

#2

ORMAN HOUSE Flag Poles

177 5<sup>th</sup> St

<b>CITY OF APALACHICOLA</b> <b>CERTIFICATE OF APPROPRIATENESS APPLICATION</b>  <b>-HISTORIC DISTRICT ONLY-</b>	<b>Official Use Only</b>  Application # _____ City Representative _____ Date Received _____
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<b>OWNER INFORMATION</b>  Owner <u>DFP - Omen House / City of Apalachicola</u> Address <u>1775th Street</u> City <u>Apalachicola</u> State <u>FL</u> Zip <u>32328</u> Phone <u>(850) 927-2111</u>	<b>CONTRACTOR INFORMATION</b>  Contractors Name: <u>None - Work performed by Park Staff</u> State License # _____ City License # _____ Email Address _____ Phone <u>( )</u>
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Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

**PROJECT TYPE**

<input type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Other <u>Erect two Flag Poles</u>
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**PROPERTY INFORMATION:**

Street Address: 1775th Street City & State Apalachicola, FL Zip 32328

Historic District  Non-Historic District      Zoning District \_\_\_\_\_

Parcel #: \_\_\_\_\_ Block(s) \_\_\_\_\_ Lot(s) \_\_\_\_\_

FEMA Flood Zone/Panel #: X  
(For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

Setback requirement of Property: Front: _____ Rear: _____ Side: _____ Lot Coverage: _____ Water Available: _____ Sewer Available: _____ Taps Paid: _____	This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.  Certificate of Appropriateness Approval:  _____ Chairperson, Apalachicola Planning & Zoning Board
--	---

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Tummy Owens  
 Permitting and Development Coordinator  
 (850) 658-1522  
[cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com)

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Errect two 25' Flag poles between the Orman House & Chapman Gardens. A 3' hole will be dug to secure the flag poles. A 6' diameter concrete base will be added around each one.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Sliding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other	Flags Unlimited	28' x 3" Aluminum poles	

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

11/03/2020  
DATE

  
SIGNATURE OF APPLICANT

**EPCI**  
**CITY OF APALACHICOLA**  
**BUILDING DEPT.**  
192 Conch Wagoner Blvd,  
**APPLICATION FOR BUILDING PERMIT**

DATE: 11/3/2020 Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_ (payable to EPCI)

OWNER'S NAME: DEP-Orman House State Park Email: Joshua.Hudson@Floridadep.gov  
City of Apalachicola

ADDRESS: 177 5th street

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # 850 927-2111

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Work done by park staff Email: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 177 5th Street Apalachicola, FL 32320

PURPOSE OF PERMIT: \_\_\_\_\_

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  
 YES  NO

PROPERTY PARCEL ID # \_\_\_\_\_

LEGAL DESCRIPTION OF PROPERTY: \_\_\_\_\_

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

---

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or dropped off at City Hall mailbox)

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial       Shed  
 Multi-Family       Swimming Pool       Storage       Sign       Pole Barn  
 Temp Pole       Demolition       Other Two Flag poles  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
 R. Side \_\_\_\_\_  
 Cost of Construction \$ 1,500      Square Footage 56 sq. Ft.  
 BPI \_\_\_\_\_ Flood Zone \_\_\_\_\_      Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
 Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
 Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.**

**NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.**

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

[Signature]      11/3/2020  
 Signature of Owner or Agent      Date

\_\_\_\_\_  
 Signature of Contractor      Date

\_\_\_\_\_  
 Notary as to Owner or Agent  
 Date: \_\_\_\_\_

\_\_\_\_\_  
 Notary as to Contractor  
 Date: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

(email to: [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or drop off in City drop box)  
 (make checks payable to EPCI – 192 Coach Wagoner Blvd. Apalachicola, FL 32320)

## BUILDING PERMIT APPLICATION CHECKLIST

- \_\_\_ 1. Approval From City Planning & Zoning Board
- \_\_\_ 2. Site Plan
- \_\_\_ 3. 2 COMPLETE SETS OF PLANS INCLUDING:
  - Site plan
  - Foundation plan
  - Floor plan
  - Elevations
  - Wall section foundation through the roof
  - Fire Protection
  - Drawn to scale
- \_\_\_ 4. Complete Building Permit Application
- \_\_\_ 5. Contractor Information
  - \*License
  - \*Photo ID of License Holder
  - \*COI: Workers Comp/General Liability
  - \*Letter of Authorization
- \_\_\_ 6. Contract/Scope of Work
- \_\_\_ 7. Energy Forms
- \_\_\_ 8. Notice of Commencement on all permits of \$2500 or more
- \_\_\_ 9. Flood Elevation Certificate
- \_\_\_ 10. Water/Sewer Impact Fees Receipt (if applicable)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date



### Parcel Summary

Parcel ID 01-09S-08W-8330-0187-0010  
 Location Address 32320  
 Brief Tax Description\* BL 187 LOTS 1 THRU 10 INC  
 \*The Description above is not to be used on legal documents.  
 Property Use Code MUNICIPAL (008900)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 20.8391  
 Acreage 0.000  
 Homestead N

[View Map](#)

### Owner Information

Primary Owner  
 Apalachicola City Of  
 1 Bay Ave  
 Apalachicola, FL 32320

### Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000801	THE HILL - APALACH	300.00	FF	0	0
000801	THE HILL - APALACH	300.00	FF	0	0

### Valuation

An error has occurred while trying to display this part of the page.  
 We apologize for any inconvenience.

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sales, TRIM Notice 2020, TRIM Notice 2019, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

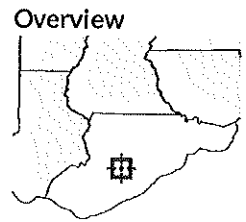
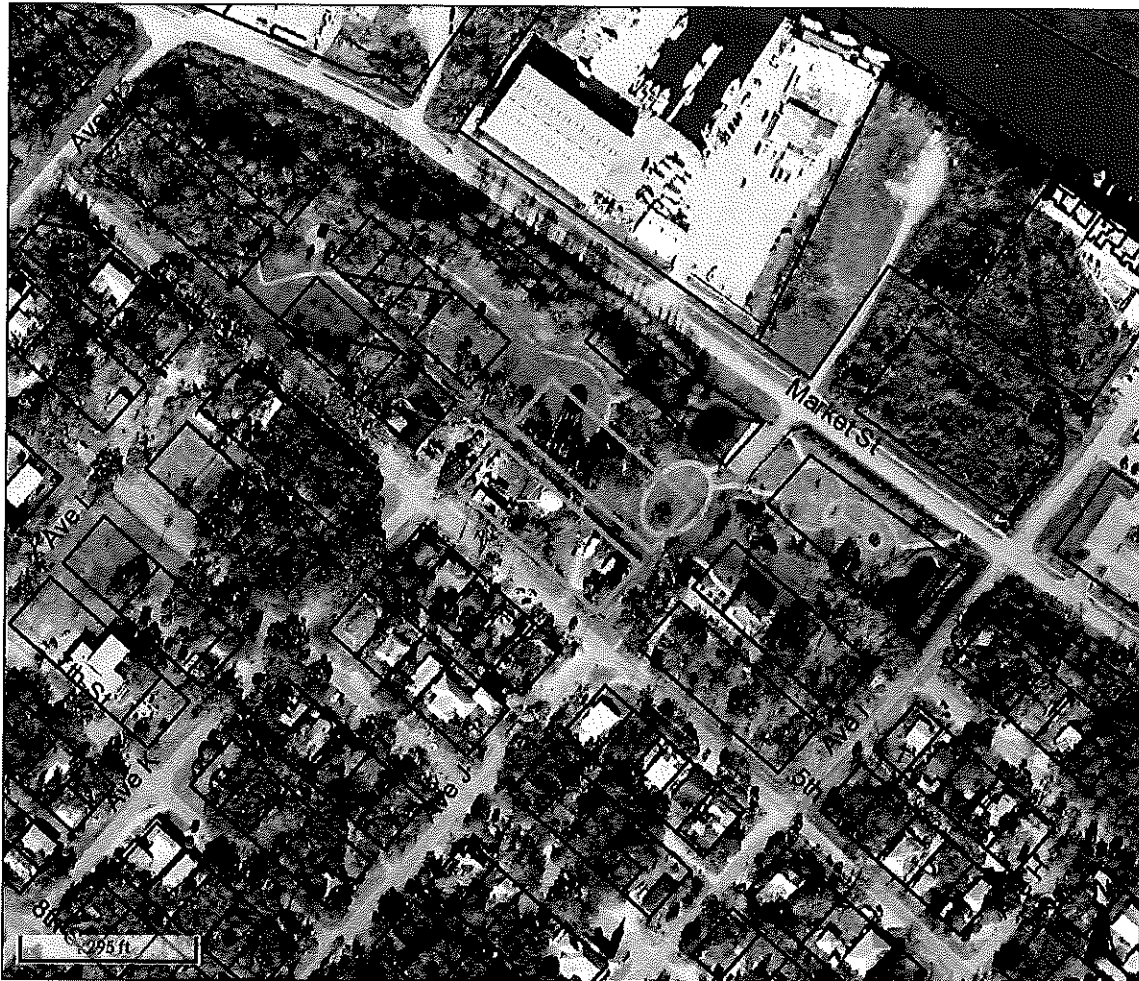
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Last Data Upload: 11/23/2020, 7:49:21 AM

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[Version 2.3.95](#)



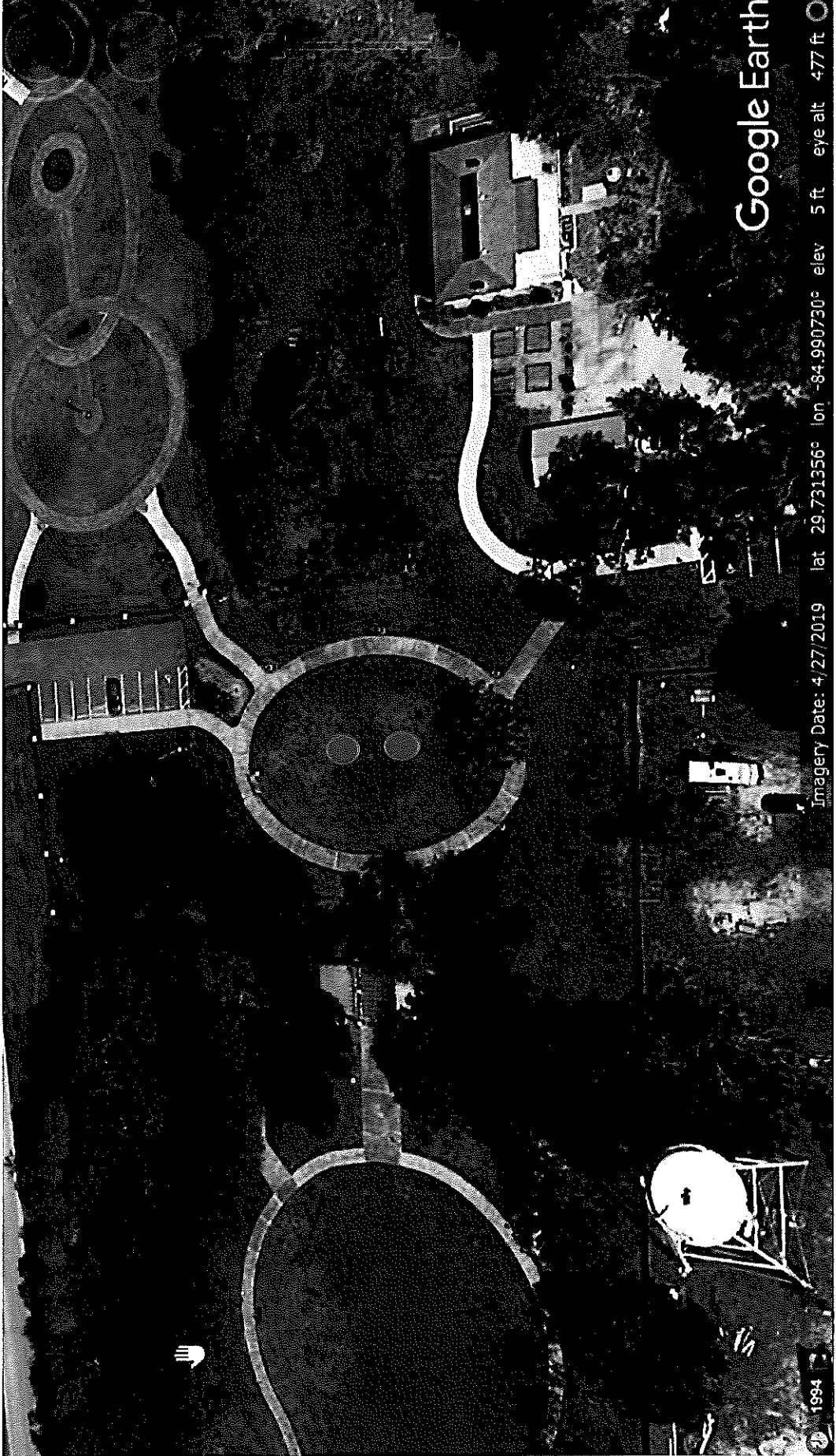


- Legend
-  Parcels
  -  Roads
  -  City Labels

Parcel ID	01-09S-08W-8330-0187-0010	Alternate ID	08W09S01833001870010	Owner Address	APALACHICOLA CITY OF
Sec/Twp/Rng	1-9S-8W	Class	MUNICIPAL		1 BAY AVE
Property Address		Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 187 LOTS 1 THRU 10 INC (Note: Not to be used on legal documents)				

Date created: 11/23/2020  
 Last Data Uploaded: 11/23/2020 7:49:21 AM

Developed by  Schneider  
 GEOSPATIAL

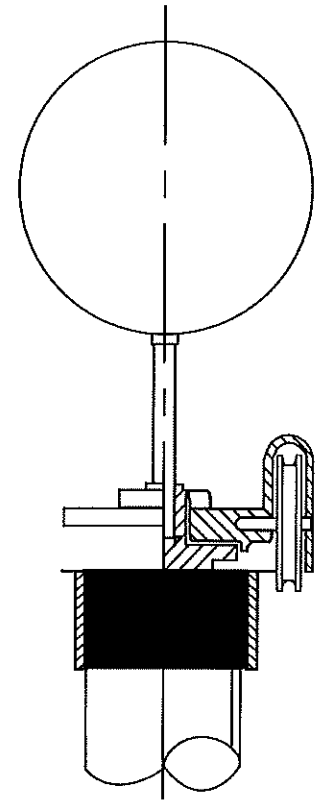
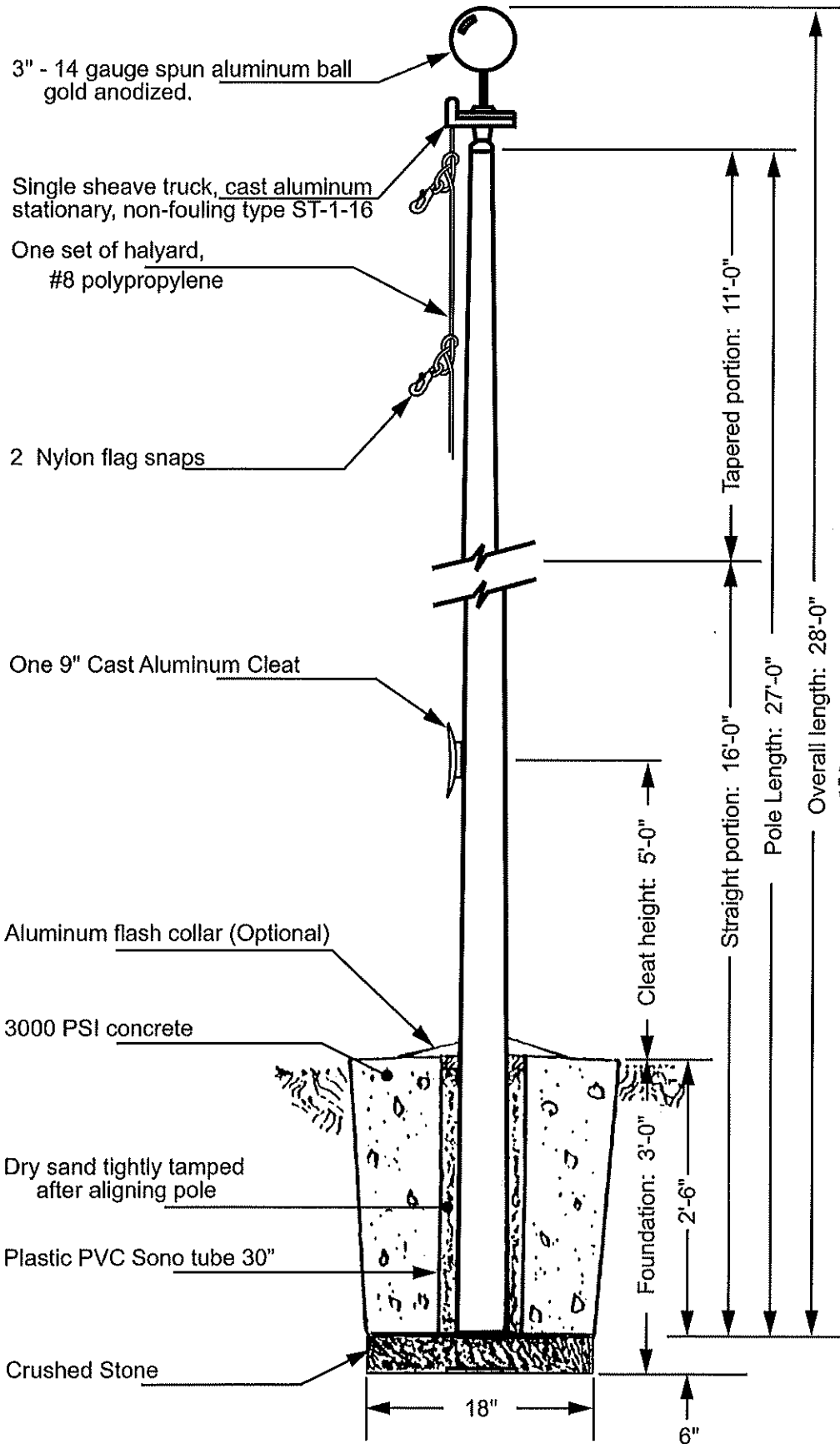


Google Earth

Imagery Date: 4/27/2019 lat 29.731356° lon -84.990730° elev 5 ft eye alt 477 ft

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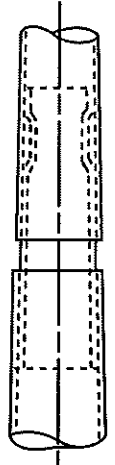
SKU# 320261



All shafts with overall length of more than 38'-6" are shipped in two sections.

Each section matched marked for field assembly. Exposed portion of jam sleeve must be well lubricated prior to assembly.

1-1/2" maximum shop gap allowed for field fitting (ram for tight joint)



Project:	Ground set tapered aluminum flagpole: ALLOY: 6063T6	Flags Unlimited, Inc.	Date:
Location:	Exposed height: 25'-0" Overall height: 28'-0"	10236 Fisher Ave.	Revision:
Architect:	Ship in 1 section Butt diameter: 3"	Tampa, FL 33619	
Contractor:	Top diameter: 1-7/8" Wall thickness: .125"	www.usflags.com	
Customer:	Finish: 100 grit polish	813-684-1782 Voice 813-654-4272 FAX	Job:

**EPCI**  
**CITY OF APALACHICOLA**  
**BUILDING DEPT.**  
192 Conch Wagoner Blvd.  
**APPLICATION FOR BUILDING PERMIT**

DATE: 11/3/2020 Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_ (payable to EPCI)

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CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # 850 927-2111

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ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Work done by park staff Email: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 177 5th Street Apalachicola, FL 32320

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WILL THE STRUCTURE BE LOCATED AT LEAST 30 FBET FROM ANY BODY OF WATER?  
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PRIVATE WATER WELL: \_\_\_\_\_ SBPTIC TANK PERMIT NUMBER: \_\_\_\_\_

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**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial       Shed  
 Multi-Family       Swimming Pool       Storage       Sign       Pole Barn  
 Temp Pole       Demolition       Other Two Flag poles  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
 R. Side \_\_\_\_\_  
 Cost of Construction \$ 1,500      Square Footage 56 sq. Ft.  
 BPI \_\_\_\_\_      Flood Zone \_\_\_\_\_      Lowest Floor Elevation 1  
 Area Heated/Cooled \_\_\_\_\_      # Of Stories \_\_\_\_\_      # Of Units \_\_\_\_\_  
 Type of Roof \_\_\_\_\_      Type of Walls \_\_\_\_\_      Type of Floor \_\_\_\_\_  
 Extreme Dimensions of: Length \_\_\_\_\_      Height \_\_\_\_\_      Width \_\_\_\_\_

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[Signature]      11/3/2020  
 Signature of Owner or Agent      Date

\_\_\_\_\_  
 Signature of Contractor      Date

\_\_\_\_\_  
 Notary as to Owner or Agent  
 Date: \_\_\_\_\_

\_\_\_\_\_  
 Notary as to Contractor  
 Date: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

(email to: [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or drop off in City drop box)  
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CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION -HISTORIC DISTRICT ONLY-		Official Use Only Application # _____ City Representative _____ Date Received _____
<b>OWNER INFORMATION</b>		<b>CONTRACTOR INFORMATION</b>
Owner <u>DFP - Omen House / City of Apalachicola</u>		Contractors Name: <u>None - Work performed by Park Staff</u>
Address <u>1775th Street</u>		State License # _____ City License # _____
City <u>Apalachicola</u> State <u>FL</u> Zip <u>32328</u>		Email Address _____
Phone <u>(850) 927-2111</u>		Phone <u>( ) _____</u>
Approval Type: <input type="checkbox"/> Staff Approval Date: _____ <input type="checkbox"/> Board Approval <input type="checkbox"/> Board Denial Date _____		
*Reason for Denial _____		
<b>PROJECT TYPE</b>		
<input type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition		<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Other: <u>Erect two Flag Poles</u>
<b>PROPERTY INFORMATION:</b>		
Street Address: <u>1775th Street</u>		City & State: <u>Apalachicola, FL</u> Zip: <u>32328</u>
<input checked="" type="checkbox"/> Historic District <input type="checkbox"/> Non-Historic District		Zoning District: _____
Parcel #: _____		Block(s): _____ Lot(s): _____
IRMA Flood Zone/Panel #: <u>X</u> (For AE, AO, AH or VE Please complete attached Flood Application)		
<b>OFFICIAL USE ONLY</b>		
Setback requirement of Property: Front: _____ Rear: _____ Side: _____ Lot Coverage: _____ Water Available: _____ Sewer Available: _____ Taps Paid: _____		This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.  Certificate of Appropriateness Approval:  _____ Chairperson, Apalachicola Planning & Zoning Board

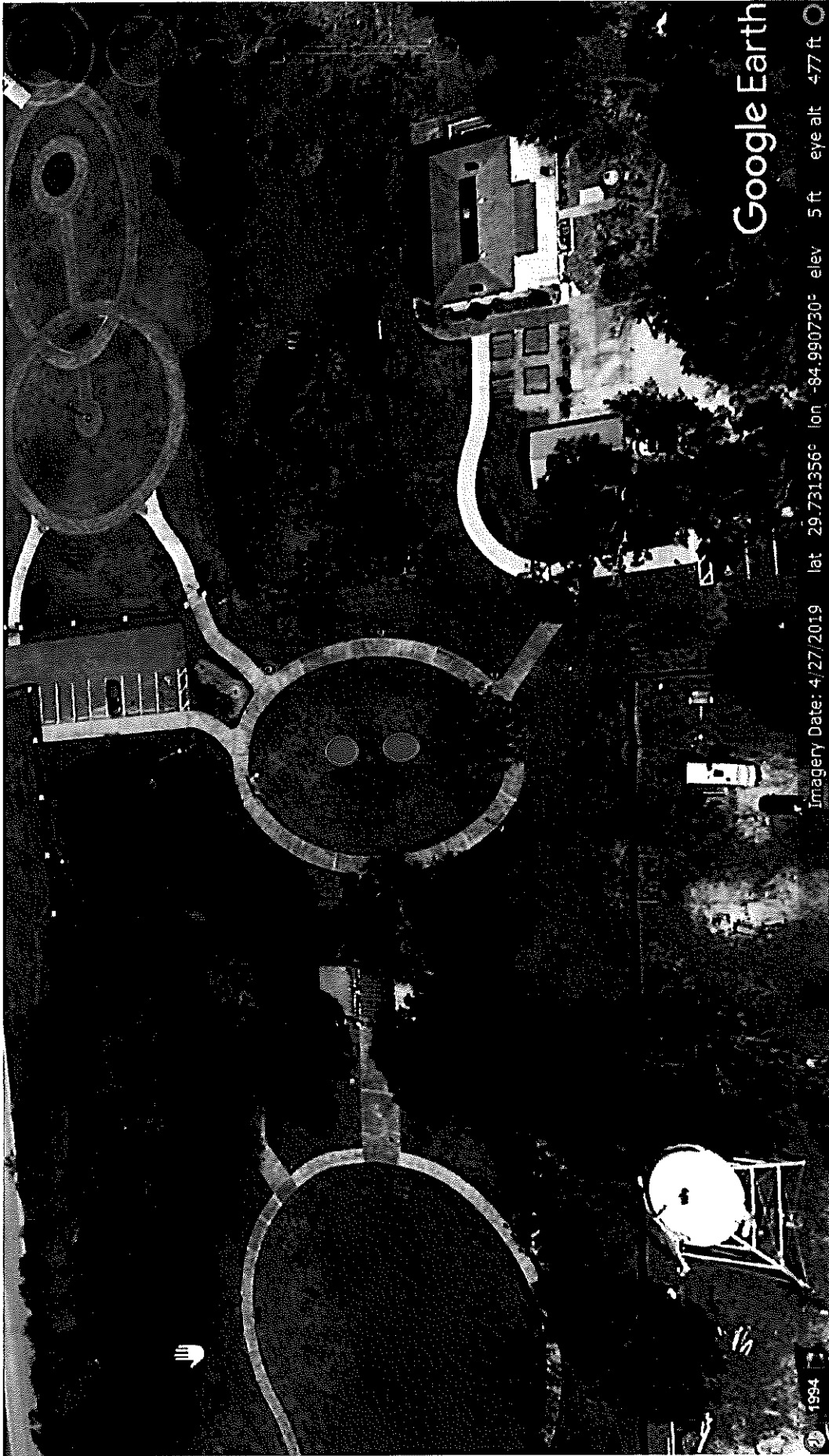
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Tummy Owens  
 Permitting and Development Coordinator  
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 cityofapalachicola@gmail.com

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Porch/Deck			
Fencing			
Driveways/Sidewalks			
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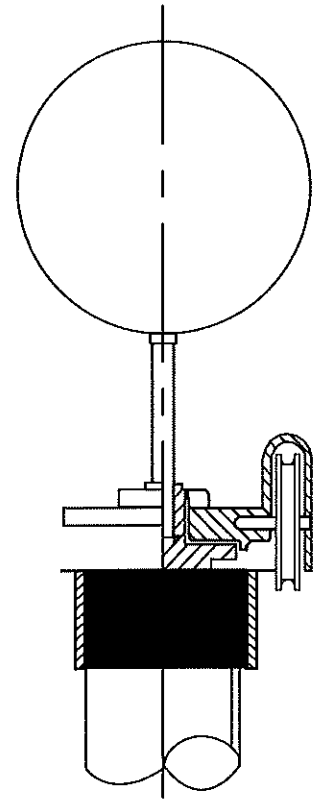
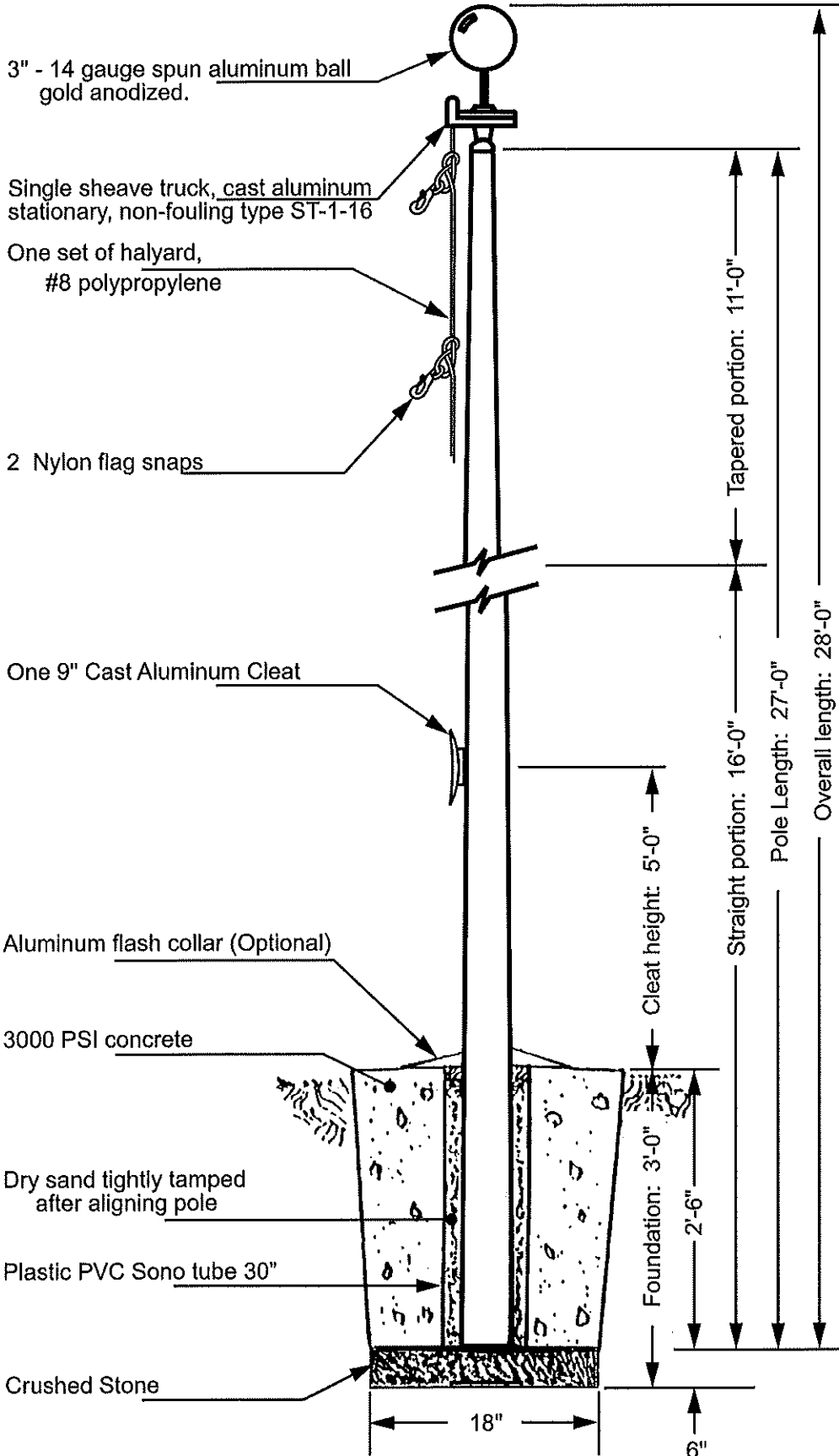
Google Earth

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© 1994



SKU# 320261

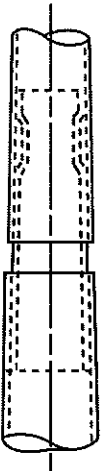


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www.usflags.com

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1-1/2" maximum shop gap allowed for field fitting (ram for tight joint)



Project:	Ground set tapered aluminum flagpole: ALLOY: 6063T6	Flags Unlimited, Inc.	Date:
Location:	Exposed height: 25'-0" Overall height: 28'-0"	10236 Fisher Ave.	Revision:
Architect:	Ship in 1 section Butt diameter: 3"	Tampa, FL 33619	
Contractor:	Top diameter: 1-7/8" Wall thickness: .125"	www.usflags.com	
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4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that my decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

11/03/2020  
DATE

[Signature]  
SIGNATURE OF APPLICANT

**BUILDING PERMIT APPLICATION CHECKLIST**

- \_\_\_ 1. Approval From City Planning & Zoning Board
- \_\_\_ 2. Site Plan
- \_\_\_ 3. 2 COMPLETE SETS OF PLANS INCLUDING:
  - Site plan
  - Foundation plan
  - Floor plan
  - Elevations
  - Wall section foundation through the roof
  - Fire Protection
  - Drawn to scale
- \_\_\_ 4. Complete Building Permit Application
- \_\_\_ 5. Contractor Information
  - \*License
  - \*Photo ID of License Holder
  - \*COI: Workers Comp/General Liability
  - \*Letter of Authorization
- \_\_\_ 6. Contract/Scope of Work
- \_\_\_ 7. Energy Forms
- \_\_\_ 8. Notice of Commencement on all permits of \$2500 or more
- \_\_\_ 9. Flood Elevation Certificate
- \_\_\_ 10. Water/Sewer Impact Fees Receipt (If applicable)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

# 3

T. SHULER

146 AVE B - PAVERS

**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

**-HISTORIC DISTRICT ONLY-**

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

**OWNER INFORMATION**

Owner Thomas M. Shuler  
Address 146 Ave. B  
City Apco State FL Zip 32320  
Phone (850) 653-1757

**CONTRACTOR INFORMATION**

Contractors Name: n/a  
State License # \_\_\_\_\_ City License # \_\_\_\_\_  
Email Address \_\_\_\_\_  
Phone ( )

Approval Type: [ ] Staff Approval Date: \_\_\_\_\_ [ ] Board Approval [ ] Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

**PROJECT TYPE**

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: Replace concrete driveway with brick pavers

**PROPERTY INFORMATION:**

Street Address: 146 Ave B City & State Apco., FL Zip 32320  
 Historic District [ ] Non-Historic District Zoning District R1  
 Parcel #: 01-09S-08W-8330-0046-0060 Block(s) 46 Lot(s) 6,7,8  
 FEMA Flood Zone/Panel #: 12037C0526F  
(For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

Setback requirement of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval

\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Tommy Owens  
Permitting and Development Coordinator  
(850) 658-1522  
cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Remove existing broken-up concrete drive along Ave. B and replace with brick pavers. See photos attached showing Google Earth image with 11 foot elevation and NWFWD Flood Information. New drive will be similar in size but will butt-up to pavement

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
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10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

11-4-2020  
DATE

Thomas M. Shuler  
SIGNATURE OF APPLICANT

**EPCI**  
**CITY OF APALACHICOLA**  
**BUILDING DEPT.**  
192 Conch Wagoner Blvd.  
**APPLICATION FOR BUILDING PERMIT**

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_ (payable to EPCI)

OWNER'S NAME: Thomas M. Shuler Email: Mshuler@shulerlawfl.com

ADDRESS: 146 Ave. B, Apco, FL 3232

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # 850-653-1757

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): Thomas M. + Nancy Shuler

ADDRESS: same

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: N/A Email: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 146 Ave B, Apco, FL

PURPOSE OF PERMIT: Replace existing concrete drive with brick pavers

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  
 YES  NO

PROPERTY PARCEL ID # 01-095-08W-8330-0046-0060

LEGAL DESCRIPTION OF PROPERTY: Block 46, Lots 6-8, Apco, FL

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: N/A

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: N/A

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: N/A

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: N/A SEWER SYSTEM PROVIDER: N/A

PRIVATE WATER WELL: N/A SEPTIC TANK PERMIT NUMBER: N/A

---



Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or dropped off at City Hall mailbox)

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial       Shed  
 Multi-Family       Swimming Pool       Storage       Sign       Pole Barn  
 Temp Pole       Demolition       Other Replace existing concrete driveway with brick pavers  
 Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
 R. Side \_\_\_\_\_  
 Cost of Construction \$ \_\_\_\_\_ Square Footage \_\_\_\_\_  
 BPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
 Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
 Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Thomas M. Shuler      11-4-2020  
 Signature of Owner or Agent      Date

n/a  
 Signature of Contractor      Date

Notary as to Owner or Agent  
 Date: \_\_\_\_\_

Notary as to Contractor  
 Date: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

(email to: [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or drop off in City drop box)  
 (make checks payable to EPCI – 192 Coach Wagoner Blvd. Apalachicola, FL 32320)

NWFWM Flood Report

Effective BFE:	11.0 ft	Prelim BFE:	11.0 ft
Effective Fld Zone:	0.2 PCT ANNUAL CHANCE 96%, AE 4%	Prelim Fld Zone:	0.2 PCT ANNUAL CHANCE FLOOD HAZARD 96%, AE 4%
Effective Fld Zone at Clicked Location:	0.2 PCT ANNUAL CHANCE FLOOD HAZARD	Prelim Fld Zone at Clicked Location:	N/A
Effective FIRM Panel:	12037C0526F	Prelim FIRM Panel:	12037C0526F
Clicked Location (approximate):	29.72001, -84.98736	Parcel ID:	01-095-08W-8330-0046-0060
Address (approximate):	140 Avenue B, Apalachicola, FL, 32320, USA		

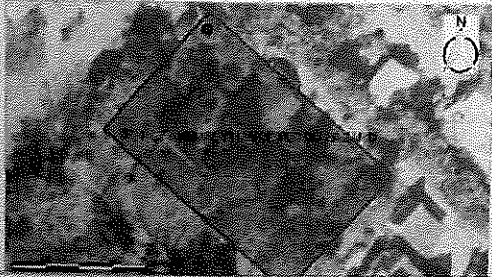
Print:

Select a layout

Print

\*\*This printed report opens in a new browser. You may need to enable popups on your browser.

Effective Flood Map: 2/5/2014





Preliminary Flood Map: Panel Not Revised



Sent from Yahoo Mail on Android

# Thomas M. Shuler - Driveway Application

Write a description for your map.

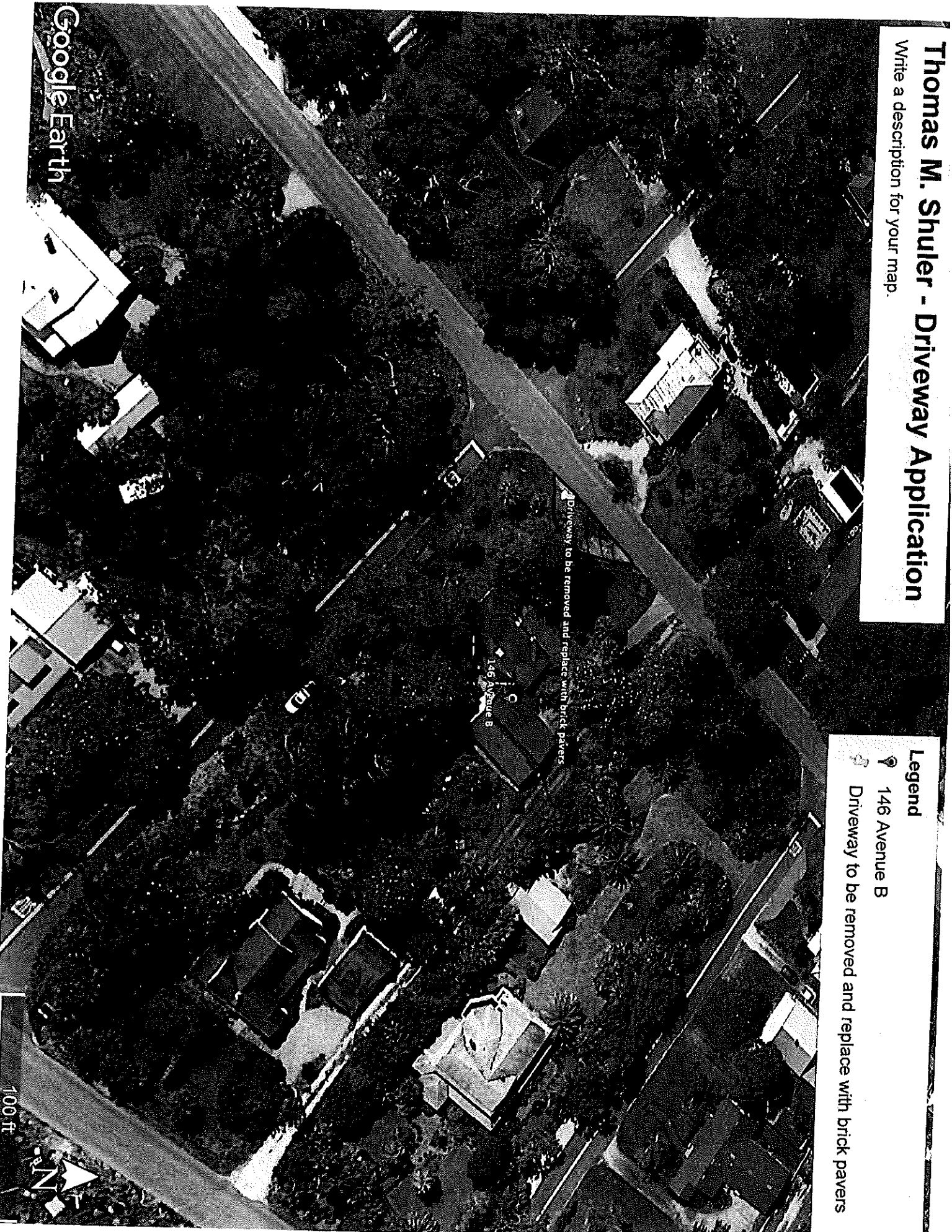
- Legend**
-  146 Avenue B
  -  Driveway to be removed and replace with brick pavers

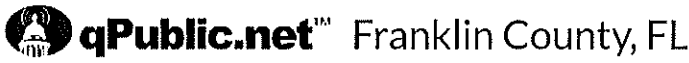
Driveway to be removed and replace with brick pavers

146 Avenue B

Google Earth

100 ft





**Parcel Summary**

Parcel ID 01-09S-08W-8330-0046-0060  
 Location Address 146 AVE B  
 32320  
 Brief Tax Description\* BL 46 LOTS 6 7 8 APALACHICOLA 684/651  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 20.8391  
 Acreage 0.000  
 Homestead Y

[View Map](#)

**Owner Information**

Primary Owner  
 Shuler Thomas M & Nancy D  
 40 4th Street  
 Apalachicola, FL 32320

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	180.00	FF	0	0

**Residential Buildings**

Building 1  
 Type SF APALACH  
 Total Area 3,036  
 Heated Area 1,638  
 Exterior Walls CONC BLOCK  
 Roof Cover COMP SHNGL  
 Interior Walls DRYWALL  
 Frame Type WOOD FRAME  
 Floor Cover HARDWOOD  
 Heat AIR DUCTED  
 Air Conditioning CENTRAL  
 Bathrooms 2  
 Bedrooms 3  
 Stories 1  
 Effective Year Built 1962

**Extra Features**

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0665	STEPS W/RAILS	1	17 x 4 x 0	68	SF	2002
0170	FPLC BELOW AVERAGE	1	0 x 0 x 0	1	UT	1982
0650	CON DR WAY	1	0 x 0 x 0	100	UT	1992

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	12/19/2001	\$150,000	WD	684	651	Unqualified (U)	Improved	SHULER	SHULER

**Valuation**

An error has occurred while trying to display this part of the page.  
 We apologize for any inconvenience.

**TRIM Notice 2020**

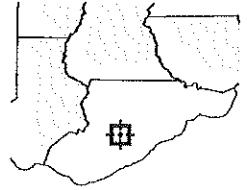
2020 TRIM Notice(PDF)

**TRIM Notice 2019**




2019 TRIM Notice(PDF)



Overview



Legend

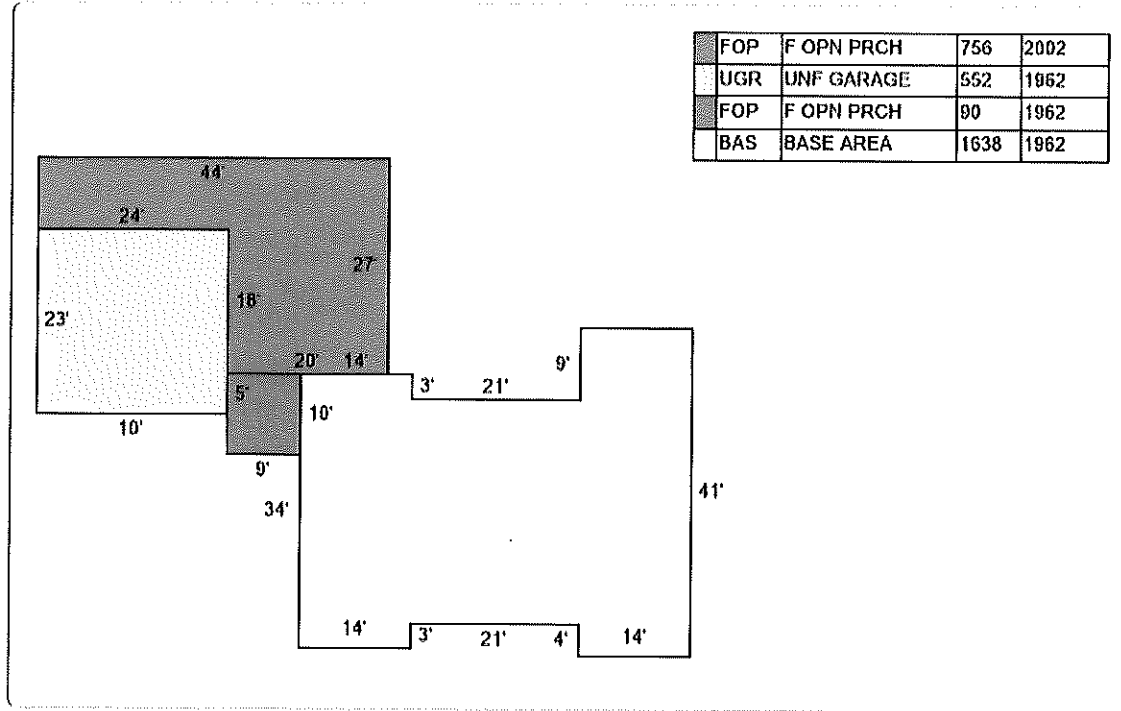
-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0046-0060	Alternate ID	08W09S01833000460060	Owner Address	SHULER THOMAS M & NANCY D
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		40 4TH STREET
Property Address	146 AVE B	Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 46 LOTS 6 7 8				
	(Note: Not to be used on legal documents)				

Date created: 11/23/2020  
Last Data Uploaded: 11/23/2020 7:49:21 AM

Developed by  Schneider  
GEOSPATIAL

Sketches



No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)  
[GDPR Privacy Notice](#)

Last Data Upload: 11/23/2020, 7:49:21 AM

Version 2.3.95









#4

H. Knudsen

233 Cornelius Rizer - Fence

**EPCI**  
**CITY OF APALACHICOLA**  
**BUILDING DEPT.**  
192 Conch Wagoner Blvd.  
**APPLICATION FOR BUILDING PERMIT**

DATE: 11-12-20 Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_ (payable to EPCI)

OWNER'S NAME: HENRY KNUDSEN Email: henry.k.99@yahoo.com

ADDRESS: 233 CORNELIUS RIZER ST.

CITY, STATE & ZIP CODE: APALACHICOLA FL 32370 PHONE # 732 895 7104

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: \_\_\_\_\_ Email: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: \_\_\_\_\_

PURPOSE OF PERMIT: FENCE

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  
 YES  NO

PROPERTY PARCEL ID # 01-099-08W-8330-0035-0001

LEGAL DESCRIPTION OF PROPERTY: 1/4 LOT 6 WITH PERING PILES

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_



Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or dropped off at City Hall mailbox)

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial       Shed  
 Multi-Family       Swimming Pool       Storage       Sign       Pole Barn  
 Temp Pole       Demolition       Other PERENCE  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
 R. Side \_\_\_\_\_  
 Cost of Construction \$ \_\_\_\_\_ Square Footage \_\_\_\_\_  
 EPI \_\_\_\_\_ Flood Zone  \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
 Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
 Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent [Signature] Date \_\_\_\_\_  
 Signature of Contractor \_\_\_\_\_ Date \_\_\_\_\_

Notary as to Owner or Agent  
Date: \_\_\_\_\_

Notary as to Contractor  
Date: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

(email to: [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or drop off in City drop box)  
(make checks payable to EPCI – 192 Coach Wagoner Blvd, Apalachicola, FL 32320)

**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

**HISTORIC DISTRICT ONLY**

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

**OWNER INFORMATION**

**CONTRACTOR INFORMATION**

Owner HENRY KNUDSEN  
Address 733 CORNELIUS RIVER ST  
City APALACHICOLA State FL Zip 32310  
Phone 732 895 7104

Contractor's Name: OWNER  
State License # \_\_\_\_\_ City License # \_\_\_\_\_  
Email Address \_\_\_\_\_  
Phone (\_\_\_\_) \_\_\_\_\_

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

**PROJECT TYPE**

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other \_\_\_\_\_

**PROPERTY INFORMATION:**

Street Address: 733 CORNELIUS RIVER ST City & State APALACHICOLA Zip 32310

Historic District  Non-Historic District Zoning District \_\_\_\_\_

Parcel #: 01-095-08W-8336 07350001 Block(s) \_\_\_\_\_ Lot(s) \_\_\_\_\_

FEMA Flood Zone/Panel #: X  
(For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

Setback requirement of Property:  
Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_  
Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

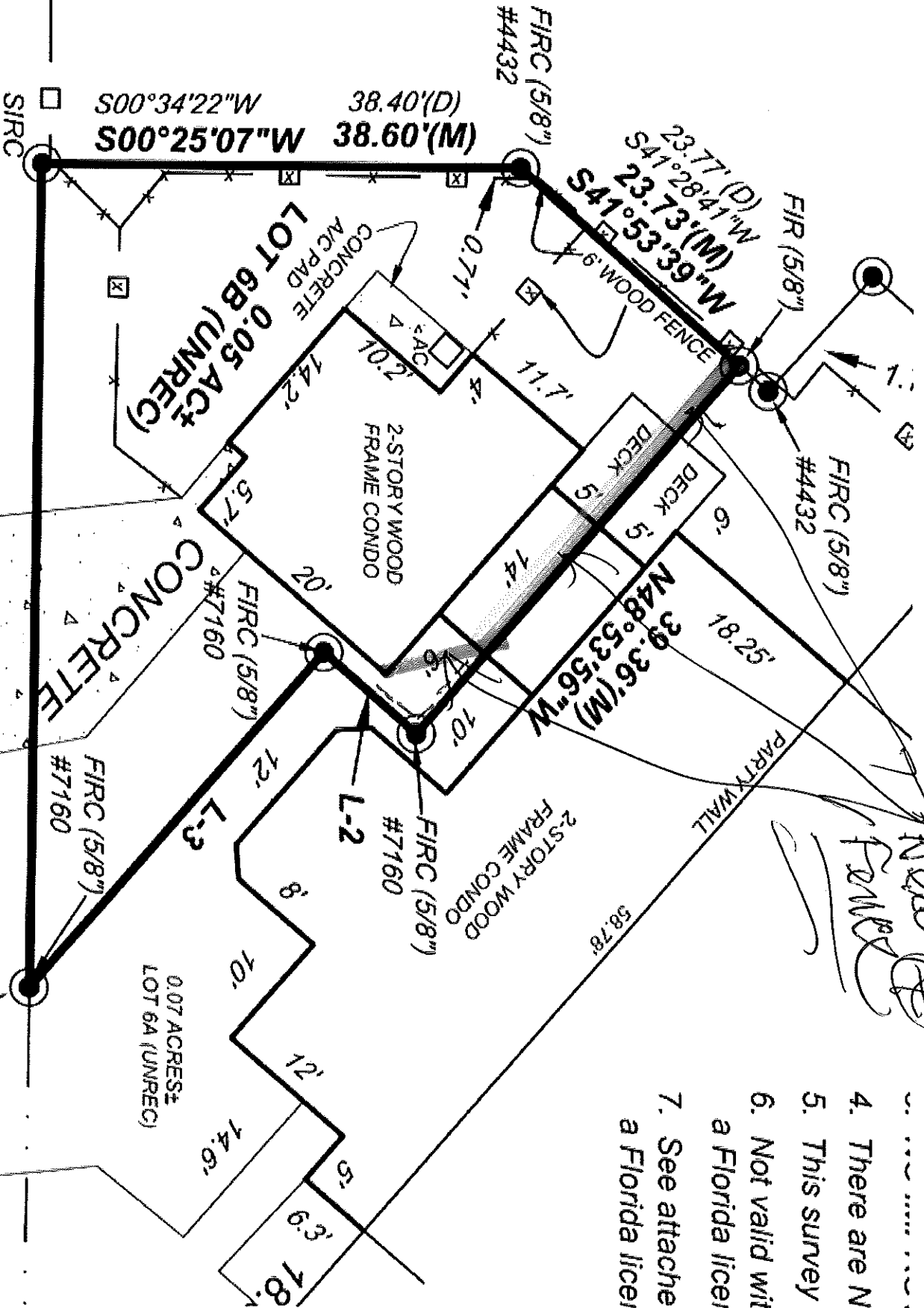
This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:  
\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Tammy Owens  
Permitting and Development Coordinator  
(850) 658-1522  
cityofapalachicola@gmail.com

NORTH



FRONT OF RAINFALLT  
 3233 COLLIER BLVD RIVER ST.  
 S89°26'55"E  
 66.27'(M)

Mavis  
 Fenwick

4. There are N
5. This survey
6. Not valid wit
- a Florida licei
7. See attache
- a Florida licei

CONC

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

*Fence on right side of house*

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing		<i>6' x 8' wood dog eared fence</i>	
Driveways/Sidewalks			
Other			

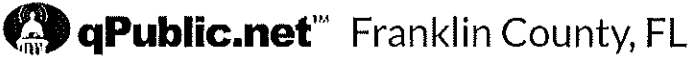
## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
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7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
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10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

11-17-2020  
DATE

Henry C. Knudsen  
SIGNATURE OF APPLICANT



**Parcel Summary**

Parcel ID 01-09S-08W-8330-0235-0061  
 Location Address 233 CORNELIUS RIZER STREET  
 32320  
 Brief Tax Description\* 1/2 LOT 6 WHISPERING PINES OR 670/615 712/25 796/727 1050/53 1051/786 1059/735 1217/476  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng --  
 Tax District Apalachicola (District 3)  
 Millage Rate 20.8391  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Knudsen Henry C  
 1323 The Hideout  
 Lake Ariel, PA 18436

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000188	SFR CHAPMAN/APALACH	1.00	UT	0	0

**Residential Buildings**

Building 1  
 Type SF APALACH  
 Total Area 960  
 Heated Area 960  
 Exterior Walls VINYL SIDE  
 Roof Cover COMP SHNGL  
 Interior Walls DRYWALL  
 Frame Type WOOD FRAME  
 Floor Cover SHT VINYL; CARPET  
 Heat AIR DUCTED  
 Air Conditioning CENTRAL  
 Bathrooms 1  
 Bedrooms 1  
 Stories 2  
 Effective Year Built 2002

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/26/2018	\$65,000	WD	1217	476	Qualified (Q)	Improved	FIGI	KNUDSEN
N	03/27/2012	\$50,000	WD	1059	735	Unqualified (U)	Improved	FEDERAL HOME LOAN MORT.	FIGI
N	12/15/2011	\$100	WD	1051	786	Unqualified (U)	Improved	CITIMORTGAGE,INC	FEDERAL HOME LOAN MORT.
N	12/01/2011	\$100	CT	1050	53	Unqualified (U)	Improved	CRUZ	CITIMORTGAGE,INC
N	06/22/2004	\$65,000	WD	796	727	Qualified (Q)	Improved	GREEN	CRUZ

**Valuation**

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 We apologize for any inconvenience.

**TRIM Notice 2020**

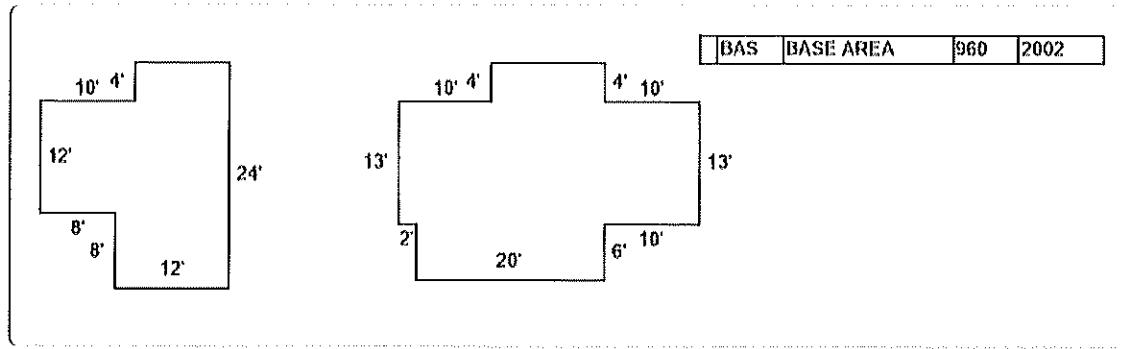
2020 TRIM Notice(PDF)

**TRIM Notice 2019**

2019 TRIM Notice(PDF)

**Sketches**





No data available for the following modules: Commercial Buildings, Extra Features.

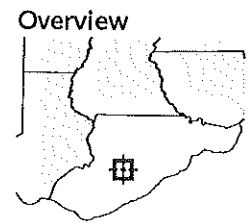
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

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Version 2.3.95



- Legend**
-  Parcels
  -  Roads
  -  City Labels

Parcel ID	01-09S-08W-8330-0235-0061	Alternate ID	08W09S01833002350061	Owner Address	KNUDSEN HENRY C
Sec/Twp/Rng	--	Class	SINGLE FAM		1323 THE HIDEOUT
Property Address	233 CORNELIUS RIZER STREET	Acreage	n/a		LAKE ARIEL, PA 18436
District	3				
Brief Tax Description	1/2 LOT 6 WHISPERING PINES (Note: Not to be used on legal documents)				

Date created: 11/23/2020  
 Last Data Uploaded: 11/23/2020 7:49:21 AM

Developed by  Schneider  
 GEOSPATIAL



#5

M. DAVIS

196 5<sup>th</sup> ST - SHED

**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

**-HISTORIC DISTRICT ONLY-**

**Official Use Only**

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

**OWNER INFORMATION**

**CONTRACTOR INFORMATION**

Owner Matthew Bryan Davis  
Address 196 5th St  
City Apalachicola State FL Zip 32320  
Phone (850) 567-6877

Contractors Name: Box Portable Buildings, LLC  
State License # 1821933 City License # \_\_\_\_\_  
Email Address \_\_\_\_\_  
Phone (850) 926-6247

Approval Type: [ ] Staff Approval Date: \_\_\_\_\_ [ ] Board Approval [ ] Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

**PROJECT TYPE**

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: Storage Building/Shed

**PROPERTY INFORMATION:**

Street Address: 196 5th Street City & State Apalachicola FL Zip 32320  
 Historic District [ ] Non-Historic District Zoning District R-1  
 Parcel #: 01-095-08W-8330-0180-0040 Block(s) 180 Lot(s) 4  
 FEMA Flood Zone/Panel #: X / 120089  
 (For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

**Setback requirement of Property:**

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_  
 Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

**Certificate of Appropriateness Approval:**

\_\_\_\_\_  
 Chairperson, Apalachicola Planning & Zoning Board

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Tammy Owens  
 Permitting and Development Coordinator  
 (850) 653-1522  
[cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com)

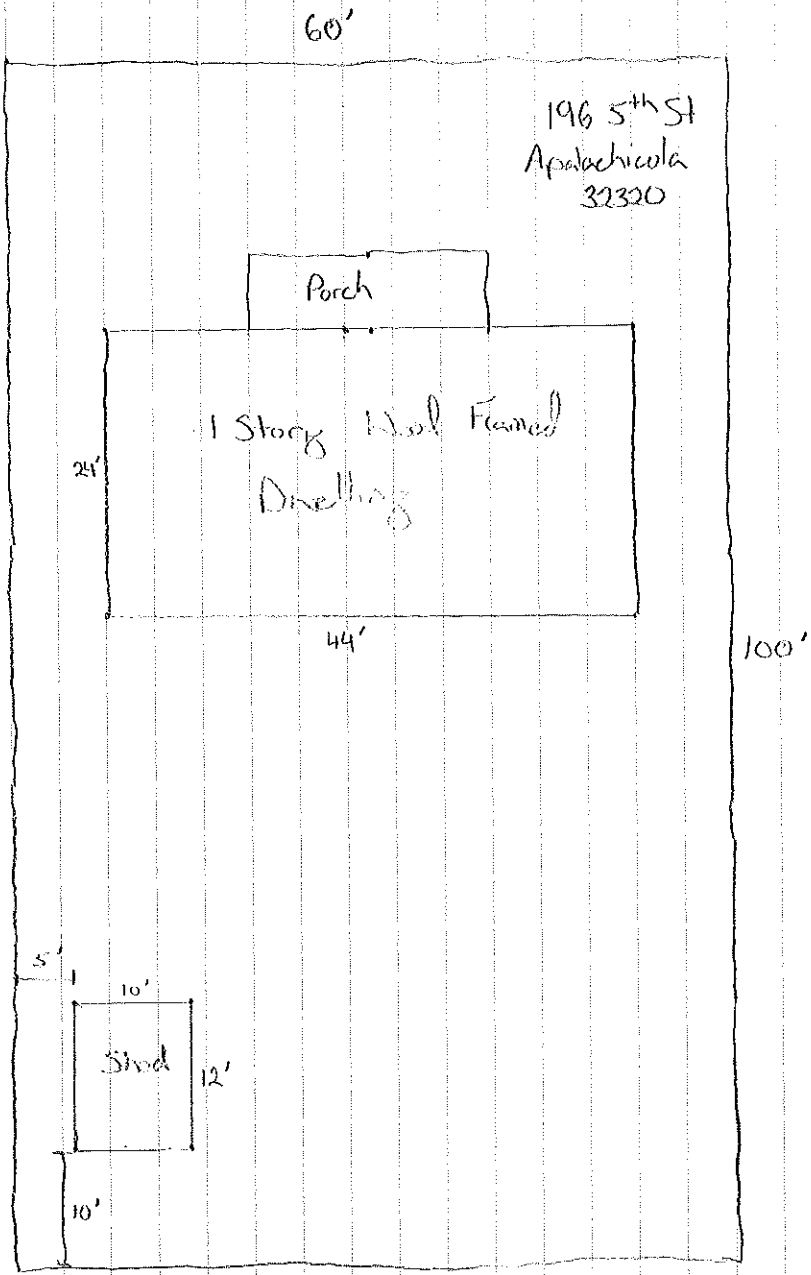
Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Storage Shell 10'x12' placed in backyard on 4" concrete blocks.  
 Metal construction (walls and roof), wood (floor).  
 Manufactured to wind load specifications: 165D/175C.  
 Attached to ground with hurricane strapping  
 No electricity or plumbing to building

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		<del>? metal</del> Historic	
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other	Lark Builders, Inc	Accu-Steel Model	

5<sup>th</sup> Street

Scale: 1" = 40'



196 5<sup>th</sup> St  
Apalachicola  
32320

Porch

1 Story Wood Framed  
Dwelling

24'

44'

100'

5'

10'

Shed

12'

10'

Gravel Alley

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

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11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

11/16/2020

DATE



SIGNATURE OF APPLICANT



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**  
**APPLICATION FOR BUILDING PERMIT**

Official Use Only

PERMIT #: \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_ - \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

PROPERTY OWNER'S  
NAME(S): Matthew Bryan Davis EMAIL: matthewbdavis@outlook.com

ADDRESS: 196 5<sup>th</sup> Street

CITY, STATE & ZIP CODE: Apalachicola 32320 PHONE # 850-567-6877

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR: Box Portable Buildings, LLC & McClelland Steel Delivery

ADDRESS: 3105 Coastal Hwy

CITY, STATE & ZIP CODE: Crawfordville, FL 32327 PHONE # 850-926-6247

STATE LICENSE NUMBER: DOT 1821933 CITY OF APALACHICOLA LICENSE # \_\_\_\_\_

ADDRESS OF PROJECT: 196 5<sup>th</sup> Street, Apalachicola, FL 32320

DESCRIPTION OF PROPOSED JOB: Storage Building / Shed 10' x 12'

STRUCTURE IS LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  NO

PROPERTY PARCEL ID # 01-095-08W-8330-0180-0040

LEGAL DESCRIPTION OF PROPERTY: Lot 4 Block "180"

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (Applications may be emailed to [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or dropped off in drop box at front door of city hall.)

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Fence       RV       Other \_\_\_\_\_  
 Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front 78' Rear 10' L. Side 5' R. Side 45'  
Cost of Construction \$ 2570.00 Square Footage 120  
EPI \_\_\_\_\_ Flood Zone X Lowest Floor Elevation \_\_\_\_\_  
Area Heated/Cooled 0 # Of Stories 1 # Of Units 1  
Type of Roof Metal Type of Walls Metal Type of Floor Wood Extreme  
Dimensions of: Length 10' Height 10' Width 12'

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

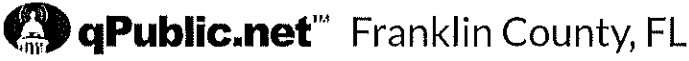
_____ Signature of Owner or Agent	_____ Signature of Contractor
Date: _____	Date: _____
_____ Notary as to Owner or Agent	_____ Notary as to Contractor
My Commission expires: _____	My Commission expires: _____

**APPLICATION APPROVED BY:** \_\_\_\_\_ **BUILDING OFFICIAL**









**Parcel Summary**

Parcel ID 01-09S-08W-8330-0180-0040  
 Location Address 196 5TH STREET  
 32320  
 Brief Tax Description\* BL 180 LOT 4 61/592 568/768 1122/633 1134/287 1248/684  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 20.8391  
 Acreage 0.000  
 Homestead Y

[View Map](#)

**Owner Information**

Primary Owner  
 Davis Matthew Bryan &  
 Davis Mary Kathleen Maxwell  
 196 5th Street  
 Apalachicola, FL 32320

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000801	THE HILL - APALACH	60.00	FF	0	0

**Residential Buildings**

Building 1  
 Type SF APALACH  
 Total Area 1,192  
 Heated Area 1,056  
 Exterior Walls BD/BATTEN  
 Roof Cover COMP SHNGL  
 Interior Walls DRYWALL  
 Frame Type N/A  
 Floor Cover SHT VINYL; CARPET  
 Heat AIR DUCTED  
 Air Conditioning CENTRAL  
 Bathrooms 2  
 Bedrooms 3  
 Stories 1  
 Effective Year Built 2000

**Extra Features**

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0320	CONCRETE	1	0x0x0	45	UT	0

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	08/30/2019	\$140,000	WD	1248	684	Qualified (Q)	Improved	LIU	DAVIS/DAVIS
N	11/21/2014	\$43,000	WD	1134	287	Unqualified (U)	Improved	US BANK NATIONAL ASSOC	LIU
N	06/16/2014	\$300	CT	1122	633	Unqualified (U)	Improved	BRAYANT	US BANK NATIONAL ASSOCIATION

**Valuation**

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 We apologize for any inconvenience.

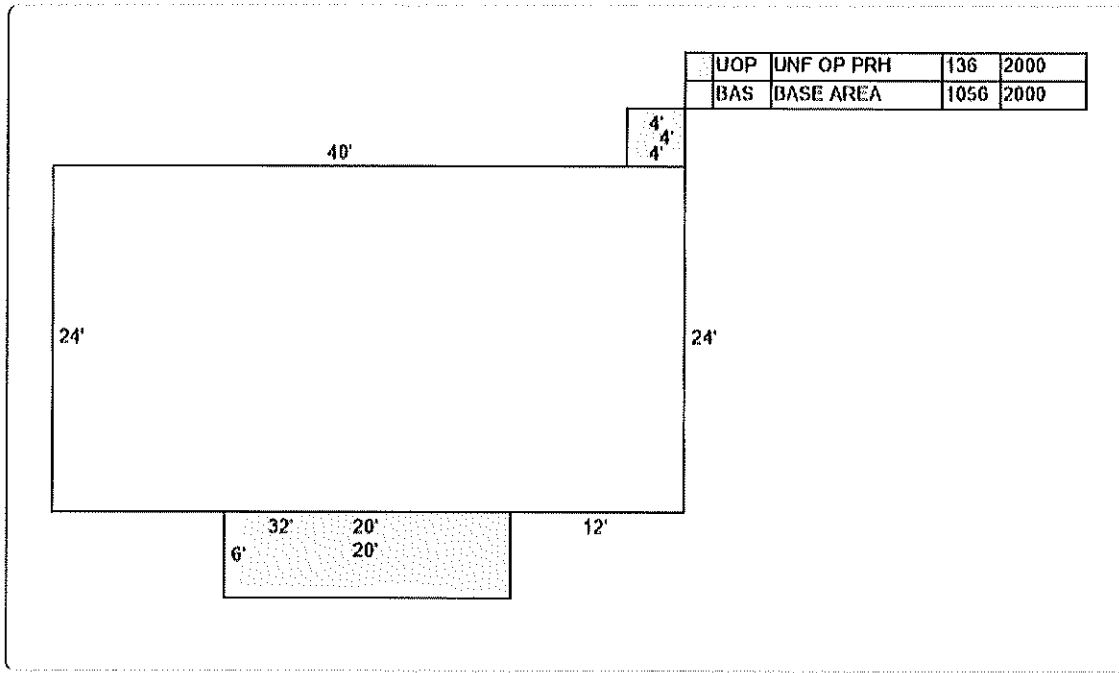
**TRIM Notice 2020**

2020 TRIM Notice(PDF)

TRIM Notice 2019

2019 TRIM Notice(PDF)

Sketches



No data available for the following modules: Commercial Buildings.

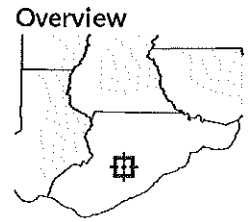
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

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- Legend**
-  Parcels
  -  Roads
  -  City Labels

Parcel ID	01-09S-08W-8330-0180-0040	Alternate ID	08W09S01833001800040	Owner Address	DAVIS MATTHEW BRYAN & DAVIS MARY KATHLEEN MAXWELL
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		196 5TH STREET
Property Address	196 5TH STREET	Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 180 LOT 4 61/592 568/768 (Note: Not to be used on legal documents)				

Date created: 11/23/2020  
Last Data Uploaded: 11/23/2020 7:49:21 AM

Developed by  **Schneider**  
GEOSPATIAL



#6

E. SPEIR

240 10th ST - SHED & FENCE

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Ernest G. Sanders J. Speer

ADDRESS: 240 10th Street

CITY, STATE & ZIP CODE: Apalachicola, FL 39320 PHONE # 229-344-1490 / 229-544-7852

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Self

ADDRESS: 3483 meltan Mill Rd.

CITY, STATE & ZIP CODE: Dawson, GA PHONE # 229-344-1490

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # City License #

ADDRESS OF PROJECT: 240 10th Street

PROPOSED USE OF SITE: Private fence to back of lot from back corner of house  
Corrugated metal & wood design

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  NO  YES

PROPERTY PARCEL ID # 01-098-0810-8330-0155-0050

LEGAL DESCRIPTION OF PROPERTY: BLISS lot 5

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

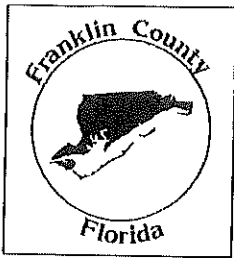
MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

**SHED**



**APPLICATION FOR DEVELOPMENT**  
**FRANKLIN COUNTY BUILDING DEPARTMENT**  
34 Forbes Street, Suite 1, Apalachicola, Florida 32320  
Phone: 850-653-9783 Fax: 850-653-9799  
[http://www.franklincountyflorida.com/planning\\_building.aspx](http://www.franklincountyflorida.com/planning_building.aspx)

PERMIT # \_\_\_\_\_  
FEE: \$ \_\_\_\_\_  
RADON: \$ \_\_\_\_\_  
TOTAL: \$ \_\_\_\_\_

**NOTE TO APPLICANTS AND PERMIT HOLDERS:**  
VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:  
ISSUANCE DATE: \_\_\_\_\_ EXPIRES: \_\_\_\_\_

- New Constuction
- Commercial
- Residential
- Substantial Improvement
- Less than Substantial

**APPLICATION MUST BE COMPLETE:** ( Incomplete applications will be review once it has)

Property Owner/s: Ernest G. Speir  
Contact Information: Home #: 229-344-1490 Cell #: \_\_\_\_\_  
Mailing Address: 3483 Melton Mill Rd City/State/Zip: Dawson, GA 39842  
EMAIL Address: Speirgrant@gmail.com

Contractor Name: Michael Koppel Business Name: Bestway Portable Building  
Contact Information: Office #: 850-747-8974 Cell #: 258-3963  
State License #: RR 2828 11422 County Registration #: \_\_\_\_\_  
Mailing Address: 2919 N. Hwy 231 City/State/Zip: Panama City, FL 32405  
EMAIL Address: bestwayportablebuildings@gmail.com

**PROPERTY DESCRIPTION:** 911 Address: 240 10th St. Apalachicola, FL 32320  
Lot/s: 5 Block: 155 Subdivision: \_\_\_\_\_ Unit: \_\_\_\_\_  
Parcel Identification #: 01-095-08W-8330-0155-0050

**JURISDICTION:**  Franklin County  
 Apalachicola  Eastpoint  St. George Island  Carrabelle  Dog Island  Lanark/ St. James  St. Teresa  Alligator Point

**DESCRIPTION OF DEVELOPMENT:** 12x24 Trussed Storage Building  
ZONING DISTRICT: \_\_\_\_\_ CONTRACT COST: 6024.00

HEATED SQ FT: 0 UN-HEATED SQ FT: 288 TOTAL SQUARE FOOT: 288  
ROOF MATERIAL: Aluminum FOUNDATION TYPE: Wood LOT DEMENSION: 60' x 100'  
NO. OF STORIES: 1 STORAGE SQ FOOTAGE: 288 GAS UTILITIES: \_\_\_\_\_  
(Requires Building or General Contractor if over 3 habitable stories including mezzanines.) (VE Zones: 299 Sq. Foot or Less and MUST be certified breakaway construction by Engineer)

SEPTIC TANK PERMIT # \_\_\_\_\_ OR SEWER DISTRICT: \_\_\_\_\_  
WATER DISTRICT: \_\_\_\_\_ OR PRIVATE WELL: \_\_\_\_\_

WATER BODY: \_\_\_\_\_  
CRITICAL SHORELINE DISTRICT: YES OR NO  CRITICAL HABITAT ZONE: YES OR NO

**FLOOD ZONE INFORMATION:** EFFECTIVE DATE: February 5, 2014

PANEL NUMBER: 01-095-08W-8330-0155-0050 FIRM ZONE/S: \_\_\_\_\_  
ELEVATION REQUIREMENTS AS PER SURVEY: \_\_\_\_\_

- Requires V-Zone Certification
- Requires Elevation Certificates
- Requires Smart Vents
- Requires Breakaway Walls

BUILDING OFFICIAL \_\_\_\_\_ DATE \_\_\_\_\_ FLOODPLAIN ADMIN. \_\_\_\_\_ DATE \_\_\_\_\_  
OWNER/CONTRACTOR [Signature] DATE 7-8-20

## SUPPLEMENTAL APPLICATION

- 1- Proposed Alteration of the Land:
- Determination of COE & DEP Wetlands: \_\_\_\_\_
  - Amount and location of Fill to be placed on property: \_\_\_\_\_
  - Percentage of land to be placed in impervious surface: 288 sq ft.
- 2- Critical Shoreline Inspection:
- Construction to be a minimum of 50 feet from the mean high water or wetland: \_\_\_\_\_  
(Must be indicated on submitted site plan)
  - Construction within 50 feet of the mean high water or wetlands: \_\_\_\_\_
  - Attach the Board of Adjustment Approval: Date of Approval: \_\_\_\_\_  
(Expires One Year From Approval Date)
- 3- Elevation Requirements:
- FLOOD ZONE: X \_\_\_\_\_ BASE FLOOD ELEVATION: \_\_\_\_\_
  - LOWEST BASE FLOOD ELEVATION AT BUILDING SITE: 1 / \_\_\_\_\_
  - A/AE/AH/AO ZONES: Elevation of bottom of the first floor: \_\_\_\_\_
  - VE Zones: Elevation of the first floor horizontal support structure: \_\_\_\_\_

## DEVELOPMENT APPLICATION CHECKLIST

### RESIDENTIAL:

- Application
- Supplemental Application
- Boundary Survey (Non-Flood Zones)
- Site Plan
- Septic Tank Permit
- Water & Sewer Letter
- Energy Code Form
- 2 Complete Sets of Building Plans
- Wind Load Analysis     Engineered
- State Permits
- DEP Permits    COE Permits    FDOT Permits
- Structure Height & Number of Stories Affidavit
- Portable Toilet Agreement
- Owner/Builder Affidavit
- Dumpster Affidavit
- Termite Affidavit
- Turtle Light Affidavit (If Applicable)
- Recorded Notice of Commencement

### FORMS REQUIRED IN FLOOD ZONES: (Additional)

- Topographical Survey
- Flood Plain Management Review
- V Zone Certification (If Applicable)
- Smart Vent Certification (If Applicable)
- Elevation Affidavit
- Non Conversion Agreement

### COMMERCIAL: (Additional to Residential)

- P&Z Approval Notice
- BOA Approval Notice
- BCC Approval Notice
- DEP Storm Water Permit/Exemption
- DBPR Approval
- Parking Plan
- Flood Proofing Certification (If Applicable)

## SUB-CONTRACTOR LIST

PLEASE BE ADVISED THAT ALL CONTRACTORS DOING WORK IN FRANKLIN COUNTY MUST BE REGISTERED IN FRANKLIN COUNTY PRIOR TO PERFORMING ANY WORK IN THIS COUNTY. ALL GENERAL, RESIDENTIAL & BUILDING, ELECTRICAL, PLUMBING, HVAC & ROOFING CONTRACTOR'S ARE REQUIRED TO PULL PERMITS ON ALL NEW, RENOVATIONS, REMODEL PROJECTS.

CONTRACTOR OR OWNER HAS CONTRACTED WITH THE FOLLOWING (OWNER/BUILDERS ARE NOT ALLOWED TO HIRE SPECIALTY FRAMING CONTRACTORS) ALL CONTRACTOR'S & SUBCONTRACTOR'S MUST BE REGISTERED WITH FRANKLIN COUNTY AND ALL APPLICABLE PERMITS MUST BE OBTAINED BEFORE COMMENCING WORK.

- |                   |                                     |                   |                                     |
|-------------------|-------------------------------------|-------------------|-------------------------------------|
| Contractor: _____ | <input type="checkbox"/> Registered | Insulation: _____ | <input type="checkbox"/> Registered |
| Electrical: _____ | <input type="checkbox"/> Registered | Painting: _____   | <input type="checkbox"/> Registered |
| Plumbing: _____   | <input type="checkbox"/> Registered | Framing: _____    | <input type="checkbox"/> Registered |
| HVAC: _____       | <input type="checkbox"/> Registered | Masonry: _____    | <input type="checkbox"/> Registered |
| Roofing: _____    | <input type="checkbox"/> Registered | Tile: _____       | <input type="checkbox"/> Registered |
| Propane: _____    | <input type="checkbox"/> Registered | Siding: _____     | <input type="checkbox"/> Registered |
| Concrete: _____   | <input type="checkbox"/> Registered | Other: _____      | <input type="checkbox"/> Registered |
| Piling: _____     | <input type="checkbox"/> Registered | Other: _____      | <input type="checkbox"/> Registered |

**EPCI**  
**PORT ST JOE BUILDING DEPARTMENT**

APPLICATION FOR BUILDING PERMIT

DATE: 7-8-20 Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Ernest Speir

ADDRESS: 3483 Melton Mill Road

CITY, STATE & ZIP CODE: Dawson, GA 39842 PHONE # 229-344-1490

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Bestway Portable Buildings Inc. / Michael Koppel

ADDRESS: 2919 HWY 231 N  
Panama City, FL 32405  
850-747-8974

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: RR282811422 COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 240 10<sup>th</sup> St, Apalach

PROPOSED USE OF SITE: 12' x 24' shed

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  
 YES  NO

PROPERTY PARCEL ID # 01-095-08W-8330-0155-0050

LEGAL DESCRIPTION OF PROPERTY: BL 155 LOT 5 OR 55/114 OR 185/172 OR 185/514  
OR 383/176 683/800 1119/370 1190/41

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage <sup>①</sup> Shed       Sign  
 Multi-Family       Demolition       Other <sup>②</sup> Privacy Fence  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front 56'    Rear 20'    L. Side 43'  
 R. Side 5'  
 Cost of Construction \$ 6424.00    Square Footage 288  
 EPI \_\_\_\_\_ Flood Zone X    Lowest Floor Elevation 1'  
 Area Heated/Cooled 288 # Of Stories 1    # Of Units 1  
 Type of Roof Alum    Type of Walls Alum    Type of Floor wood  
 Extreme Dimensions of: Length 24'    Height 8'    Width 10'

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent \_\_\_\_\_

[Signature]  
Signature of Contractor

Date: \_\_\_\_\_

Date: 7-8-20

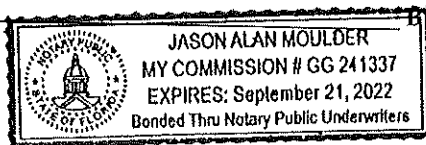
Notary as to Owner or Agent \_\_\_\_\_

[Signature]  
Notary as to Contractor

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY:



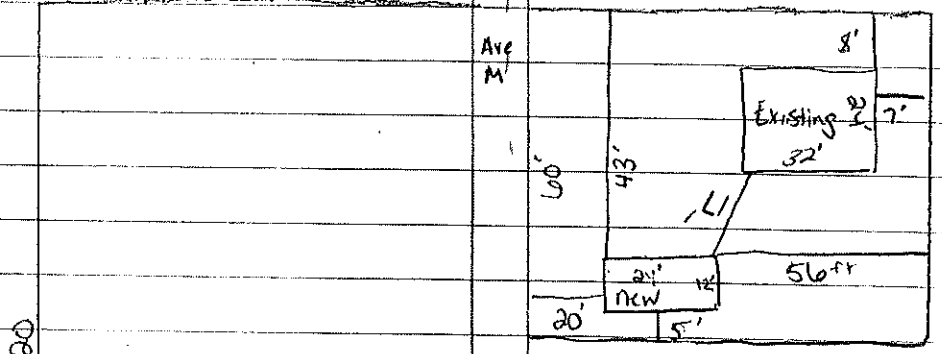
BUILDING OFFICIAL.

Parcel # 01-095-08W-8330-0155-0000  
Ernest Spein  
240 10th Street

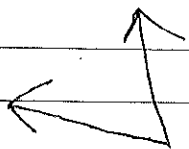
R2

10th Street

R1



100



All (1) proper



### Parcel Summary

Parcel ID 01-09S-08W-8330-0155-0050  
 Location Address 240 10TH ST  
 APALACHICOLA 32320  
 Brief Tax Description\* BL 155 LOT 5 OR SS/114 OR/185/172 OR 185/514 OR 383/176 863/800 1119/370 1190/41  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 20.8391  
 Acreage 0.000  
 Homestead N

[View Map](#)

### Owner Information

Primary Owner  
 Speir Ernest G & Sandra J  
 3483 Melton Mill Rd  
 Dawson, GA 39842

### Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000801	THE HILL - APALACH	60.00	FF	0	0

### Residential Buildings

Building 1  
 Type SF APALACH  
 Total Area 924  
 Heated Area 690  
 Exterior Walls AVERAGE  
 Roof Cover MODULAR MT  
 Interior Walls WALL BD/WD  
 Frame Type N/A  
 Floor Cover PINE WOOD  
 Heat AIR DUCTED  
 Air Conditioning CENTRAL  
 Bathrooms 1  
 Bedrooms 1  
 Stories 0  
 Effective Year Built 1935

### Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0170	FPLC BELOW AVERAGE	1	0 x 0 x 0	0	UT	0
0130	C L FENCE 5	1	0 x 0 x 0	320	UT	0

### Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/07/2017	\$52,000	WD	1190	41	Qualified (Q)	Improved	MILLSTONE MOUNTAIN LLC	SPEIR
N	04/28/2014	\$29,000	WD	1119	370	Qualified (Q)	Improved	CRUM	MILLSTONE MOUNTAIN LLC
N	07/28/2005	\$20,000	WD	863	800	Unqualified (U)	Improved	BROWN	CRUM
N	06/30/1992	\$12,750	QC	383	176	Qualified (Q)	Improved	HINES	BROWN

### Valuation

An error has occurred while trying to display this part of the page.  
 We apologize for any inconvenience.

### TRIM Notice 2020

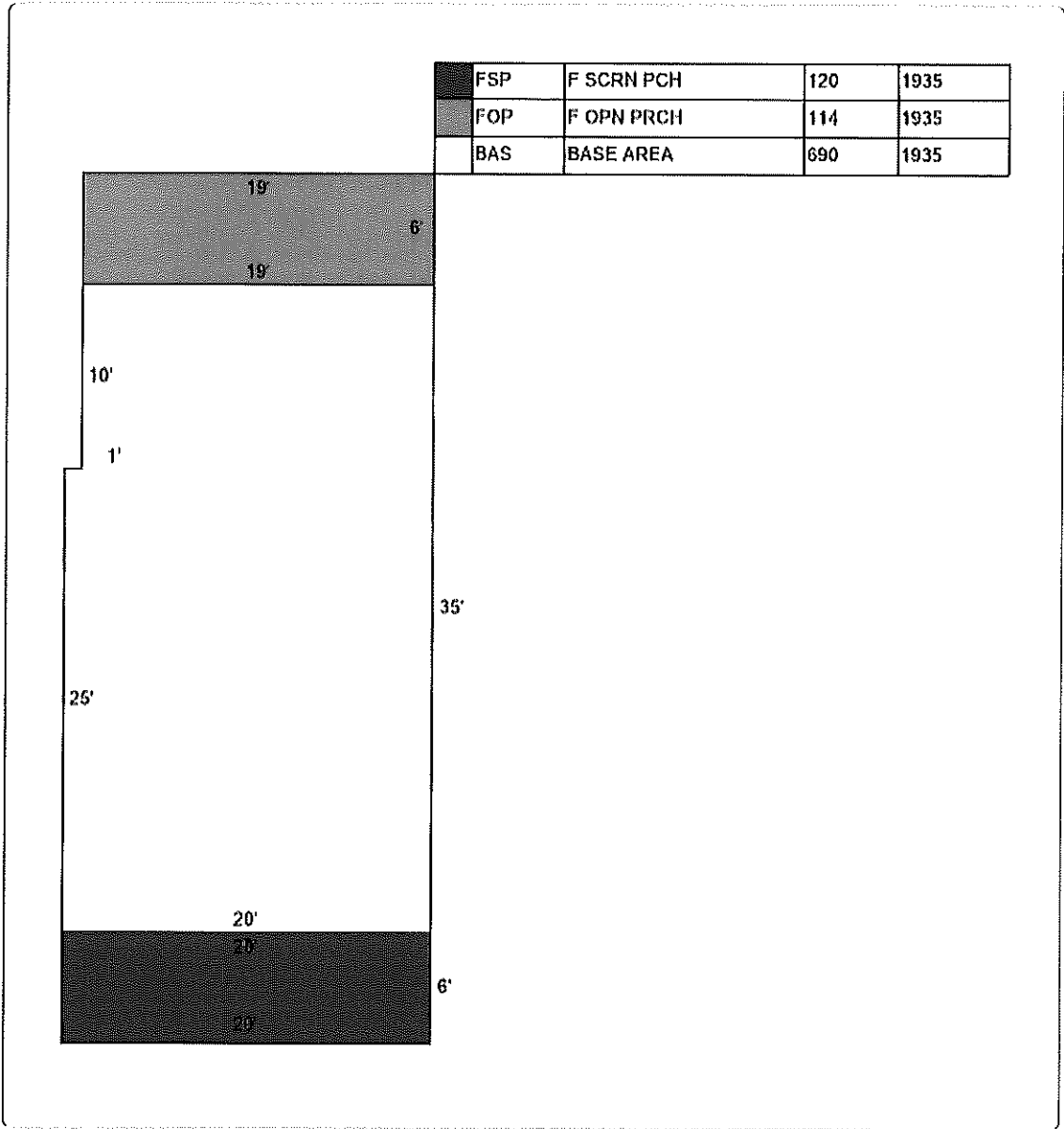
2020 TRIM Notice(PDF)



TRIM Notice 2019

2019 TRIM Notice(PDF)

Sketches



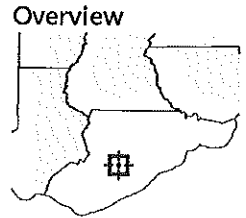
No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.  
[User Privacy Policy](#)  
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Version 2.3.95



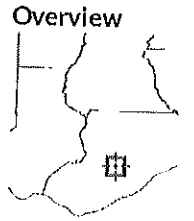
**Legend**

-  Parcels
-  Roads
-  City Labels

<b>Parcel ID</b>	01-09S-08W-8330-0155-0050	<b>Alternate ID</b>	08W09S01833001550050	<b>Owner Address</b>	SPEIR ERNEST G & SANDRA J
<b>Sec/Twp/Rng</b>	1-9S-8W	<b>Class</b>	SINGLE FAM		3483 MELTON MILL RD
<b>Property Address</b>	240 10TH ST APALACHICOLA	<b>Acreage</b>	n/a		DAWSON, GA 39842
<b>District</b>	3				
<b>Brief Tax Description</b>	BL 155 LOT 5 OR SS/114 (Note: Not to be used on legal documents)				

Date created: 11/23/2020  
 Last Data Uploaded: 11/23/2020 7:49:21 AM

Developed by  **Schneider**  
 GEOSPATIAL



Parcel ID	01-09S-08W-8330-0155-0050	Alternate ID	08W09S01833001550050	Owner Address	SPEIR ERNEST G & SANDRA J
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		3483 MELTON MILL RD
Property Address	240 10TH ST	Acreage	n/a		DAWSON, GA 39842
	APALACHICOLA				
District	3				
Brief Tax Description	BL 155 LOT 5 OR SS/114 (Note: Not to be used on legal documents)				

**WEBER**  
structural engineering

3200 W 23rd. St.  
Panama City, FL 32405  
mikweber.com

Michael K. Weber P.E.  
FL P.E. #75798  
4.29.22  
*[Signature]*

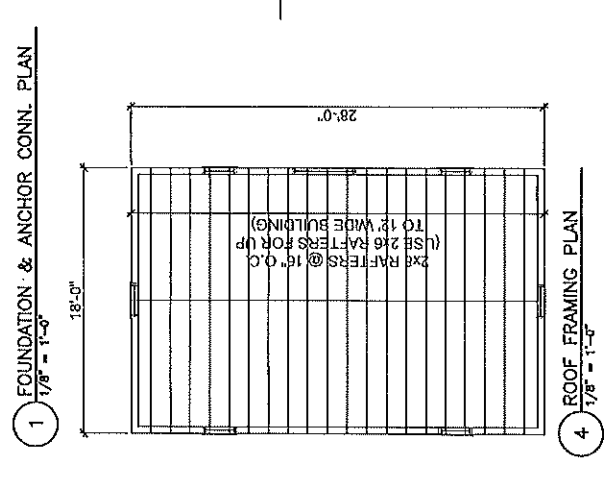
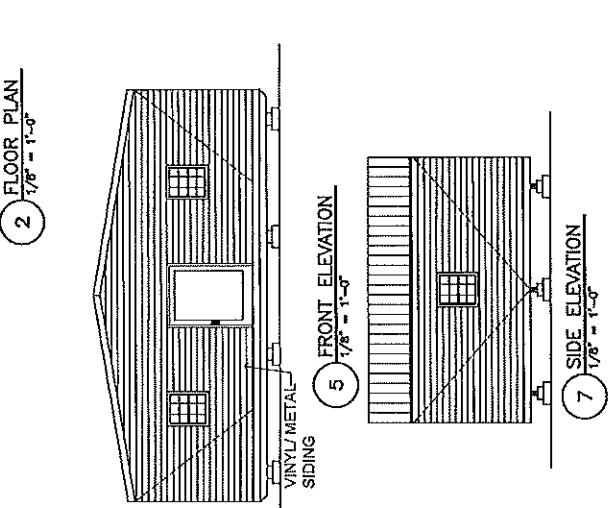
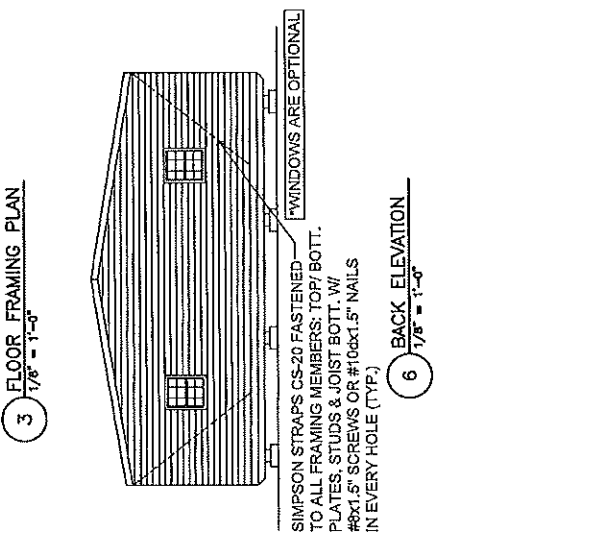
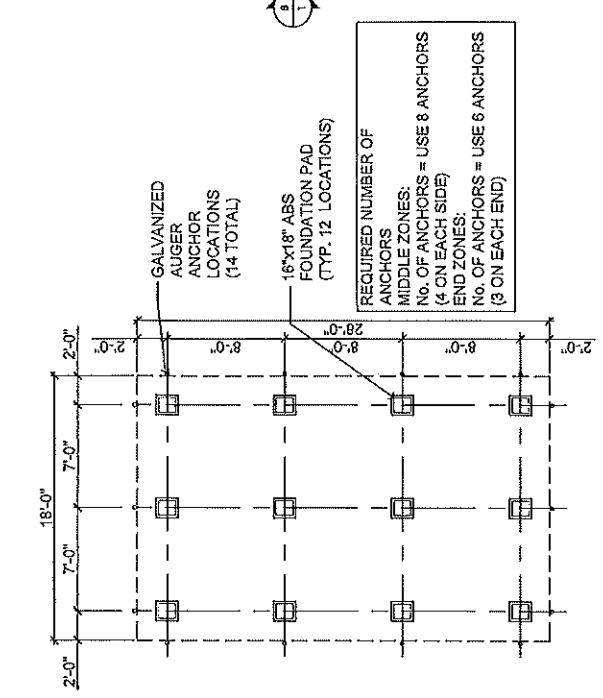
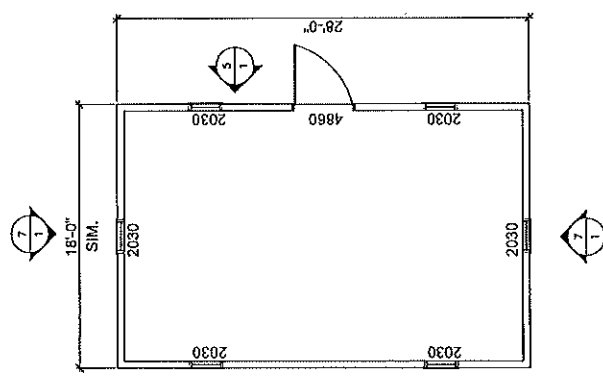
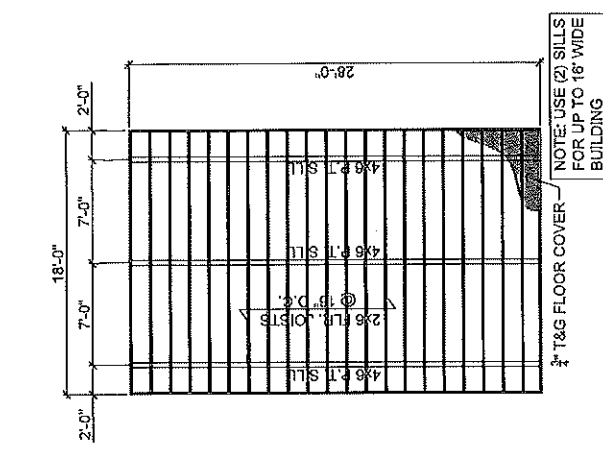
DRAWINGS ARE NOT VALID UNLESS BLUE INK & RAISED SEAL IS PRESENT

Portable Storage Building  
Up to  
18' Wide x 28' Long Storage Building  
Bestway Portable Buildings, Inc.  
2919 US Highway 231  
Panama City, FL 32405  
(850) 747-8974  
Foundation, Floor Plan, & Elevations

2919 HWY. 231 N. - Panama City, FL 32405  
www.bestwayportablebuildings.com

Project No. 20019-6  
Drawn By DAW  
Checked by MKW  
Drawing Number **S100**

4/17/20 1:51:04 PM



**GENERAL & STRUCTURAL NOTES:**

DESIGN CODE DATA  
 2015 INTERNATIONAL BUILDING CODE  
 2017 FLORIDA BUILDING CODE  
 ASCE 7-10: MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES  
 ACI 318-08: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY  
 ANSI/AP&PA NDS-2005: NATIONAL DESIGN SPECIFICATIONS FOR WOOD STRUCTURES

BUILDING OCCUPANCY CATEGORY: I

**DESIGN LOADS:**

DEAD LOADS:  
 ROOF 15 PSF  
 FLOOR 100 PSF  
 ROOF 20 PSF

WIND DESIGN CRITERIA:  
 WIND SPEED (MPH): 140  
 BASE VELOCITY PRESSURE (PSF): 33.1  
 EXPOSURE: C  
 ENCLOSURE CLASSIFICATION: ENCLOSED  
 INTERNAL PRESSURE COEFFICIENT (GCp): +0.18, -0.18

**NOTE:**

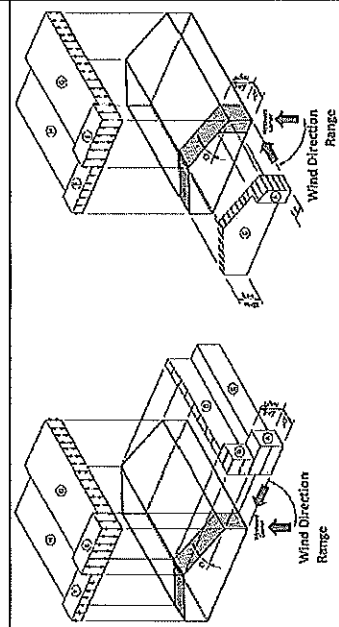
CONTRACTOR TO PROVIDE FLORIDA APPROVAL NUMBERS FOR ALL STRUCTURAL COMPONENTS - ONLY PLANS WITH EMBOSSED SEALS & BLUE ORIGINAL SIGNATURES ARE ALLOWED

THESE PLANS AND IDEAS AND CONCEPTS CONTAINED HEREIN, INCLUDING DIGITAL INFORMATION ARE THE PROPERTY OF MICHAEL K. WEBER, PE AND ARE NOT TO BE COPIED, REPRODUCED, MODIFIED OR CHANGED IN ANY FORM OR MANNER WITHOUT WRITTEN PERMISSION OF MICHAEL K. WEBER, PE. UNAUTHORIZED CHANGES TO THESE DRAWINGS AND WORK NOT DESCRIBED BY THESE DRAWINGS ARE NOT COVERED BY THE ENGINEER CERTIFICATION. VIOLATION OF THE COPYRIGHT LAWS MAY RESULT IN LEGAL ACTION.

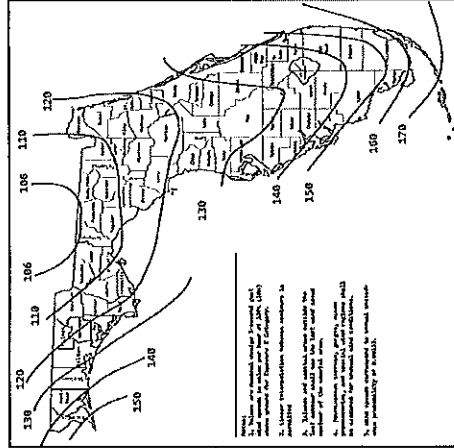
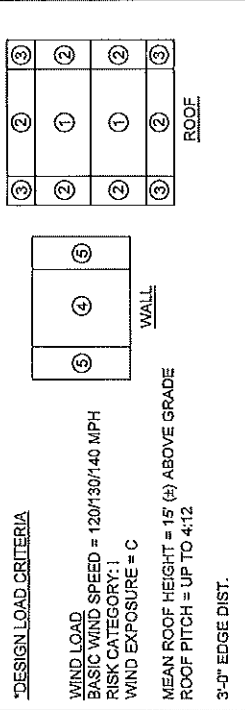
DESIGN ENGINEER IS NOT RESPONSIBLE FOR DAMAGE DUE TO POOR CRAFTSMANSHIP, IMPROPER INSTALLATION, FAULTY FABRICATION, HANDLING, SHIPPING OR ANY COMPONENTS OF THE STRUCTURE

**DO NOT SCALE DRAWINGS**

MAIN WIND FORCE RESISTANCE SYSTEM (ENVELOPE PROCEDURE)		
ZONES	ULTIMATE (PSF)	DESIGN PRESSURE ASD (PSF)
ZONE A	34.4	20.6
ZONE B	-9.1	-5.4
ZONE C	22.9	13.7
ZONE D	-5.0	-3.0
ZONE E	-29.8	-17.9
ZONE F	-20.8	-12.5
ZONE G	-20.8	-12.5
ZONE H	-15.8	-9.5
E <sub>OH</sub>	-41.8	-25.1
G <sub>OH</sub>	-32.7	-19.6



COMPONENTS AND CLADDING			
ROOFS	DESIGN PRESSURE (LIFT)	DESIGN PRESSURE (ASD)	
TRIBUTARY AREA, 10 SF	POSITIVE (PSF)   NEGATIVE (PSF)	POSITIVE (PSF)   NEGATIVE (PSF)	
ZONE 1	12.2   -28.9	7.3   -17.3	
ZONE 2	12.2   -46.5	7.3   -28.7	
ZONE 3	12.2   -68.5	7.3   -41.1	
TRIBUTARY AREA, 100 SF	DESIGN PRESSURE	DESIGN PRESSURE	
ZONE 1	POSITIVE (PSF)   NEGATIVE (PSF)	POSITIVE (PSF)   NEGATIVE (PSF)	
ZONE 2	11.5   -27.1	6.9   -16.3	
ZONE 3	11.5   -42.5	6.9   -25.3	
WALLS	DESIGN PRESSURE	DESIGN PRESSURE	
TRIBUTARY AREA, 10 SF	POSITIVE (PSF)   NEGATIVE (PSF)	POSITIVE (PSF)   NEGATIVE (PSF)	
ZONE 4	25.1   -38.3	15.1   -23.0	
ZONE 5	22.4   -56.5	13.5   -33.9	
TRIBUTARY AREA, 500 SF	DESIGN PRESSURE	DESIGN PRESSURE	
ZONE 4	20.6   -31.4	12.4   -18.8	
ZONE 5	18.4   -41.8	11.0   -25.1	



State of Florida  
 Category 1 Building & Structures  
 (in Miles Per Hour)

**WEBER**  
 structural engineering  
 3200 W 23rd St.  
 Panama City, FL 32405  
 mkweber.com

Michael K. Weber P.E.  
 FL P.E. #75798  
 4-29-22

18' Wide x 28' Long Storage Building  
 Up to  
 Bestway Portable Buildings, Inc.  
 2919 US Highway 231  
 Panama City, FL 32405  
 (850) 747-8974  
 General & Structural Notes

Project No. 20019-5  
 Drawn By DAW  
 Checked By MKW

Drawing Number  
**S000**



3200 W 23rd. St.  
Panama City, FL 32405  
mikweber.com

Michael K. Weber P.E.  
FL P.E. #75798

*Handwritten signature and initials*

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Portable Storage Building  
Up to  
18' Wide x 28' Long Storage Building  
Bestway Portable Buildings, Inc.  
2919 US Highway 231  
Panama City, FL 32405  
(850) 747-8974  
Section Plan

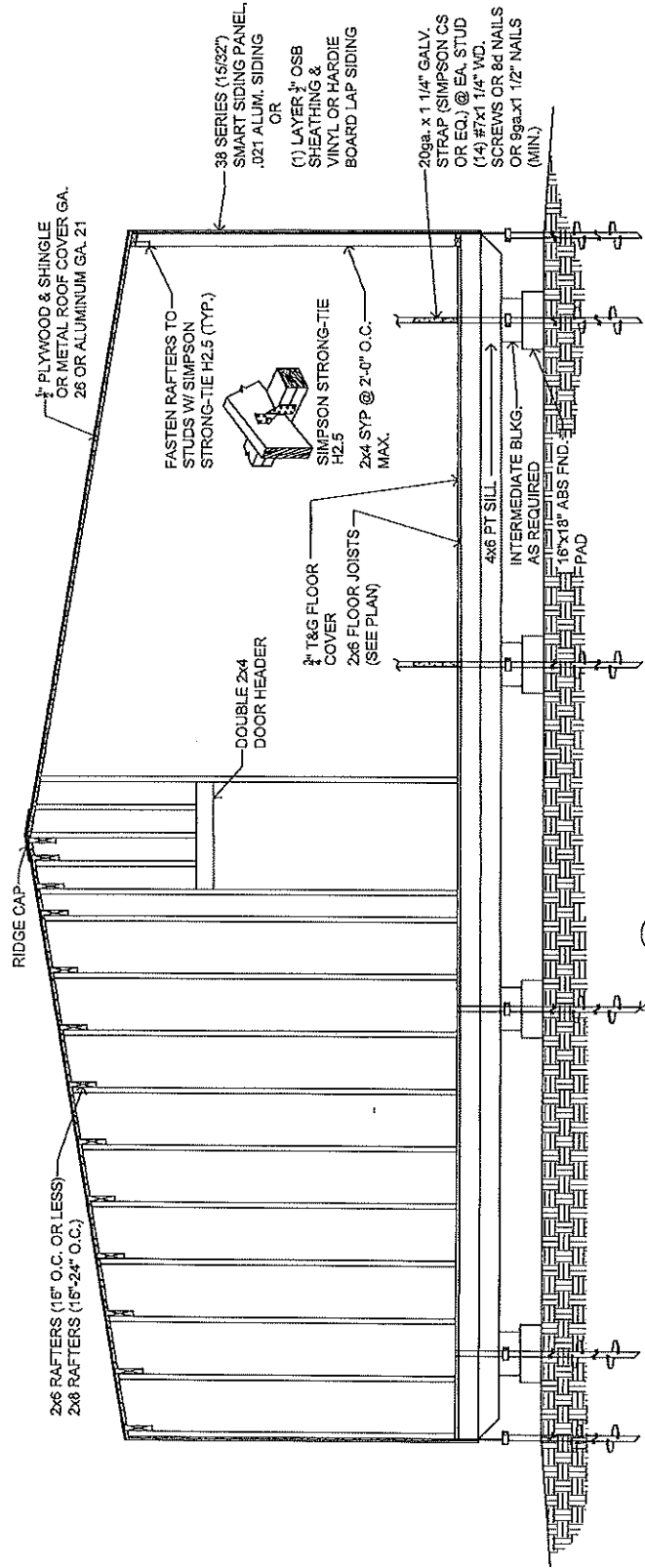


2919 HWY. 231 N. - Panama City, FL 32405  
www.bestwayportablebuildings.com

Project No. 20019-6  
Drawn By DAW  
Checked by MKW

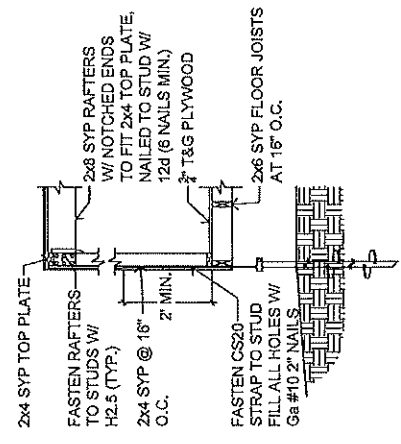
Drawing Number

S200



**NOTE FOR STUD AND RAFTER SPACING:**  
STUDS @ 16" O.C. FOR VINYL / HARDIE BOARD SIDING & 24" FOR METAL SIDING; 1/2 OSB ONLY FOR VINYL HARDIE BOARD WALL SIDING AND FOR SHINGLE ROOFING.  
**ROOF COVER NAILING SCHEDULE:**  
USE 10d NAILS @ 8" O.C. AT THE PERIMETER AND 12" O.C. IN THE FIELD  
**WALL FRAMING:**  
USE 10d @ 9" O.C. AT THE PERIMETER AND 12" O.C. IN THE FIELD

**1 SECTION**  
3/8" = 1'-0"  
GALVANIZED AUGER ANCHOR M12H-3/4" RATED 3150 LBS WORKING LOAD IN CLASS 4A SOIL. INSTALLED PER MANUFACTURER'S GUIDELINES



**2 SECTION**  
1/2" = 1'-0"

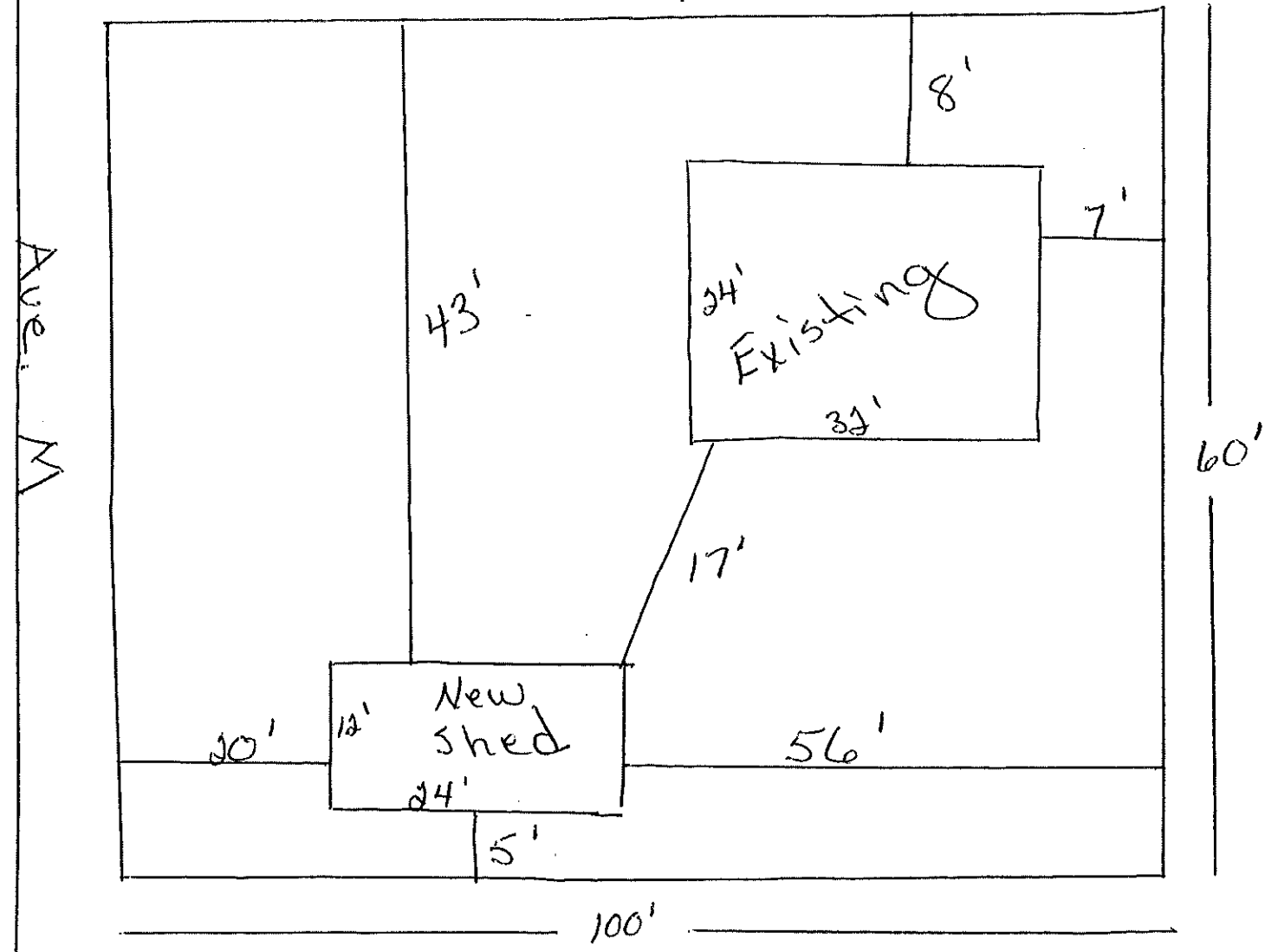
- NOTES:**
- 1.) ALL FRAMING RULES PER CHAPTER 23, 2014 F.B. CODE TO BE APPLIED
  - 2.) FRAMING LUMBER: MIN. #2, 19% MOISTURE CONTENT, SILLS & EXPOSED TO BE CCA - PRESSURE TREATED
  - 3.) CONNECTORS: SIMPSON OR SIMILAR
  - 4.) NAILING: ALL TO BE COMMON (GALV. @ EXT.), SIMPSON @ CONNECTORS
  - 5.) ANCHORAGE: GRADE A36

4/20/23 1:54:45 PM

Grant Speir

240 10<sup>th</sup> Street

Parcel # 01-095-08W-8330-0155-0050

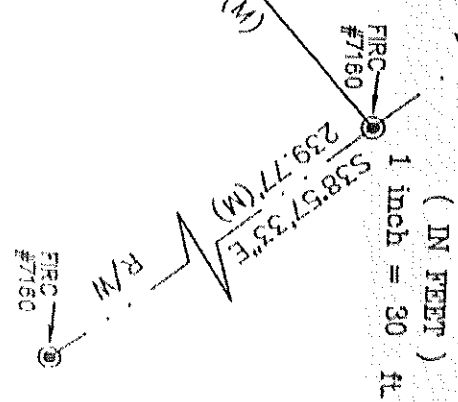


ERNEST G. SPEIR and SANDRA J. SPEIR

Proposed Privacy Fence  
Proposed Storage Building

CORNER lot  
SIRC IN 10' BAY TREE

GRAPHIC SCALE

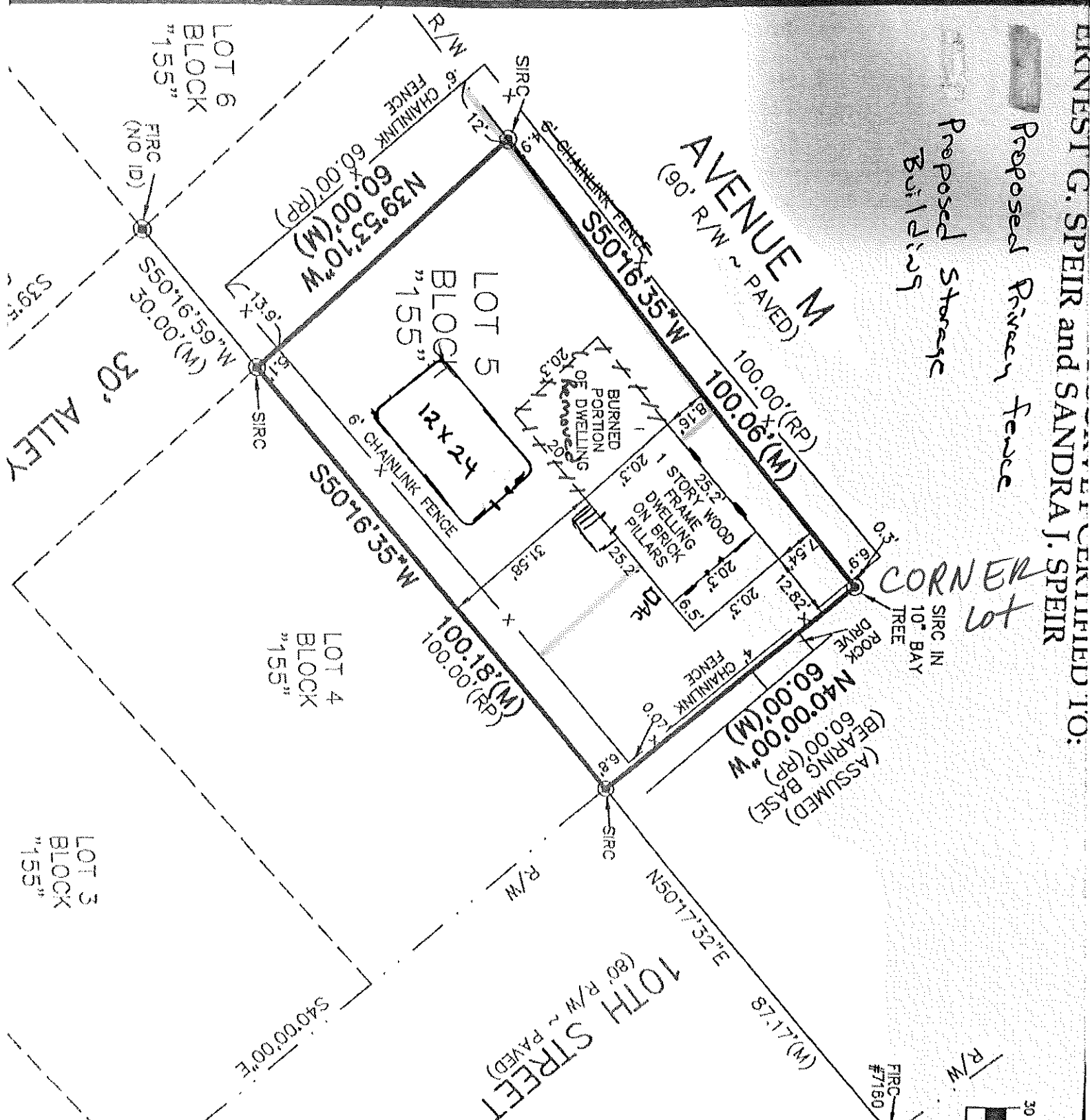


LEGEND

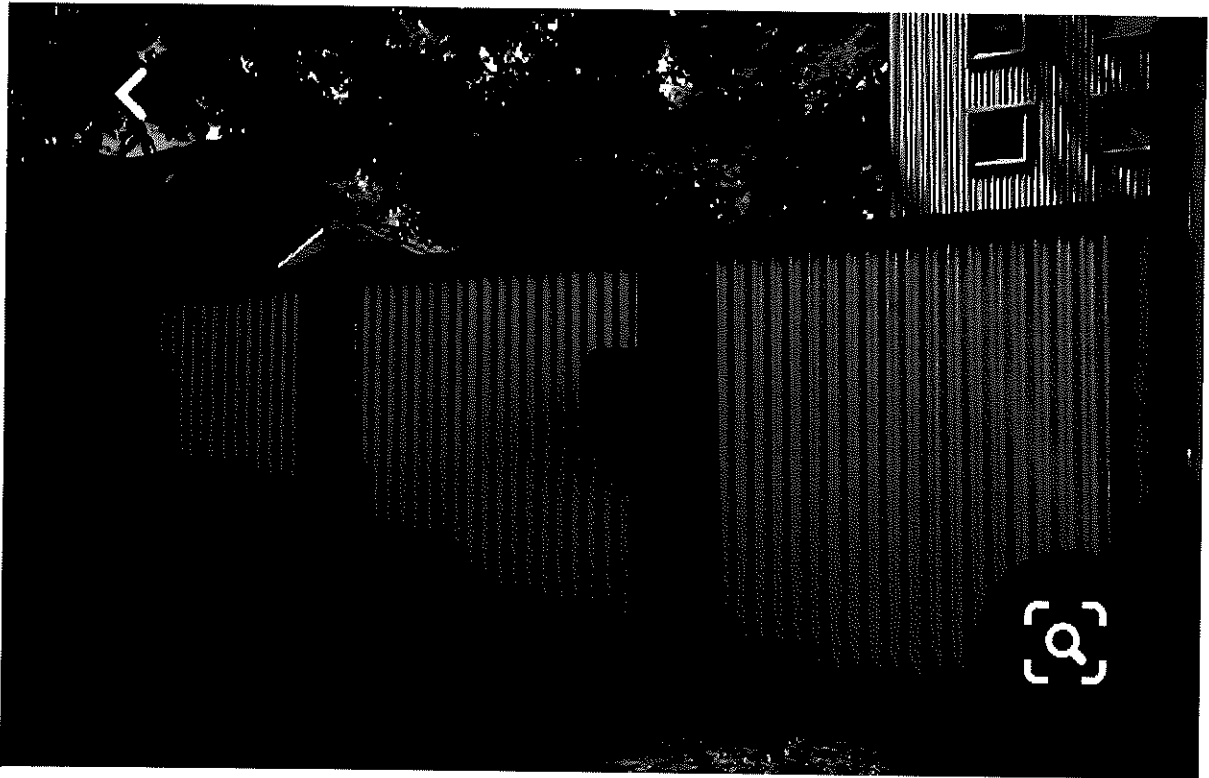
M	MEASURED
RP	RECORD PLAT
R/W	RIGHT-OF-WAY
FCM	FOUND CONN.
SIRC	SET 5/8" R
FIRC	FOUND IRON
FIR	FOUND IRON
FIP	FOUND IRON
	NOT TO SCALE

LEGAL DESC

Lot 5, Block "155" of the APALACHICOLA, a subdivis<sup>n</sup> plat on file in common us<sup>e</sup> the Circuit Office in Frank

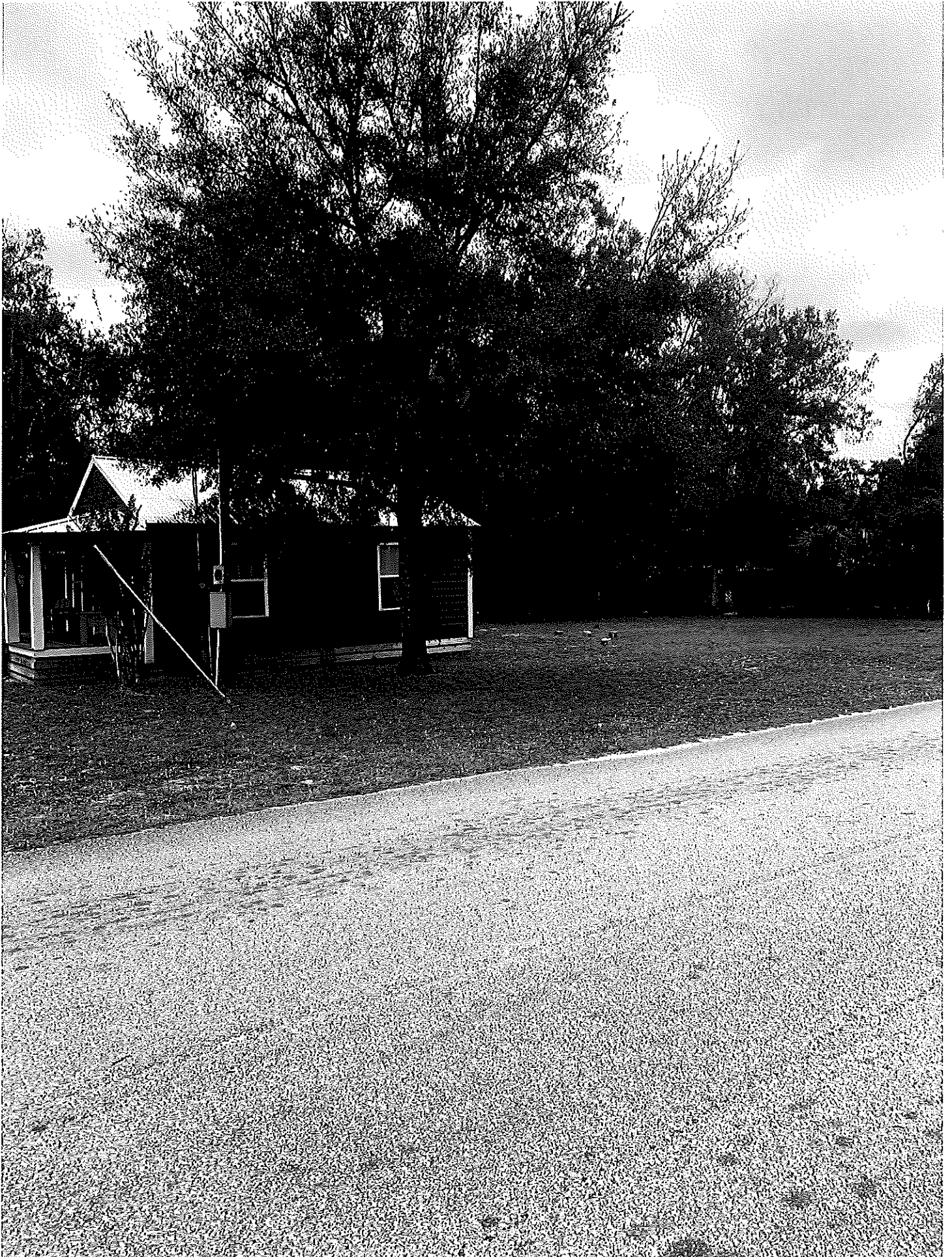






Estimated cost \$1,200.00





# ACCESSORY STRUCTURES & FENCES - HISTORIC GUIDELINES

- 2. Wooden decks in side yards not adjacent to a public right of way should be set back and screened with fencing or landscaping.
- 3. Best efforts should be made to ensure that decks, pools, hot tubs and patios are not visible from the elevation right of way by use of landscape or approved fence screening.
- 4. The proportion of decking, patio or pool dimensions should not exceed fifty percent of the total lot minus the building footprint.
- 5. No swimming pool should be built in a front yard of any structure in the historic district.
- 6. Swimming pools may be built in a side or rear yard adjacent to a public right of way only if the pool is located directly behind the principal structure or it is set to the rear half of the side yard.

- 6. The construction or installation of metal, plastic or cloth covered garages, storage sheds or other buildings is not encouraged where visible from the public right of way.
- 7. Pre-existing historically appropriate outbuildings may be repaired or restored.
- 8. Construction of new outbuildings must comply with all criteria or new construction in the historic district.
- 9. The design of gazebos or other open outbuildings should be complimentary in terms of scale, proportion, color finish and details to the primary building. Landscape features including an arbor, trellis or pergola (at least 50% open) will be reviewed on a case-by-case basis.
- 10. The location of gazebos or other outbuildings is an important consideration and approval may be denied if the siting is deemed inappropriate or intrusive.
- 11. Temporary pre-fabricated metal or plastic storage structures are not encouraged. Exterior storage areas should be enclosed by a solid wall with solid entrance and gate.

## ACCESSORY STRUCTURES

Construction of excessive outbuildings detracts from the quality of an historic neighborhood and lessens its intended appearance and historical design by taking away areas devoted to landscaping and open space. The Architectural Review Committee reviews all new outbuildings, permitting them only if they are compatible.

The construction of all accessory structures including garages, carports, guesthouses, pools, storage sheds, pool cabanas, studios and similar structures should be subject to the following conditions:

- 1. Accessory structures should be compatible with the principal structure on the lot in materials, detailing, color, style, design, height, scale and massing.
- 2. No accessory structure may be built in the front yard of a structure in the historic district.
- 3. Accessory structures should not exceed the height of the principal building on the site.
- 4. The design of new outbuildings must be complementary to the existing streetscape if they are visible from the public right of way.
- 5. The addition of "gatehouses" in conjunction with enclosed walls or fences is not encouraged.

## FENCES AND WALLS

Fences are important elements of the design and character of historic structures and districts. The scale and character of fences, posts and gates must be compatible with the house and the neighboring structures. Chain link, unfinished block walls, reed fencing and non-vertical fencing are not appropriate.

- 1. Fencing should be constructed so the finished face is toward the street or neighboring property.
- 2. Design and construction of fences or changes to existing fences must be approved and permitted.
- 3. A picket fence up to 36" in height is permitted at the front of the structure; if a building is located on a corner lot, this height should be consistent on both front and side elevations, at least to the front edge of the structure. Picket fences should be constructed in proportion to historic dimensions.
- 4. Six-foot high picket fences may be permitted on side and rear property lines only. All front elevation fences should not exceed 36" in height, unless

## Fences (Cont'd)

there is a previous masonry and wood or iron picket combination fence.

5. Solid six-foot fences with abutting vertical boards are permissible on side and rear elevations if adjacent owners have signed notarized statements of agreement.

6. Six-foot fences may begin from the rear of where the facade of the house joins the front porch.

7. Traditional historic fencing included wood pickets, wrought iron, concrete and combinations of these materials. Fencing should be designed with respect for the site land environment.

8. Fence heights will be measured from the sidewalk or from the level of the grade, whichever is highest.

9. Fences erected within the required setback area (i.e., between the property line and the setback line) are subject to the same height restrictions as fences erected on the property line.

## AC UNITS, TRASH CANS, SATELLITE DISHES

HVAC (Heating, Ventilating and Air Conditioning) units and compressors, televisions antennas, satellite dishes and garbage facilities can detract from the attractiveness of a neighborhood if installed or situated awkwardly in relation to historic structures.

1. Exterior HVAC units, antennas and dishes should be sited in a location least visible from the public right of way whenever possible. Mechanical equipment should not be located in the front yard of an historic structure.

2. Mechanical equipment should not be located in the side yard of any structure if that side yard is adjacent to a public right of way unless the following conditions are met:

- a. there is no other technically defensible location on the lot for equipment
- b. equipment is located as far from the right of way as feasible.
- c. Equipment is screened from view with appropriate fencing or landscaping.

3. The installation of a through-the-wall or window air conditioner unit is not appropriate on the front facade of any building in the historic district. Air conditioners should be placed in openings

that align with the existing historic window frames.

4. Air conditioning units, television dishes and antennas should be installed without causing excessive damage to the materials or features of a contributing historic building.

5. Exterior air conditioning units, television dishes and antennas should be mounted out of sight of the public right of way and obscured behind landscaping or fencing whenever possible.

6. Enclose and screen trash, garbage and HVAC units with fencing and/or landscaping whenever possible. If possible, garbage facilities should be placed out of the public view when not being serviced.

7. If the preferred siting of an HVAC unit, trash facility, satellite dish or antenna is considered impractical or excessively expensive to achieve by an applicant, the City will consider alternative placement locations if they do not detract from the

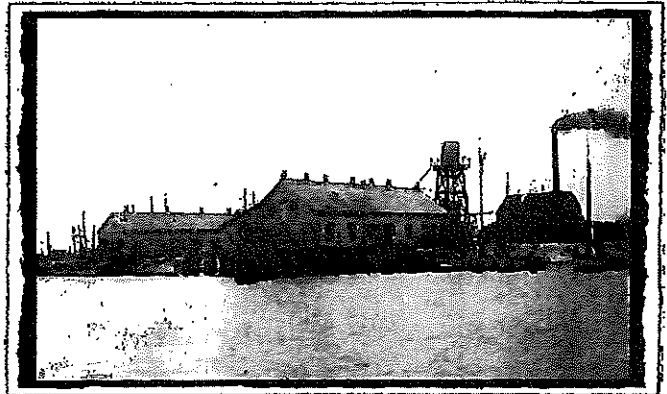
appearance of the structure and the request for an exception is documented.

8. If the preferred placement of an antenna or satellite dish causes interference with the signal, another location may be approved by P&Z, if documentation of the problem is provided.

## PARKING AREAS AND LANDSCAPING

Inappropriate use of front yards and other historically significant areas detract from the appearance and integrity of the historic district. In order to preserve the historical integrity of historic district streetscapes, landscaping should be subject to the following conditions:

1. The past appearance of a property as documented by photographs, drawings, newspapers, government record or archaeological surveys should guide



#7

J. Stephens

167 Ave G - New Home

CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION -HISTORIC DISTRICT ONLY-		Official Use Only Application # _____ City Representative _____ Date Received _____
OWNER INFORMATION		CONTRACTOR INFORMATION
Owner: <u>Jeff Stephens</u> Address: <u>207 Avenue E</u> City: <u>Apalachicola</u> State: <u>FL</u> Zip: <u>32320</u> Phone: <u>(770) 655-1228</u>		Contractors Name: <u>owner</u> State License # _____ City License # _____ Email Address _____ Phone: ( _____ ) _____
Approval Type: <input type="checkbox"/> Staff Approval Date: _____ <input type="checkbox"/> Board Approval <input type="checkbox"/> Board Denial Date _____ *Reason for Denial: _____		
PROJECT TYPE		
<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition		<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input type="checkbox"/> Other: _____
PROPERTY INFORMATION: Street Address: <u>167 Avenue E / 14th St</u> City & State: <u>Apalachicola, FL</u> Zip: <u>32320</u> <input checked="" type="checkbox"/> Historic District <input type="checkbox"/> Non-Historic District Zoning District: _____ Parcel #: <u>01-095-08W-8330-0089-0090</u> Block(s): <u>89</u> Lot(s): <u>9 E 10</u> FEMA Flood Zone/Panel #: <u>X</u> (For AE, AO, AH or VE Use to complete attached Flood Application)		
OFFICIAL USE ONLY		
Setback requirement of Property: Front: _____ Rear: _____ Side: _____ Lot Coverage: _____ Water Available: _____ Sewer Available: _____ Taps Paid: _____		This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued. Certificate of Appropriateness Approval _____ Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Tammy Owens  
 Permitting and Development Coordinator  
 (850) 658-1522  
[cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com)

Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

The house is designed to look like a thatched house from the front. It is 1600 SF heated/cooled area house with 544 SF of screen porch/porches.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	Hardie	Concrete siding	
Doors		Fiberglass exterior doors	
Windows		Vinyl windows	
Roofing		Metal roofing	
Trim	Hardie	concrete	
Foundation		concrete block piers	
Shutters		Vinyl shutters	
Porch/Deck		wood	
Fencing		wood	
Driveways/Sidewalks		gravel	
Other			

Sent from my iPad

On Dec 3, 2020, at 6:37 AM, jeff stephens <lakeshoreprop@yahoo.com> wrote:

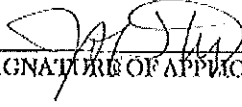


## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submitted requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submitted may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

12/02/2020  
DATE

  
SIGNATURE OF APPLICANT

**EPCI**  
**CITY OF APALACHICOLA**  
**BUILDING DEPT.**  
192 Conch Wagoner Blvd.  
**APPLICATION FOR BUILDING PERMIT**

DATE: 11/12/2020 Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_ (payable to EPCI)  
OWNER'S NAME: Jeff & Laura Stephens Email: Lakeshoreprop@yahoo.com

ADDRESS: 207 Avenue E

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # 770-655-1228

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: owner Email: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 167 Avenue B, Apalachicola, FL

PURPOSE OF PERMIT: New construction of house

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  
 YES  NO

PROPERTY PARCEL ID # 01-095-08W-8330-0089-0090

LEGAL DESCRIPTION OF PROPERTY: Lots 9 & 10 Block 89

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: city SEWER SYSTEM PROVIDER: city

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or dropped off at City Hall mailbox)

**PURPOSE OF BUILDING:**

Single Family     Townhouse     Commercial     Industrial     Shed  
 Multi-Family     Swimming Pool     Storage     Sign     Pole Barn  
 Temp Pole     Demolition     Other \_\_\_\_\_

Addition, Alteration or Renovation to building. \_\_\_\_\_

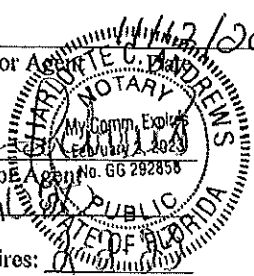
Distance from property lines: Front 20'    Rear 20'    L. Side 15'  
R. Side 53'  
Cost of Construction \$ 200,000.00    Square Footage 2224  
EPI \_\_\_\_\_    Flood Zone X    Lowest Floor Elevation 3'    Includes screen porch  
Area Heated/Cooled 1680 s.f.    # Of Stories one    # Of Units one  
Type of Roof Meta    Type of Walls 2x4    Type of Floor wood  
Extreme Dimensions of: Length 60'    Height 20'    Width 52'

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent: [Signature]    Date: 11/12/2020  
Notary as to Owner or Agent: [Signature]  
Date: 11-12-2020  
My Commission expires: [Signature]



Signature of Contractor \_\_\_\_\_    Date \_\_\_\_\_  
Notary as to Contractor \_\_\_\_\_  
Date: \_\_\_\_\_  
My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

(email to: [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or drop off in City drop box)  
(make checks payable to EPCI – 192 Coach Wagoner Blvd. Apalachicola, FL 32320)

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**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial       Shed  
 Multi-Family       Swimming Pool       Storage       Sign       Pole Barn  
 Temp Pole       Demolition       Other \_\_\_\_\_  
 Addition, Alteration or Renovation to building \_\_\_\_\_

Distance from property lines: Front 20'      Rear 90'      L. Side 15'  
R. Side 53'

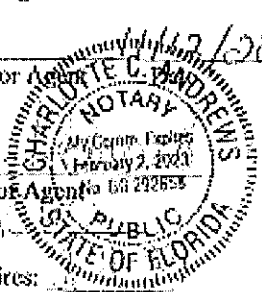
Cost of Construction \$ 200,000.00      Square Footage 2274 (includes screen porch  
perches)  
EPI      Flood Zone X      Lowest Floor Elevation 3'  
Area Heated/Cooled 1680 SF      # OF Stories one      # OF Units one  
Type of Roof metal      Type of Walls 2x4      Type of Floor wood  
Extreme Dimensions of: Length 60'      Height 20'      Width 32'

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**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent \_\_\_\_\_  
Notary as to Owner or Agent \_\_\_\_\_  
Date: \_\_\_\_\_  
My Commission expires: \_\_\_\_\_



Signature of Contractor \_\_\_\_\_      Date \_\_\_\_\_  
Notary as to Contractor \_\_\_\_\_  
Date: \_\_\_\_\_  
My Commission expires: \_\_\_\_\_

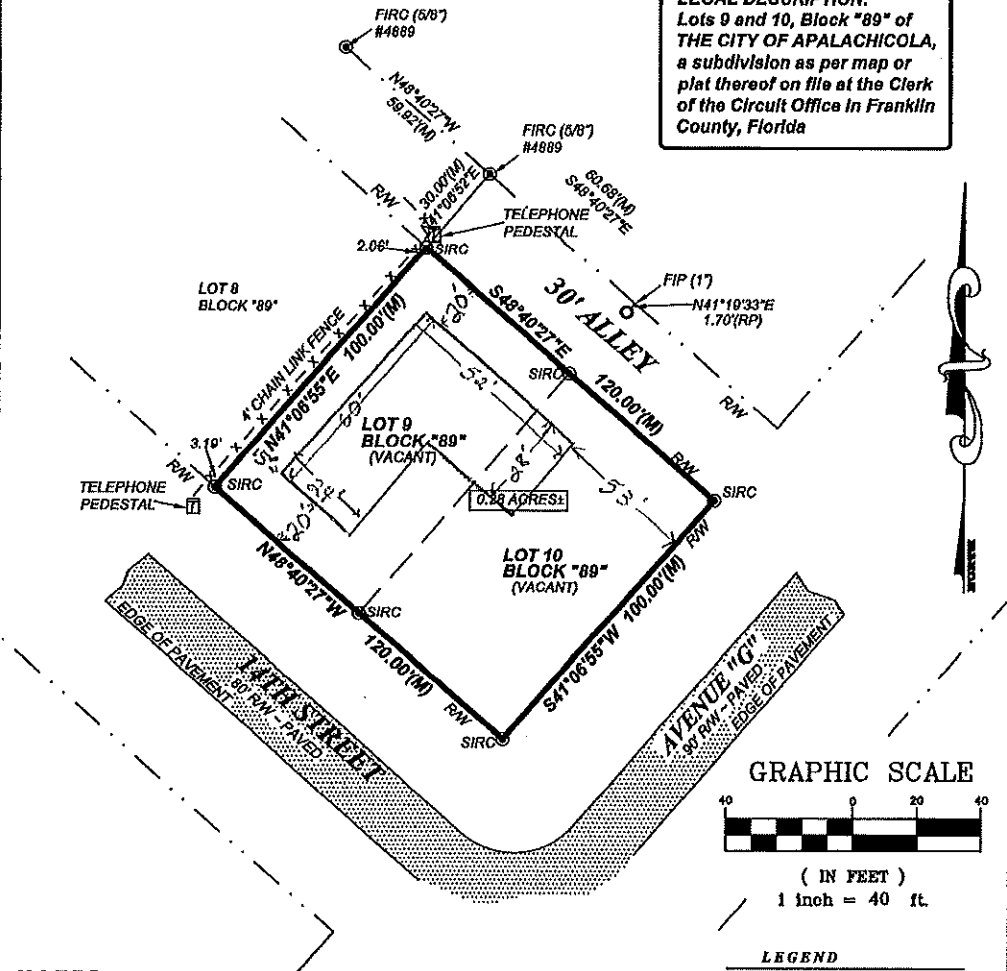
APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

(email to: [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or drop off in City drop box)  
(make checks payable to EPCI – 192 Coach Wagoner Blvd. Apalachicola, FL 32320)

# Jeff Stephens 167 Avenue G - Site Plan

PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
**ROBERT G. SHEPARD and LINSAY W. BOCKELMAN,**  
**PEOPLE'S SOUTH BANK,**  
**DODD TITLE COMPANY, INC.,**  
**FIRST AMERICAN TITLE INSURANCE COMPANY**

**LEGAL DESCRIPTION:**  
 Lots 9 and 10, Block "89" of  
 THE CITY OF APALACHICOLA,  
 a subdivision as per map or  
 plat thereof on file at the Clerk  
 of the Circuit Office in Franklin  
 County, Florida



**NOTES:**

- SURVEY SOURCE:** Record plat and a field survey performed by the undersigned surveyor.
- BEARING REFERENCE:** Easterly right-of-way boundary of 14th street having an assumed bearing of North 48 degrees 40 minutes 27 seconds West
- NO IMPROVEMENTS** have been located in this survey other than shown hereon.
- There are **NO VISIBLE ENCROACHMENTS** other than those shown hereon.
- This survey is dependent upon **EXISTING MONUMENTATION**.
- Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 6J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

*James T. Roddenberry*  
**JAMES T. RODDENBERRY**  
 Surveyor and Mapper  
 Florida Certificate No: 4281



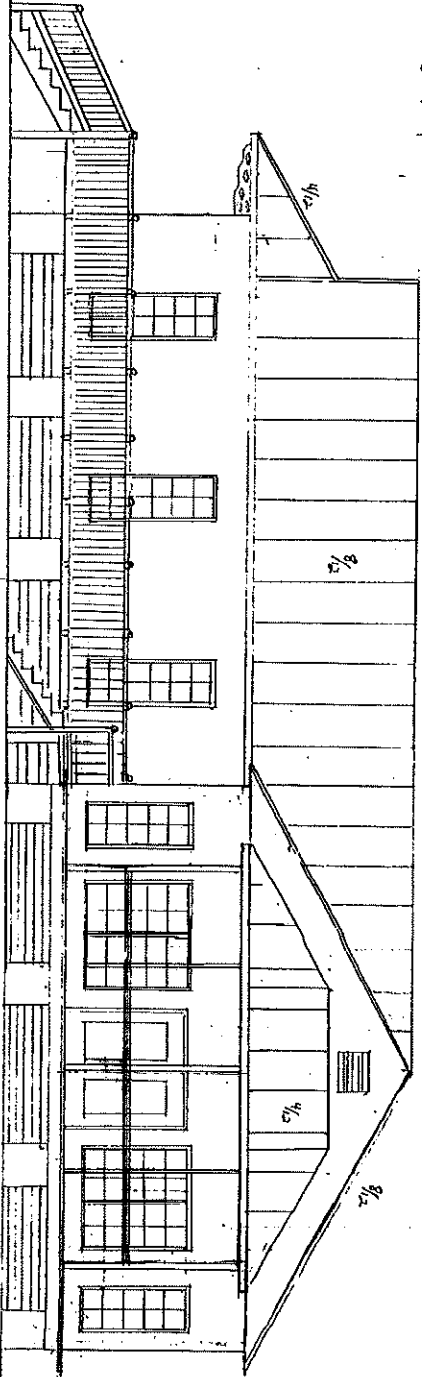
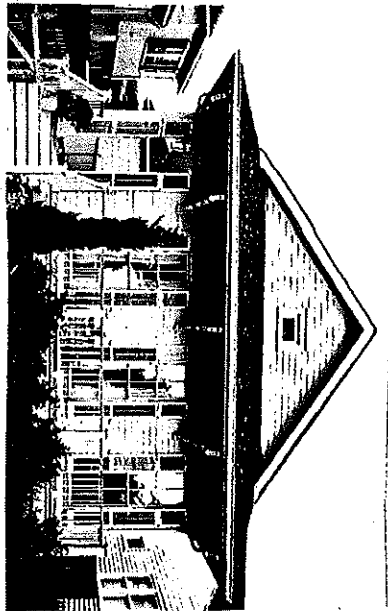
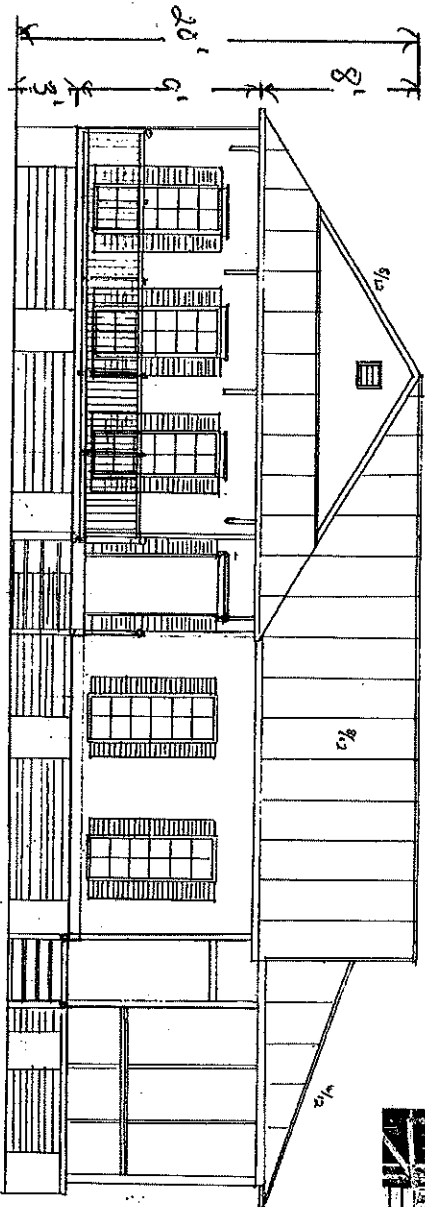
**FLOOD ZONE INFORMATION:**

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0526F  
 Index date: February 5, 2014, Franklin County, Florida.

		<b>Thurman Roddenberry &amp; Associates, Inc.</b> PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 115 SHELDON STREET • SOPCHOTTY, FLORIDA 32154 PHONE NUMBER: 386-363-2212 FAX NUMBER: 386-363-2113 E.O. 11219	
		DATE: 10/24/17	DRAWN BY: JMR
FILE: 17416.DWG	DATE OF LAST FIELD WORK: 10/23/17	JOB NUMBER: 17-416	

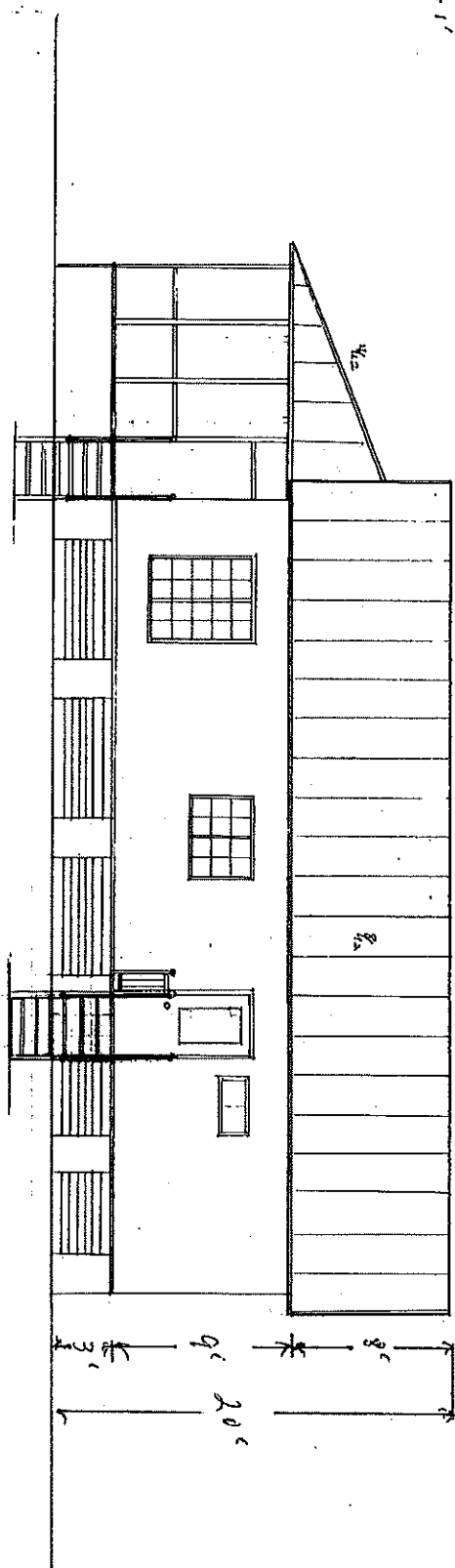
JEFF STEPHENS  
167 AVENUE G  
Elevation Plan

Scale:  
1/4" = 1'

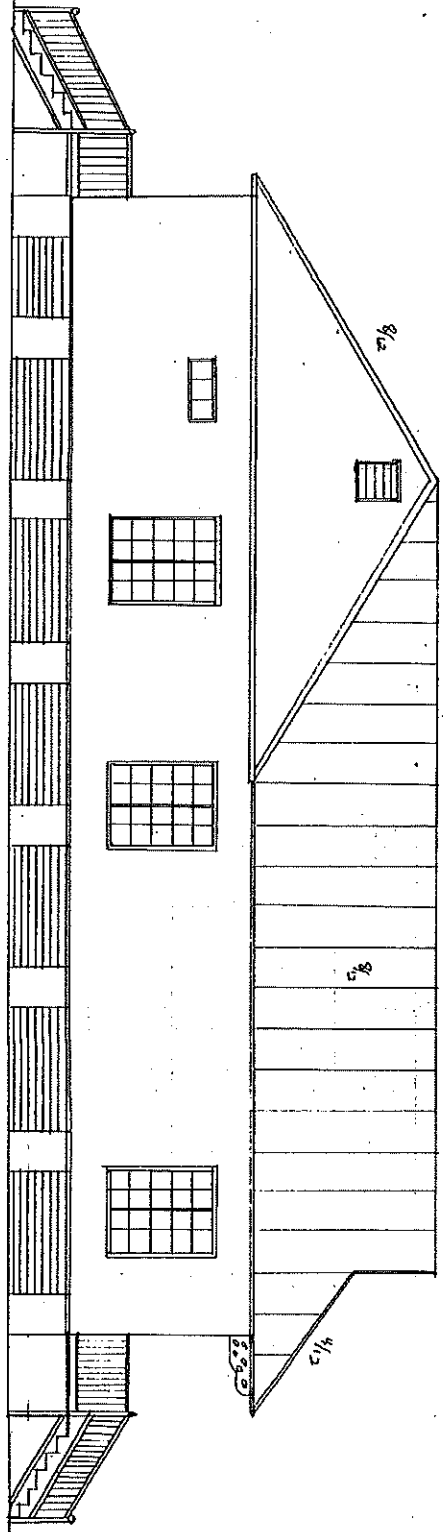


Jeff Stephens  
167 Avenue C  
Elevation Plan

Scale:  
1/4" = 1'



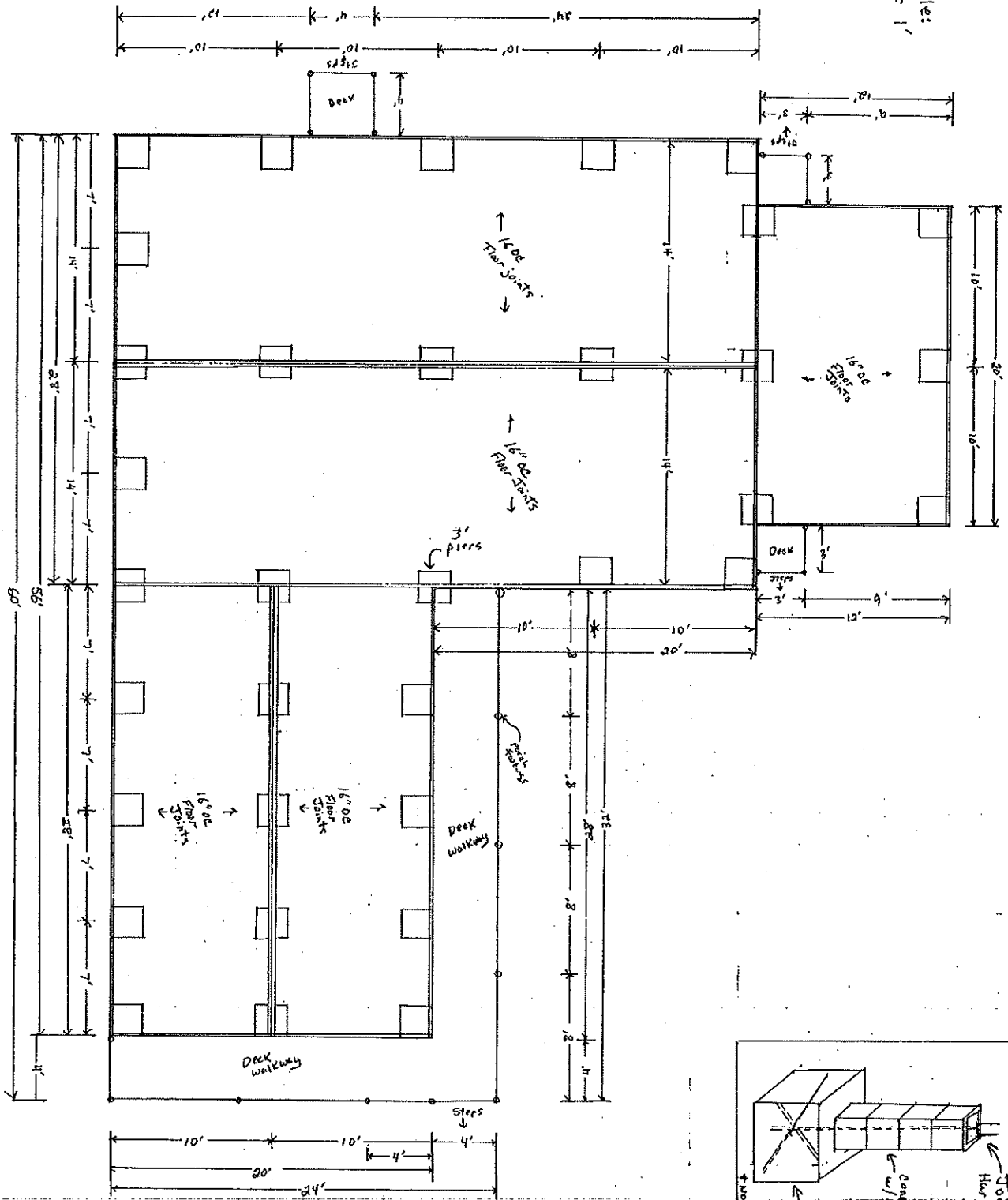
Back



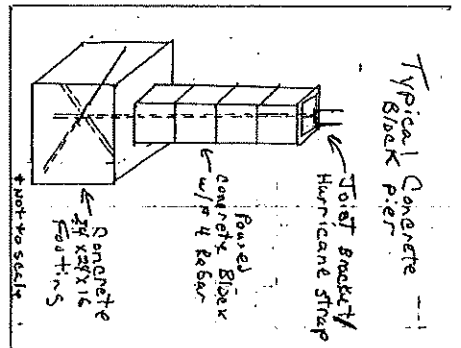
Left Side

Jeff Stephens Foundation Plan  
167 Avenue G

Scale:  
1/4" = 1'



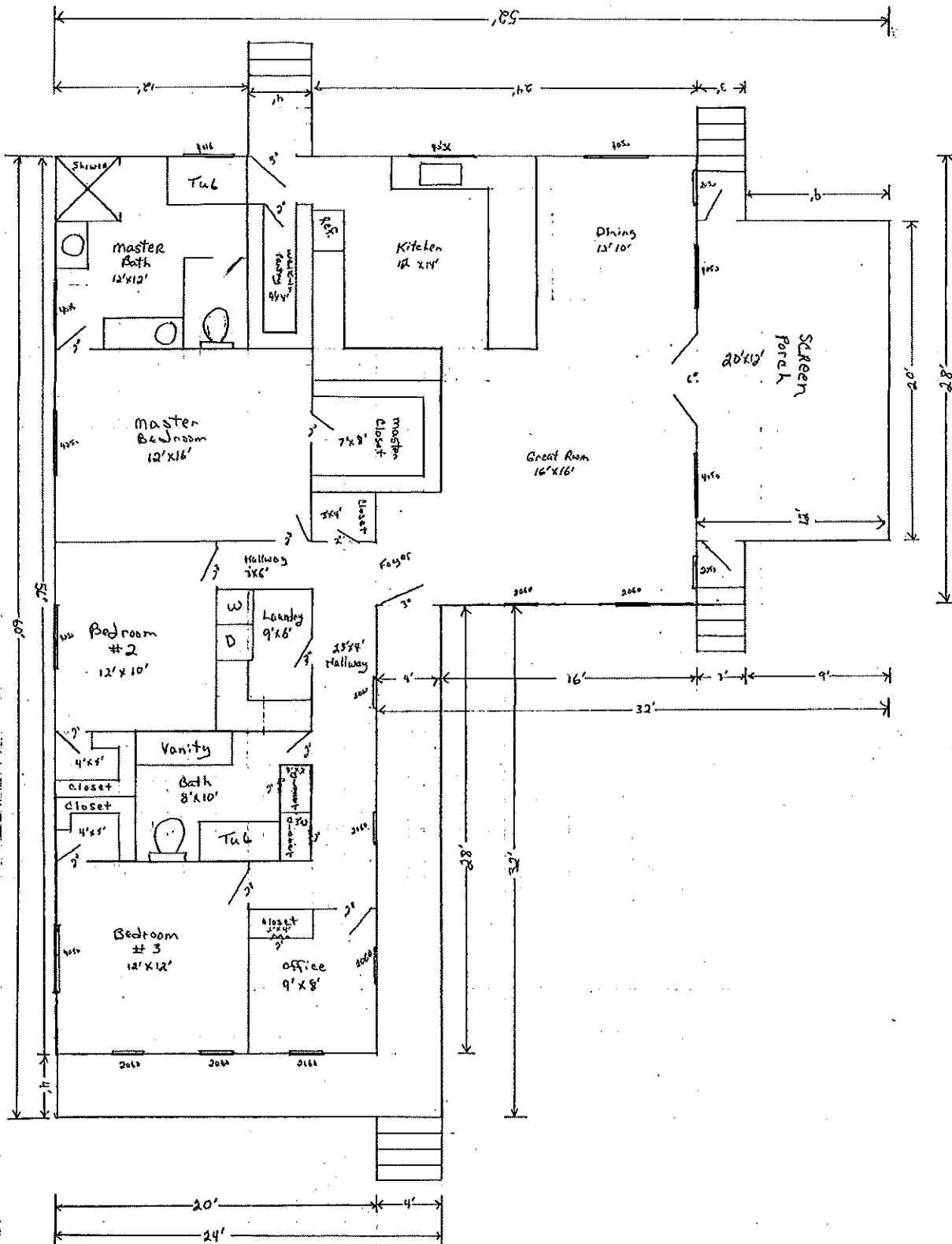
Front





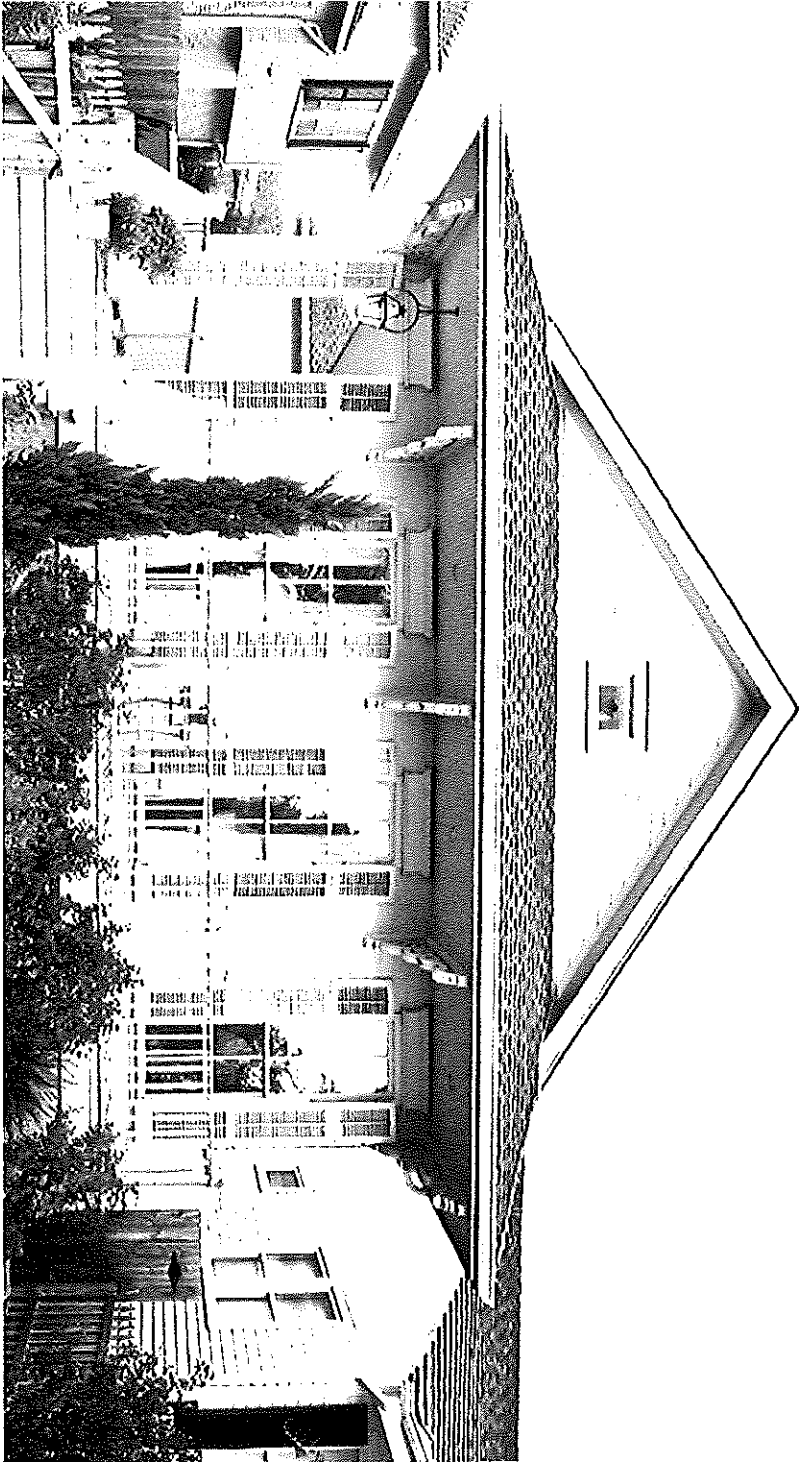
Scale:  
1/4" = 1'

Jeff Stephens  
167 Avenue G  
Floor Plan

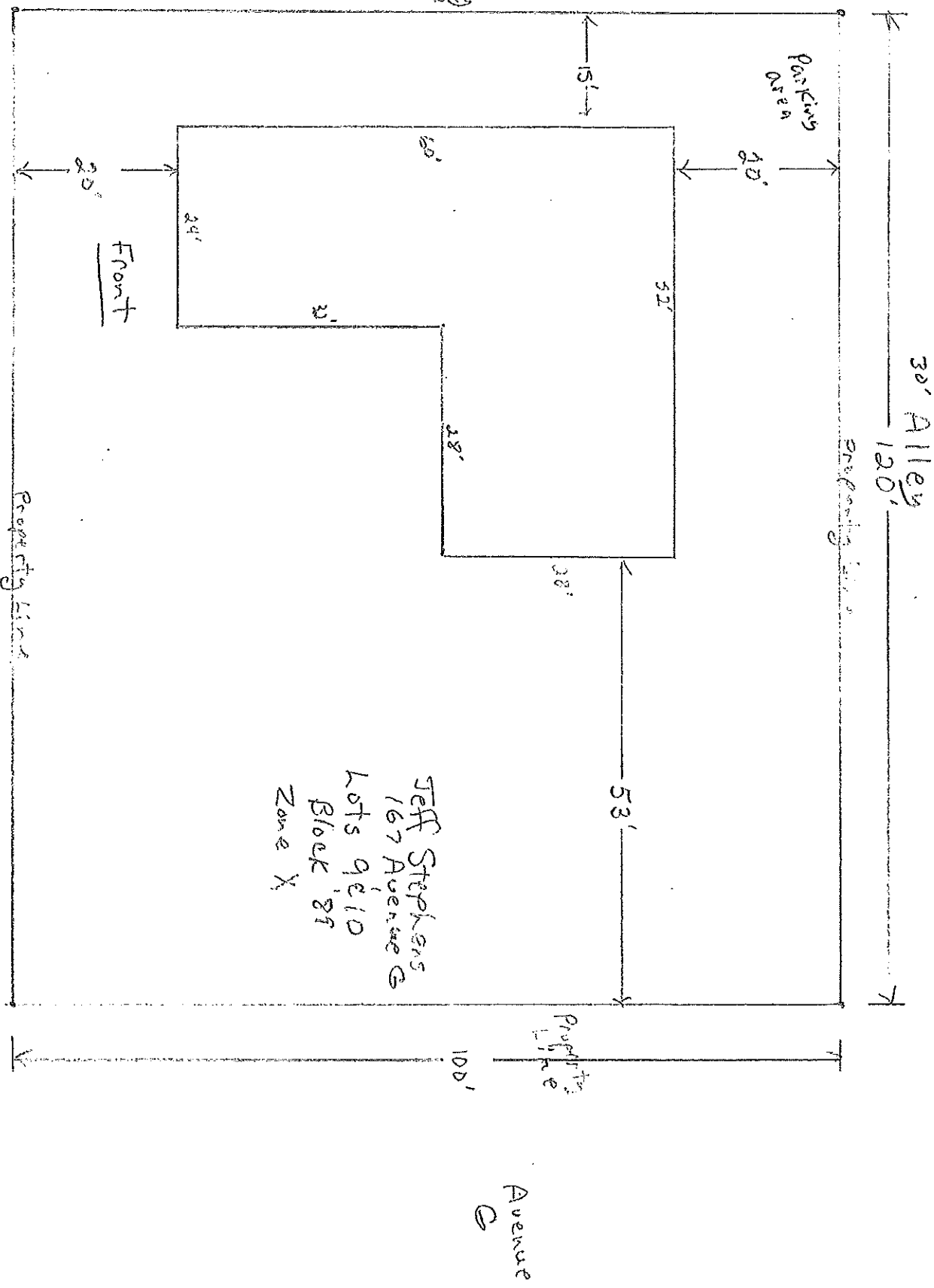


Front

Jeff Stephens  
167 Avenue B



Front View of House



Lot  
 108  
 Property Line

\* House on lot showing set backs  
 14th Street

Jeff Stephens  
 167 Avenue C  
 Lots 9 & 10  
 Block 89  
 Zone X

Scale: 1/4" = 4'



167 Ave G

Parcel Summary

Parcel ID 01-09S-08W-8330-0089-0090
Location Address .
32320
Brief Tax Description\* BL 89 LOTS 9-10 Q/55 OR /206/82 1218/219 1278/494
Property Use Code VACANT (000000)
Sec/Twp/Rng 1-9S-8W
Tax District Apalachicola (District 3)
Millage Rate 20.8391
Acreage 0.000
Homestead N

View Map

Owner Information

Primary Owner
Stephens Jeff & Laura
207 Avenue E
Apalachicola, FL 32320

Land Information

Table with 6 columns: Code, Land Use, Number of Units, Unit Type, Frontage, Depth. Row 1: 000188, SFR CHAPMAN/APALACH, 120.00, FF, 0, 0

Sales

Table with 10 columns: Multi Parcel, Sale Date, Sale Price, Instrument, Book, Page, Qualification, Vacant/Improved, Grantor, Grantee. Rows include sales from 10/08/2020 and 04/26/2018.

Valuation

An error has occurred while trying to display this part of the page. We apologize for any inconvenience.

TRIM Notice 2020

2020 TRIM Notice(PDF)

TRIM Notice 2019

2019 TRIM Notice(PDF)

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

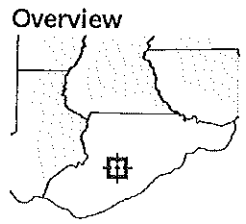
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

User Privacy Policy
GDPR Privacy Notice

Last Data Upload: 11/23/2020, 7:49:21 AM



Version 2.3.95



- Legend**
-  Parcels
  -  Roads
  -  City Labels

Parcel ID	01-09S-08W-8330-0089-0090	Alternate ID	08W09S01833000890090	Owner Address	STEPHENS JEFF & LAURA
Sec/Twp/Rng	1-9S-8W	Class	VACANT		207 AVENUE E
Property Address .		Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 89 LOTS 9-10 Q/55 (Note: Not to be used on legal documents)				

Date created: 11/23/2020  
Last Data Uploaded: 11/23/2020 7:49:21 AM

Developed by  **Schneider**  
GEO SPATIAL

# 8

Woodville Properties

150 10<sup>th</sup> St - New Construction

150 10th St

# GRC architects

---

## LETTER OF TRANSMITTAL

---

To: **Tammy Owens, EPCI**  
City of Apalachicola  
Building Department  
192 Coach Wagoner Blvd (14<sup>th</sup> St.)  
Apalachicola, Florida 32320

From: Connor Ross, AIA  
  
Date: November 19, 2020  
  
Project **Franklin County Service Center**  
Franklin Human Services Center

COPIES	DATE	DESCRIPTION
1	11/17/20	Application for Certificate of Appropriateness
1	11/17/20	Application for Building Permit
1	11/17/20	Application for Tree Removal
1		Site Survey
1		Architectural Site Plan
1		Life Safety Plan with FBC Summary
1		Building's Floor Plan
1		Building's Elevations
1		Building's Sections
1		Colored Perspectives

### REMARKS:

Please note: Submittal items listed above were transmitted via email under separate cover.

### RECEIVED:



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**  
**APPLICATION FOR BUILDING PERMIT**

**Official Use Only**

PERMIT #: \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_ - \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

**PROPERTY OWNER'S**

NAME(S): Woodville Properties, Inc. EMAIL: to1995@aol.com

ADDRESS: 3333 W. Pensacola Street, Suite 300

CITY, STATE & ZIP CODE: Tallahassee, FL 32304 PHONE # (850) 264-6684

SEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): N/A

ADDRESS: N/A

CITY, STATE & ZIP CODE: N/A PHONE # N/A

CONTRACTOR: TBD

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ CITY OF APALACHICOLA LICENSE # \_\_\_\_\_

ADDRESS OF PROJECT: 150 10th Street Apalachicola, Florida 32320

DESCRIPTION OF PROPOSED JOB: New construction of a single story halfway house dormitory with adjacent one-story office administration building.

STRUCTURE IS LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  NO

PROPERTY PARCEL ID # 01-095-08W-8330-0073-0010

LEGAL DESCRIPTION OF PROPERTY: \_\_\_\_\_

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: NA

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: GRC Architects, Inc. / (850) 222-8100 / CCross@architects-gca.com

ADDRESS: 413 All Saints Street CITY, STATE & ZIP: Tallahassee, FL 32301

MORTGAGE LENDER'S NAME: NA

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: CITY SEWER SYSTEM PROVIDER: CITY

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_



Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (Applications may be emailed to [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or dropped off in drop box at front door of city hall.)

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Fence       RV       Other \_\_\_\_\_  
 Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front 15'      Rear 25'      L. Side 15'      R. Side 15'

Cost of Construction \$ TBD      Square Footage Dormitory - 8,021 SF & Admin - 4,986 SF

BPI \_\_\_\_\_ Flood Zone ZONE X      Lowest Floor Elevation 19' - 6"

Area Heated/Cooled 7531 SF & 4,831 SF      # Of Stories 1      # Of Units 2

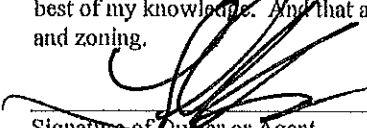
Type of Roof METAL      Type of Walls CMU / 6" Stud      Type of Floor Concrete      Extreme

Dimensions of: Length SEE PLAN      Height SEE PLAN      Width SEE PLAN

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPCI: The BPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

  
Signature of Owner or Agent

\_\_\_\_\_  
Signature of Contractor

Date: November 17, 2020

Date: \_\_\_\_\_

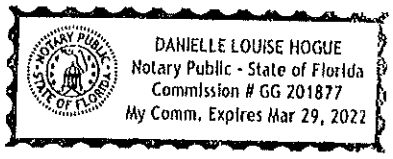
Danielle Louise Hogue  
Notary as to Owner or Agent

\_\_\_\_\_  
Notary as to Contractor

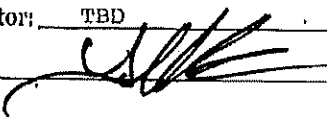
My Commission expires: March 29, 2022

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL



**CITY OF APALACHICOLA  
TREE APPLICATION  
REMOVAL OR ALTERATION OF PROTECTED TREE**

Applicants Name: Thomas Olk EMAIL: to1995@aol.com  
 Property Owner's Name: Woodville Properties, Inc. Phone: 850-264-6684  
 Property Address: 150 10th Street City, State, Zip: Apalachicola, FL 32320  
 General Contractor/Tree Contractor: TBD Phone: \_\_\_\_\_  
 Applicants Signature/Date:  / 11/17/2020

1. Protected trees - Enter the number of trees to be removed or altered (significant cutting of limbs and branches)

	4" to 16"	Greater than 16" to 168" (than 35")	35" and larger (Patriarch Tree)
Bald & Pond Cypress			
Eastern & Southern Red Cedar			
Live Oak		2	
Longleaf Pine			
Pecan			
Sabal Palm			
Slash Pine		10	
Southern Magnolia			
Sycamore			
Water Oak			1
<b>Total</b>			

Size is measured at breast height (4.5 feet above ground surface)

2. Reason(s) for removal or alteration (Mark all that apply with "X")

Owner's Private Property	
Removal: New Construction	Alteration: New Construction
<input checked="" type="checkbox"/> Tree located within or too close to footprint of proposed new building or addition	Limbs and branches encroaching where structure is to be built
Removal: No New Construction	Alteration: No New Construction
Tree roots damaging building foundation or underground utilities	Limbs and branches rubbing on side or roof of building
Imminent hazard to property or human safety	Imminent hazard to property or human safety
Diseased or pest-infested tree	Diseased or pest-infested tree
Storm damaged tree (other than City declared emergency; e.g., lightning)	Storm-damaged tree (other than during City declared emergency; e.g., lightning)
Tree in decline (loss of vigor, poor growth, dieback of twigs & branches)	
City Property (City street, right of ways adjacent to private property)	
Removal: Requested by Private Property Owner	Alteration: Requested by Private Property Owner (Significant cutting of limbs & branches)
Tree located where access to private property is proposed (driveway, etc.)	Imminent hazard to property or human safety
Imminent hazard to property or human safety	
Diseased or pest-infested tree	
Storm damaged tree (other than City declared emergency; e.g., lightning)	
Requested by City Department	
Interference with City utilities (e.g., water, sewer, stormwater, imminent hazard)	Growth encroaching on street or alley

3. Please attach a map with the following drawn to scale:

- a. Locations of the following:
1. Lot boundaries
  2. Footprints of existing and proposed structures (principle structure, all accessory structures (garage, shed(s), etc.), driveways, parking areas, & walkways)
  3. Types & Sizes of protected trees (measured at breast height in inches)
  4. Protected trees that are proposed to be removed or altered

**OFFICE USE ONLY**

Permit Processing Fee (\$50.00 or \$100.00)	
Reforestation Fund	
Number of Trees 4" to 16" x \$25.00/Tree (Non Patriarch Trees)	
Number of Trees greater than 16" to less than 35" x \$35.00/Tree (Non Patriarch Trees)	
Non Patriarch Tree Total (\$250.00 Max)	
Number of Trees 35" and larger x \$1,000.00	
Reforestation Fund Total	

**Planning and Zoning Board (When Development plan is submitted):**

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied  
 \_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
 Chairperson, Planning and Zoning Board      Date

**Code Enforcement Officer, City Manager, or Designee decision (When no development plan is submitted)**

Patriarch Tree \_\_\_\_\_ Non Patriarch Tree \_\_\_\_\_

\_\_\_\_\_ Approved \_\_\_\_\_ Denied  
 \_\_\_\_\_ Conditionally Approved (Reason for Conditional Approval or Denial): \_\_\_\_\_

\_\_\_\_\_  
 Code Enforcement Officer or Designee      Date

\_\_\_\_\_  
 City Manager or Designee      Date

<b>CITY OF APALACHICOLA</b> <b>CERTIFICATE OF APPROPRIATENESS APPLICATION</b>  <b>-HISTORIC DISTRICT ONLY-</b>	<b>Official Use Only</b>  Application # _____ City Representative _____ Date Received _____
---	---

<b>OWNER INFORMATION</b>	<b>CONTRACTOR INFORMATION</b>
Owner <u>Woodville Properties, Inc.</u> Address <u>3333 W. Pensacola Street, Suite 300</u> City <u>Tallahassee</u> State <u>FL</u> Zip <u>32304</u> Phone <u>(850) 264-6684</u>	Contractors Name: <u>TBD</u> State License # _____ City License # _____ Email Address _____ Phone <u>( )</u>

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

**\*Reason for Denial**

**PROJECT TYPE**

<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input type="checkbox"/> Other: _____
---	---

**PROPERTY INFORMATION:**

Street Address: 150 10th Street City & State Apalachicola, Florida Zip 32320

Historic District  Non-Historic District Zoning District O/R Office Residential 2,3,4,5,6,7,8 Part

Parcel #: 01-09S-08W-8330-0073-0010 Block(s) 73 Lot(s) 9&10

FEMA Flood Zone/Panel #: ZONE X/12037C0526F  
 (For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

<p><b>Setback requirement of Property:</b></p> Front: _____ Rear: _____ Side: _____ Lot Coverage: _____ Water Available: _____ Sewer Available: _____ Taps Paid _____	<p>This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.</p> <p><b>Certificate of Appropriateness Approval:</b></p> <p>_____          Chairperson, Apalachicola Planning &amp; Zoning Board</p>
--	---

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Tammy Owens  
 Permitting and Development Coordinator  
 (850) 658-1522  
[cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com)

**Describe The Proposed Project and Materials.** Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Treatment Program- Phase I Building

Phase I will be a treatment program. This building will be a residential dormitory building for 15 residents. The building will include a reception room, security office, these administrative offices, a laundry, kitchen, dining and recreation room for use by the residents. See attachment A for an outline list of our understanding of spaces.

Services Office Phase II Building

Phase II will an administrative office building for two individual tenants. The building will include a central lobby and reception room. Each tenant will have their own offices and conference room but will share a break room and toilets. See attachment A for an outline list of our understanding of spaces.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		FIBER CEMENT BOARD & BRICK	
Doors		ALUMINUM	
Windows		ALUMINUM	
Roofing		METAL STANDING SEAM	
Trim		FIBER CEMENT BOARD	
Foundation		CONCRETE	
Shutters		FIXED SHUTTERS	
Porch/Deck		CONCRETE	
Fencing		NOT APPLICABLE	
Driveways/Sidewalks		CONCRETE	
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

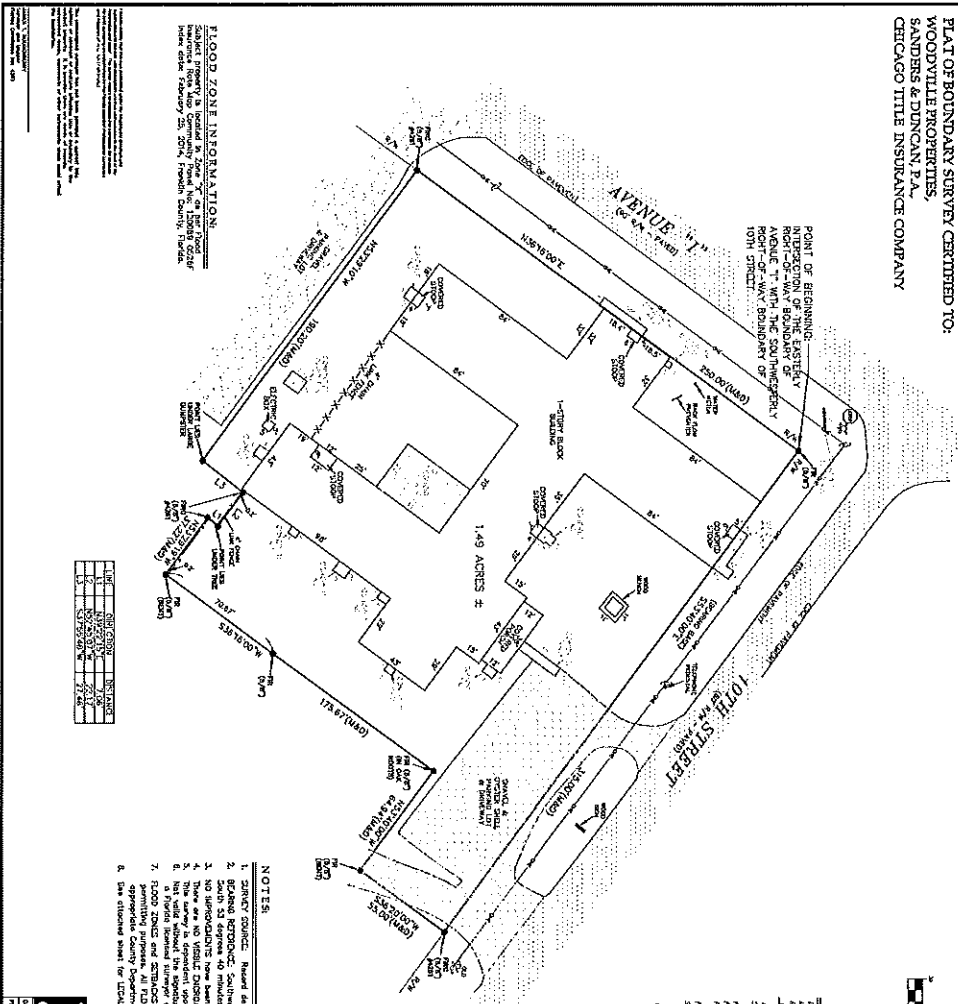
10-17-20

SIGNATURE OF APPLICANT



PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
 WOODVILLE PROPERTIES,  
 SANDERS & DUNCAN, P.A.,  
 CHICAGO TITLE INSURANCE COMPANY

POINT OF BEGINNING  
 BEING THE CORNER  
 RIGHT-OF-WAY BOUNDARY OF  
 AVENUE 'T' WITH THE SOUTHWESTERN  
 RIGHT-OF-WAY BOUNDARY OF  
 107th STREET



**FLOOD ZONE INFORMATION**  
 Subject Property is located in Zone 'X' of the Flood Hazard Insurance Rate Map, effective February 28, 2014, Franklin County, Florida.

DATE	APPROVED BY	REMARKS
04/29/20	[Signature]	[Remarks]
04/29/20	[Signature]	[Remarks]

- NOTES**
1. SURVEY CONDUCTED: Based deed and a field survey performed by the undersigned surveyor.
  2. EXACT BEARING: Substantively right of way boundary of 107th Street being.
  3. NO DISCREPANCIES: None have been located in this survey other than shown herein.
  4. THERE ARE NO VISIBLE DISCREPANCIES: Shown from these shown herein.
  5. THIS SURVEY: Shows the property and the original and final end of.
  6. THIS SURVEY: Shows the property and the original and final end of.
  7. SURVEYOR AND ALL FIELD BOOKS: And all records and documents related to this survey shall be filed with the appropriate County Department.
  8. See attached sheet for UPLD DISPOSITION.

**TR**  
 THURMAN RODDENBERRY & ASSOCIATES, INC.  
 PROFESSIONAL SURVEYORS AND MAPPERS  
 725 SO. W. 6th STREET, SUITE 200  
 TALLAHASSEE, FLORIDA 32303  
 TEL: (904) 437-1111 FAX: (904) 437-1112  
 WWW.TR-SURVEYING.COM

DATE OF SURVEY 04-29-20

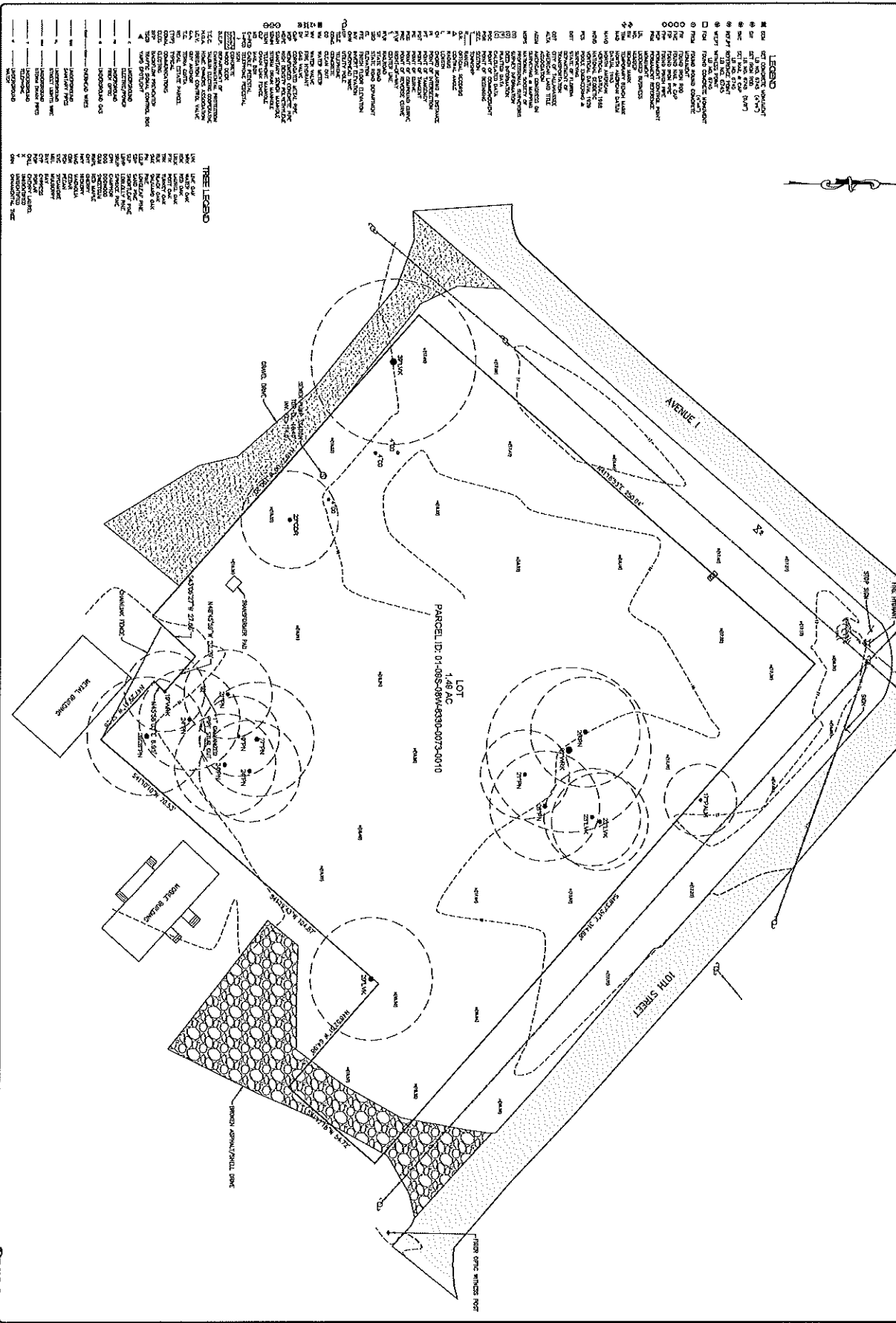
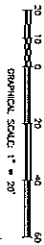
**PROJECT:**  
 DISC VILLAGE FRANKLIN COUNTY HUMAN  
 SERVICES CENTER  
**TITLE:**  
 THURMAN RODDENBERRY SURVEY

JOB NUMBER: 202258  
 SHEET NUMBER: C-0

DATE: 11-18-20  
 SCALE: 1"=20'  
 DRAWN BY: BRR

REVISIONS:


**POOLE ENGINEERING & SURVEYING, Inc.**  
 2145 DELTA BLVD. • TALLAHASSEE, FL 32303 • (850) 368-5117 • LICENSE NO. 8246



- LEGEND**
- CONCRETE FOUNDATION
  - WATER TANK
  - SEWER TANK
  - ELECTRICAL SERVICE
  - GAS SERVICE
  - CIVIL SERVICE
  - PAVING
  - LANDSCAPING
  - FENCE
  - ROAD
  - DRAINAGE
  - UTILITY
  - LANDSCAPING
  - CONCRETE FOUNDATION
  - WATER TANK
  - SEWER TANK
  - ELECTRICAL SERVICE
  - GAS SERVICE
  - CIVIL SERVICE
  - PAVING
  - LANDSCAPING
  - FENCE
  - ROAD
  - DRAINAGE
  - UTILITY

- THREE LEGEND**
- CONCRETE FOUNDATION
  - WATER TANK
  - SEWER TANK
  - ELECTRICAL SERVICE
  - GAS SERVICE
  - CIVIL SERVICE
  - PAVING
  - LANDSCAPING
  - FENCE
  - ROAD
  - DRAINAGE
  - UTILITY
  - LANDSCAPING
  - CONCRETE FOUNDATION
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  - SEWER TANK
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  - GAS SERVICE
  - CIVIL SERVICE
  - PAVING
  - LANDSCAPING
  - FENCE
  - ROAD
  - DRAINAGE
  - UTILITY

JOB NUMBER:  
202529

SHEET NUMBER:  
C-1

PROJECT:  
**DISC VILLAGE FRANKLIN COUNTY HUMAN SERVICES CENTER**

TITLE:  
**EXISTING CONDITIONS**

DATE:  
11-18-20

SCALE:  
1"=20'

DRAWN BY:  
BRB

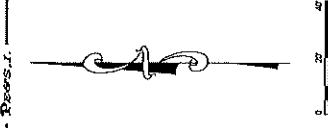
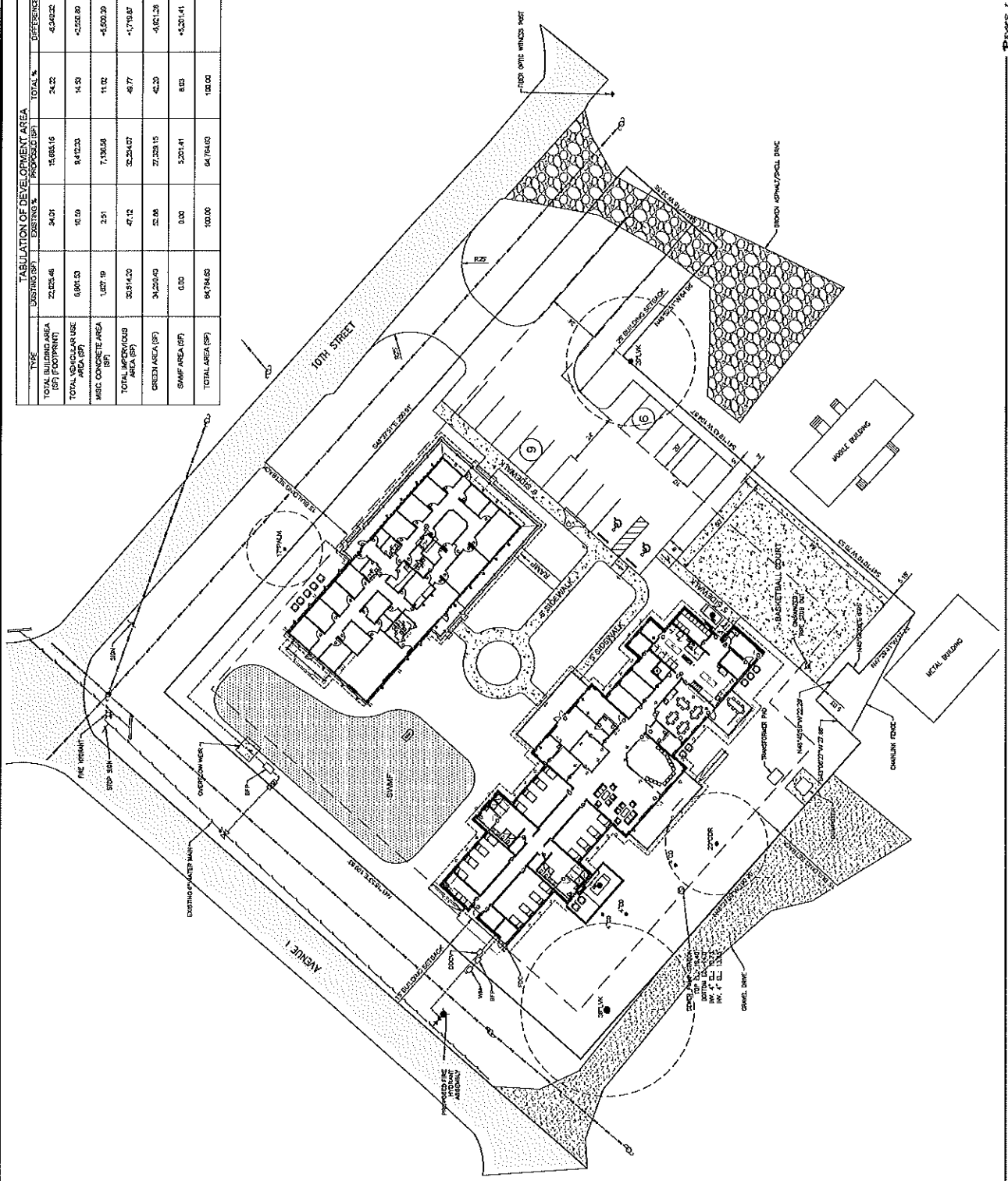
REVISED:

**POOLE ENGINEERING & SURVEYING, Inc.**

2145 DELTA RD. W. • TALLAHASSEE, FL. 32303 • (850)305-5117 • LICENSE NO: 8246



TABULATION OF DEVELOPMENT AREA			
TYPE	EXISTING (SF)	EXISTING %	TOTAL %
TOTAL BUILDING AREA (SF FOOTPRINT)	22,026.48	34.01	24.22
TOTAL VEHICULAR USE AREA (SF)	9,801.53	15.50	14.53
MISC CONCRETE AREA (SF)	1,827.19	2.91	11.02
TOTAL IMPERVIOUS AREA (SF)	33,655.20	47.12	49.77
GREEN AREA (SF)	34,225.95	52.88	42.23
SWAMP AREA (SF)	0.00	0.00	8.03
TOTAL AREA (SF)	66,794.65	100.00	100.00



- TREE LEGEND**
- 1" = 1" TREE
  - 2" = 2" TREE
  - 3" = 3" TREE
  - 4" = 4" TREE
  - 5" = 5" TREE
  - 6" = 6" TREE
  - 7" = 7" TREE
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  - 100" = 100" TREE

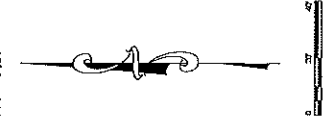
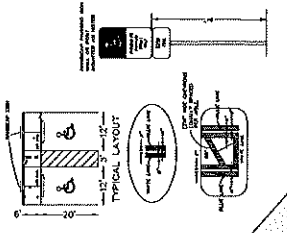
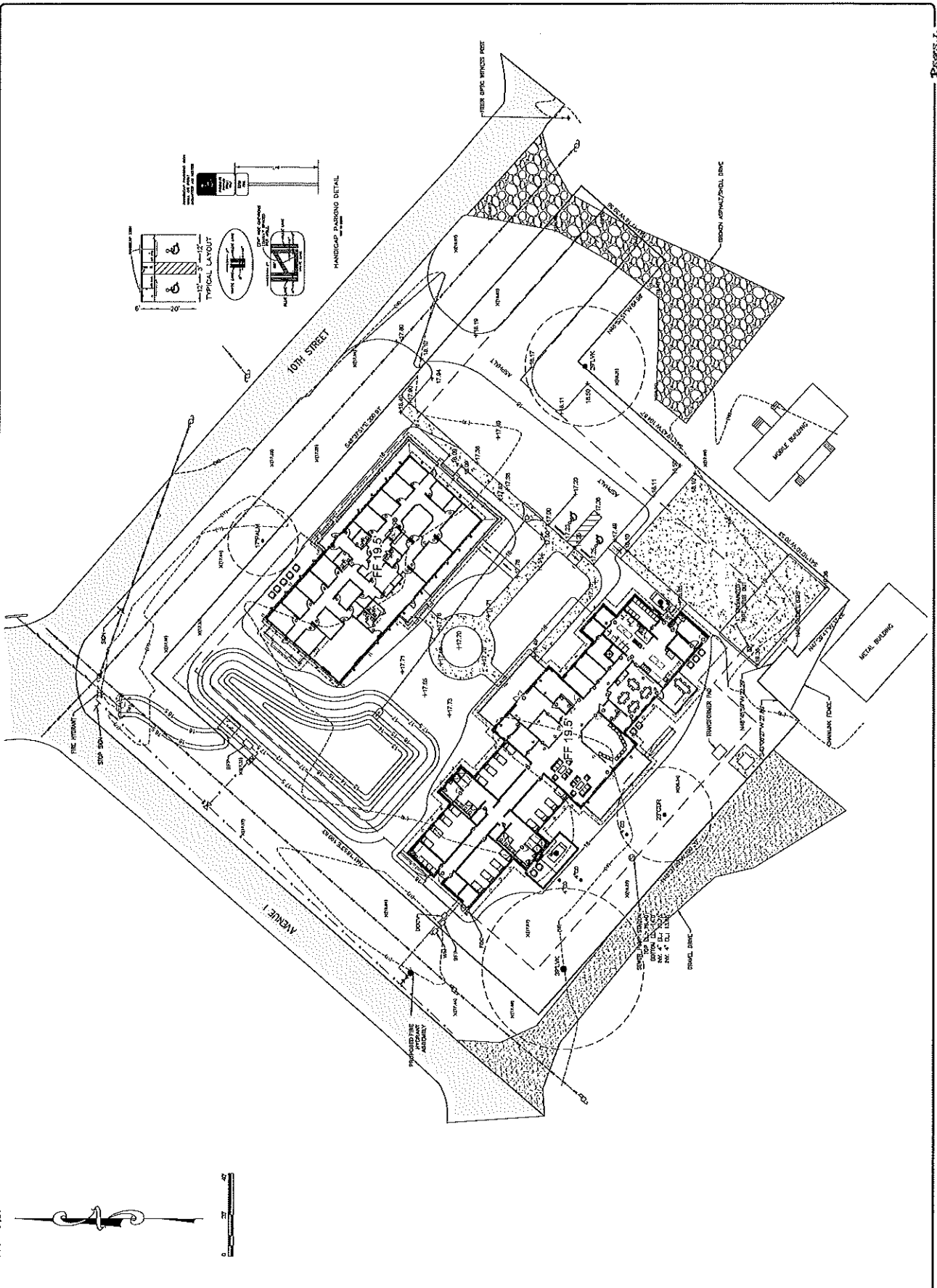
POOLE, J.


DATE: 11-18-20  
 SCALE: 1"=20'  
 DRAWN BY: BJB  
 CHECKED BY: BJB

PROJECT: DISC VILLAGE FRANKLIN COUNTY HUMAN SERVICES CENTER  
 TITLE: GRADING PLAN



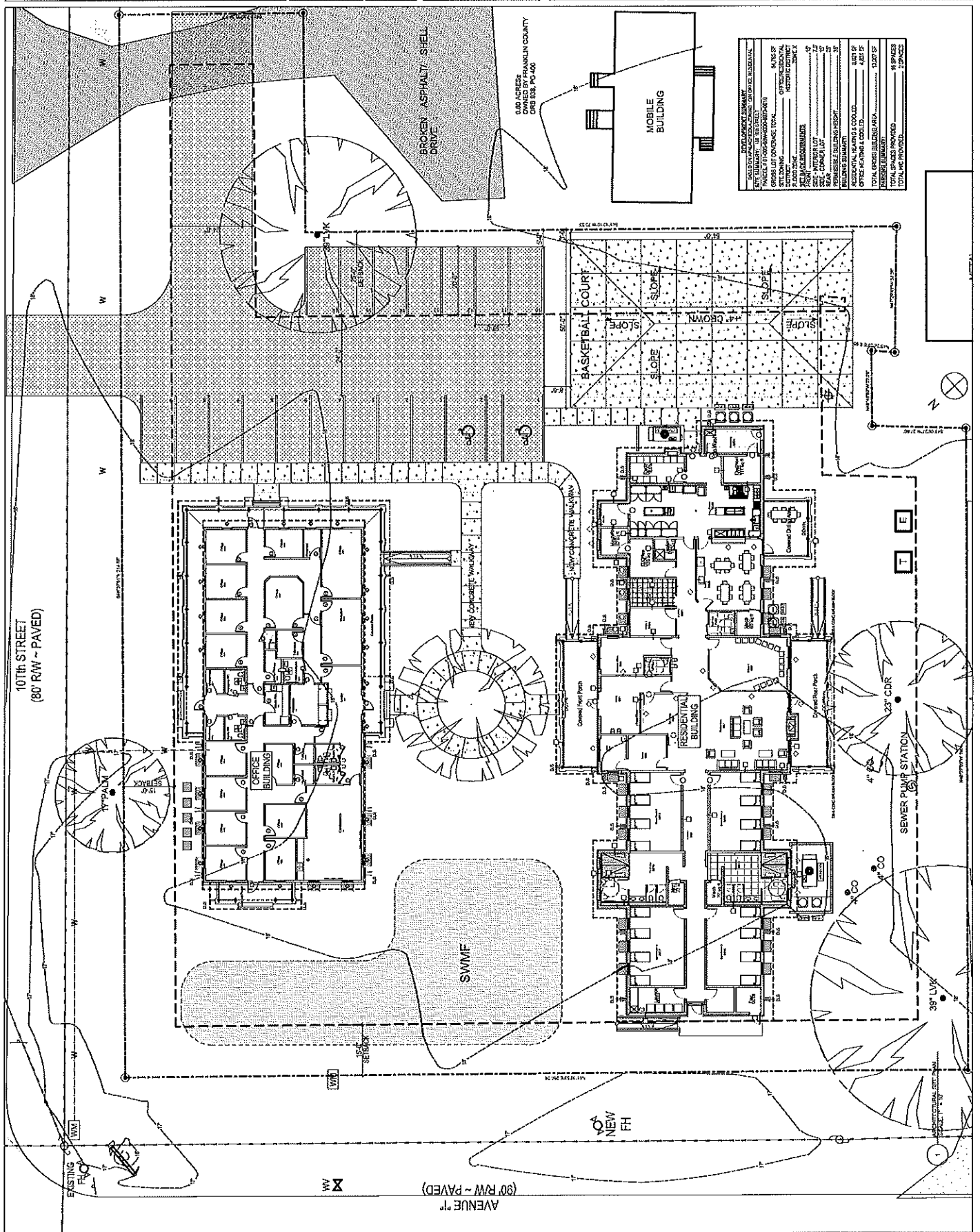
JOB NUMBER: 202258  
 SHEET NUMBER: C-3



**DISC Village Franklin County Human Services Center - Office Building**  
 for Franklin County Human Services  
 Atacochita, Florida  
 DDC Project Number 2026

**gilchrist cross grow architects**  
 1001 W. UNIVERSITY AVENUE, SUITE 100  
 GAITHERSBURG, MARYLAND 20878  
 TEL: 301.251.1000 FAX: 301.251.1001

**PLANS NAME: ARCHITECTURAL SITE PLAN**  
**SHEET AS1.21**



TOTAL PROJECT SUMMARY	
ASSEMBLED PARCELS (TOTAL AREA OF ALL PARCELS)	64,735 SF
PARCELS TO BE ACQUIRED (TOTAL)	0 SF
GROSS LOT COVERAGE (TOTAL)	64,735 SF
OFFICE BUILDING	10,000 SF
RESIDENTIAL BUILDING	4,000 SF
MOBILE BUILDING	1,000 SF
BASKETBALL COURT	1,000 SF
LANDSCAPING	1,000 SF
SEWER PUMP STATION	1,000 SF
SWMF	1,000 SF
REAR	1,000 SF
PERMISSIBLE BUILDING HEIGHT	10 FT
TOTAL GROSS BUILDING AREA	18,000 SF
TOTAL SPACES PROVIDED	18 SPACES
TOTAL AC PROVIDED	2 SPACES

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY	08/15/2026	GC
2	REVISED	08/15/2026	GC
3	REVISED	08/15/2026	GC
4	REVISED	08/15/2026	GC
5	REVISED	08/15/2026	GC
6	REVISED	08/15/2026	GC
7	REVISED	08/15/2026	GC
8	REVISED	08/15/2026	GC
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16	REVISED	08/15/2026	GC
17	REVISED	08/15/2026	GC
18	REVISED	08/15/2026	GC
19	REVISED	08/15/2026	GC
20	REVISED	08/15/2026	GC

**Project Name:** Franklin County Senior Center - Office Building

**PERMITS CONTROL NOTES:**

- The Contractor shall make available to the building official any documents necessary to obtain the permit.
- All construction shall conform to the applicable codes and standards.
- Approved drawings shall be stamped and signed and sealed by a Professional Engineer (PE) or Professional Architect (PA).
- Approved drawings shall be stamped and signed and sealed by a Professional Engineer (PE) or Professional Architect (PA).
- Provide general documents including: contract conditions, contracts, and code. (See Section 01000 - General Notes)
- Refer to structural drawings for steel building, bridge, low wall, (See Section 05000 - Steel Building).

**APPLICABLE CODES:**

Florida Building Code, Building (FBC) 2017 (FBC 2017) Edition  
 Florida Building Code, Mechanical (FBC) 2017 (FBC 2017) Edition  
 Florida Building Code, Electrical (FBC) 2017 (FBC 2017) Edition  
 Florida Building Code, Fire (FBC) 2017 (FBC 2017) Edition  
 Florida Building Code, Energy (FBC) 2017 (FBC 2017) Edition  
 Florida Building Code, Safety (FBC) 2017 (FBC 2017) Edition  
 Chapter 11, Energy Efficiency (See Note: The entire building shall be FBC 11)

**PROJECT OVERVIEW:**

The building is a 10,000 sq ft office building for the Franklin County Senior Center. The building is a 10,000 sq ft office building for the Franklin County Senior Center. The building is a 10,000 sq ft office building for the Franklin County Senior Center.

**GENERAL NOTES:**

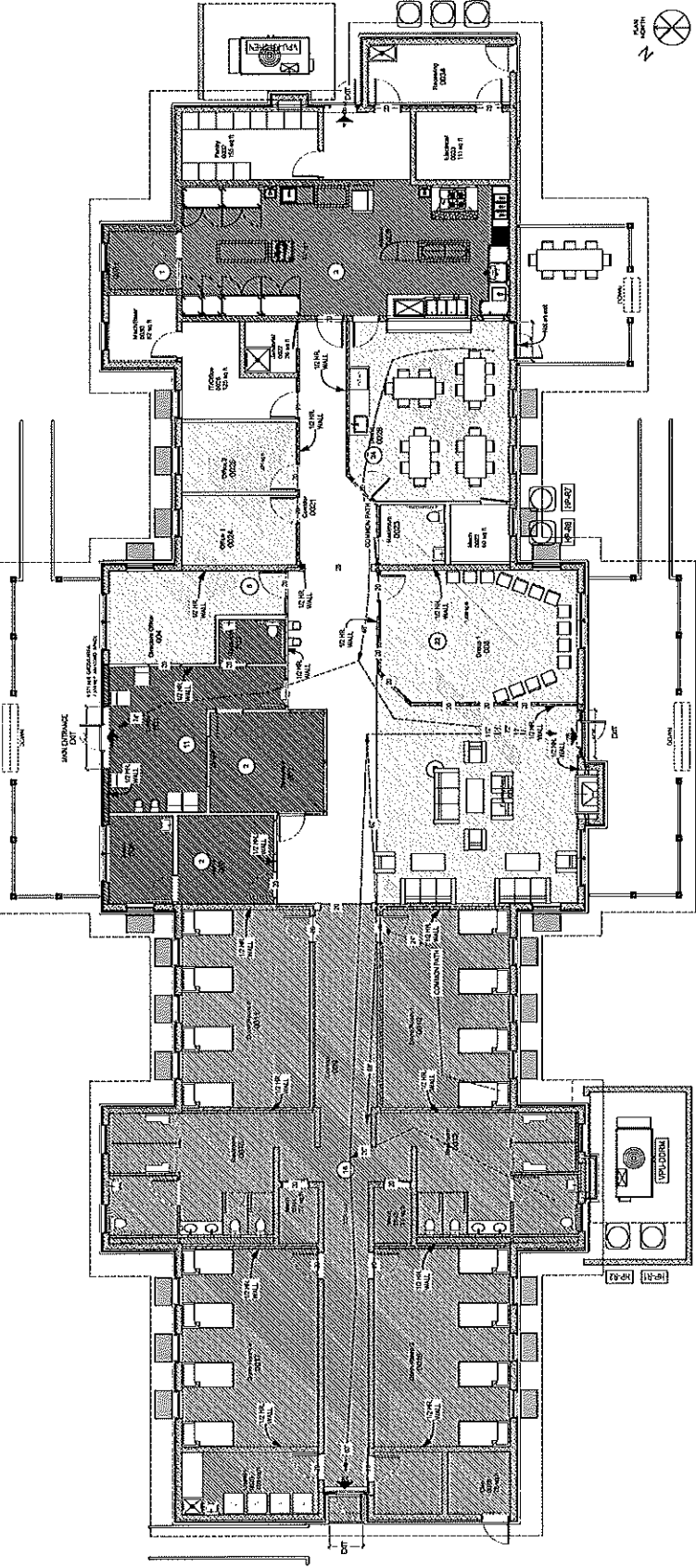
- See Section 01000 - General Notes for details on materials and workmanship.
- See Section 02000 - Foundations for details on foundation work.
- See Section 03000 - Concrete for details on concrete work.
- See Section 04000 - Masonry for details on masonry work.
- See Section 05000 - Steel Building for details on steel building work.
- See Section 06000 - Wood for details on wood work.
- See Section 07000 - Thermal and Moisture Protection for details on thermal and moisture protection work.
- See Section 08000 - Openings for details on openings work.
- See Section 09000 - Finishes for details on finishes work.
- See Section 10000 - Equipment for details on equipment work.
- See Section 11000 - Specialties for details on specialties work.
- See Section 12000 - Signage for details on signage work.
- See Section 13000 - Painting and Coatings for details on painting and coatings work.
- See Section 14000 - Fabrication and Installation for details on fabrication and installation work.
- See Section 15000 - Mechanical for details on mechanical work.
- See Section 16000 - Electrical for details on electrical work.
- See Section 17000 - Telecommunications for details on telecommunications work.
- See Section 18000 - Safety for details on safety work.
- See Section 19000 - Other for details on other work.

**MECHANICAL SCHEDULE:**

Item	Description	Quantity	Unit	Notes
1	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
2	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
3	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
4	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
5	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
6	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
7	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
8	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
9	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
10	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	

**ELECTRICAL SCHEDULE:**

Item	Description	Quantity	Unit	Notes
1	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
2	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
3	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
4	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
5	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
6	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
7	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
8	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
9	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
10	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	



1 First Floor Life Safety Plan

**gilchrist cross growe architects**  
 1001 W. 10th Street, Tallahassee, FL 32301  
 TEL: 904.438.1111 FAX: 904.438.1112  
 WWW.GILCHRISTCROSSGROVE.COM

DISC Village Franklin  
 County Human Services  
 Center -  
 Residential Building  
 for  
 Franklin County Human  
 Services  
 150 10th Street, Tallahassee, Florida  
 32301  
 GSC-Project Number: 2020

Item	Description	Quantity	Unit	Notes
1	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
2	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
3	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
4	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
5	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
6	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
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9	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	
10	Supply and install 10,000 sq ft of 1/2" thick concrete floor	10,000	sq ft	

DISC Village Franklin  
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 Services  
 150 10th Street, Tallahassee, Florida  
 32301  
 GSC-Project Number: 2020

DISC Village Franklin  
 County Human Services  
 Center -  
 Residential Building  
 for  
 Franklin County Human  
 Services  
 150 10th Street, Tallahassee, Florida  
 32301  
 GSC-Project Number: 2020

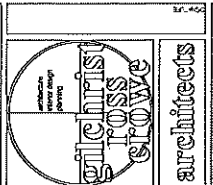
DISC Village Franklin  
 County Human Services  
 Center -  
 Residential Building  
 for  
 Franklin County Human  
 Services  
 150 10th Street, Tallahassee, Florida  
 32301  
 GSC-Project Number: 2020

GENERAL NOTES

1. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND THE FLORIDA GEOTECHNICAL ENGINEERING CODE.

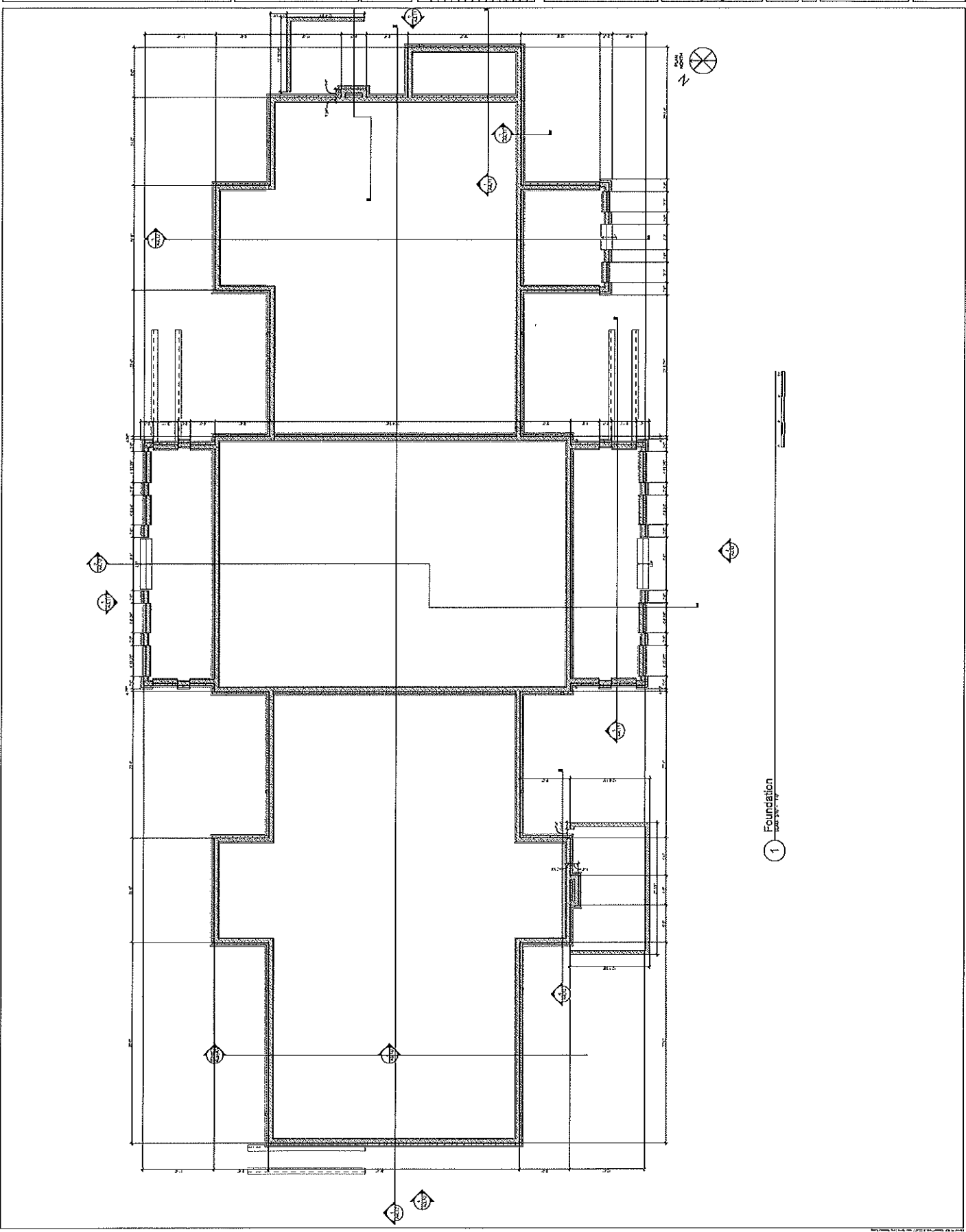
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DISC Village Franklin  
 County Human Services  
 Center -  
 Residential Building  
 for  
 Franklin County Human  
 Services  
 130 10th Street Apalachicola, Florida  
 32301  
 GC0 Project Number 2025

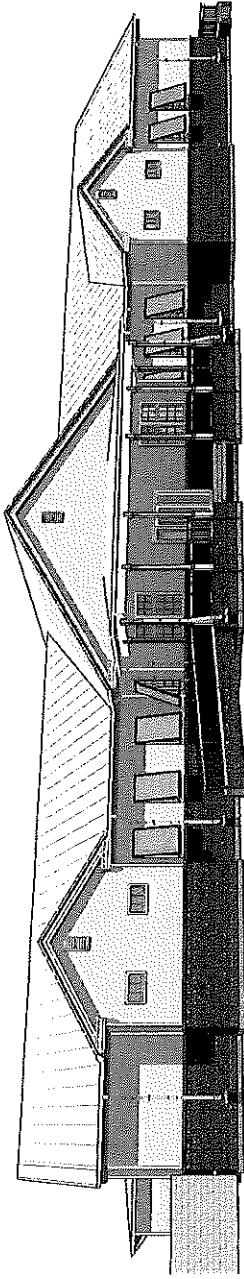


100 W. WALL STREET, PALM BEACH, FLORIDA 33480  
 TEL: 561.832.8800  
 WWW.GILCHRISTCROSSSTOWE.COM

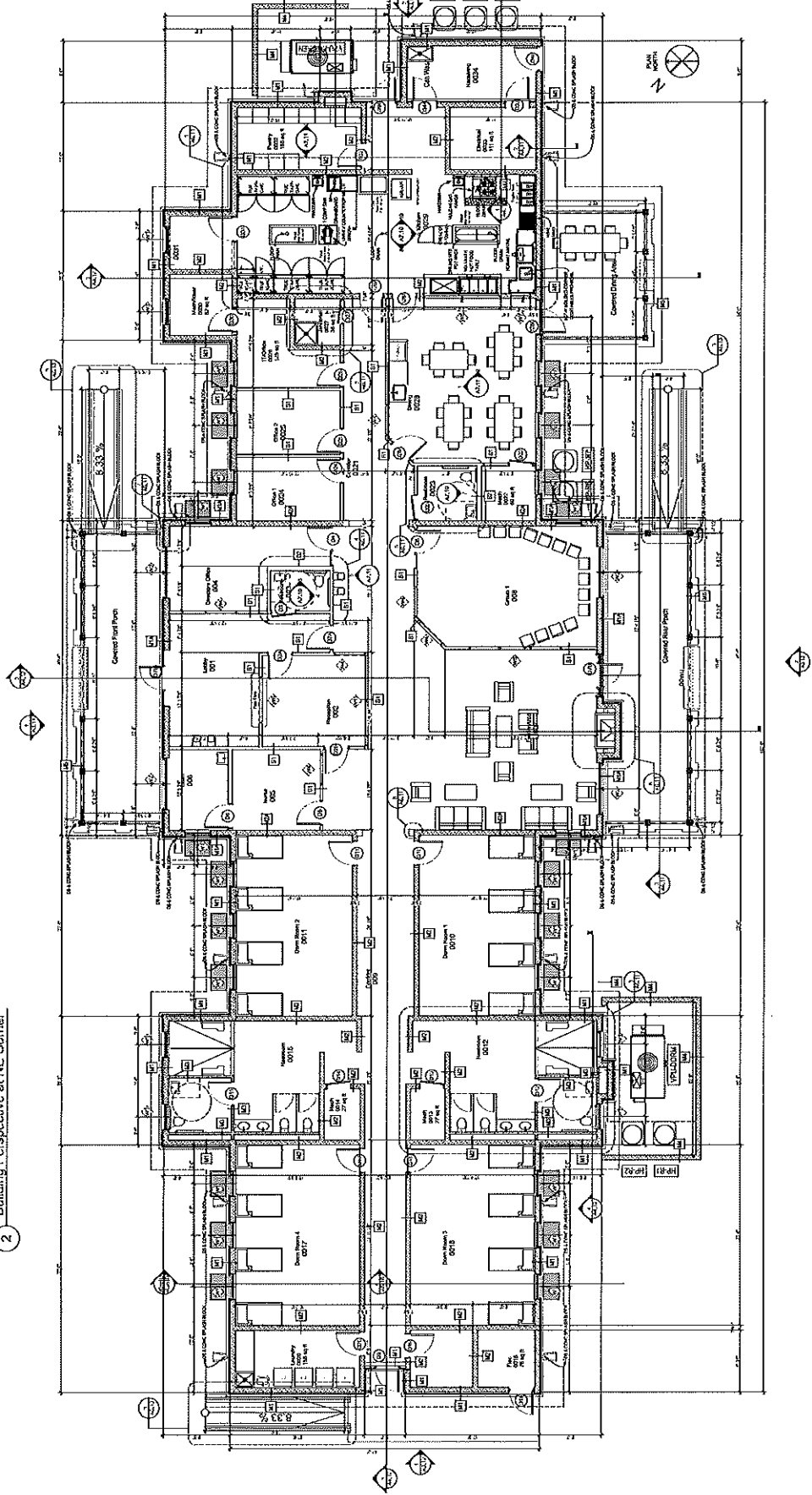
SHEET  
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 Architectural Floor Plans  
 Foundation Plan



1 Foundation  
 1/8" = 1'-0"



2 Building Perspective at NE Corner



1 First Floor Plan

PROJECT NAME  CLIENT NAME  PROJECT ADDRESS  PROJECT NUMBER  PROJECT DATE  PROJECT PHASE  PROJECT DESCRIPTION  PROJECT CONTACT  PROJECT PHONE  PROJECT FAX  PROJECT EMAIL  PROJECT WEBSITE  PROJECT STATUS  PROJECT NOTES	DISC Village Franklin County Human Services Center - Residential Building for Franklin County Human Services 150 16th Street/Apopka, Florida 32703 GBC Project Number 2025		ARCHITECTS 150 16th Street Apopka, Florida 32703 Phone: 407.874.1234 Fax: 407.874.1235 Email: info@stichitsgross.com	SHEET <b>A1.11</b>  Architectural Floor Plans DRAWING NAME First Floor Plan										
	DRAWING DATE  DRAWING SCALE  DRAWING STATUS  DRAWING REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			NO.	DATE	DESCRIPTION								
NO.	DATE	DESCRIPTION												

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE FLORIDA BUILDING CODE (FBC).

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

5. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.

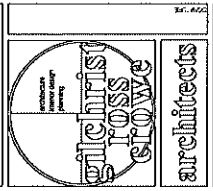
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

8. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE FLORIDA BUILDING CODE (FBC).

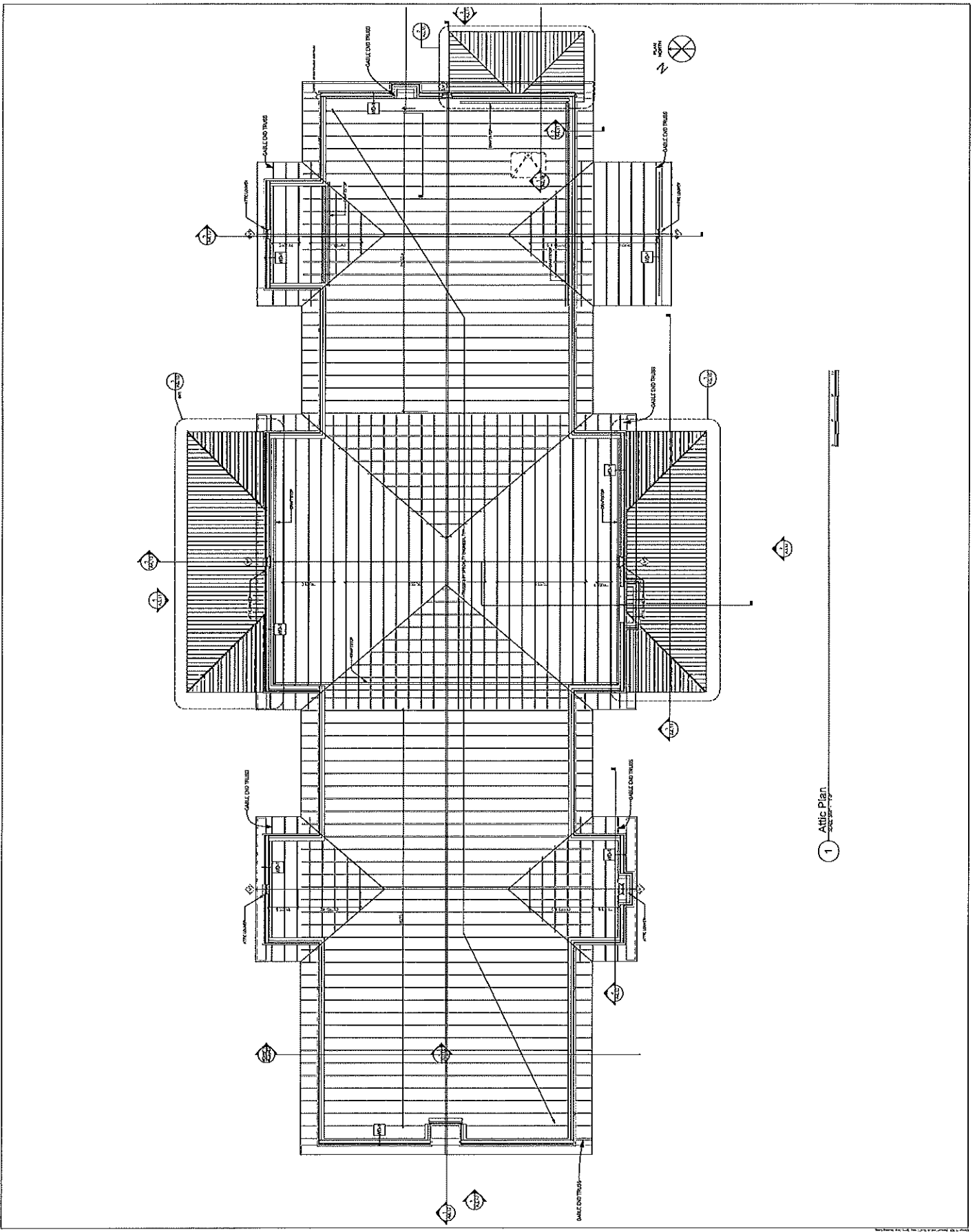
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23	REVISED PER COMMENTS	07/25/2025
24	REVISED PER COMMENTS	08/10/2025
25	REVISED PER COMMENTS	08/25/2025

DISC Village Franklin  
 County Human Services  
 Center -  
 Residential Building  
 for  
 Franklin County Human  
 Services  
 130 10th Street Apalachicola, Florida  
 32303  
 CD02 Project Number: 2024



111 W. WALTON STREET, SUITE 1000, TAMPA, FLORIDA 33604  
 PHONE: 813.288.0111 FAX: 813.288.0112  
 WWW.STITCHINCROSSSTOWE.COM

SHEET  
 Architectural Floor Plans  
 DRAWING NAME  
 ATTIC PLAN  
 A1.12



PROJECT NAME	DISC Village Franklin
CLIENT	Franklin County Human Services Center
PROJECT ADDRESS	150 10th Street Apalachicola, Florida
PROJECT NUMBER	2007-01-001
DATE	01/11/07
SCALE	AS SHOWN
DRAWN BY	J. GILCHRIST
CHECKED BY	J. GILCHRIST
DATE	01/11/07

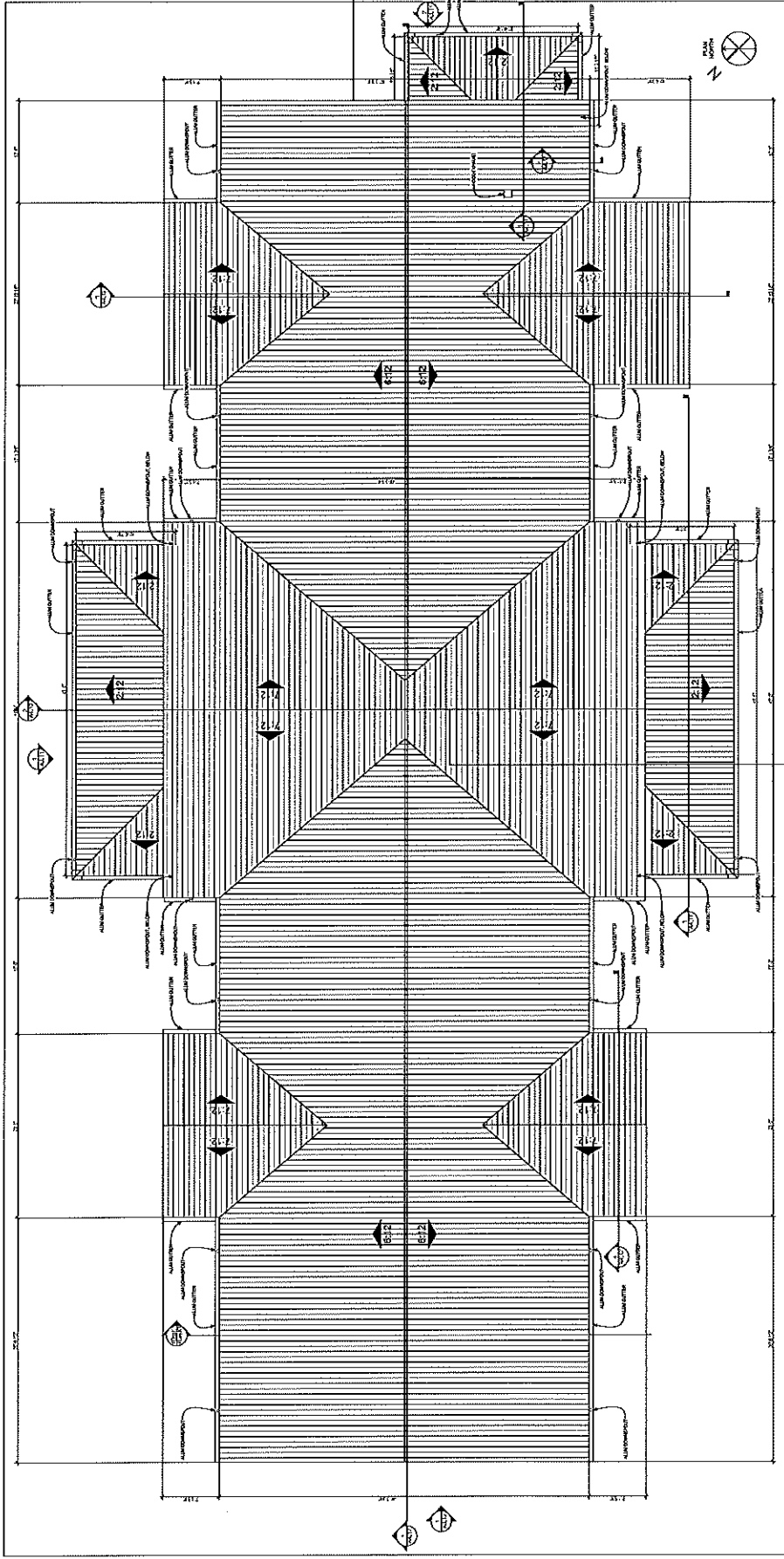
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9	01/11/07	ISSUED FOR PERMIT
10	01/11/07	ISSUED FOR PERMIT

DISC Village Franklin  
 County Human Services  
 Center -  
 Residential Building  
 for  
 Franklin County Human  
 Services  
 150 10th Street Apalachicola, Florida  
 32300  
 DISC Project Number 2007-01-001

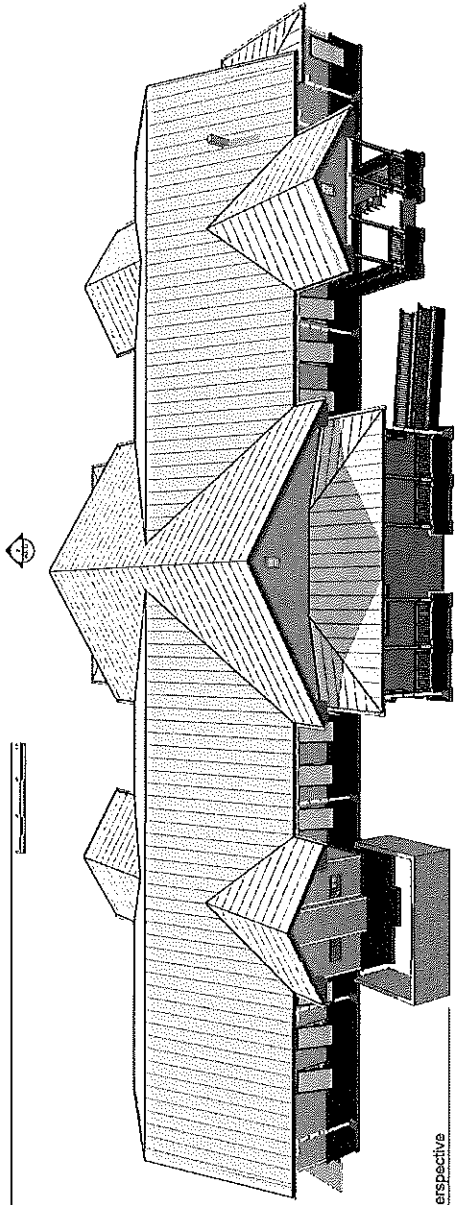
**gilchrist  
cross  
grove**  
 architects

150 10th Street Apalachicola, Florida  
 32300  
 850-225-1111  
 www.gilchristcrossgrove.com

SHEET  
**A1.13**



1 Roof Plan  
 2007-01-001



2 Roof Perspective

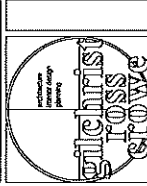


PROVISIONS

DISC Village Franklin County Human Services Center - Residential Building for Franklin County Human Services 150 15th Street Apalachicola, Florida 32301 02000 02000 Project Number 2025

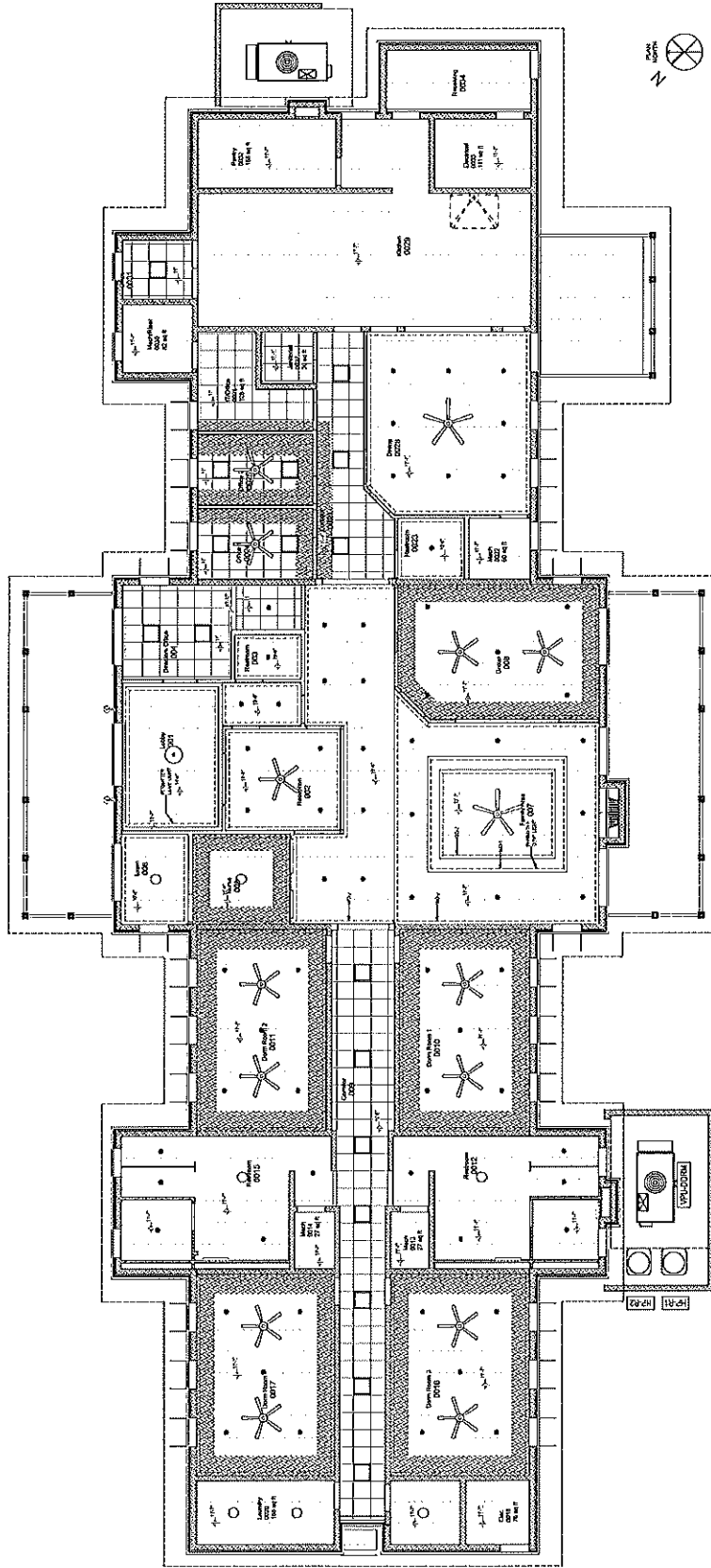
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DISC Village Franklin County Human Services Center - Residential Building for Franklin County Human Services 150 15th Street Apalachicola, Florida 32301 02000 02000 Project Number 2025



glen hill cross grove architects

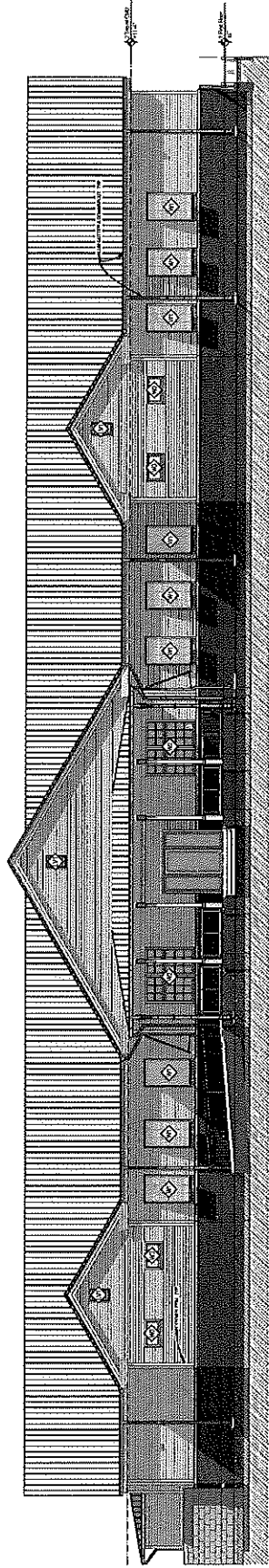
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DRAWING NAME First Floor Reflected Ceiling Plan



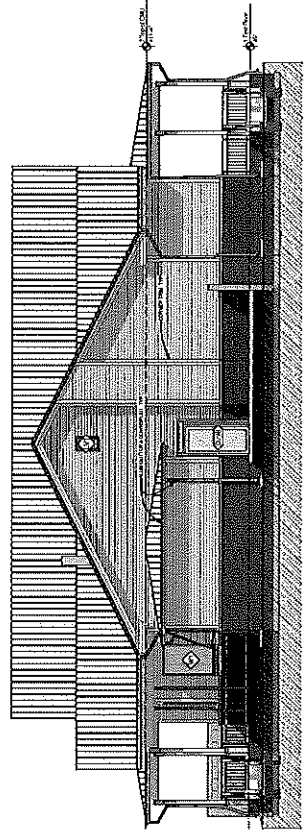
1 First Floor Reflected Ceiling Plan

# APALACHICOLA HISTORIC ARCHITECTURE: FRAME VERNACULAR

See page 2 for notes on page 2.



1 North Elevation



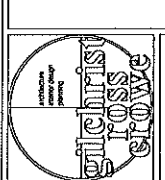
2 East Elevation

OWNER NAME

PROJECT INFORMATION  
 PROJECT NAME: DISC Village Franklin County Human Services Center - Residential Building  
 PROJECT NUMBER: 2025  
 PROJECT LOCATION: 150 10th Street Apalachicola, Florida 32301  
 PROJECT DATE: 01/2025  
 PROJECT STATUS: In Progress

NO.	REVISION	DATE
1	Initial Design	01/2025
2	Revised Design	01/2025
3	Final Design	01/2025

DISC Village Franklin County Human Services Center - Residential Building for Franklin County Human Services  
 150 10th Street Apalachicola, Florida 32301  
 GND Project Number 2025

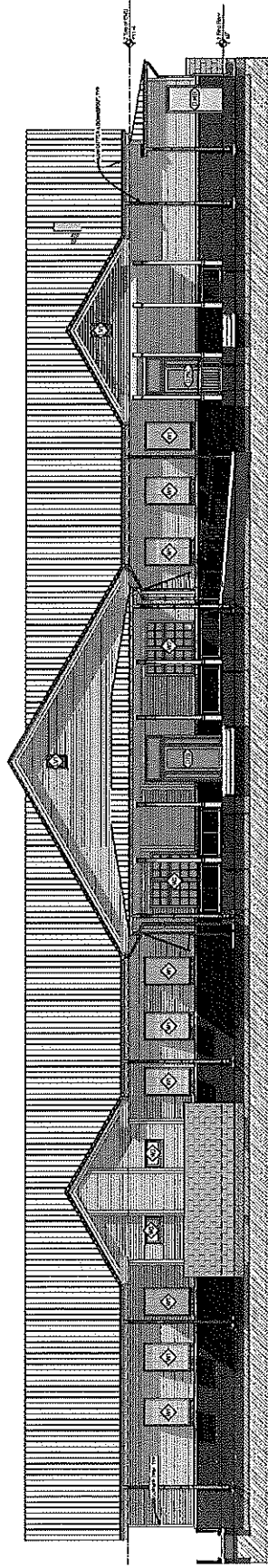


150 10th Street Franklin County, Florida 32301  
 904.875.1234  
 www.gilchristcrossgrowe.com

SHEET  
 DRAWING NAME  
 DISC Village Franklin County Human Services - North and East  
 A3.11

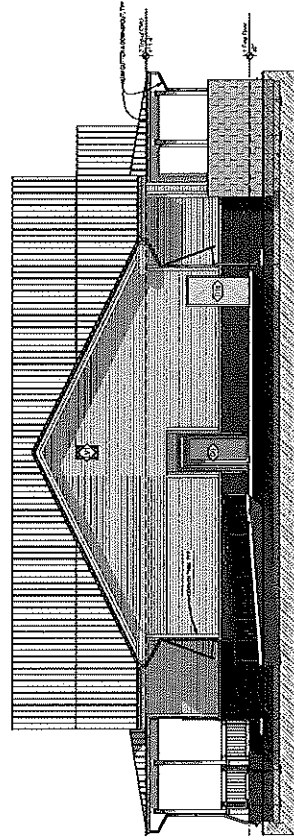
# APALACHICOLA HISTORIC ARCHITECTURE: FRAME VERNACULAR

Permitted Building Height: 12' Above Grade



2 South Elevation

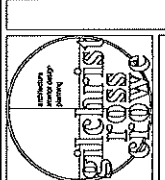
Permitted Building Height: 12' Above Grade



1 West Elevation

NO.	DESCRIPTION	DATE
1	PRELIMINARY	10/15/2023
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3	REVISED	10/25/2023
4	REVISED	11/01/2023
5	REVISED	11/05/2023
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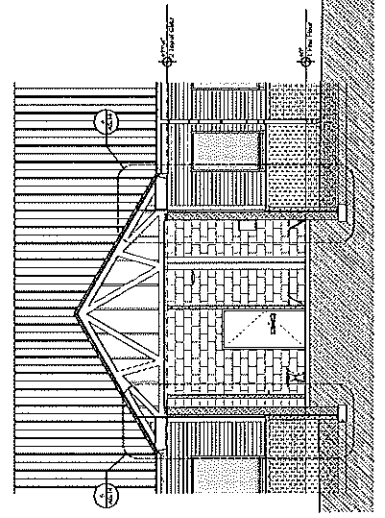
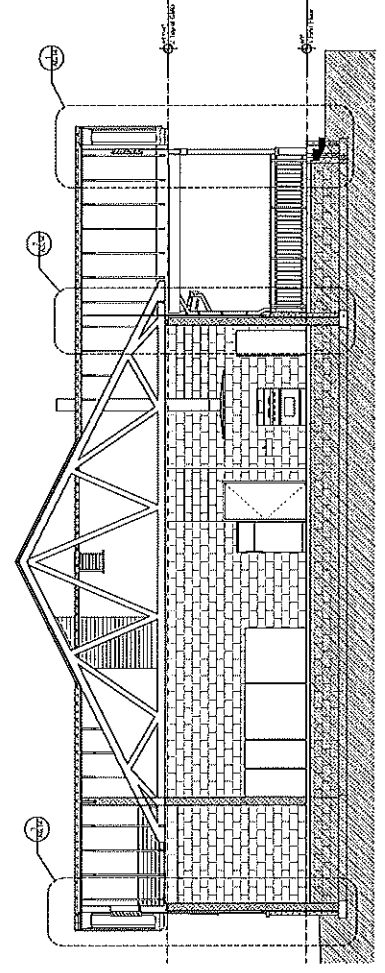
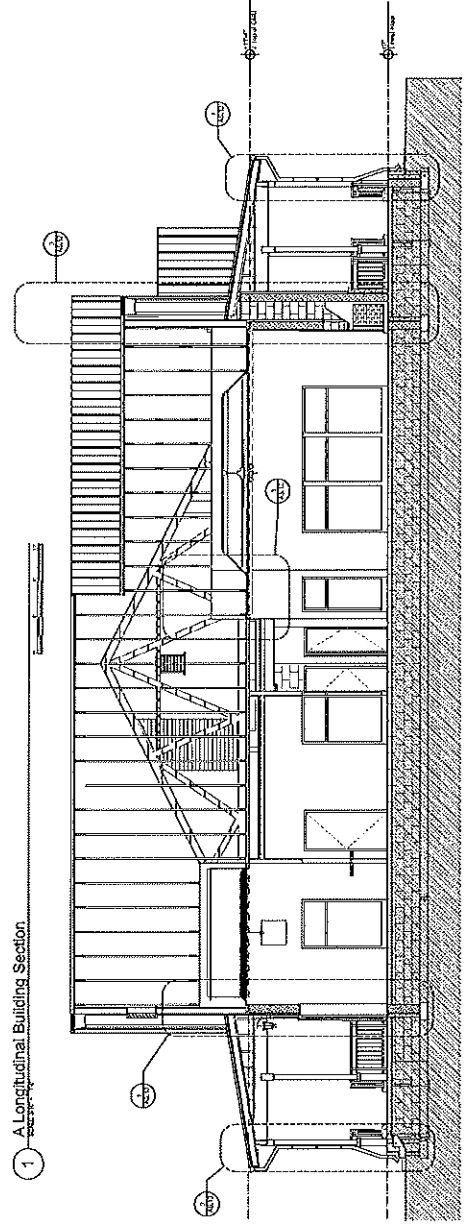
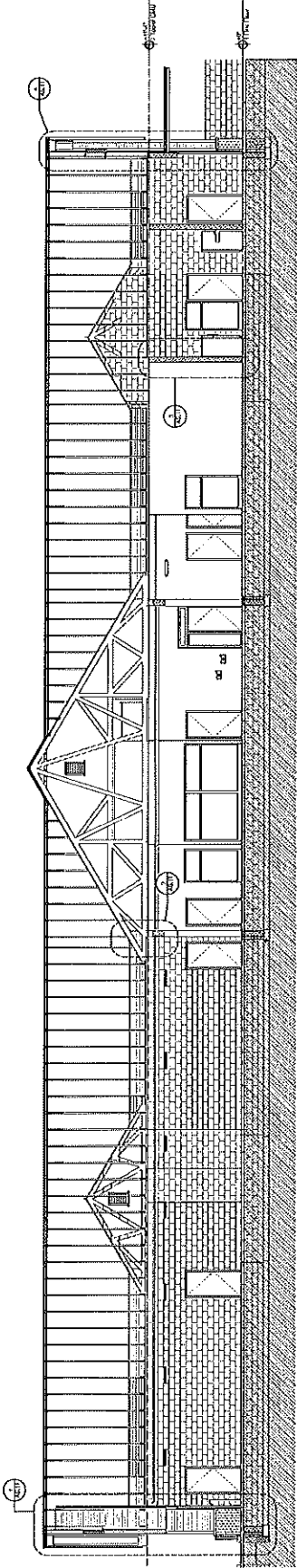
DISC Village Franklin  
County Human Services  
Center -  
Residential Building  
for  
Franklin County Human  
Services  
150 10th Street Apalachicola, Florida  
32301  
GC# Paper Number 2023



100 W. UNIVERSITY PALMWAY, TALLAHASSEE, FLORIDA 32304  
TEL: 904.833.1111  
WWW.GILCHRISTCROSSGROWE.COM

EXTERIOR ELEVATIONS  
DRAWING NAME  
Exterior Elevations -  
South and West

SHEET  
A3.12



1 A Longitudinal Building Section

2 B Transverse Building Section

3 C Building Section

4 D Building Section

DISCUSSION

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF GILCHRIST CROSS ARCHITECTS. THEY ARE NOT TO BE REPRODUCED, COPIED, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF GILCHRIST CROSS ARCHITECTS. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF GILCHRIST CROSS ARCHITECTS IS STRICTLY PROHIBITED.

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36	REVISED PER COMMENTS	12/01/2022

DISC Village Franklin  
County Human Services  
Center -  
Residential Building  
for  
Franklin County Human  
Services  
130 16th Street/Apalachicola, Florida 32520  
DISC Project Number 2050C

**gilchrist cross architects**  
ARCHITECTS  
1501 S. PALM BEACH BLVD., SUITE 200  
PALM BEACH, FLORIDA 33480  
TEL: 561.832.1111  
WWW.GILCHRISTCROSSARCHITECTS.COM

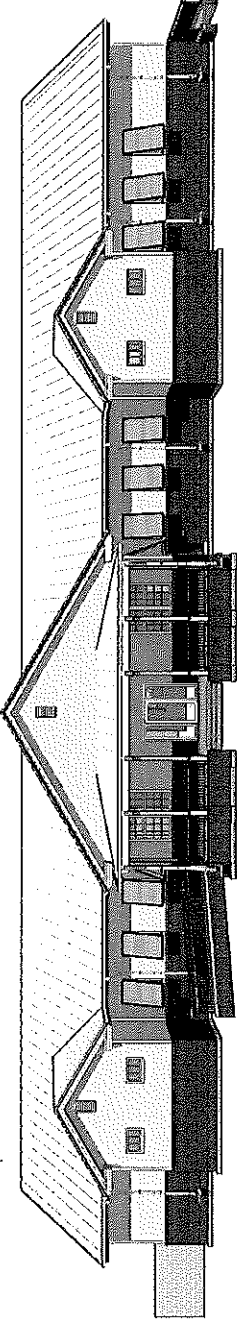
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Building Sections  
DRAWING NAME  
Building Sections

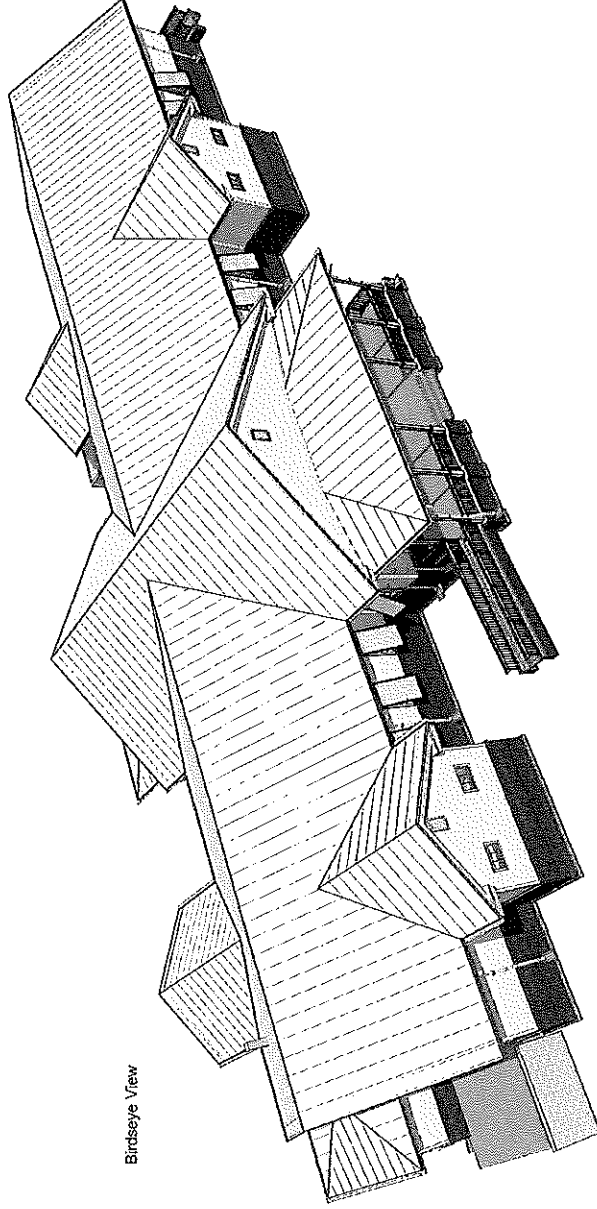


APALACHICOLA HISTORIC ARCHITECTURE:  
FRAME VERNACULAR

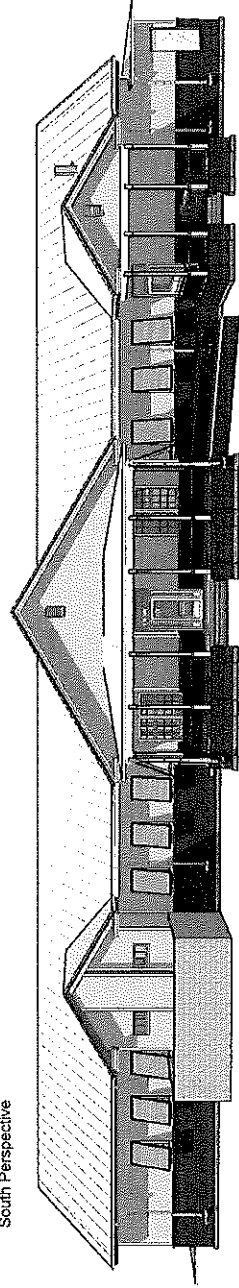
North Perspective



Birdseye View



South Perspective

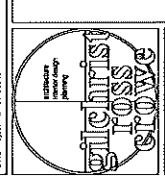


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PROJECT: DISC Village Franklin  
COUNTY: Franklin  
ADDRESS: 191 1/2th Street Apalachicola, Florida  
38533  
DISC Paper Number: 2205

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DISC Village Franklin  
County Human Services  
Center -  
Residential Building  
for  
Franklin County Human  
Services  
191 1/2th Street Apalachicola, Florida  
38533  
DISC Paper Number: 2205



Ref: AGC  
191 1/2th Street  
Apalachicola, Florida  
38533  
DISC Paper Number: 2205

Rev: 01/18  
DRAWING NAME  
Perspective  
SHEET  
A9.40

**PERMITS/GENERAL NOTES**

1. The building shall be constructed in accordance with the applicable codes and regulations. The building shall be designed to meet the minimum requirements for a 100-year return period flood event.
2. The building shall be designed to meet the minimum requirements for a 100-year return period flood event.
3. The building shall be designed to meet the minimum requirements for a 100-year return period flood event.
4. The building shall be designed to meet the minimum requirements for a 100-year return period flood event.
5. The building shall be designed to meet the minimum requirements for a 100-year return period flood event.

**APPLICABLE CODES**

- Florida Building Code, Building (FBC) 2015 (FBC) Edition
- Florida Building Code, Mechanical (FBC) 2015 (FBC) Edition
- Florida Building Code, Electrical (FBC) 2015 (FBC) Edition
- Florida Building Code, Fire (FBC) 2015 (FBC) Edition
- Florida Building Code, Energy (FBC) 2015 (FBC) Edition
- Florida Building Code, Energy (FBC) 2015 (FBC) Edition
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- Florida Building Code, Energy (FBC) 2015 (FBC) Edition
- Florida Building Code, Energy (FBC) 2015 (FBC) Edition

**PERMITS/GENERAL NOTES**

The building shall be constructed in accordance with the applicable codes and regulations. The building shall be designed to meet the minimum requirements for a 100-year return period flood event.

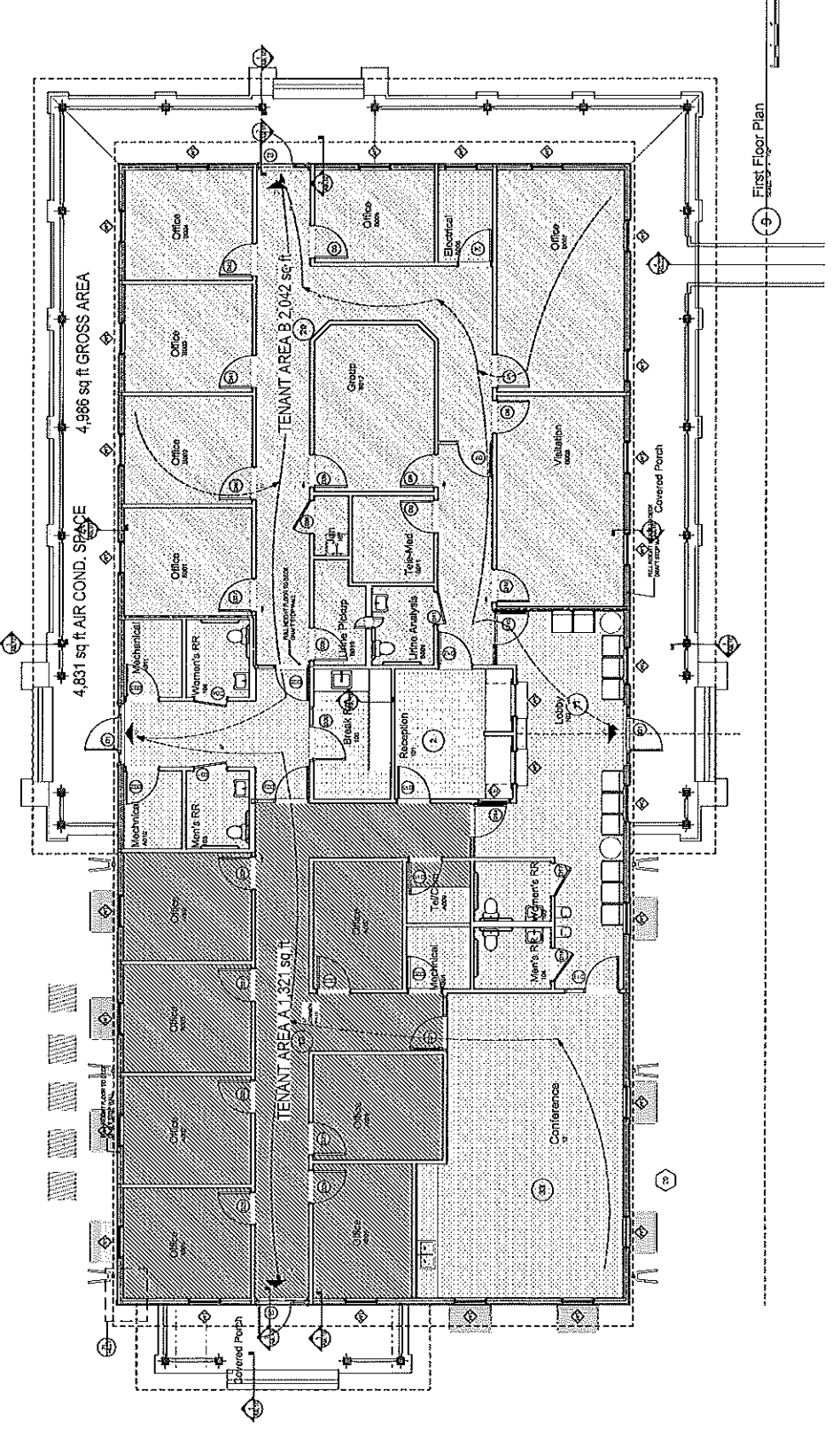
The building shall be designed to meet the minimum requirements for a 100-year return period flood event.

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The building shall be designed to meet the minimum requirements for a 100-year return period flood event.

The building shall be designed to meet the minimum requirements for a 100-year return period flood event.

Item	Description	Quantity	Unit	Notes
1	Concrete Slab	100	Sq. Yd.	
2	Reinforcing Steel	50	Tons	
3	Formwork	200	Sq. Yd.	
4	Structural Steel	100	Tons	
5	Roofing	100	Sq. Yd.	
6	Interior Partitions	100	Sq. Yd.	
7	Electrical	100	Sq. Yd.	
8	Mechanical	100	Sq. Yd.	
9	Plumbing	100	Sq. Yd.	
10	Fire Protection	100	Sq. Yd.	
11	Life Safety	100	Sq. Yd.	
12	Other	100	Sq. Yd.	



9 - First Floor Plan

**DISC Village Franklin County Human Services Center - Office Building for Franklin County Human Services**

Apalachicola, Florida  
 DISC Project Number: 20200

**gilchrist cross growe architects**

1000 W. GULF STREAM BLVD. SUITE 100  
 PALM BEACH, FLORIDA 33411  
 TEL: 561.833.1111 FAX: 561.833.1112  
 WWW.GILCHRISTCROSSGROVE.COM

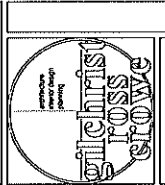
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FOUNDATIONS

Discipline: Foundations  
Project: Foundation Plan  
Drawing Name: Foundation Plan

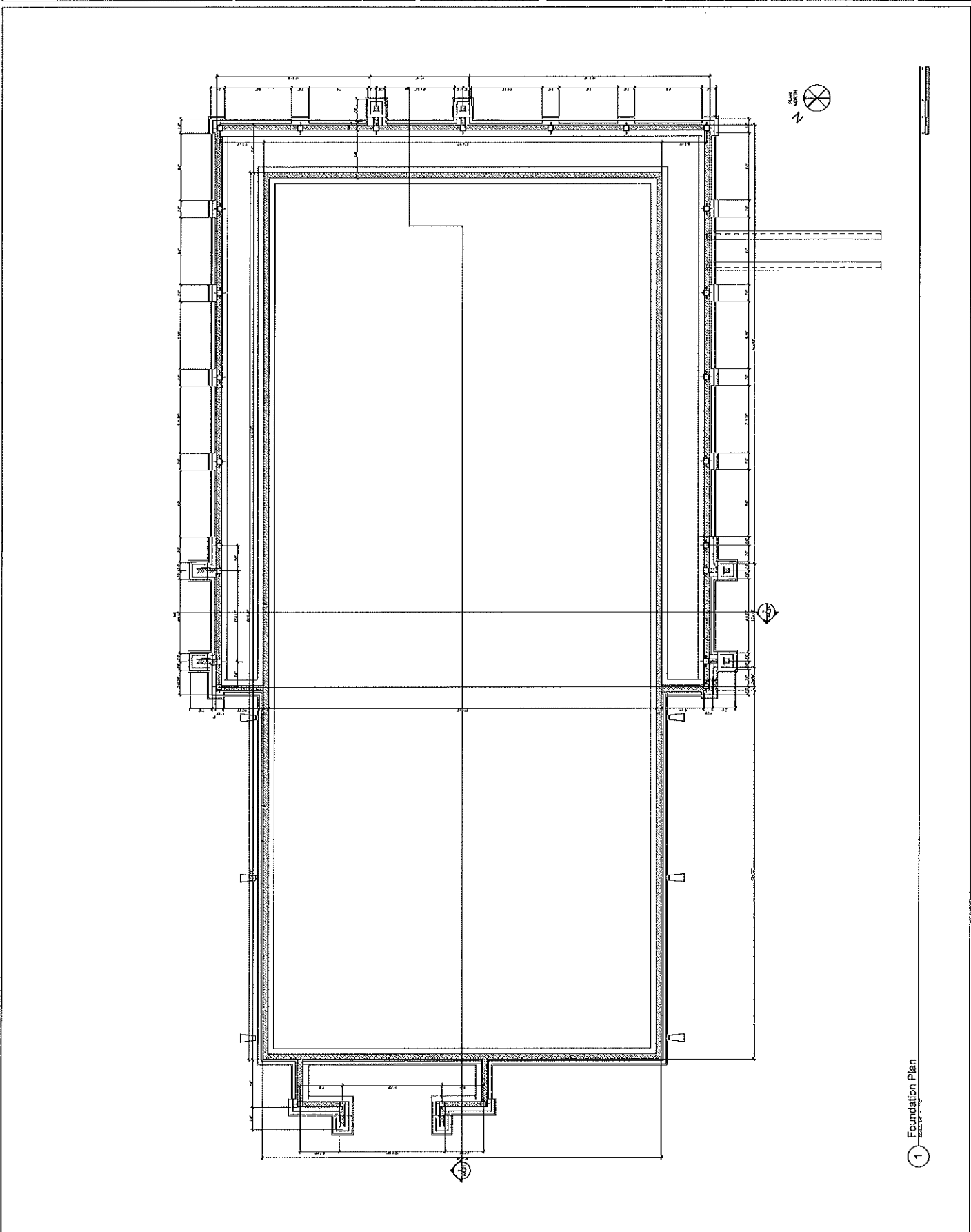
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15	FOUNDATION PLAN	12/20/10

DISC Village Franklin  
County Human Services  
Center -  
Office Building  
for  
Franklin County Human  
Services  
Apalachee, Florida  
CDC Project Number 2006



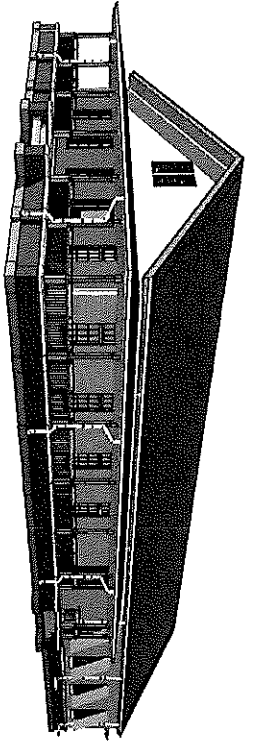
2112 LAMAR STREET TALLAHASSEE, FLORIDA 32304  
(904) 839-3000  
WWW.GILCHRISTCROSSSTOWEARCHITECTS.COM

SHEET  
DRAWING NAME  
Foundation Plan  
A1.20

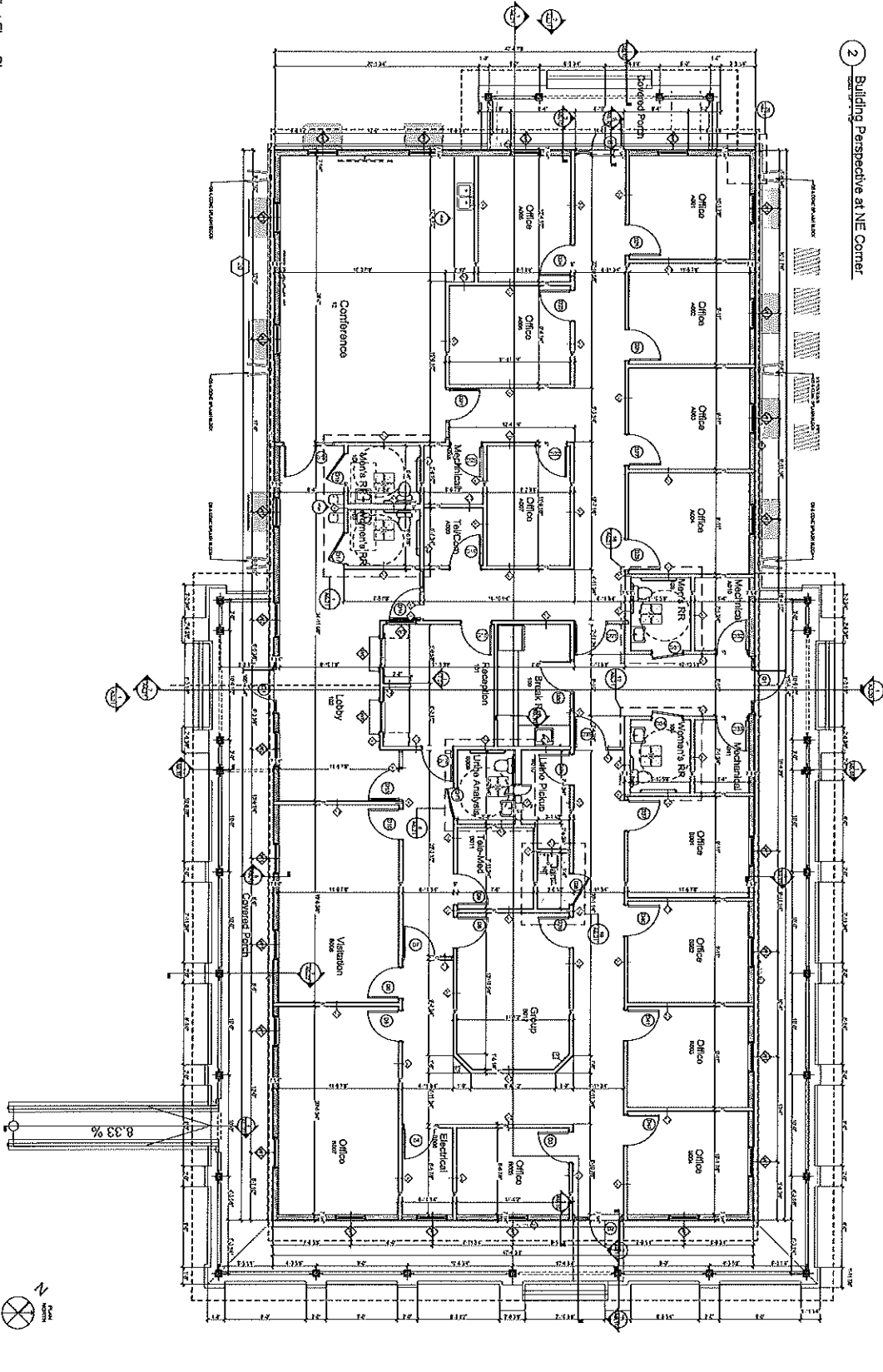


1 Foundation Plan





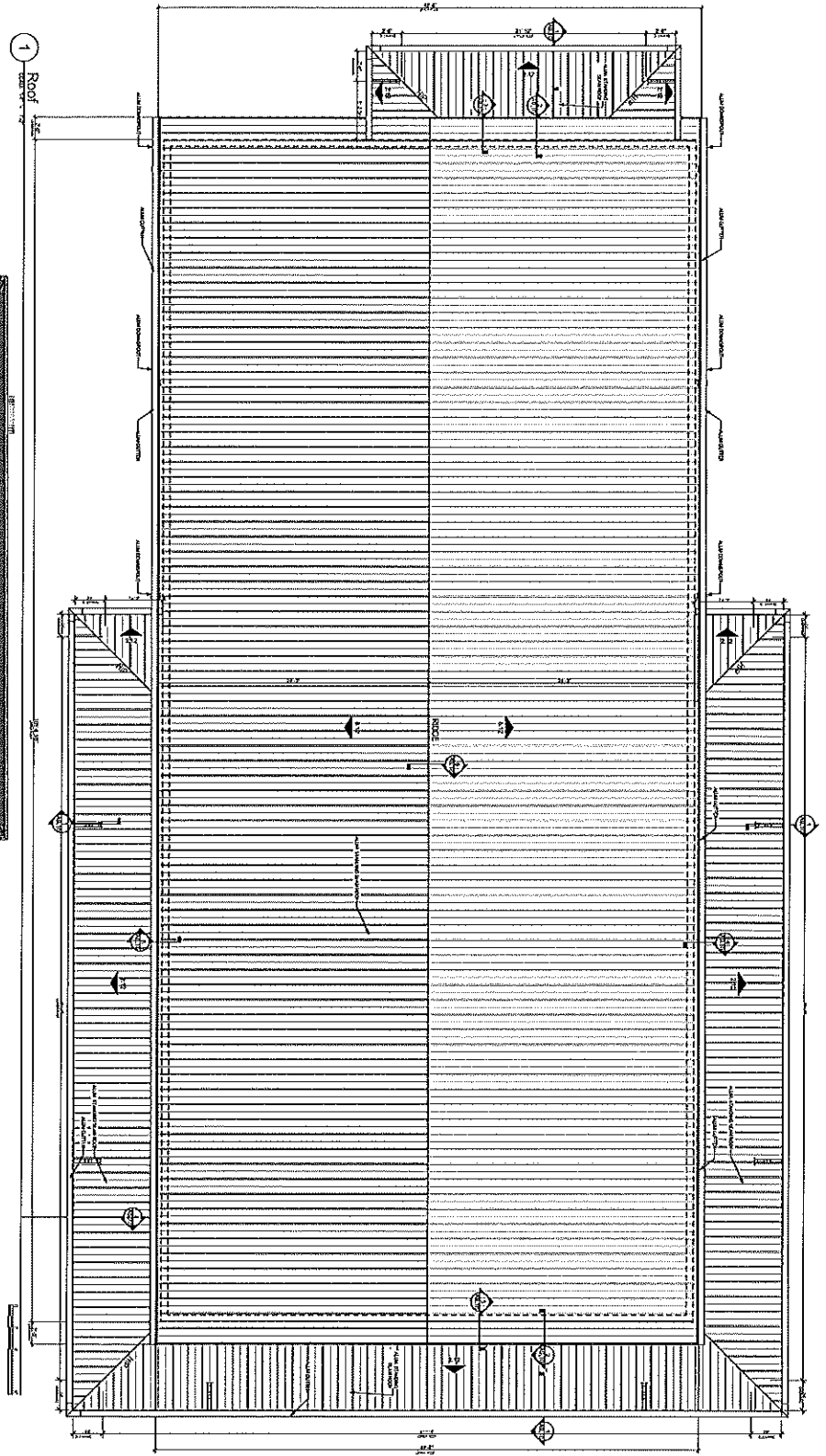
2 Building Perspective at NE Corner



1 First Floor Plan

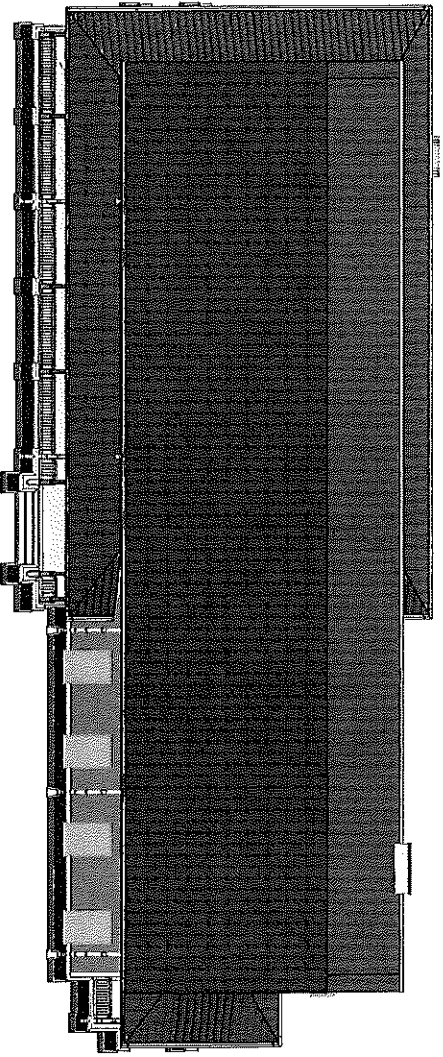
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10/20/2006 10:00 AM



1 Roof

2 Roof Perspective



<p>Architectural Firm Name          123 Main Street          City, State, Zip          Phone: (555) 123-4567          Fax: (555) 987-6543          Website: www.firmname.com</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>	<p><b>Architects</b>          J. Smith          AIA          License No. 12345</p>
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A1.23

SHEET

Roof Plan

DISC Village Franklin  
 County Human Services  
 Center  
 Office Building  
 for  
 Franklin County Human  
 Services

Architectural, Inc.  
 123 Main Street  
 City, State, Zip

Architects

Architects

Architects

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NOTES

GENERAL NOTES

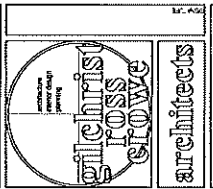
- 1. SEE ARCHITECT'S SITE PLAN FOR LOT LOCATION.
- 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2003 INTERNATIONAL RESIDENTIAL CODE BOOK.
- 3. ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE 2003 INTERNATIONAL MECHANICAL AND PLUMBING CODE.
- 4. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- 5. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY SURVEYING DATA OR EXISTING CONDITIONS.
- 6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
- 7. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- 8. THE ARCHITECT SHALL CONDUCT VISUAL INSPECTIONS OF THE WORK AT THE TIMES AND PLACES SPECIFIED IN THE CONTRACT DOCUMENTS.
- 9. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE WORK UNLESS OTHERWISE NOTED.
- 10. ALL FINISHES SHALL BE AS SPECIFIED IN THE SCHEDULE OF FINISHES.

REVISED

NO.	DATE	BY	DESCRIPTION

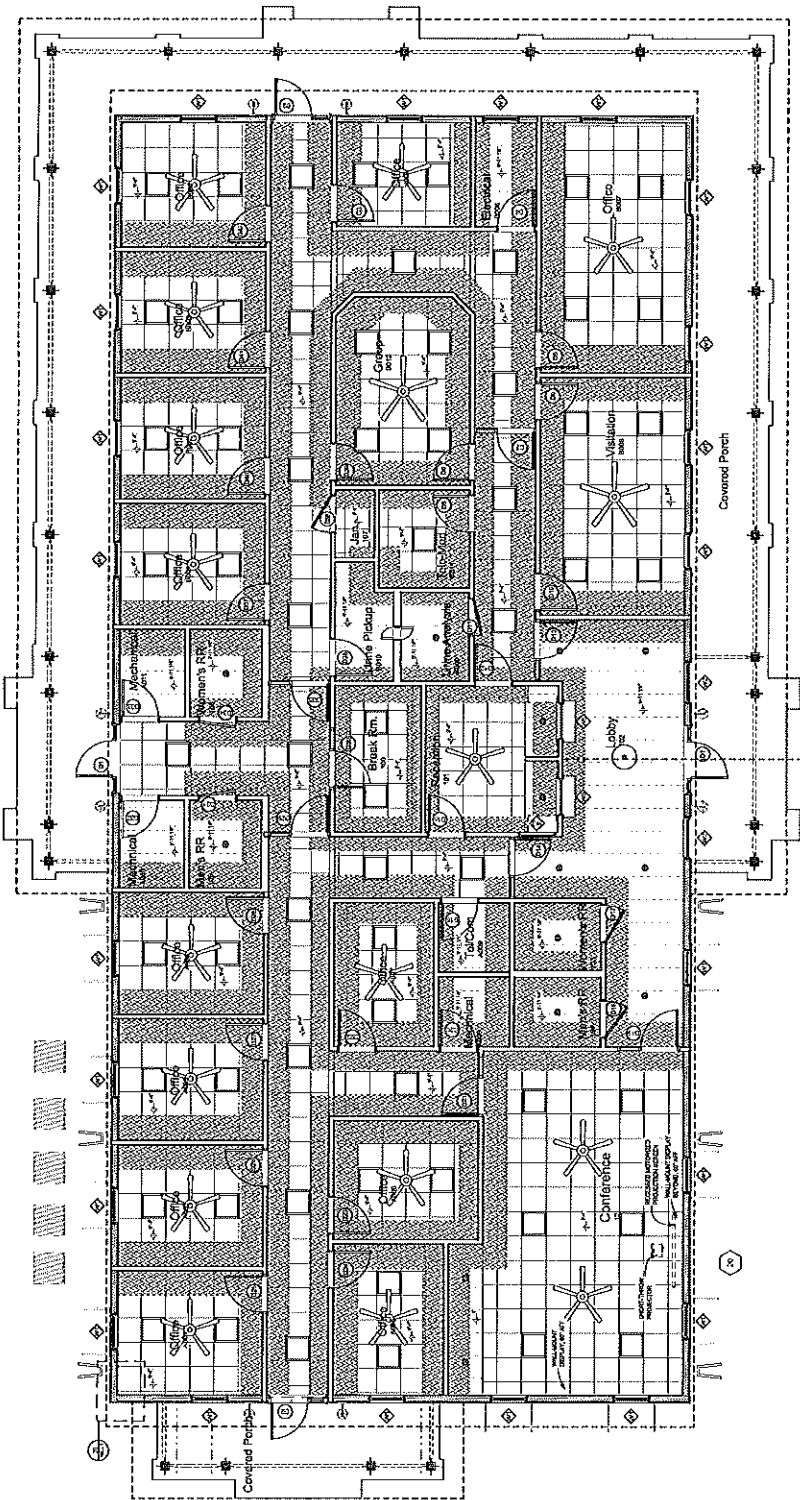
DISC Village Franklin  
County Human Services  
Center -  
Office Building  
for  
Franklin County Human  
Services

Aurora, Indiana, French  
Disc Project Number 2023



7. A. 21  
2024  
2024

Reflected Ceiling Plan  
COUNTING ROOM  
FIRST FLOOR  
Reflected Ceiling  
Plan



9 First Floor Plan  
Sheet 9 of 10

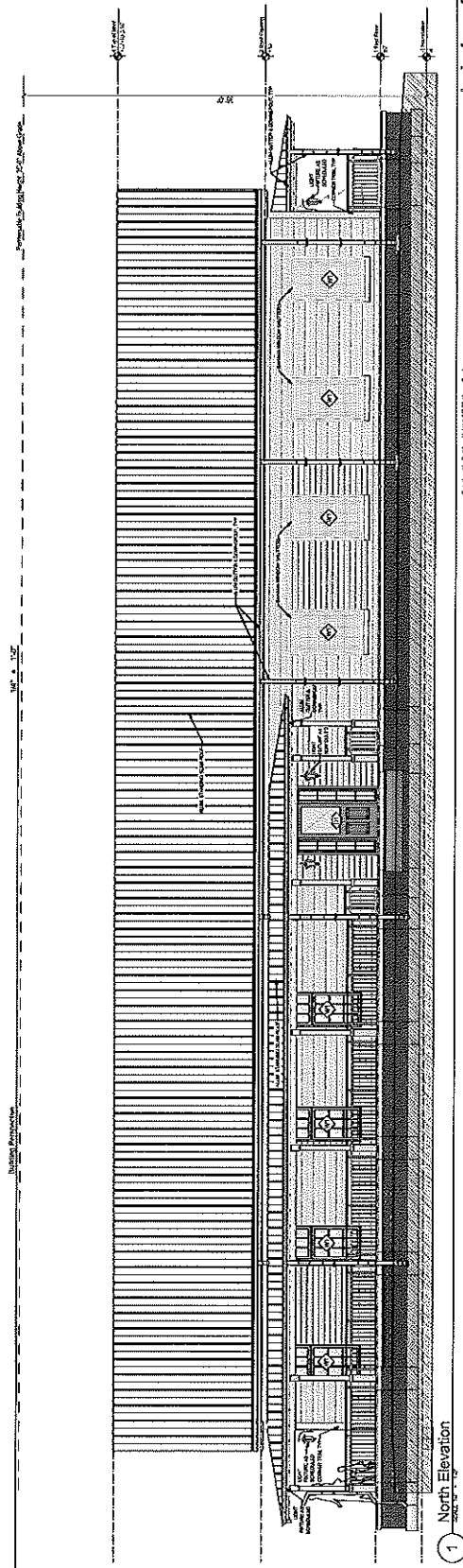
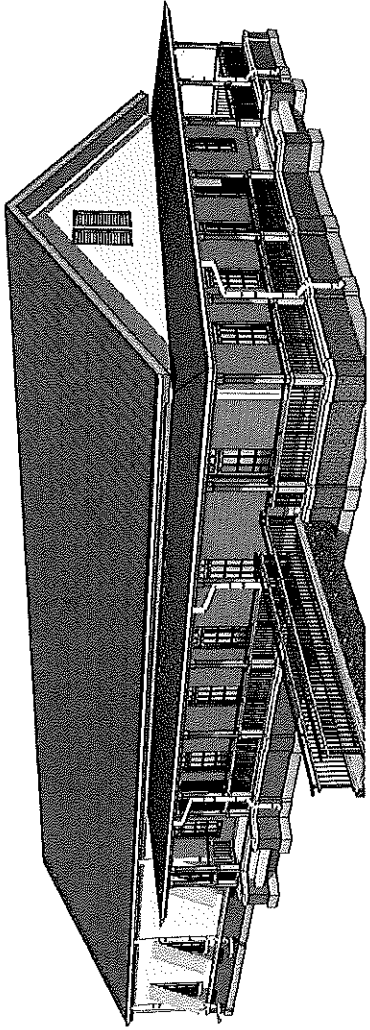


9 First Floor Plan  
Sheet 9 of 10

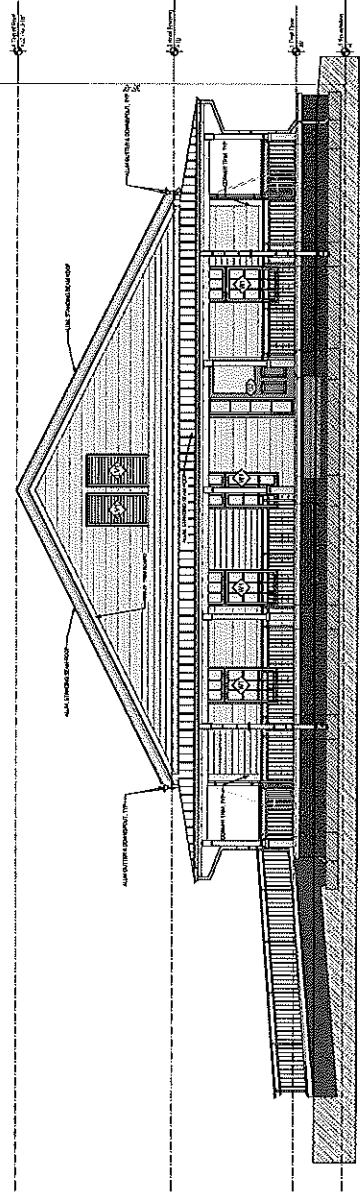
REVISIONS

NO.	DATE	BY	DESCRIPTION

# APALACHICOLA HISTORIC ARCHITECTURE: FRAME VERNACULAR



1 North Elevation

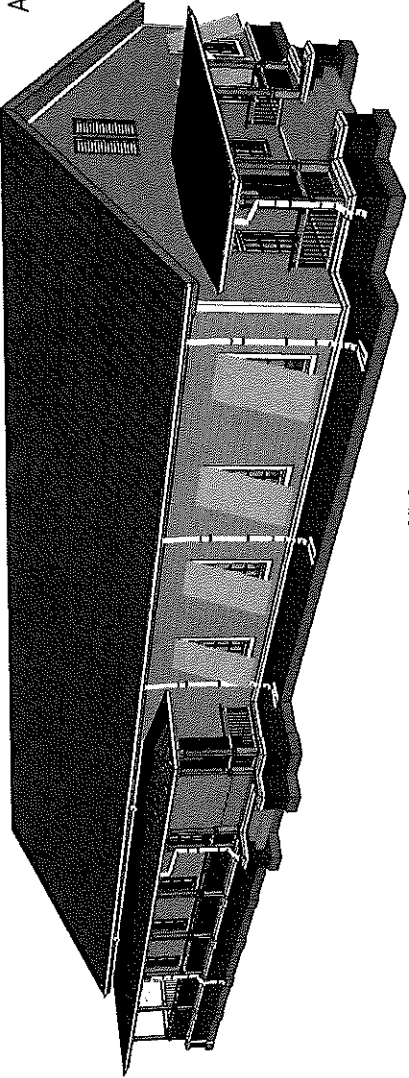


2 East Elevation

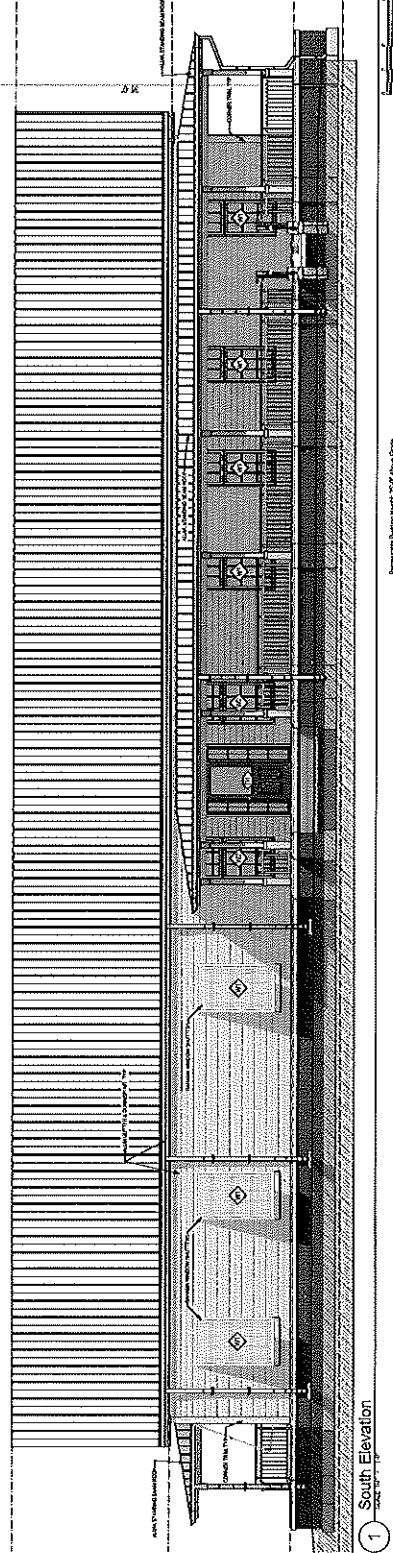
<p>DATE: 08/14/2018</p> <p>PROJECT: DISC Village Franklin County Human Services Center - Office Building</p> <p>CLIENT: Franklin County Human Services</p> <p>LOCATION: Apalachicola, Florida</p> <p>PROJECT NUMBER: 2018-001</p>	<p>OWNER: FRANKLIN COUNTY HUMAN SERVICES CENTER</p> <p>ARCHITECT: GILCHRIST CROSS GROVE ARCHITECTS</p> <p>SCALE: 1/8" = 1'-0"</p> <p>DATE: 08/14/2018</p>	<p>DISC Village Franklin County Human Services Center - Office Building for Franklin County Human Services</p> <p>Apalachicola, Florida</p> <p>GIS Project Number: 2018-001</p>		<p>PROJECT NUMBER: 2018-001</p> <p>DATE: 08/14/2018</p> <p>SCALE: 1/8" = 1'-0"</p> <p>DATE: 08/14/2018</p>	<p>SHEET</p> <p>A3.21</p>

Small text at the bottom of the page, likely a disclaimer or copyright notice.

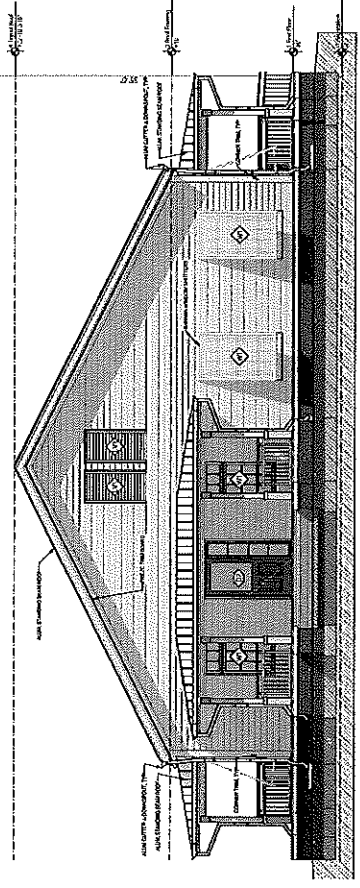
APALACHICOLA HISTORIC ARCHITECTURE:  
FRAME VERNACULAR



1" = 1/8" (Vertical Scale)  
1" = 16' (Horizontal Scale)

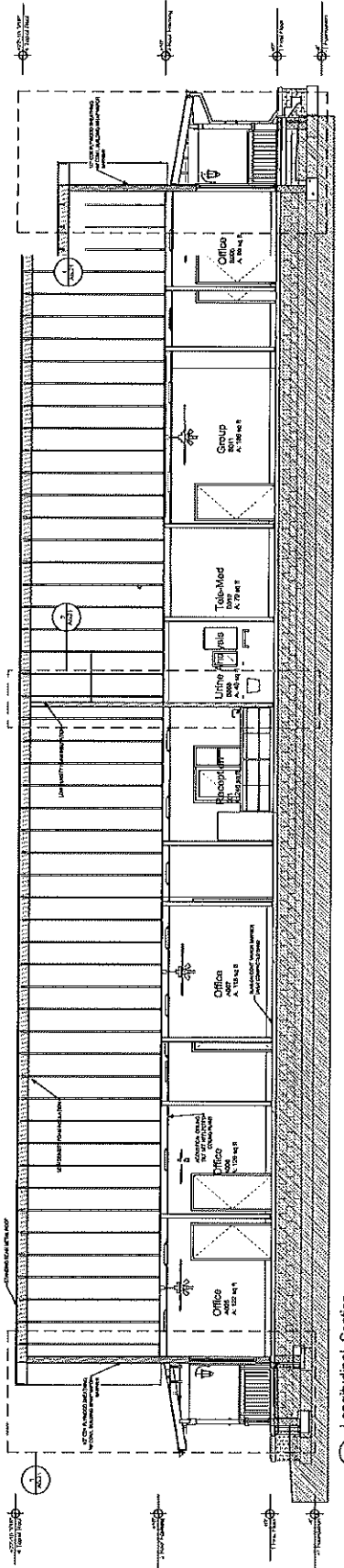


1 South Elevation

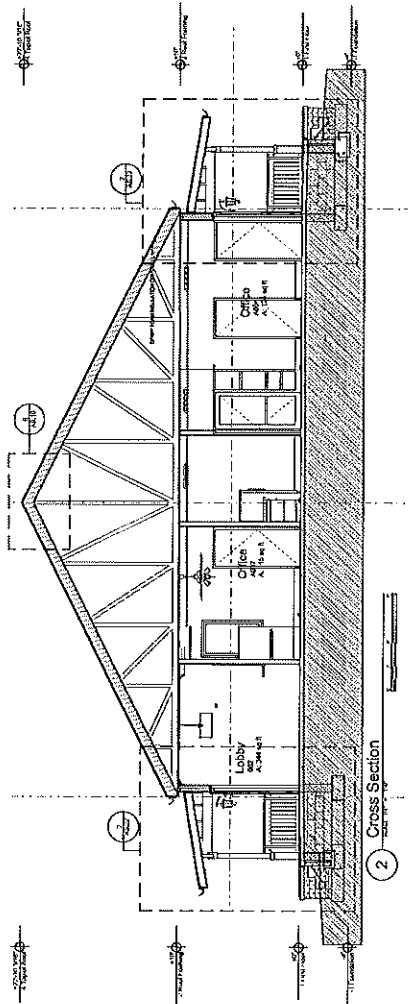


2 West Elevation

<p>DISC Village Franklin County Humana Services Center - Office Building for Franklin County Humana Services</p> <p>Apalachicola, Florida DISC Project Number: 2005</p>	<p>WILCHRISI CROSS GROVE architects</p> <p>1011 S. MARKET STREET, TALLAHASSEE, FLORIDA 32309 TEL: 904.944.4444 FAX: 904.944.4444</p>	<p>DATE: 01/11/07 DRAWN BY: J. HARRIS CHECKED BY: J. HARRIS PROJECT NO.: 2005 SHEET NO.: 14</p>	<p>SCALE: AS SHOWN</p>
<p>DISC Project Number: 2005</p>			<p>SHEET A3.22 Exterior Elevations - S and W</p>

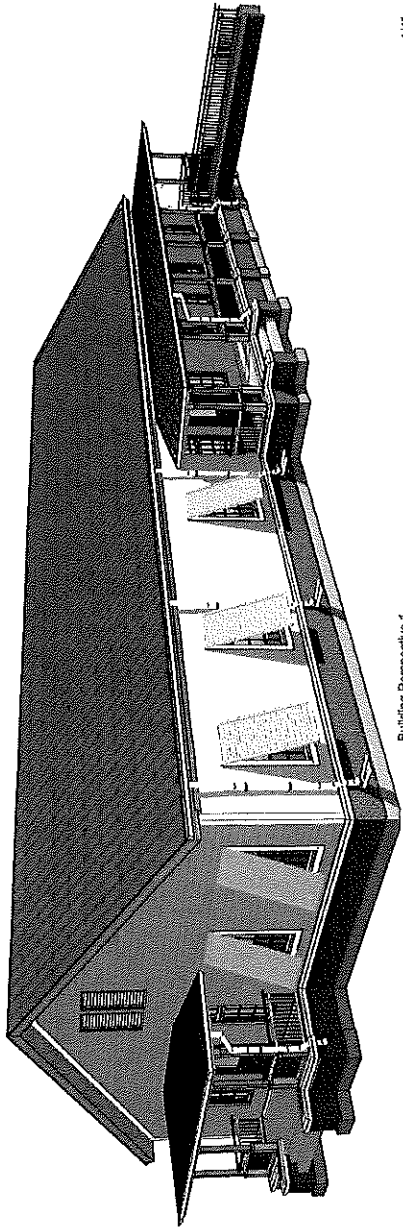


1 Longitudinal Section



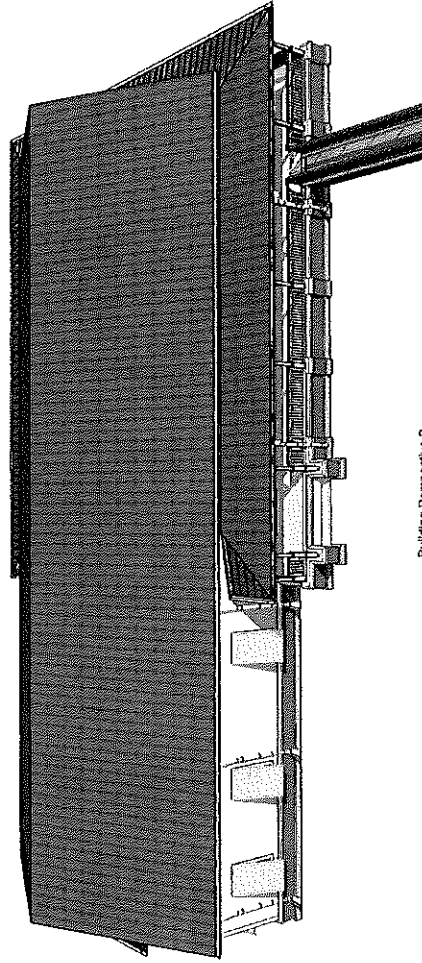
2 Cross Section

<p>DISC Village Franklin County Human Services Center - Office Building for Franklin County Human Services</p> <p>Apalachicola, Florida          DISC Project Number 2006</p>			<p>glennis gross architects</p> <p>300 W. PALM BEACH STREET, PALM BEACH, FLORIDA 33480          PHONE: 561.832.1111 FAX: 561.832.1112          WWW.GIENISGROSSARCHITECTS.COM</p>	<p>SHEET          A4.21</p>
<p>Building Section          Drawing Name          NS &amp; EW          Building          Longitudinal Sections</p>				



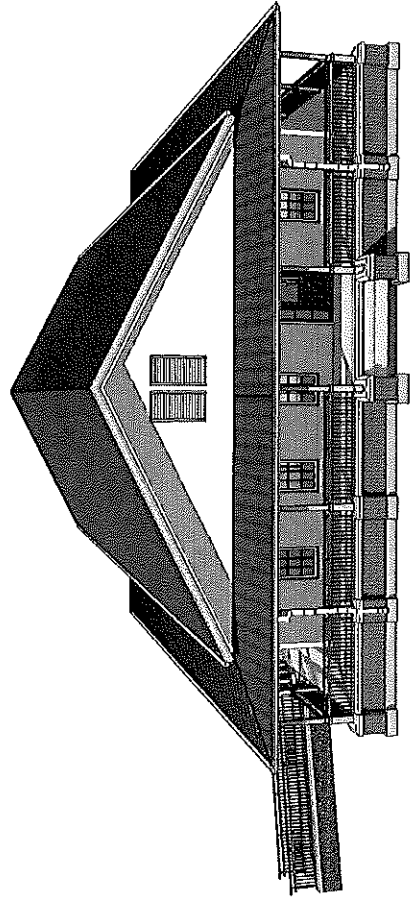
1/4" = 1'-0"

Building Perspective 1



1/4" = 1'-0"

Building Perspective 2



1/4" = 1'-0"

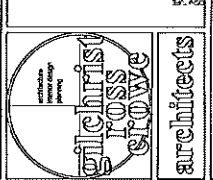
Building Perspective 3

DATE: 01/11/11

PROJECT: DISC Village Franklin County Human Services Center - Office Building for Franklin County Human Services

NO.	DESCRIPTION	DATE
1	PRELIMINARY	01/11/11
2	REVISED	01/11/11
3	REVISED	01/11/11
4	REVISED	01/11/11
5	REVISED	01/11/11
6	REVISED	01/11/11
7	REVISED	01/11/11
8	REVISED	01/11/11
9	REVISED	01/11/11
10	REVISED	01/11/11
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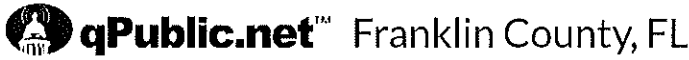
DISC Village Franklin County Human Services Center - Office Building for Franklin County Human Services  
 Apalachicola, Florida  
 DISC Project Number 2006



1000 W. 10TH STREET, TALLAHASSEE, FLORIDA 32301  
 TEL: 904.438.1100  
 WWW.GILCHRISTCROSSGROVE.COM

SHEET  
**A9.11**  
 Roof Details  
 DRAWING NAME  
 Colored  
 Perspectives





**Parcel Summary**

Parcel ID 01-09S-08W-8330-0073-0010  
 Location Address 150 10TH STREET  
 Brief BL 73 ALL OF LOTS 2,3,4,5,6, 7, AND 8 PARTS OF LOTS 1,9,AND 10 AND PART OF 11TH ST AND AVE H AND PART OF ALLEY OR 147/130 174/309  
 Tax Description\* 434/107 674/247 782/388 1265/64  
 \*The Description above is not to be used on legal documents.  
 Property Use NON-PROFIT (007500)  
 Code  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 20.8391  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Woodville Properties, Inc.  
 3333 West Pensacola Street  
 Suite 300  
 Tallahassee, FL 32304

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
007310	NURS HOME	300.00	FF	0	0
007310	NURS HOME	240.00	FF	0	0
007310	NURS HOME	60.00	FF	0	0

**Residential Buildings**

**Building 1**  
 Type NURS HOME  
 Total Area 10,794  
 Heated Area 10,184  
 Exterior Walls CONC BLOCK  
 Roof Cover BUILT-UP  
 Interior Walls MINIMUM  
 Frame Type NONE  
 Floor Cover HARDTILE  
 Heat NONE  
 Air Conditioning NONE  
 Bathrooms 0  
 Bedrooms 0  
 Stories 0  
 Effective Year Built 1980

**Building 2**  
 Type NURS HOME  
 Total Area 12,152  
 Heated Area 12,064  
 Exterior Walls CONC BLOCK  
 Roof Cover BUILT-UP  
 Interior Walls MINIMUM  
 Frame Type NONE  
 Floor Cover HARDTILE  
 Heat NONE  
 Air Conditioning NONE  
 Bathrooms 0  
 Bedrooms 0  
 Stories 0  
 Effective Year Built 1980

**Extra Features**

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0570	CON WALK	1	0 x 0 x 0	112	UT	0

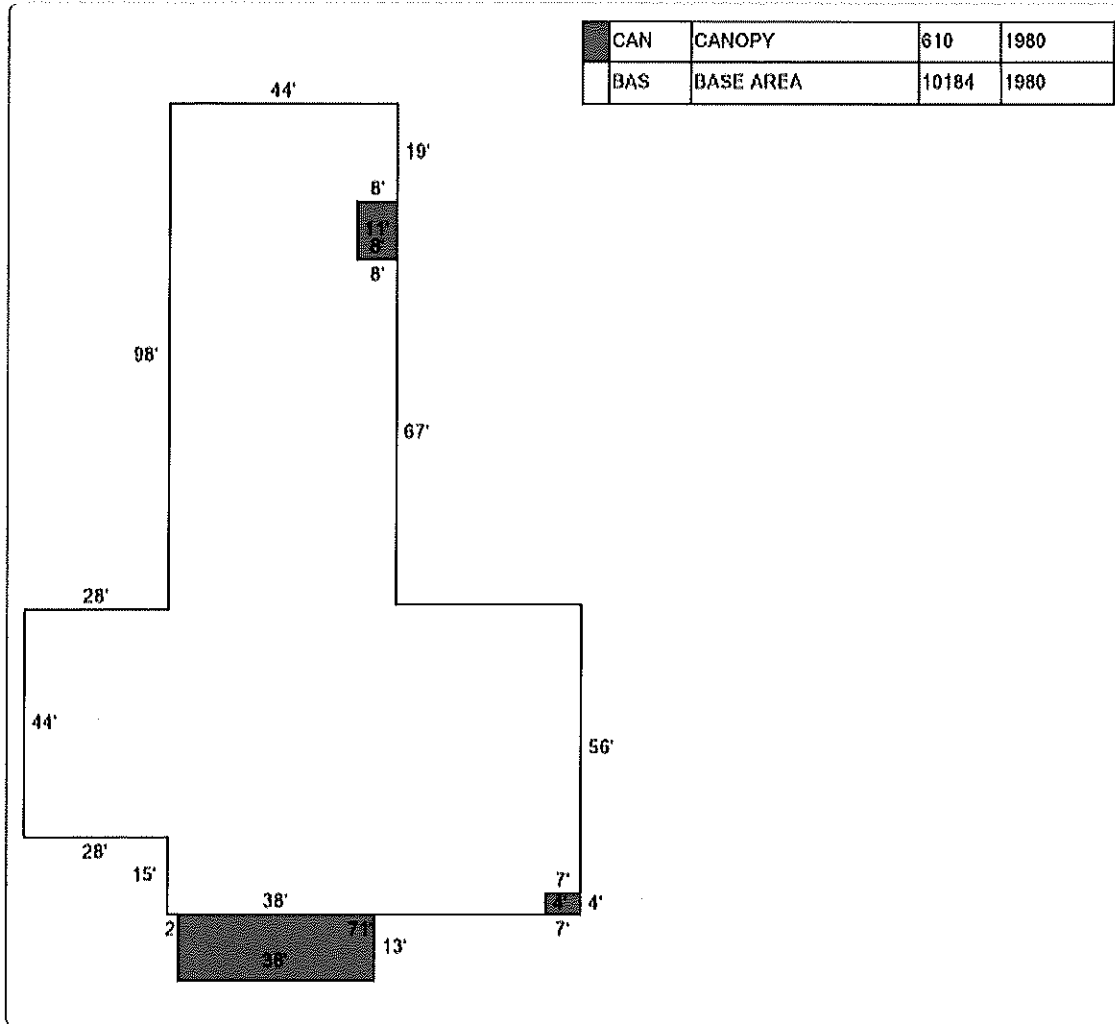
**Sales**

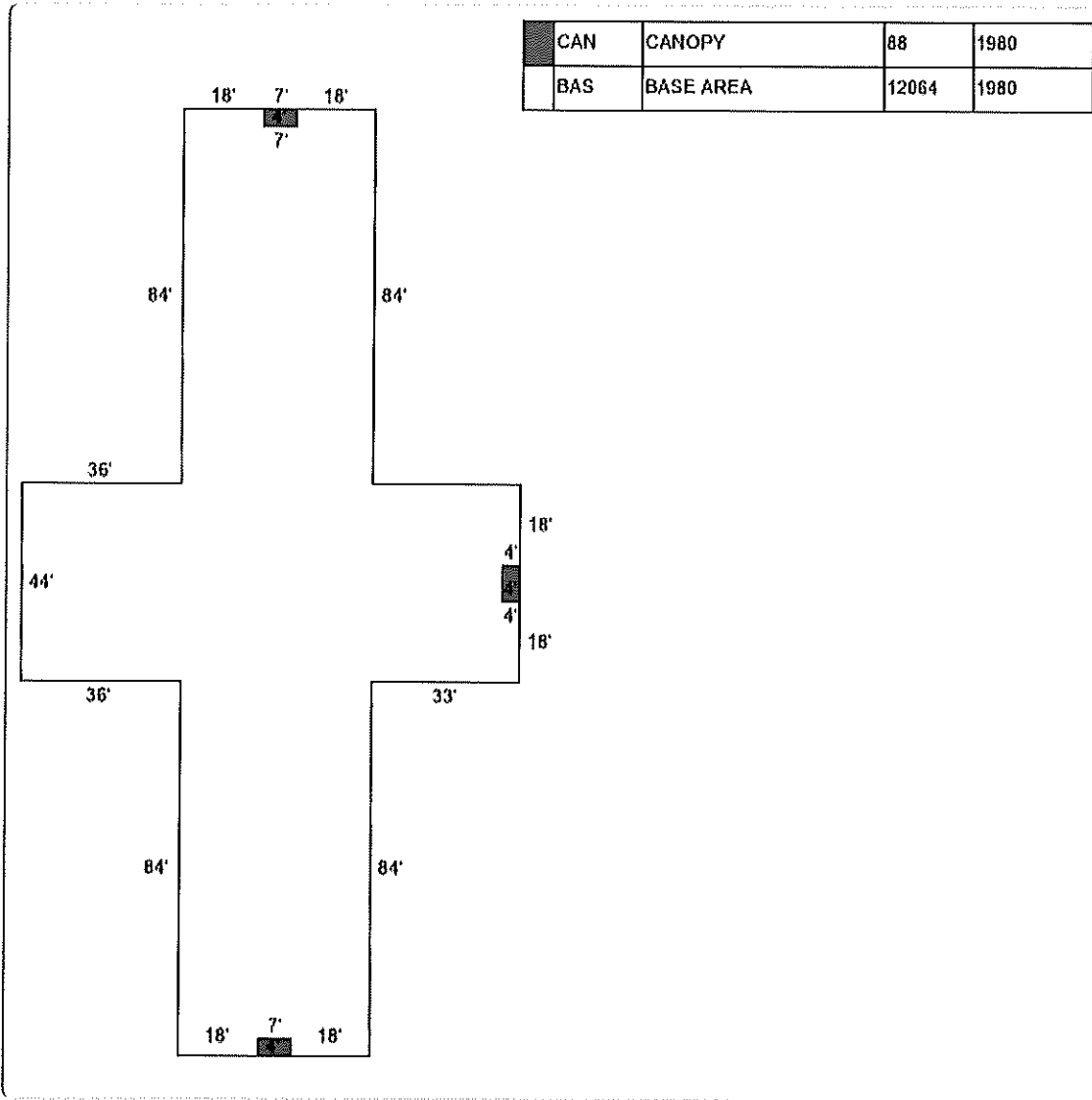
Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	05/13/2020	\$285,000	WD	1265	64	Unqualified (U)	Improved	THE LOVE CENTER HOLINESS CHURCH OF THE LIVING	WOODVILLE PROPERTIES, INC
N	03/30/2004	\$150,000	WD	782	388	Qualified (Q)	Improved	SENIOR CARE PROPERTY	THE LOVE CENTER HOLINESS CHURCH OF THE LIVING
N	12/01/1993	\$1,020,000	WD	434	107	Qualified (Q)	Improved	GULFSIDE ASSOCIATES	SENIOR CARE PROPERTY
N	02/01/1978	\$100	WD	147	130	Unqualified (U)	Vacant		

**Valuation**

An error has occurred while trying to display this part of the page.  
We apologize for any inconvenience.

**Sketches**





No data available for the following modules: Commercial Buildings, TRIM Notice 2020, TRIM Notice 2019.

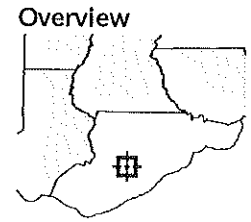
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)  
[GDPR Privacy Notice](#)

Last Data Upload: 11/23/2020, 7:49:21 AM

Version 2.3.95



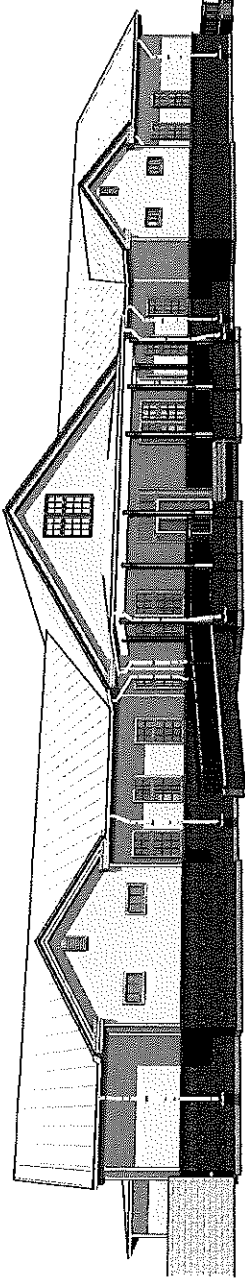


- Legend**
-  Parcels
  -  Roads
  -  City Labels

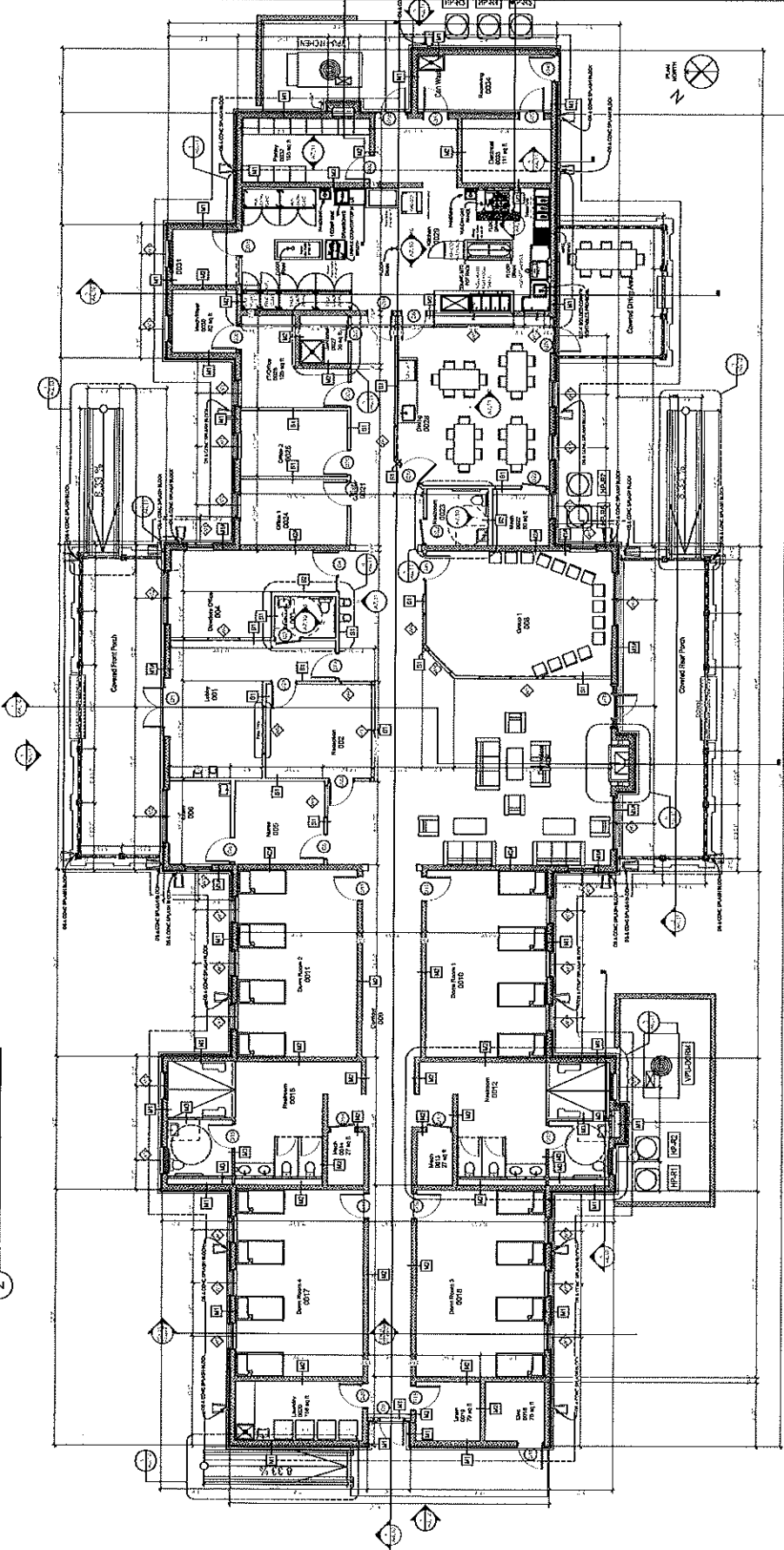
Parcel ID	01-09S-08W-8330-0073-0010	Alternate ID	08W09S01833000730010	Owner Address	WOODVILLE PROPERTIES, INC.
Sec/Twp/Rng	1-9S-8W	Class	NON-PROFIT		3333 WEST PENSACOLA STREET
Property Address	150 10TH STREET	Acreage	n/a		SUITE 300
					TALLAHASSEE, FL 32304
District	3				
Brief Tax Description	BL 73 ALL OF LOTS 2,3,4,5,6, (Note: Not to be used on legal documents)				

Date created: 11/23/2020  
 Last Data Uploaded: 11/23/2020 7:49:21 AM

Developed by  Schneider  
 GEOSPATIAL



2 Building Perspective at NE Corner



1 First Floor Plan

CONTENTS

NO.	DESCRIPTION	SHEET NO.
1	First Floor Plan	A1.11
2	Building Perspective at NE Corner	A1.12

DISC Village Franklin  
County Human Services  
Center -  
Residential Building  
for  
Franklin County Human  
Services  
150 10th Street Apalachicola, Florida  
32309  
GFC Project Number 2005



Architectural Firm Plans  
DRAWING NAME  
First Floor Plan  
SHEET  
A1.11



Tammy Owens &lt;cityofapalachicola@gmail.com&gt;

---

**Project: DISC Village Franklin County Human Services Center**

1 message

Tony Peoples &lt;TPeoples@mfe-inc.com&gt;

Wed, Nov 4, 2020 at 9:18 AM

To: "Tammy Owens (cityofapalachicola@gmail.com)" &lt;cityofapalachicola@gmail.com&gt;

Good morning Ms. Owens

I'm emailing you about a new commercial construction project that I am doing a plumbing design for - **DISC Village Franklin County Human Services Center**. The address is 150 10th Street Apalachicola, Florida 32320.

In particular I have a few questions about the kitchen design for the Residential Building for this project. It is a 16 bed facility with a full service kitchen (please see attached floor plan).

- The owner wants gas-fired tankless water heaters. For the kitchen, will you require that the hot water system be sized for a 100 degree temperature rise? Or would we just need to provide 140 degree water and size the system based on the design groundwater temperature for you city (I have that as being 73 degrees F)? In this case I would have a 52 degree temperature rise.
- Based on the kitchen layout, can I safely assume that I would need an external mounted grease interceptor, size based on the requirements of the Florida Administrative Code?
- Will you require that the commercial dishwasher be drained to the grease system, or to the sanitary waste system?

Thank you, and I look forward to your response.

**IMPORTANT: McGinniss & Fleming offices are open, however we are implementing a policy of reduced personnel in the office and our staff are telecommuting in an effort to mitigate the spread of COVID-19. During this time we will rely heavily on email communication. Please be aware that voicemails may not be returned until the office returns to normal operations. We encourage you to maintain contact with us via email. Thank you for your patience and understanding.**

Tony Peoples, Mechanical Designer

McGinniss & Fleming Engineering, Inc.

820 East Park Avenue, Suite I-200

Tallahassee, Florida 32301

850.681.6424 ext. 2#

#9

M. Ray

166 13<sup>th</sup> St - New Home

CITY OF APALACHICOLA  
 CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT ONLY-

Official Use Only

Application # \_\_\_\_\_  
 City Representative \_\_\_\_\_  
 Date Received \_\_\_\_\_

OWNER INFORMATION

Owner: Mellissie Ray & Willie Smith  
 Address: 152 20th ST  
 City: Apalachicola State: FL Zip: 32320  
 Phone: (850) 323-0874

CONTRACTOR INFORMATION

Contractors Name: America's Home Place  
 State License # \_\_\_\_\_ City License # \_\_\_\_\_  
 Email Address: s.brett@america'shomeplace.com  
 Phone: (850) 309-0800

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date: \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other \_\_\_\_\_

PROPERTY INFORMATION:

Street Address: 166 13th ST City & State: Apalachicola Zip: 32320

Historic District  Non-Historic District Zoning District: \_\_\_\_\_

Parcel #: 01-095-08W-8330-0139-0030 Block(s): 139 Lot(s): 3

FEMA Flood Zone/Panel #: 120089  
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25 Sides: 15' Lot Coverage: 1397

Water Available: Yes Sewer Available: Yes Taps Paid: Yes

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval

\_\_\_\_\_  
 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCL.

Trummy Owens  
 Permitting and Development Coordinator  
 (850) 658-1522  
[cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com)



Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

*NEW construction, single family, 4,397 sq. ft.  
 under roof. 3 BR 2 bath. Frame built on  
 site construction*


Project Scope	Manufacturer	Product Description	FL Product Approval #
Sliding	<i>Royal Crest</i>	<i>Vinyl siding</i>	
Doors		<i>solid insulated fiberglass</i>	
Windows		<i>double pane Low-E, Argon gas</i>	
Roofing	<i>Certaineed</i>	<i>30 yr. Architectural asphalt shingle</i>	
Trim	<i>Royal Crest</i>	<i>Vinyl siding</i>	
Foundation		<i>monolithic cement pad</i>	
Shutters		<i>Vinyl raised panel</i>	
Porch/Deck		<i>CEMENT</i>	
Fencing	<i>N/A</i>		
Driveways/Sidewalks	<i>N/A</i>		
Other	<i>N/A</i>		

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

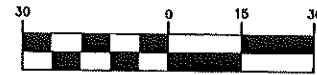
1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submitted may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

11-30-2020  
DATE

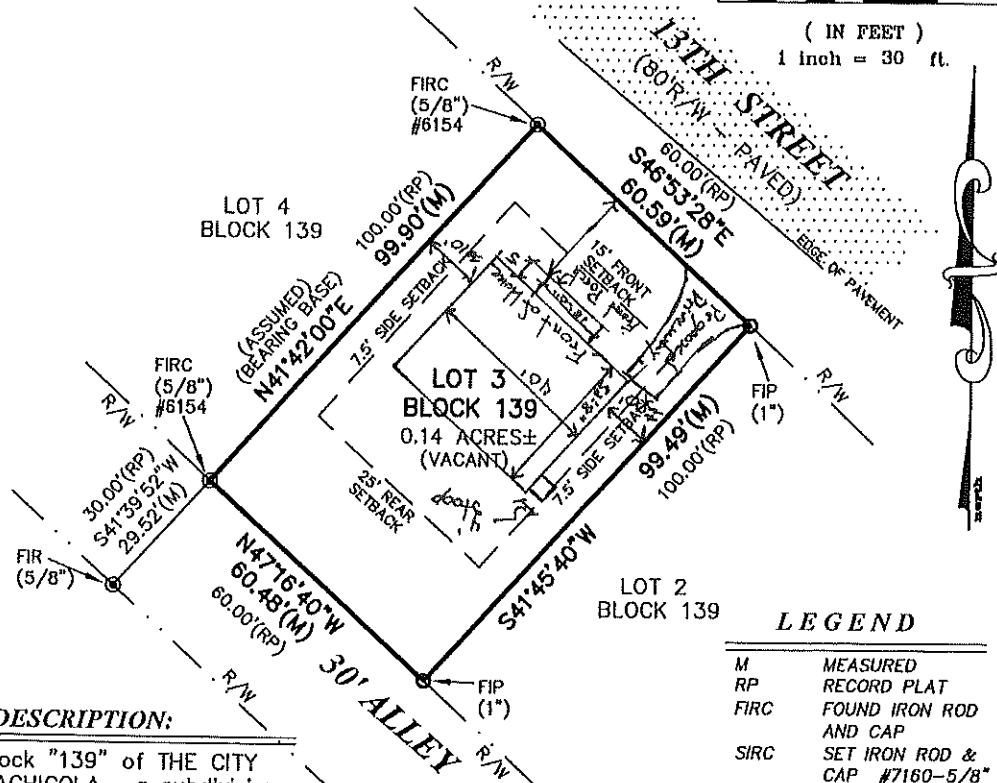
  
SIGNATURE OF APPLICANT

**PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
MELISSE RAY**

**GRAPHIC SCALE**



( IN FEET )  
1 inch = 30 ft.



**LEGAL DESCRIPTION:**

Lot 3, Block "139" of THE CITY OF APALACHICOLA, a subdivision as per map or plat in common use on file at the Clerk of the Circuit Office in Franklin County, Florida

**NOTES:**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northwestern boundary of subject parcel having an assumed bearing of North 41 degrees 42 minutes 00 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.
8. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.

*I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 6J-17.0517.052).*

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

*James T. Roddenberry*  
JAMES T. RODDENBERRY  
Surveyor and Mapper  
Florida Certificate No: 4201

**LEGEND**

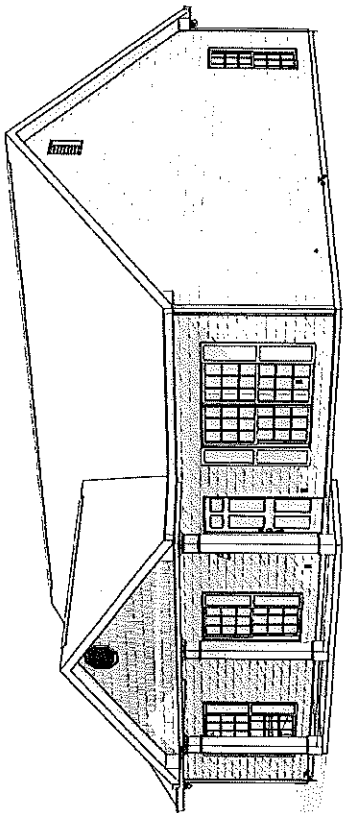
M	MEASURED
RP	RECORD PLAT
FIRC	FOUND IRON ROD AND CAP
SIRC	SET IRON ROD & CAP #7160-5/8"
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
R/W	RIGHT-OF-WAY
---	NOT TO SCALE
△	POINT NOT SET OR FOUND
⊕	POWER POLE

**FLOOD ZONE INFORMATION:**

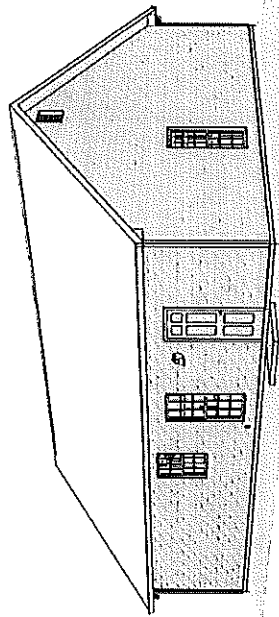
Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0526F index date: February 5, 2014, Franklin County, Florida.

<b>TR &amp; A</b>	<b>Thurman Roddenberry &amp; Associates, Inc.</b>		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 160 • 125 SHELTON STREET • SOPCHOPPY, FLORIDA 32355 PHONE NUMBER: 919-982-2338 FAX NUMBER: 919-982-1103 LD # 7160		
DATE: 11/16/20	DRAWN BY: BB	N.B.641 PG.07	COUNTY: FRANKLIN
FILE: 20939.DWG	DATE OF LAST FIELD WORK: 11/13/20	CHECKED BY: SD	JOB NUMBER: 20-939

SHEET LIST - DESIGN	
SHEET NUMBER	SHEET NAME
DP-0	DESIGN COVER SHEET
DP-1	FRONT & REAR ELEVATIONS
DP-2	LEFT & RIGHT ELEVATIONS
DP-3	FLOOR PLAN
DP-4	ELECTRICAL PLAN



① FRONT PERSPECTIVE - DESIGN



② REAR PERSPECTIVE - DESIGN


THESE FINAL DESIGN PLANS ARE INTENDED TO SHOW LAYOUT AND STYLE ONLY. ACTUAL DIMENSIONS MAY VARY SLIGHTLY. GRADE SHOWN IS FOR INFORMATION ONLY. OWNER AND CONTRACTOR MUST NECESSARILY REFLECT FINAL GRADE, SIZE, AND LOCATION OF ALL STRUCTURES. APPROVAL AND ACCEPTANCE OF THESE FINAL DESIGN PLANS IS THE RESPONSIBILITY OF THE OWNER.

OWNER SIGNATURE \_\_\_\_\_

OWNER SIGNATURE \_\_\_\_\_

CREATION DATE: \_\_\_\_\_


OWNER AND CONTRACTOR AGREE THAT THESE SIGNED FINAL DESIGN PLANS SHALL SUPERSEDE ANY PREVIOUSLY SIGNED FINAL DESIGN PLANS.

<b>DESIGN COVER SHEET</b> PROPERTY OF: 		<b>DP-0</b> SHEET NUMBER:		SCALE: 1" = 16'-0"	
JOB NO: 43-18-038		DRAWN BY:		CHECKED BY:	
FOUNDATION TYPE: MONOSLAB		PRINT DATE: 07/23/18		FOUNDATION TYPE:	
OFFICE: SALES OFFICE		SOLO BY:		TOTAL UNCOVERED: 1 18 SF	
AREAS:		COVERED PORCH: 90 SF		TOTAL UNDER ROOF: 1,397 SF	
FIRST FLOOR HEATED: 1,307 SF		TOTAL UNDER ROOF: 1,397 SF		TOTAL UNCOVERED: 1 18 SF	
REVISIONS:		REVISION DESCRIPTION:		REVISION DATE:	

TO REPORT COPYRIGHT VIOLATIONS CALL (770) 525-1228 THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF AMERICA'S HOME PLACE, INC. IS IN VIOLATION OF THE FEDERAL COPYRIGHT VIOLATION ACT. \$100 REWARD FOR RECOVERING AN ACTUAL COPYRIGHT INFRINGEMENT. ALL RIGHTS RESERVED. NOTE: VIOLATORS OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLACE AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION.

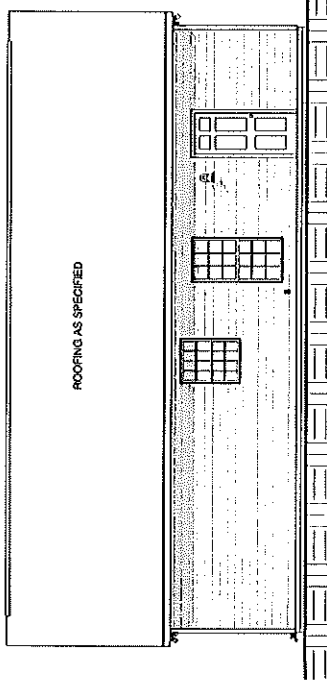
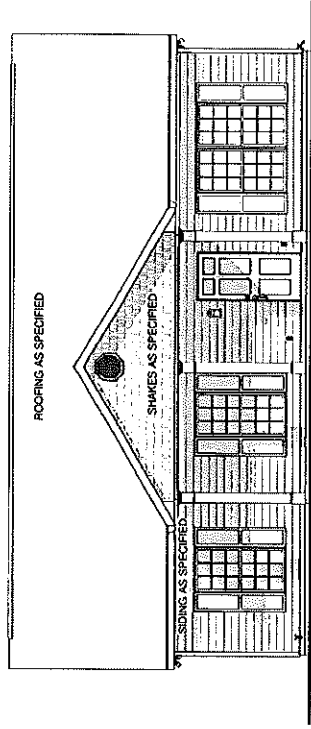
OUT PAPER SIZE: 11x17 - 1/8" ENLARGE PAPER SIZE ENLARGE PRINTS TO 200%.

FINAL DESIGN SET

<b>FRONT &amp; REAR ELEVATIONS</b>  DP-1 SHEET NUMBER: _____ PROPERTY OF: _____ DRAWN BY: JOSE CHECKED BY: _____ PRINT DATE: 11.26.18 EQUATION TYPE: MONOSLAB UNLESS OTHERWISE NOTED	OFFICE: SALES OFFICE BC
	AREA: FIRST FLOOR HEATED: 1,307 SF COVERED PORCH: 20 SF TOTAL UNDER ROOF: 1,327 SF TOTAL UNCOVERED: 18 SF RATIO: _____

THESE FINAL DESIGN PLANS ARE INTENDED TO SHOW LAYOUT AND FINISH CONDITIONS INCLUDING BUT NOT LIMITED TO: GRADE, GRADE CHANGES, SLOPES, ELEVATIONS, FINISHES, MATERIALS, AND DIMENSIONS. THESE PLANS DO NOT NECESSARILY REFLECT FINAL GRADE. SIGNATURE INDICATES APPROVAL AND ACCEPTANCE OF THESE FINAL DESIGN PLANS.
OWNER SIGNATURE _____ CREATION DATE: _____ OWNER AND CONTRACTOR AGREE THAT THESE SIGNED FINAL DESIGN PLANS SHALL SUPERSEDE ANY PREVIOUSLY SIGNED FINAL DESIGN PLANS.

THESE FINAL DESIGN PLANS ARE INTENDED TO SHOW LAYOUT AND FINISH CONDITIONS INCLUDING BUT NOT LIMITED TO: GRADE, GRADE CHANGES, SLOPES, ELEVATIONS, FINISHES, MATERIALS, AND DIMENSIONS. THESE PLANS DO NOT NECESSARILY REFLECT FINAL GRADE. SIGNATURE INDICATES APPROVAL AND ACCEPTANCE OF THESE FINAL DESIGN PLANS.
OWNER SIGNATURE _____ CREATION DATE: _____ OWNER AND CONTRACTOR AGREE THAT THESE SIGNED FINAL DESIGN PLANS SHALL SUPERSEDE ANY PREVIOUSLY SIGNED FINAL DESIGN PLANS.

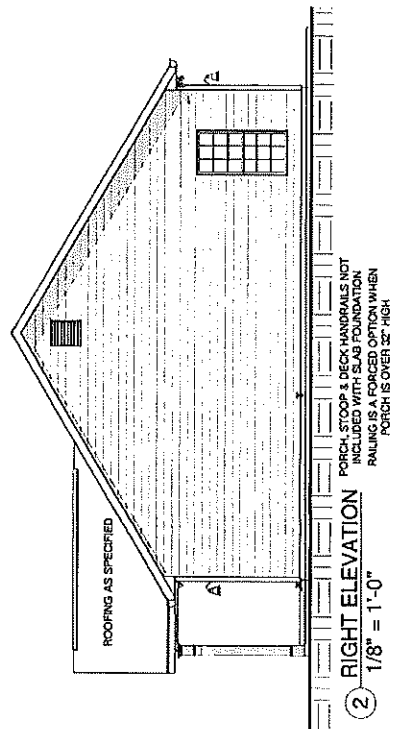
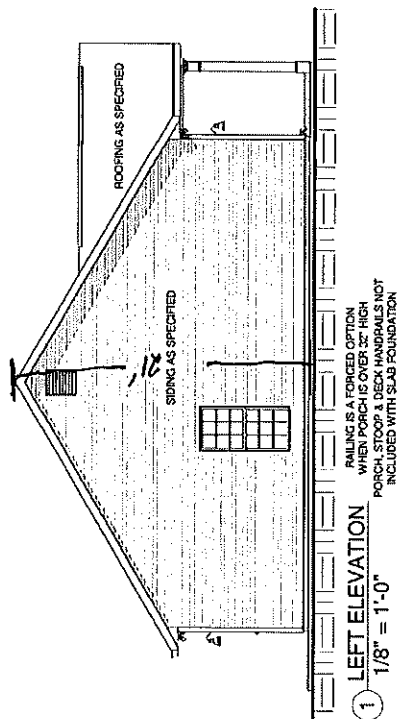


TO REPORT COPYRIGHT VIOLATIONS CALL (770) 333-1128 THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF "AMERICAN HOME PLANS, INC." IS IN VIOLATION OF THE FEDERAL COPYRIGHT ACT. OUR REVIEWER HAS REVIEWED FOR ACTUAL COPYRIGHT INFRINGEMENT. ALL RIGHTS RESERVED. NOT TO BE REPRODUCED WITHOUT PERMISSION.

GET PAPER SIZE: 1/8" = 1'-0" PER 2006 RADER SIZE ENLARGE PRINTS TO 2006

**FINAL DESIGN SET**

peak height is 21'



THESE FINAL DESIGN PLANS ARE INTENDED TO SHOW LAYOUT AND STYLE ONLY. ACTUAL DIMENSIONS MAY VARY SLIGHTLY. GRADE SHOWN IS AN APPROXIMATION. DIMENSIONS DO NOT NECESSARILY REFLECT FINAL GRADE. SIGNATURE INDICATES APPROVAL AND ACCEPTANCE OF THESE FINAL DESIGN PLANS.

OWNER SIGNATURE \_\_\_\_\_

OWNER SIGNATURE \_\_\_\_\_

CREATION DATE \_\_\_\_\_


OWNER AND CONTRACTOR AGREE THAT THESE SIGNED FINAL DESIGN PLANS SHALL SUPERSEDE ANY PREVIOUSLY SIGNED FINAL DESIGN PLANS.

<b>LEFT &amp; RIGHT ELEVATIONS</b> COPYRIGHT © 2018 		<b>DP-2</b> SHEET NUMBER SCALE: 1/8" = 1'-0" PAPER SIZE: 11" x 17"
DRAWN BY: 43-18-038 CHECKED BY: 2x4 FOUNDATION TYPE: MONOSLAB 11/2018 8:03 PM	DATES: 43-18-038 2x4 MONOSLAB	OFFICE: SALES OFFICE SOLD BY: 80
FIRST FLOOR HEATED: 1,507 SF COVERED PORCH: 90 SF TOTAL UNDER ROOF: 1,597 SF PAINT: 16 SF TOTAL UNCOVERED: 1 18 SF	AREAS:	REVISION SCHEDULE REVISION REVISION REVISION

GET PAPER SIZE: 10.116" x 15.250" ON 24" x 36" PAPER. SIZE ENLARGE PRINTS TO 200%.

**FINAL DESIGN SET**

TO REPORT COPYRIGHT VIOLATIONS CALL (773) 318-1108. THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF "AMERICAN HOME PLANS, INC." IS IN VIOLATION OF THE FEDERAL COPYRIGHT ACT. IF YOU REWARD FOR RECOVERING AN ACTUAL COPYRIGHT INFRINGEMENT. © COPYRIGHT ALL RIGHTS RESERVED. NOTE: VIOLETS OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICAN HOME PLANS, INC. AND MUST BE REPRODUCED WITHOUT PERMISSION.

<b>FLOOR PLAN</b> SHEET NUMBER: <b>DP-3</b> SCALE: 1/8" = 1'-0" PAPER SIZE: 11" x 17"		PROPERTY OF:  PRINT DATE: 11-09-2018 9:40 PM FOUNDATION TYPE: MONOSLAB CHECKED BY: UNLESS OTHERWISE NOTED DRAWN BY: 43-18-038 JOB#:	OFFICE: SALES OFFICE SOLD BY: BC FLOOR: 1 TOTAL UNCOVERED: 1 18 SF PATIO 18 SF COVERED PORCH 30 SF TOTAL W/DECK ROOF 1,397 SF FIRST FLOOR HEATED 1,307 SF	THE: <b>FORD B</b> AREAS:	REVISION REVISION DESCRIPTION DATE
--	--	--	--	------------------------------	--

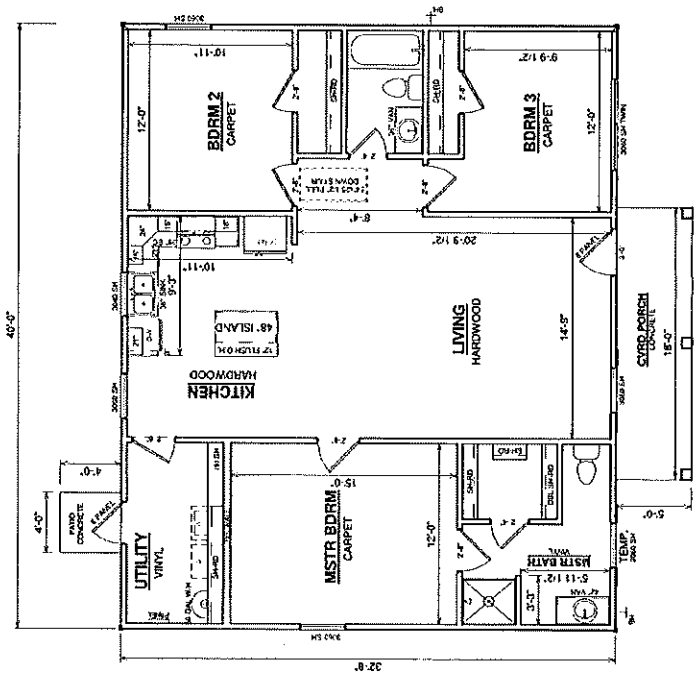
THESE FINAL DESIGN PLANS ARE INTENDED TO SHOW LAYOUT AND DIMENSIONS. DIMENSIONS MAY VARY SLIGHTLY. GRADE SHOWINGS FOR REVISIONS ARE NOT NECESSARILY NECESSARILY REFLECT FINAL GRADE. SIGNATURE INDICATES APPROVAL AND ACCEPTANCE OF THESE FINAL DESIGN PLANS.

OWNER SIGNATURE \_\_\_\_\_

OWNER SIGNATURE \_\_\_\_\_

CREATION DATE \_\_\_\_\_

OWNER AND CONTRACTOR AGREE THAT THESE SIGNED FINAL DESIGN PLANS SHALL SUPERSEDE ANY PREVIOUSLY SIGNED FINAL DESIGN PLANS.



1 FIRST FLOOR PLAN  
 1/8" = 1'-0"

GET PAPER SIZE: 11" x 17" - 25.00 x 35.00 - PAPER SIZE ENLARGE PRINTS TO 2018

TO REPORT COPYRIGHT VIOLATIONS CALL (770) 222-1108 THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF "AMERICAN HOME PLANS, INC." IS IN VIOLATION OF THE FEDERAL COPYRIGHT ACT. EACH REVISION FOR REVISIONS IS AN ACTUAL COPYRIGHT INFRINGEMENT. © COPYRIGHT ALL RIGHTS RESERVED. NOT TO BE REPRODUCED WITHOUT PERMISSION.

FINAL DESIGN SET







### Parcel Summary

Parcel ID 01-09S-08W-8330-0139-0030  
 Location Address 32320  
 Brief Tax Description\* BL 139 LOT 3 OR 109/391 OR 163/211 466/71 581/672 637/352 643/217  
 \*The Description above is not to be used on legal documents.  
 Property Use Code VACANT (000000)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 20.8391  
 Acreage 0.000  
 Homestead N

[View Map](#)

### Owner Information

Primary Owner  
[Pdb Sherman Properties Ltd](#)  
 2604 Lucerne Dr  
 Tallahassee, FL 323032212

### Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000188	SFR CHAPMAN/APALACH	60.00	FF	0	0

### Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	07/06/2000	\$896,000	WD	643	217	Unqualified (U)	Vacant	SHERMAN	PDB SHERMAN PROPERTIES LTD
N	04/12/2000	\$12,500	WD	637	352	Qualified (Q)	Vacant	APALACHICOLA RENAISSANCE	SHERMAN
N	08/22/1994	\$5,500	WD	466	71	Qualified (Q)	Vacant	MYERS	VAIL

### Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$24,000	\$24,000	\$24,000	\$30,000	\$18,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$24,000	\$24,000	\$24,000	\$30,000	\$18,000
Assessed Value	\$24,000	\$23,958	\$21,780	\$19,800	\$18,000
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$24,000	\$23,958	\$21,780	\$19,800	\$18,000
Maximum Save Our Homes Portability	\$0	\$42	\$2,220	\$10,200	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

### TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

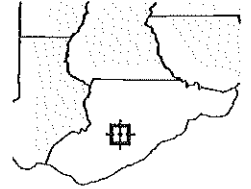
### TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)




No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0139-0030	Alternate ID	08W09S01833001390030	Owner Address	PDB SHERMAN PROPERTIES LTD
Sec/Twp/Rng	1-9S-8W	Class	VACANT		2604 LUCERNE DR
Property Address		Acreage	n/a		TALLAHASSEE, FL 32303-2212
District	3				
Brief Tax Description	BL 139 LOT 3 OR 109/391 (Note: Not to be used on legal documents)				

Date created: 12/4/2020  
 Last Data Uploaded: 12/4/2020 7:46:21 AM

Developed by  **Schneider**  
 GEOSPATIAL

#10

G. Math

Porch/Deck/Garage

**EPCI**  
**CITY OF APALACHICOLA**  
**BUILDING DEPT.**  
192 Conch Wagoner Blvd.  
**APPLICATION FOR BUILDING PERMIT**

DATE: 11/25/20 Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_ (payable to EPCI)

OWNER'S NAME: George Mehr Email: \_\_\_\_\_

ADDRESS: POB 130 Apalachicola

CITY, STATE & ZIP CODE: 32329 PHONE # \_\_\_\_\_

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: TBD Email: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: Block 112 Lot 9

PURPOSE OF PERMIT: Construct Carriage House and Deck

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  
 YES  NO

PROPERTY PARCEL ID # 01-095-08W-8360-0009-0140

LEGAL DESCRIPTION OF PROPERTY: 100FT X 230FT ADJ TO W BDRY BL 112 OR 94289 ALSO

30X100 ADJ TO LOT 9 OR 147/434 1174/625/187/193 - EASEMENT  
IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS: N/A

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or dropped off at City Hall mailbox)

**PURPOSE OF BUILDING:**

Single Family     Townhouse     Commercial     Industrial     Shed  
 Multi-Family     Swimming Pool     Storage     Sign     Pole Barn  
 Temp Pole     Demolition     Other Construct a Carriage House and Deck  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front 85 ft. Rear 120 ft L. Side 60 ft.  
R. Side 15 ft.  
Cost of Construction \$ TBD Square Footage \_\_\_\_\_  
BPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

\_\_\_\_\_  
Signature of Owner or Agent    Date

\_\_\_\_\_  
Signature of Contractor    Date

\_\_\_\_\_  
Notary as to Owner or Agent  
Date: \_\_\_\_\_

\_\_\_\_\_  
Notary as to Contractor  
Date: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

(email to: [cityofapalachicola@gmail.com](mailto:cityofapalachicola@gmail.com) or drop off in City drop box)  
(make checks payable to EPCI – 192 Coach Wagoner Blvd. Apalachicola, FL 32320)



**Parcel Summary**

Parcel ID 01-09S-08W-8360-0009-0140  
 Location Address 32320  
 Brief 100 FT X 230 FT ADJ TO WBDY BL 112 OR 94 289 ALSO 30 X 100 ADJ TO LOT 9 00/154 OR/147/434 OR/176/291 676/412 828/414 1174/625  
 Tax Description\* 1187/193-EASEMENT  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 20.8391  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
[Mahr Development Corporation](#)  
 P.O.Box 130  
 Apalachicola, FL 32329

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000130	SFR WATER	110.00	FF	0	0

**Residential Buildings**

Building 1  
 Type HISTORICAL  
 Total Area 2,201  
 Heated Area 1,470  
 Exterior Walls COMMON BRK  
 Roof Cover COMP SHNGL  
 Interior Walls DRYWALL  
 Frame Type N/A  
 Floor Cover CARPET  
 Heat AIR DUCTED  
 Air Conditioning NONE  
 Bathrooms 2  
 Bedrooms 3  
 Stories 1  
 Effective Year Built 1939

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	08/09/2016	\$375,000	WD	1174	625	Unqualified (U)	Improved	SEA DREAM	MAHR DEVELOPMENT CORP.
N	01/10/2005	\$995,000	WD	828	414	Unqualified (U)	Improved	FOUST	SEA DREAM
N	09/25/2001	\$390,000	WD	676	412	Qualified (Q)	Improved	LUNSFORD	FOUST

**Valuation**

An error has occurred while trying to display this part of the page.  
 We apologize for any inconvenience.

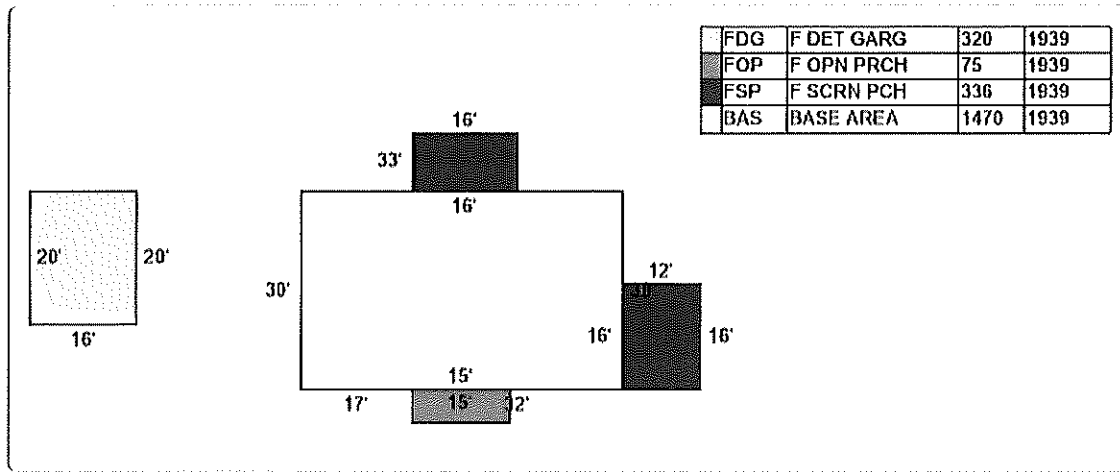
**TRIM Notice 2020**

[2020 TRIM Notice\(PDF\)](#)

**TRIM Notice 2019**

[2019 TRIM Notice\(PDF\)](#)

**Sketches**



No data available for the following modules: Commercial Buildings, Extra Features.

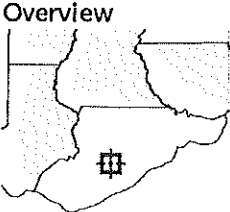
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.




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Version 2.3.95



- Legend**
-  Parcels
  -  Roads
  -  City Labels

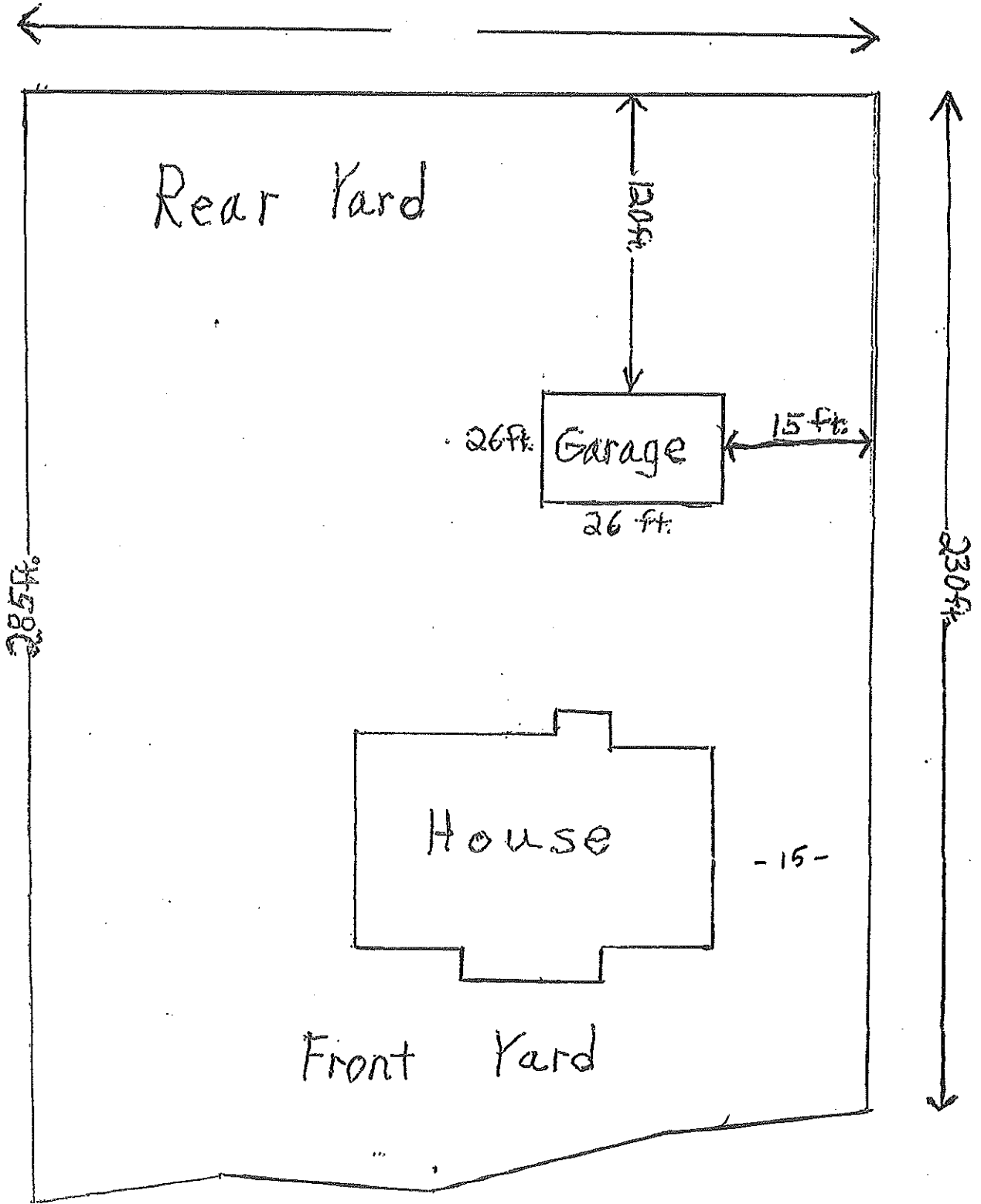
<b>Parcel ID</b>	01-09S-08W-8360-0009-0140	<b>Alternate ID</b>	08W09S01836000090140	<b>Owner Address</b>	MAHR DEVELOPMENT CORPORATION PO.BOX 130 APALACHICOLA, FL 32329
<b>Sec/Twp/Rng</b>	1-9S-8W	<b>Class</b>	SINGLE FAM		
<b>Property Address</b>		<b>Acreage</b>	n/a		
<b>District</b>	3				
<b>Brief Tax Description</b>	100 FT X 230 FT ADJ TO W (Note: Not to be used on legal documents)				

Date created: 11/23/2020  
Last Data Uploaded: 11/23/2020 7:49:21 AM

Developed by  Schneider GEOSPATIAL



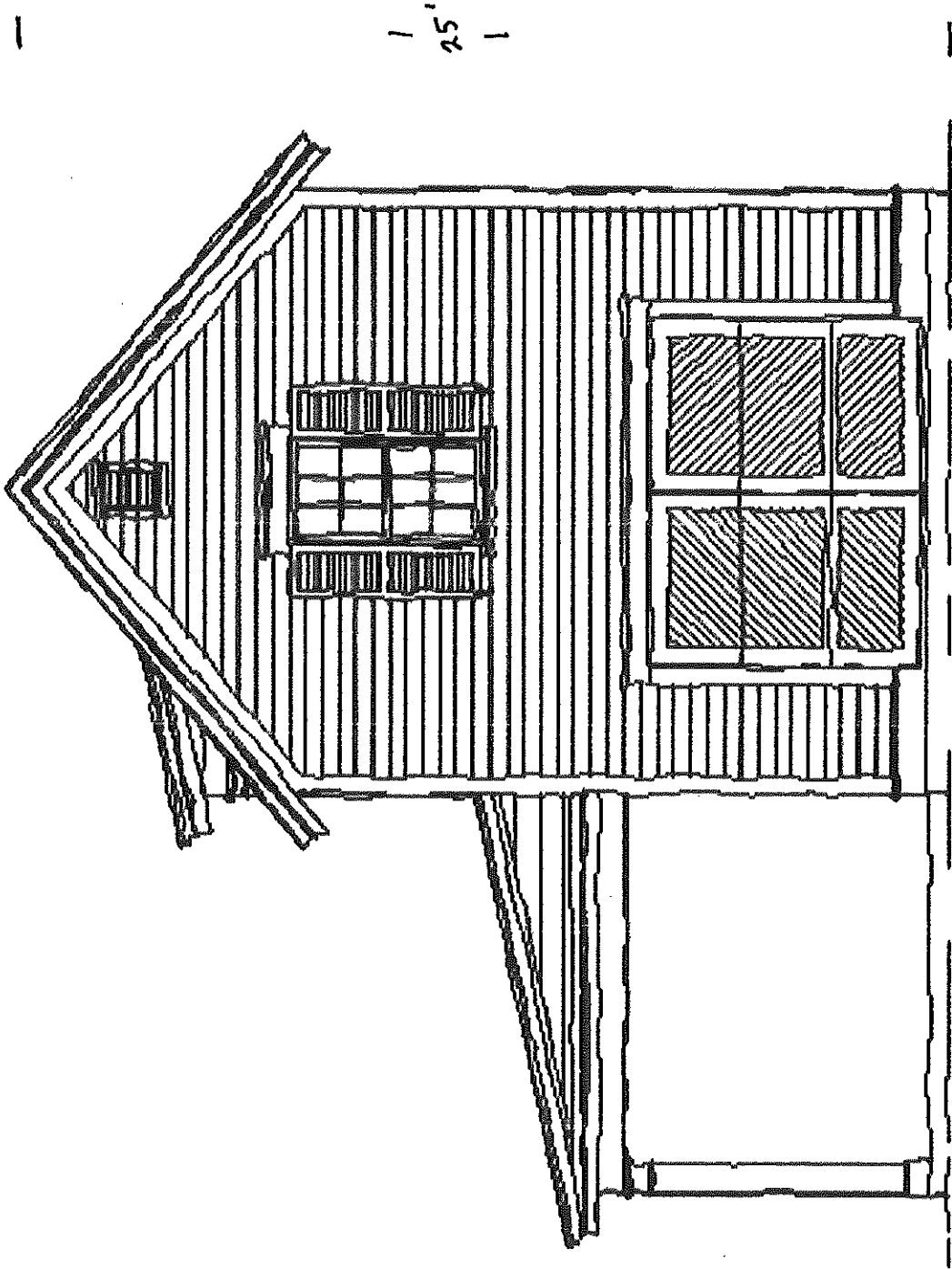
# CARRIAGE HOUSE SITE PLAN



Apalachicola Bay

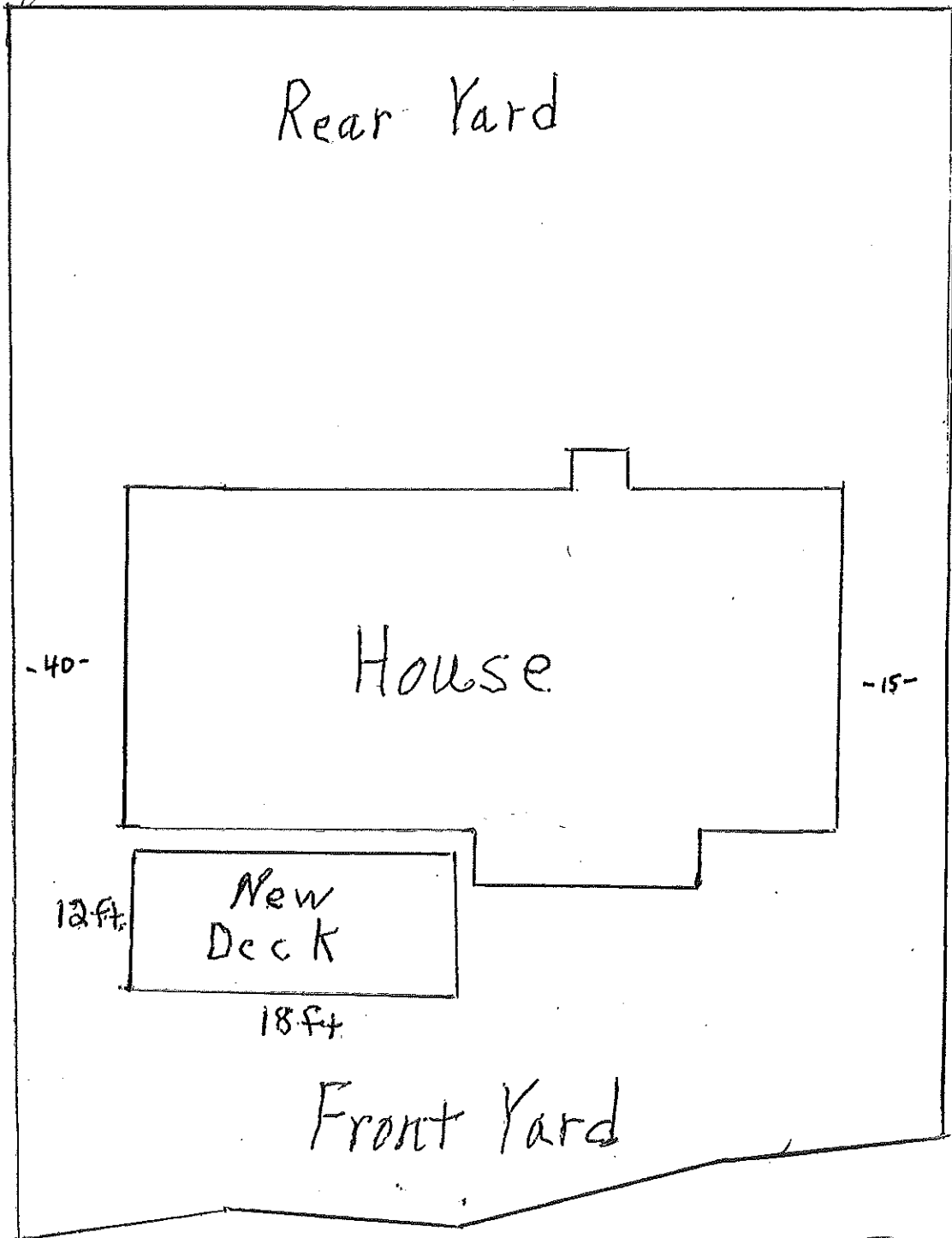


- Description of Carriage House
1. Single Car Garage w/ Studio
  2. Hardie Board Siding
  3. Architectural Black Shingle Roof
  4. Wood Clad Windows



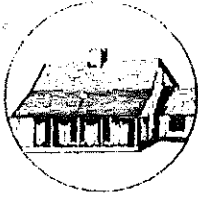
# EXTERIOR DECK

## SITE PLAN



Apalachicola Bay





**HISTORICAL STRUCTURE FORM**  
**FLORIDA MASTER SITE FILE**  
Version 5.0 3/19

Site#8 **FR01431**  
Field Date 9-30-2020  
Form Date 9-30-2020  
Recorder # \_\_\_\_\_

Original  
 Update

Shaded Fields represent the minimum acceptable level of documentation.  
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 214 AVENUE C Multiple Listing (DHR only) \_\_\_\_\_  
Survey Project Name \_\_\_\_\_ Survey # (DHR only) \_\_\_\_\_  
National Register Category (please check one)  building  structure  district  site  object  
Ownership:  private-profit  private-nonprofit  private-individual  private-nonspecific  city  county  state  federal  Native American  foreign  unknown

### LOCATION & MAPPING

Street Number 214 Direction \_\_\_\_\_ Street Name Avenue C Street Type \_\_\_\_\_ Suffix Direction \_\_\_\_\_  
Address: 214 Avenue C  
Cross Streets (nearest / between) AT END OF AVENUE C; 230' WEST OF 17TH STREET  
USGS 7.5 Map Name APALACHICOLA USGS Date 2018 Plat or Other Map \_\_\_\_\_  
City / Town (within 3 miles) APALACHICOLA In City Limits?  yes  no  unknown County Franklin  
Township 9S Range 8W Section 12 ¼ section:  NW  SW  SE  NE Irregular-name: \_\_\_\_\_  
Tax Parcel # 01-09S-08W-8360-0009-0140 Landgrant NONE  
Subdivision Name NONE Block \_\_\_\_\_ Lot \_\_\_\_\_  
UTM Coordinates: Zone  16  17 Easting [ ] [ ] [ ] [ ] [ ] [ ] [ ] [ ] Northing [ ] [ ] [ ] [ ] [ ] [ ] [ ] [ ]  
Other Coordinates: X: 29.7169 Y: -84.9922 Coordinate System & Datum \_\_\_\_\_  
Name of Public Tract (e.g., park) N/A

### HISTORY

Construction Year: 1937  approximately  year listed or earlier  year listed or later  
Original Use Private Residence (House/Cottage/Ca From (year): 1937 To (year): 2020  
Current Use Private Residence (House/Cottage/Ca From (year): 1937 To (year): 2020  
Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
Moves:  yes  no  unknown Date: \_\_\_\_\_ Original address: \_\_\_\_\_  
Alterations:  yes  no  unknown Date: \_\_\_\_\_ Nature: \_\_\_\_\_  
Additions:  yes  no  unknown Date: \_\_\_\_\_ Nature: \_\_\_\_\_  
Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
Ownership History (especially original owner, dates, profession, etc.)  
\_\_\_\_\_

Is the Resource Affected by a Local Preservation Ordinance?  yes  no  unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Bungalow Exterior Plan Rectangular Number of Stories 1  
Exterior Fabric(s) 1. Brick 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof Type(s) 1. Gable-intersecting 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_

Windows (types, materials, etc.)

ORIGINAL DOUBLE HUNG, SIX PANE, WOOD MATERIAL

Distinguishing Architectural Features (exterior or interior ornaments)  
\_\_\_\_\_

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)  
\_\_\_\_\_

#### DHR USE ONLY

#### OFFICIAL EVALUATION

#### DHR USE ONLY

NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)

**DESCRIPTION (continued)**

Chimney: No. 0 Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Structural System(s): 1. Wood frame 2. Brick 3. \_\_\_\_\_  
 Foundation Type(s): 1. Piers 2. \_\_\_\_\_  
 Foundation Material(s): 1. Poured Concrete Footing 2. Concrete Block

Main Entrance (stylistic details)

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition):  excellent  good  fair  deteriorated  ruinous

Narrative Description of Resource

Archaeological Remains \_\_\_\_\_  Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- |   |   |   |  |
|---|---|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory   | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input type="checkbox"/> property appraiser / tax records   | <input type="checkbox"/> newspaper files  | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input type="checkbox"/> cultural resource survey (CRAS)    | <input type="checkbox"/> historic photos  | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input type="checkbox"/> other methods (describe) _____     |   |   |  |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

**OPINION OF RESOURCE SIGNIFICANCE**Appears to meet the criteria for National Register listing individually?  yes  no  insufficient informationAppears to meet the criteria for National Register listing as part of a district?  yes  no  insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**Recorder Name GEORGE J MAHR, MAHR DEVELOPMENT CORP  Affiliation OtherRecorder Contact Information PO BOX 130, APALACHICOLA, 32329 GEORGEJMAHR@AIM.COM 850-899-3675  
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).  
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

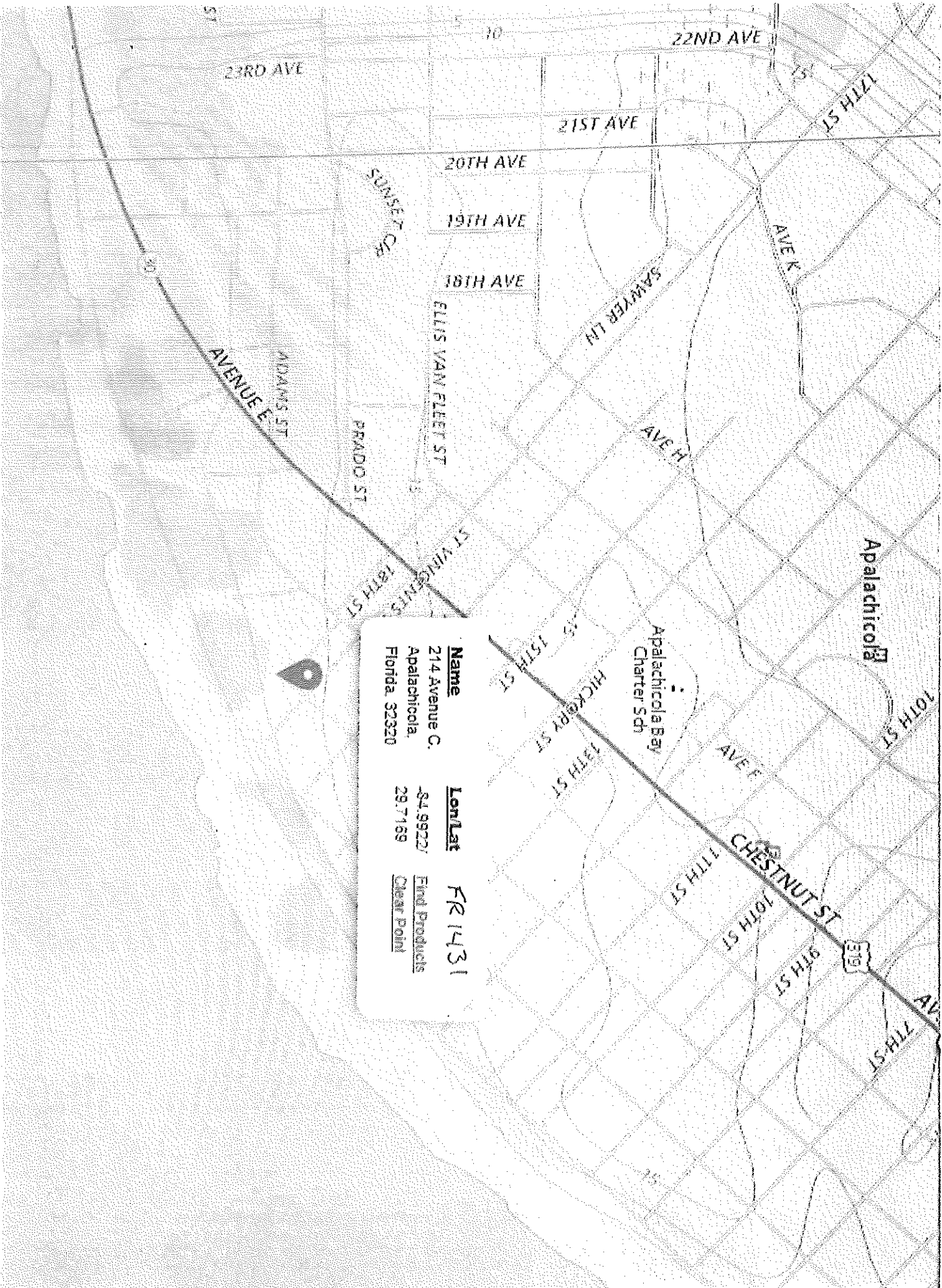
FRONT





REAR





**Name**  
214 Avenue C.  
Apalachicola,  
Florida, 32320

**LonLat**  
-84.9922/  
29.7169

**FR 1431**  
Food Products  
Clear Point

ADMINISTRATIVE VARIANCE APPLICATION FOR HISTORIC STRUCTURES

(supports Ordinance 2017-05 Adopted April 4, 2017)

APPLICANT(S) George J. Mahr  
MAILING ADDRESS P.O. Box 130  
CITY Apalachicola STATE FL ZIP 32329  
HOME PHONE 850-899-3675  
WORK PHONE \_\_\_\_\_  
EMAIL ADDRESS georgejmahr@aim.com  
PROPERTY OWNER (if other than applicant) \_\_\_\_\_

PARCEL#: 01-095-08W-8360-0009-0140  
MASTER SITE FILE # FR-01431  
PHYSICAL ADDRESS: 214 Avenue C  
CURRENT ZONING: R-1  
PARCEL SIZE: 100' x 300'  
WATER SUPPLY SOURCE: City  
SEWAGE TREATMENT METHOD: City

PLEASE INDICATE THE VARIANCE(S) YOU ARE APPLYING FOR:

Renovation for historic nonconformity

I (we) do hereby certify that the information contained in or presented in connection with this application is true and accurate to the best of my (our) knowledge and belief. I (we) do hereby further agree to abide by the agreements, conditions and stipulations that are a part of this request. I (we) are aware that the applicant remains bound by all city regulations and state laws not specifically waived by this variance, if successful. I (we) am further aware that any false statement of fact made by the applicant in connection with this application, intentional or not, may cause any variance granted hereunder to be declared null and void.

APPLICANT(S) George J Mahr  
DATE: 11/10/20  
OWNER(S) George J Mahr

From: Heiker, Jeremy Jeremy.Heiker@dos.myflorida.com  
Subject: 214 Avenue C  
Date: Nov 13, 2020 at 2:21:52 PM  
To: georgejmahr@aim.com

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Good afternoon George,

I've attached the requested site document from the site file. I hope that it contains all the information you need.

If you need anything else or have any questions, feel free to ask.

**Jeremy Heiker**

Records Specialist | Florida Master Site File | Bureau of Historic Preservation | Division of Historical Resources |  
Florida Department of State | 500 South Bronough Street | Tallahassee, Florida 32399 | [850.245.6314](tel:850.245.6314) |  
[1.800.847.7278](tel:1.800.847.7278) | Fax: [850.245.6439](tel:850.245.6439) | [flheritage.com](http://flheritage.com)



FR01431.pdf  
395 KB