Effective BFE)

*The computed elevation to which floodwater is anticipated to during the base flood (100 Year Flood). Base Flood Elevations are shown on Flood Insurance Rate Maps (FIRMs) and on the profiles. The BFE is the regulatory requirement for the elevation floodproofing of structures. The relationship between the BFE structure's elevation determines the flood insurance premium. of measurement is NAVD1988.

Legend

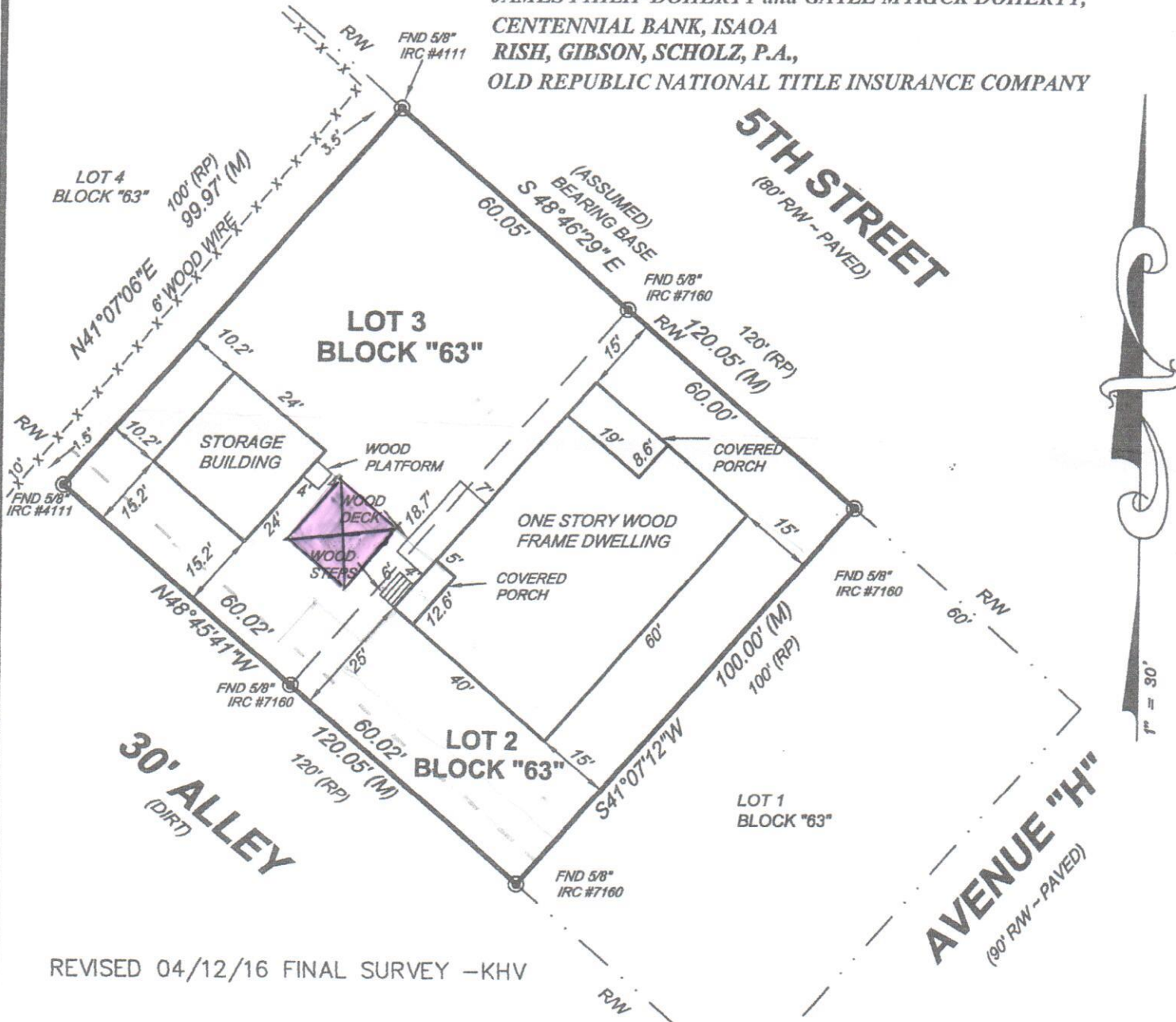


Location of Interest



Parcel Outline

PLAT OF BOUNDARY SURVEY FOR:
JAMES PHILIP DOHERTY and GAYLE MYRICK DOHERTY,
CENTENNIAL BANK, ISAOA
RISH, GIBSON, SCHOLZ, P.A.,
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY



REVISED 04/12/16 FINAL SURVEY -KHV

LEGAL DESCRIPTION:

Lots 2 & 3 Block "63" of the CITY OF APALACHICOLA, as per map or plat in common use on file at the Clerk of the Circuit Court in Franklin County, Florida

NOTES:

1. SURVEY SOURCE: Previous survey performed by this firm (Job #92-180 Dated; 04/27/92), record plat, and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwesterly right-of-way boundary of 5th Street having an assumed bearing of South 48 degrees 46 minutes 29 seconds East
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.

LEGEND

FCM	FOUND CONCRETE MONUMENT
RW	RIGHT-OF-WAY
M	MEASURED
X	GROUND ELEVATION





12' X 12' WOOD GAZEBO

WITH ALUMINUM ROOF

Installation and Operating Instructions – YM12810



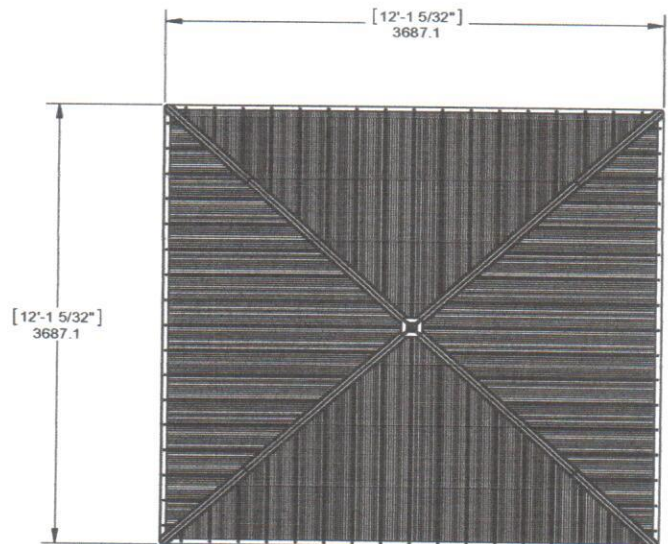
HEIGHT:
10'6" or 3.2m

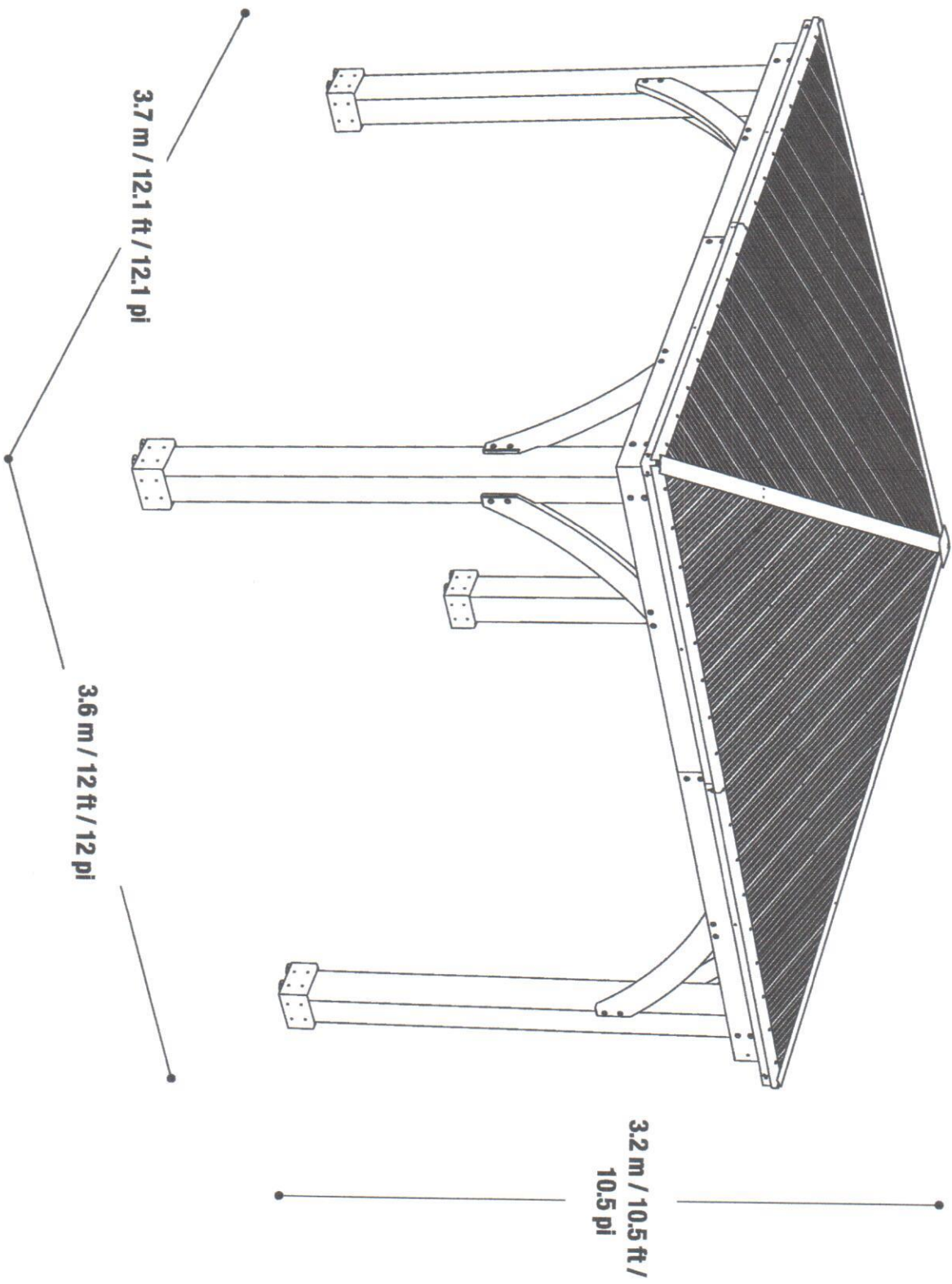
Revised 06-30-2017

YARDISTRY

Yardistry – North America
Toll Free Customer Support: 1.888.509.4382
info@yardistrystructures.com
www.yardistrystructures.com

Yardistry / Selwood Products – Europe
Customer Support: +44 1284 852569
parts@selwoodproducts.com
www.selwoodproducts.com







Parcel Summary

Parcel ID 01-095-08W-8330-0008-0030
Location Address 112 4TH STREET
 32320
Brief BL 8 LOT 3 CITY OF APALACH OR/B/45 89/261 89/266 OR/127/506 557/143 599/447 700/70 743/66 779/143,144,145 794/65 826/291 1136/371
Tax Description* 1145/311 1169/362 1198/497 1214/678
 *The Description above is not to be used on legal documents.
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 1-9S-8W
Tax District Apalachicola (District 3)
Millage Rate 22.1988
Acreage 0.000
Homestead Y

[View Map](#)

Owner Information

Primary Owner
 Morgan Douglas Glenn And
 Zarate Manuela I
 112 4th Street
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	60.00	UT	0	0

Residential Buildings

Building 1
Type SINGLE FAM
Total Area 2,190
Heated Area 1,945
Exterior Walls AVERAGE
Roof Cover TIN ROOF; ROLL COMP
Interior Walls WALL BD/WD
Frame Type WOOD FRAME
Floor Cover PINE WOOD; CARPET
Heat AIR DUCTED
Air Conditioning CENTRAL
Bathrooms 2
Bedrooms 0
Stories 2
Effective Year Built 1956

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0330	STORAGE, UTILITY	1	0 x 0 x 0	320	UT	1982
0120	C L FENCE 4	1	0 x 0 x 0	312	LF	1992
	CON STEPS	1	2 x 6 x 0	12	SF	1900
0520	LATTICE	1	0 x 0 x 0	3	UT	1998
0570	CON WALK	1	6 x 8 x 0	48	SF	1990

NWFWMMD Flood Information Report, Effective FIRM Issue Date:2/5/2014[[Close this report window to get back to the information portal](#)]

Effective Flood Map, Has been effective since 2/5/2014



Geographical Information

Latitude/Longitude: 29.727247 / -84.986037

[Print this re](#)

Address: ALLEY APALACHICOILA FL 32320 [APPROXIMATE]

Parcel ID: 01-09S-08W-8330-0008-0030

Firm Panel: 12037C0526F (Effective)

Flood information

Flood Zone Information

Geographic Entity

Location of Interest

Parcel

Effective Flood Zone

0.2PCT

AE:5% 0.2 PCT ANNUAL CHANCE:95%

Base Flood Elevation*

9.0ft

(Effective BFE)

*The computed elevation to which floodwater is anticipated to during the base flood (100 Year Flood). Base Flood Elevations are shown on Flood Insurance Rate Maps (FIRMs) and on the profiles. The BFE is the regulatory requirement for the elevati floodproofing of structures. The relationship between the BFE structure's elevation determines the flood insurance premium. of measurement is **NAVD1988**.

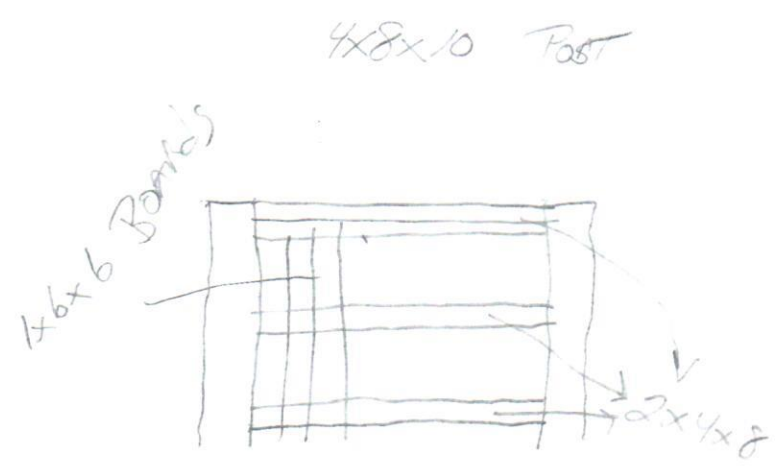
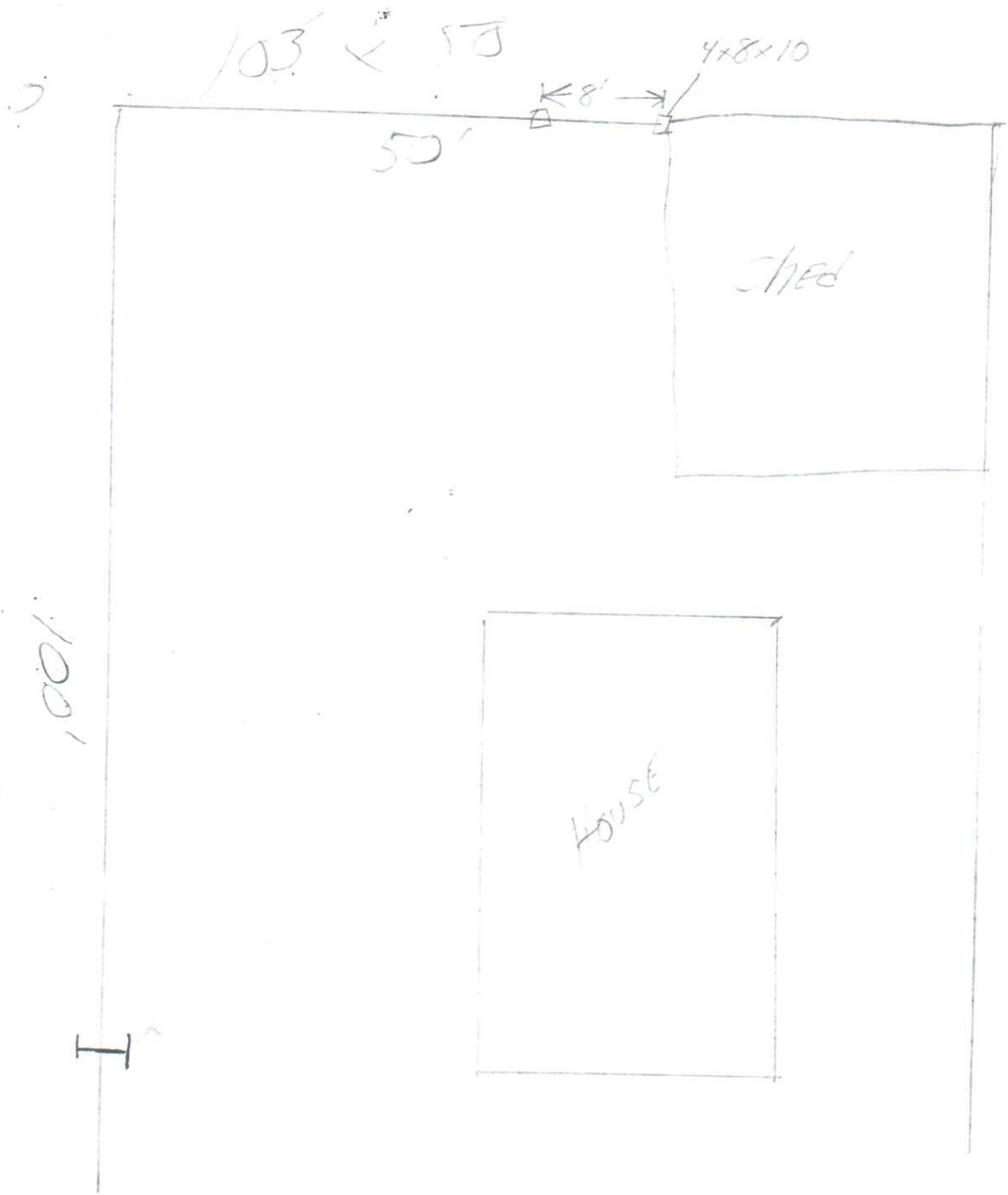
Legend



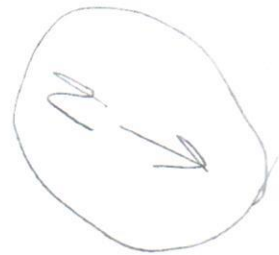
Location of Interest



Parcel Outline



112 4th ST







From: Ruth, Joshua P. Joshua.Ruth@medxcelfm.com
Subject: RE: Fence
Date: Apr 30, 2018 at 12:16:56 PM
To: Douglas Morgan kayla1983@icloud.com
Cc: Harrell, Mary mary.harrell1@ascension.org

No problem thanks for reaching out to me. Keep Mary in the loop on the plan, as I don't want to disturb patients with excessive noise or parking issues.

Thanks,

Joshua P. Ruth

Director, Real Estate Facilities Management
Sacred Heart Health System
Providence Health System

Medxcel  **Facilities
Management**

7702 Woodland Drive, Suite 200
Indianapolis, IN 46278
Office: 850-416-7449
Fax: 850-416-6579
Joshua.Ruth@MedxcelFM.com
www.medxcelfm.com

-----Original Message-----

From: Douglas Morgan [<mailto:kayla1983@icloud.com>]
Sent: Wednesday, April 25, 2018 4:04 PM
To: Ruth, Joshua P. <Joshua.Ruth@medxcelfm.com>
Subject: Fence

*** Attention: This is an external email. Use caution responding, opening attachments or clicking on links. ***

Hello Joshua

My name is Doug Morgan I am the one who lives next to y'all in Apalatch. I want to put a privacy fence where the chain link is now.

CONFIDENTIALITY NOTICE: This email message and any accompanying data or files are confidential and may contain privileged information intended only for the named recipient(s). If you are not the intended recipient(s), you are hereby notified that the dissemination, distribution, and or copying of this message is strictly prohibited. If you receive this message in error, or are not the named



