



July 11th, 2022

P&Z AGENDA PACKET

**CITY OF APALACHICOLA**  
PLANNING & ZONING BOARD  
REGULAR MEETING  
MONDAY, July 11th, 2022  
Community Center/ City Hall -1 Bay Avenue  
Agenda

**Regular Meeting: 6:00 pm**

1. Approval of June 13<sup>th</sup>, 2022 regular meeting minutes.
2. Review, Discussion and Decision for Addition. **(R-2) @ 248 11<sup>th</sup> Street.** Block 153, Lot 3. For H. Jones -Owner; Contractor: tbd  
d
3. Review, Discussion and Decision for Addition. **(Historic District) (R-1) @ 143 13<sup>th</sup> Street/159 Ave. H,** Block 81, Lots 9&10. For M. Moffett-Owner; Contractor:tbd
4. Review, Discussion and Decision for Shed. **(R-2) @ 148 13<sup>th</sup> Street.** Block 90, Lot 2&3. For T. Becknell - Owner; Contractor: Self.
5. Review, Discussion and Decision for Pole Barn & Gravel. **(Historic District) (R-1) @ 121 14<sup>th</sup> Street** Block 89, Lot 9&10. For J. Stephens–Owner; Contractor: Self
6. Review, Discussion and Decision for Shed. **(R-2) @ 235 6<sup>th</sup> Street,** Block 182, Lot 6. For E. & S. Raetzloff-Owner; Contractor: Self
7. Review, Discussion and Decision for New Mobile Home + Fence. **(R-3) @ 107 25<sup>th</sup> Ave. ,** Block 257 Lot 16&17. For B. Lee-Owner; Contractor: Daniel Lemieux
8. Review, Discussion and Decision for Car Port. **(R-2) @ 159 20<sup>th</sup> Ave.** Block 247 Lot 20, 21, 22, & 23. For H. Angel – Owner; Contractor: Earl Duggar
9. Review, Discussion and Decision for Paved Parking Lot. **(Historic District) (C-2) @ 101 Ave. E.** Block 32 Lot 1-2. For SCT Apalach Holdings, LLC – Owner; Contractor: Roberts and Roberts, Inc.
10. Review, Discussion and Decision for Preliminary Plat Approval – Oyster City Townhomes. **(R-2) @ 270 Prado. Block 265.** For Mexico Beach, LLC – Owner; Contractor: Sean Marston, P.E.



**CITY OF APALACHICOLA**  
PLANNING & ZONING BOARD  
REGULAR MEETING  
MONDAY, July 11th, 2022  
Community Center/ City Hall -1 Bay Avenue  
Agenda

Other/New Business:

Outstanding/Unresolved Issues:



June 13, 2022

Minutes

**CITY OF APALACHICOLA**  
PLANNING & ZONING BOARD  
REGULAR MEETING  
MONDAY, June 13th, 2022  
Community Center/ City Hall -1 Bay Avenue  
Agenda

**Regular Meeting: 6:00 pm**

**Attendance: Al Ingle, Bobby Miller, Jim Bachrach, Lee McLemore, Joe Taylor,**

**Dan Hartman.**

1. Approval of May 9<sup>th</sup>, 2022 regular meeting minutes.  
**Motion to approve by Jim Bachrach; 2<sup>nd</sup> by Joe Taylor. All in favor-Motion carries.**
  
2. Review, Discussion and Decision for Shed. **(R-2) @ 151 20<sup>th</sup> Avenue.** Block 247, Lot 16&17.  
For Tony Leigh -Owner; Contractor: tbd  
**Motion to approve by Lee McLemore; 2<sup>nd</sup> by Bobby Miller. All in favor-Motion carries.**
  
3. Review, Discussion and Decision for Two-Story Studio/Garage. **(Historic District) (R-1) @ 220 Avenue D.,** Block 9, Lots 6&7. For P. Passanante-Owner; Contractor: Duncan Home Construction, Inc.  
**Motion to approve by Bobby Miller; 2<sup>nd</sup> by Lee McLemore. All in favor-Motion carries.**
  
4. Review, Discussion and Decision for Pergola, Fence, & Deck. **(Historic District) (R-1) @ 62 15<sup>th</sup> Street.** Block 98, Lot 1. For B. McCartney-Owner; Contractor: Self.  
**Motion to Approve Pergola and Fence, not Deck by Jim Bachrach; 2<sup>nd</sup> by Joe Taylor. All in favor-Motion carries.**
  
5. Review, Discussion and Decision for Concrete Driveway/Sidewalk. **(Historic District) (C-2) @ 97 Dr. Martin Luther King Blvd.,** Block 170, Lot 10. For J. Crowder-Owner; Contractor: Michael Netherly (Concrete Authority)  
**Motion to Deny by Jim Bachrach; 2<sup>nd</sup> by Joe Taylor. All in favor-Motion carries.**

**CITY OF APALACHICOLA**  
PLANNING & ZONING BOARD  
REGULAR MEETING  
MONDAY, June 13th, 2022  
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6. Review, Discussion and Decision for New Construction and Pool. **(Historic District) (R-1) @ 67 Ave. D.**, Block 16, Lot 1 & E ½ Lot 2. For S. Etchen-Owner; Contractor: Coastal ICF Construction;

**Discussion regarding fence encroachment, excess impervious area, definition of "front yard".**

**Motion to Table by Joe Taylor; 2<sup>nd</sup> by Bobby Miller. All in favor-Motion carries.**

Other/New Business:

Outstanding/Unresolved Issues:

Approved:



Al Ingle 07/05/22





248 11<sup>th</sup> St.

Addition

CITY OF APALACHICOLA  
 CERTIFICATE OF APPROPRIATENESS APPLICATION

**NON**

HISTORIC DISTRICT ONLY

Official Use Only

Application # \_\_\_\_\_  
 City Representative \_\_\_\_\_  
 Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner H. Jones  
 Address 445 23rd Ave  
 City Apalachicola State \_\_\_\_\_ Zip \_\_\_\_\_  
 Phone (\_\_\_\_) \_\_\_\_\_

Contractors Name: \_\_\_\_\_  
 State License # \_\_\_\_\_ City License # \_\_\_\_\_  
 Email Address \_\_\_\_\_  
 Phone (\_\_\_\_) \_\_\_\_\_

Approval Type: [ ] Staff Approval Date: \_\_\_\_\_ [ ] Board Approval [ ] Board Denial Date \_\_\_\_\_  
 \*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: Rear Addition

PROPERTY INFORMATION:

Street Address: 248 11<sup>th</sup> St City & State \_\_\_\_\_ Zip \_\_\_\_\_  
 [ ] Historic District [ ] Non-Historic District Zoning District R-2  
 Parcel #: 01-095-08W-8330-0153-0030 Block(s) 153 Lot(s) 3  
 FEMA Flood Zone/Panel #: \_\_\_\_\_  
 (For AE, AO, AH or VE: Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:  
 Front: 15 Rear: 25 Side: 7 1/2 Lot Coverage: 40%  
 Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval  
 \_\_\_\_\_  
 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Tammy Owens  
 Permitting and Development Coordinator  
 (850) 653-1522  
[towens@cityofapalachicola.com](mailto:towens@cityofapalachicola.com)



Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Replace the bathroom this includes; replace all damage wood in stall new metal roofing over the whole house. Reframe the walls on the back of of the house from the tear out. We also replacing wall in the house with sheetrock.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		Stucco Siding	
Doors		N/A	
Windows		N/A	
Roofing		Metal Roofing	
Trim		N/A	
Foundation		N/A	
Shutters		N/A	
Porch/Deck		Replace with 5/4 decking boards.	
Fencing			
Driveways/Sidewalks			
Other			

back was ripped out & replaced w/new f new foundation under the addition

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understood the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

4/18/2022

SIGNATURE OF APPLICANT

Harrison Jones Jr.

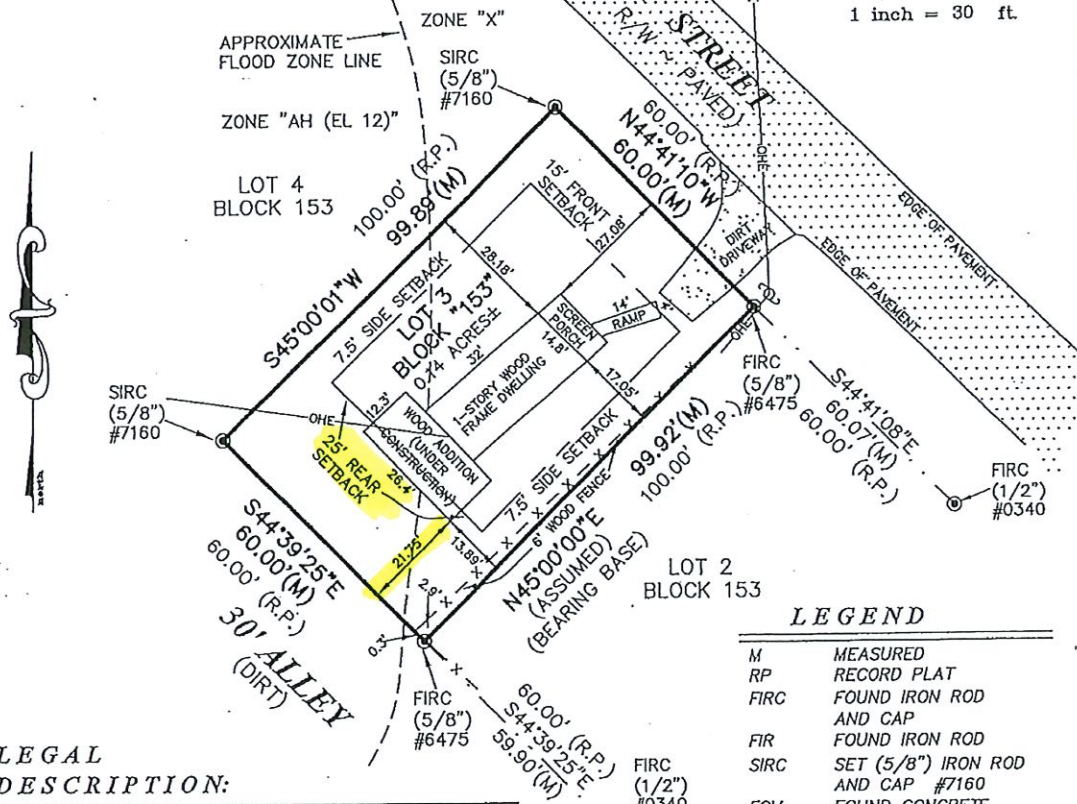


**PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
HARRISON JONES**

**GRAPHIC SCALE**



( IN FEET )  
1 inch = 30 ft.



*\* lot coverage is fine.  
Rear setback still needs met.*

**LEGAL DESCRIPTION:**

Lot 3, Block "153" of THE CITY OF APALACHICOLA, a subdivision as per map or plat in common use on file in the Clerk of the Circuit Office in Franklin County, Florida.

**LEGEND**

M	MEASURED
RP	RECORD PLAT
FIRC	FOUND IRON ROD AND CAP
FIR	FOUND IRON ROD
SIRC	SET (5/8") IRON ROD AND CAP #7160
FCM	FOUND CONCRETE MONUMENT
R/W	RIGHT-OF-WAY
—	NOT TO SCALE
△	POINT NOT SET OR FOUND

**NOTES:**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southeasterly boundary of subject parcel having an assumed bearing of North 45 degrees 00 minutes 00 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.

**FLOOD ZONE INFORMATION:**

Subject property is located in Zones "X" and "AH (EL 12)" as per Flood Insurance Rate Map Community Panel No: 120089 0526F, index date: February 5, 2014, Franklin County, Florida.

*I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/052).*

The undersigned surveyor has no record provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible that there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

*James T. Roddenberry*  
Professional Surveyor and Mapper  
Florida Certificate No: 4261

**TR & A** THURMAN RODDENBERRY & ASSOCIATES, INC  
PROFESSIONAL SURVEYORS AND MAPPERS  
P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32258  
PHONE NUMBER: 410-951-2334 FAX NUMBER: 410-942-1193  
L.B. # 7164

DATE: 05/05/22	DRAWN BY: BB	NB. PER PLAT	COUNTY: Franklin
FILE: 98562.DWG	DATE OF LAST FIELD WORK: 05/02/22	CHECKED BY:	JOB NUMBER: 98-562

JAMES T. RODDENBERRY  
Surveyor and Mapper  
Florida Certificate No: 4261

SIRC  
5/8" #7160

SIRC  
5/8" #716

25' Rear  
Set Back

\* still over  
by 1/2 foot

length taken  
off of previous  
supposed to be  
3 feet, only took off  
2.5

7.5'  
side setback

7.5'  
side set  
OK

254 1/2 SF

26.8

Prior  
addition

3' x 6' addition  
for the tub in Bathroom

New  
addition

18 SF

14.8

547 1/2 SF

60x100 ft.  
6,000  
SF

Existing:  
547 1/2  
+ 56 = 603 SF  
Additions  
254 1/2 SF  
18 SF  
272 1/2 SF

Front Porch

Stairs  
4' 14'

56 SF

proposed SF  
876 SF

OK ✓

2,400 allowed (40%)

15' Set Back

27.8'

SIRC  
5/8" #7160

Harrison Jones Jr  
248 N. Street





159 Ave H/143 13<sup>th</sup> Street

Addition

(P+z) - 1

CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION

Official Use Only  
Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

HISTORIC DISTRICT ONLY.

OWNER INFORMATION  
Owner: Mona Moffett  
Thelma Pearson  
Address: 159 AVE H  
City: Apalachicola State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: (850) 323 1916

CONTRACTOR INFORMATION  
Contractors Name: \_\_\_\_\_  
State License # \_\_\_\_\_ City License # \_\_\_\_\_  
Email Address: \_\_\_\_\_  
Phone: (\_\_\_\_\_) \_\_\_\_\_

Approval Type: [ ] Staff Approval Date: \_\_\_\_\_ [ ] Board Approval [ ] Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: 10x25 Porch Addition

PROPERTY INFORMATION:  
Street Address: 159 Ave H / 143 13th St City & State: \_\_\_\_\_ Zip: \_\_\_\_\_  
[  ] Historic District [ ] Non-Historic District Zoning District: R-1  
Parcel #: \_\_\_\_\_ Block(s) 81 Lot(s) 9+10  
FEMA Flood Zone/Panel #: \_\_\_\_\_  
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property: corner lot 15'  
Front: 15 Rear: 25 Side: 7 1/2' min Lot Coverage: 40%  
Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.  
Certificate of Appropriateness Approval:  
\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCX.

Tammy Owens  
Permitting and Development Coordinator  
(850) 658-1522  
[lowens@cityofapalachicola.com](mailto:lowens@cityofapalachicola.com)



Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

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Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		Wood	
Doors		1 Door	
Windows		6 windows	
Roofing		✓	
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

## CERTIFICATION

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10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

March 7, 2022  
DATE

Mona Moffett  
SIGNATURE OF APPLICANT



**CITY OF APALACHICOLA**  
**BUILDING DEPT. 2**  
192 Conch Wagoner Blvd. 850-653-1522  
**APPLICATION FOR BUILDING PERMIT**

DATE: 3/7/22 Permit Issued: \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Mona Maffett Email: \_\_\_\_\_

ADDRESS: 143 13th St

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # (850) 570-4075

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Scott's Framing (James) Email: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 159 Ave H / 143 13th St Apalachicola, FL 32320

PURPOSE OF PERMIT: Add front porch (closed in)

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  
 YES  NO

PROPERTY PARCEL ID # R 01.095.08W.8330.0081.0100

LEGAL DESCRIPTION OF PROPERTY: 704/336 896/536 935/310 lot 959/556 Blk 959/559  
Block 81 lot 10 559

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to [towens@cityofapalachicola.com](mailto:towens@cityofapalachicola.com) or dropped off at City Hall mailbox)

**PURPOSE OF BUILDING:**

Single Family      \_\_\_ Townhouse      \_\_\_ Commercial      \_\_\_ Industrial      \_\_\_ Shed  
 \_\_\_ Multi-Family      \_\_\_ Swimming Pool      \_\_\_ Roof      \_\_\_ Sign      \_\_\_ Pole Barn  
 \_\_\_ Temp Pole      \_\_\_ Demolition       Other 10x75 Porch Addition

Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
 R. Side \_\_\_\_\_  
 Cost of Construction \$ 3000 Square Footage \_\_\_\_\_  
 EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
 Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
 Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Mona Robert 3.7.22  
 Signature of Owner or Agent  
Tara  
 Notary as to Owner or Agent  
 Date: March 7 2022  
 My Commission expires 3/14/2023  
 #G 354549  
 Notary Public, State of Florida

\_\_\_\_\_  
 Signature of Contractor      Date

\_\_\_\_\_  
 Notary as to Contractor  
 Date: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

(email to: [towens@cityofapalachicola.com](mailto:towens@cityofapalachicola.com) or drop off in City drop box)  
 (make checks payable to City of Apalachicola)



~~143 13th St~~ → 159 Ave H - Porch Addition

OLD COPY



- Legend
- Parcels
  - Roads
  - City Labels

bought lot next door for more lot coverage  
 need survey to confirm corner  
 lot - 15' setback needed.

Parcel ID	01-09S-08W-8330-0081-0100	Alternate ID	08W09S01833000810100	Owner Address	MOFFETT MONALISA
Sec/Twp/Rng	n/a	Class	SINGLE FAMILY		109 AVEM
Property Address	143 13TH ST	Acreage	n/a		APALACHICOLA, FL 32320
	APALACHICOLA				
District	3				
Brief Tax Description	CITY OF APALACH BLOCK 81 (Note: Not to be used on legal documents)				

60 x 100  
 6000 / 40% = 2400 Allowance

Date created: 3/9/2022  
 Last Data Uploaded: 3/9/2022 7:57:29 AM

Developed by Schneider GEOSPATIAL

House: ~ 30 x 40 = 1200  
 10 x 15 = 150  
 2 x 17 = 34  
 26 x 30 = 780

2164  
 + 290 core  
 + 57 core

Existing → 2511 SF = over Allowance

Porch addition - 250 SF



NEW COPY



Overview



Legend

- Parcels
- Roads
- City Labels

15' setback  
needed on  
corner lot

Parcel ID	01-09S-08W-8330-0081-0090	Alternate ID	08W09S01833000810090	Owner Address	MOFFETT MONALISA
Sec/Twp/Rng	1-9S-8W	Class	VACANT		159 AVENUE H
Property Address	159 AVE H	Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 81 LOT 9 8/8 74/43 567/55				

(Note: Not to be used on legal documents)

Date created: 7/1/2022  
Last Data Uploaded: 7/1/2022 8:21:03 AM

Developed by Schneider  
GEO SPATIAL

Lot 10:  
existing =  $\frac{2,511 \text{ SF}}{6,000}$

$\frac{2,511}{12,000} = .21\%$

Lot 9:  
existing =  $\frac{0 \text{ SF}}{6,000}$

+ 2,511 SF existing  
+ 250 SF addition  
2,761 = .23%

60'

conc. driveway

sidewalk

porch

143 13ms  
Home #1

2164 SF

Proposed Addition  
25'  
10'

159 Ave H  
Home #2

OK

100'





148 13<sup>th</sup> Street

Shed

CITY OF APALACHICOLA  
 CERTIFICATE OF APPROPRIATENESS APPLICATION

non

HISTORIC DISTRICT ONLY

Official Use Only

Application # \_\_\_\_\_  
 City Representative \_\_\_\_\_  
 Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner: Thomas Becknell (Pamela Ewert)  
 Address: 148 13th St  
 City: Apalachicola State: FL Zip: 32320  
 Phone: (651) 434-8304

Contractors Name: \_\_\_\_\_  
 State License #: \_\_\_\_\_ City License #: \_\_\_\_\_  
 Email Address: \_\_\_\_\_  
 Phone: (\_\_\_\_\_) \_\_\_\_\_

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date: \_\_\_\_\_

\*Reason for Denial: \_\_\_\_\_

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: Gardening Shed + Bike Shed (combined)

PROPERTY INFORMATION

Street Address: 148 13th St City & State: Apalachicola FL Zip: 32320  
 Historic District  Non-Historic District Zoning District: RA  
 Parcel #: \_\_\_\_\_ Block(s): 90 Lot(s): 2+3

FEMA Flood Zone/Panel #: \_\_\_\_\_  
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property: for principal structure  
 Front: 15' Rear: 25' Side: 15' total (min 5') Lot Coverage: 40%  
 Water Available:  Sewer Available:  Taps Paid:

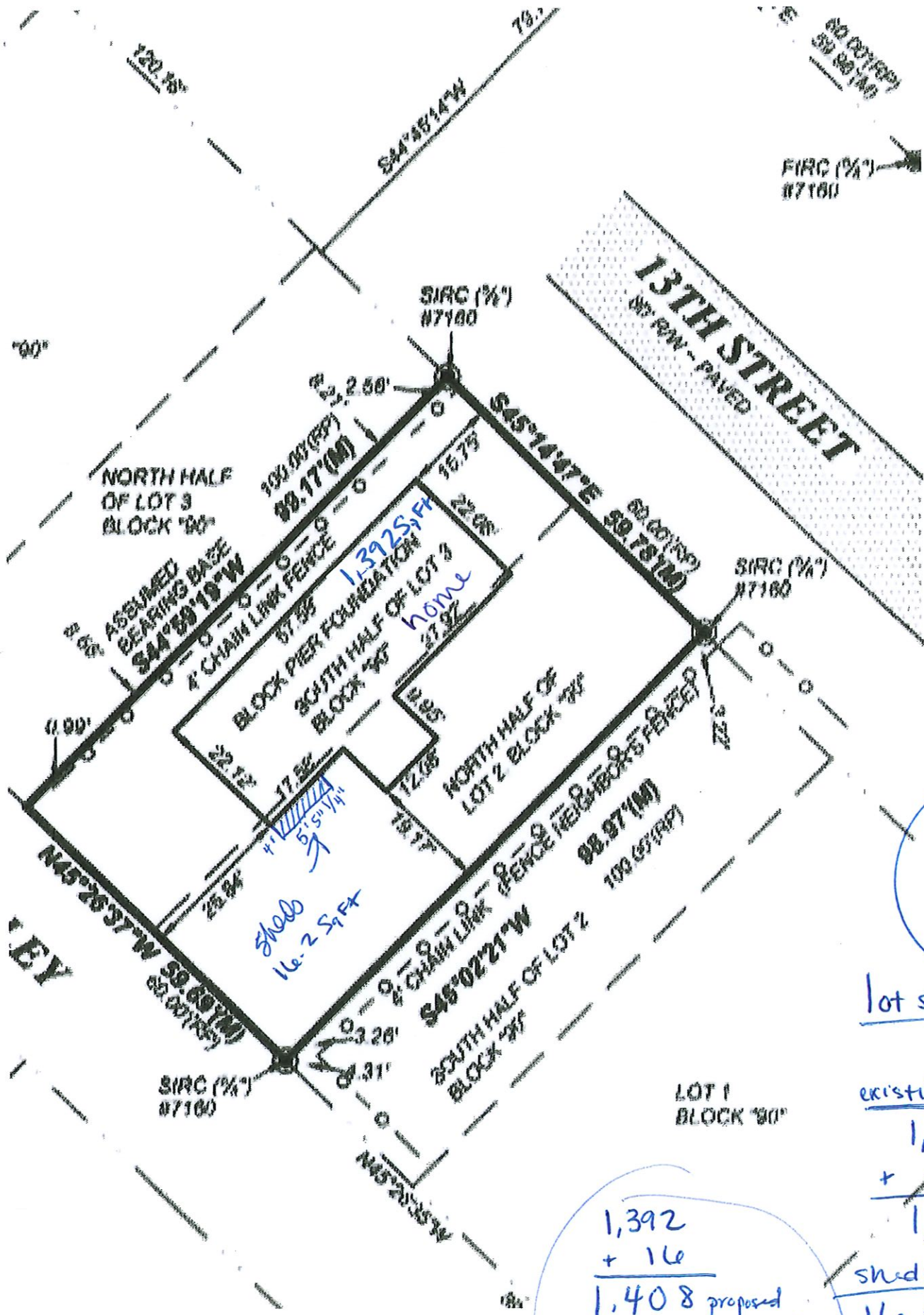
This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:  
 \_\_\_\_\_  
 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits.

Bree Robinson  
 Grant Coordinator & City Planner  
 City of Apalachicola  
 o: 850-323-0985  
 brobinson@cityofapalachicola.com





lot size:  
6,000

existing LC:  
1,272  
+ .120  
1,392sf

sheds:  
16.2 sqft

1,392  
+ 16  

---

1,408 proposed  

---

2,400 allowed

OK ✓

90°

LOT 1  
BLOCK '90'

NORTH HALF  
OF LOT 3  
BLOCK '90'

BLOCK PIER FOUNDATION  
SOUTH HALF OF LOT 3  
BLOCK '90'

NORTH HALF OF  
LOT 2 BLOCK '90'

SOUTH HALF OF LOT 2  
BLOCK '90'

KEY

13TH STREET  
10' RW - PAVED

ASSUMED  
BEARING BASE  
S44°59'19"W

100.00 (997)  
88.17 (M)

645°14'47"E  
88.78 (M)

N45°25'37"W  
89.69 (M)

S45°02'21"W  
88.97 (M)

SIRC (1/4")  
#7180

SIRC (1/4")  
#7180

SIRC (1/4")  
#7180

FIRC (1/4")  
#7180

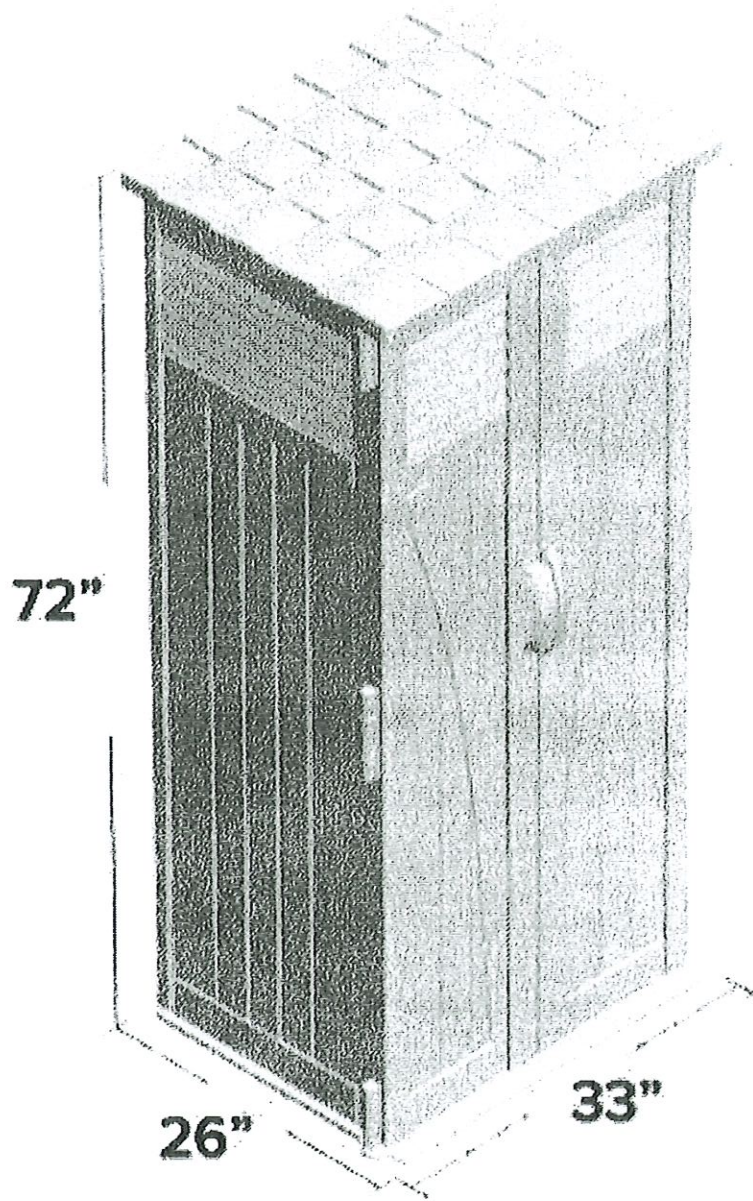
sheds  
16.2 sqft

1,392.51 ft<sup>2</sup>  
home

sheds  
16.2 sqft







**VOLUME:**

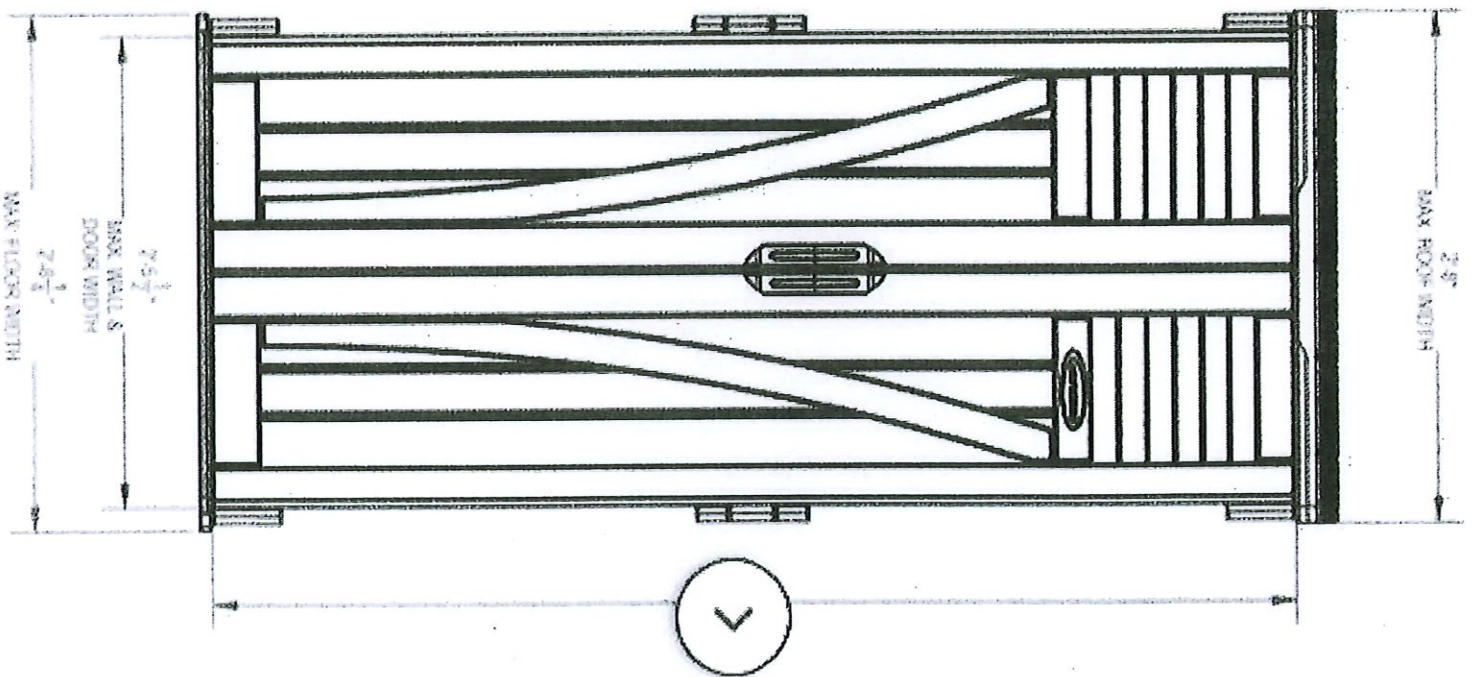
Interior: 3.8 sq. ft.  
22 cu. ft.

Exterior: 28 cu ft.

**SQUARE FOOTAGE:**

< Interior: 4 sq. ft.  
Exterior: 5 sq. ft.

*58 sq ft*





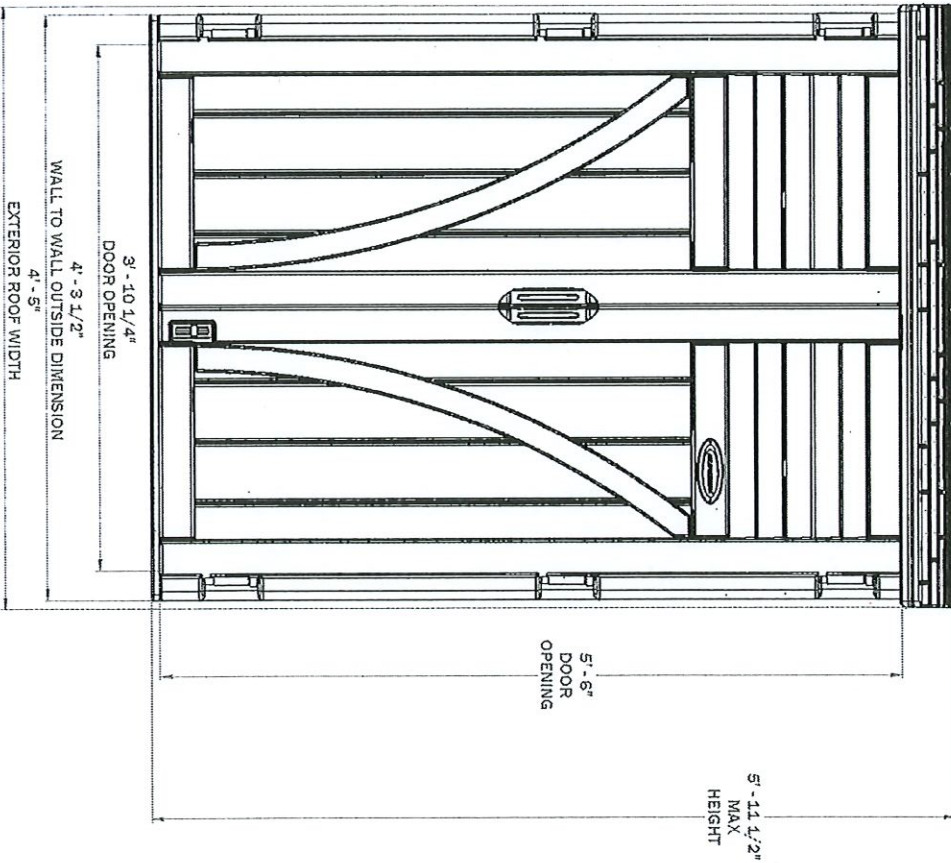
**BMS 5700**  
FRONT VIEW

TOTAL VOLUME

INTERIOR 54.46 cu. ft.  
EXTERIOR 66.58 cu. ft.

SQUARE FOOTAGE

INTERIOR 9.59 sq. ft.  
EXTERIOR 11.23 sq. ft.





121 14<sup>th</sup> Street  
Pole Barn / Gravel



CITY OF APALACHICOLA  
 CERTIFICATE OF APPROPRIATENESS APPLICATION

HISTORIC DISTRICT ONLY.

Official Use Only

Application # \_\_\_\_\_  
 City Representative \_\_\_\_\_  
 Date Received \_\_\_\_\_

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner: <u>Jeff Stephens</u>	Contractors Name: <u>SELF</u>
Address: <u>121 14<sup>th</sup> Street</u>	State License # _____ City License # _____
City: <u>Apalachicola</u> State: <u>FL</u> Zip: <u>32320</u>	Email Address: <u>Lakeshoreprop@yahoo.com</u>
Phone: <u>(770) 655-1228</u>	Phone: <u>(770) 655-1228</u>

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

<input type="checkbox"/> New Construction	<input type="checkbox"/> Fence
<input type="checkbox"/> Addition	<input type="checkbox"/> Repair (Extensive)
<input type="checkbox"/> Alteration/Renovation	<input type="checkbox"/> Variance
<input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> Other: <u>12x30 Pole Barn with</u>
<input type="checkbox"/> Demolition	<u>12x18 enclosed area</u>
	<u>Gravel sidewalk &amp; one car parking</u>
	<u>500 sq. ft. area</u>

PROPERTY INFORMATION:

Street Address: 121 14<sup>th</sup> Street City & State: Apalachicola Zip: 32320

Historic District |  Non-Historic District Zoning District: RT

Parcel #: 01-098-08W-8330-0089-0090 Block(s): 89 Lot(s): 9 1/2

FEMA Flood Zone/Panel #: \_\_\_\_\_  
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property: corner lot

Front: 15 Rear: 25 Side: 7 1/2/15 Lot Coverage: 40%

Water Available: 5' access Sewer Available: \_\_\_\_\_ Taps Paid: \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:  
 \_\_\_\_\_  
 Director, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits.

Breo Robinson  
 Grant Coordinator & City Planner  
 City of Apalachicola  
 o: 850-323-0985  
 breob@cityofapalachicola.com



Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Pole Barn 12' X 30' X 10', 12' X 18' gravel area  
 with Hardie plank siding to match house, 8' X 7'  
 garage door, metal roof to match house, 12' X 30'  
 concrete floor  
 Gravel sidewalk & one car parking in front  
 approx. 500 sq' area

Project Scope	Manufacturer	Product Description	UL Product Approval #
Siding		Hardie Board	
Doors		Fiberglass Ins metal 7x8 garage door	
Windows		Vinyl	
Roofing		metal	
Trim		Hardie Board	
Foundation		Concrete	
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks		gravel	
Other	Ma. Framing	12' X 30' X 9'	
Pole Barn	Truss Co.		



## CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submitted requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submitted may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regarding construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rules or regulations.

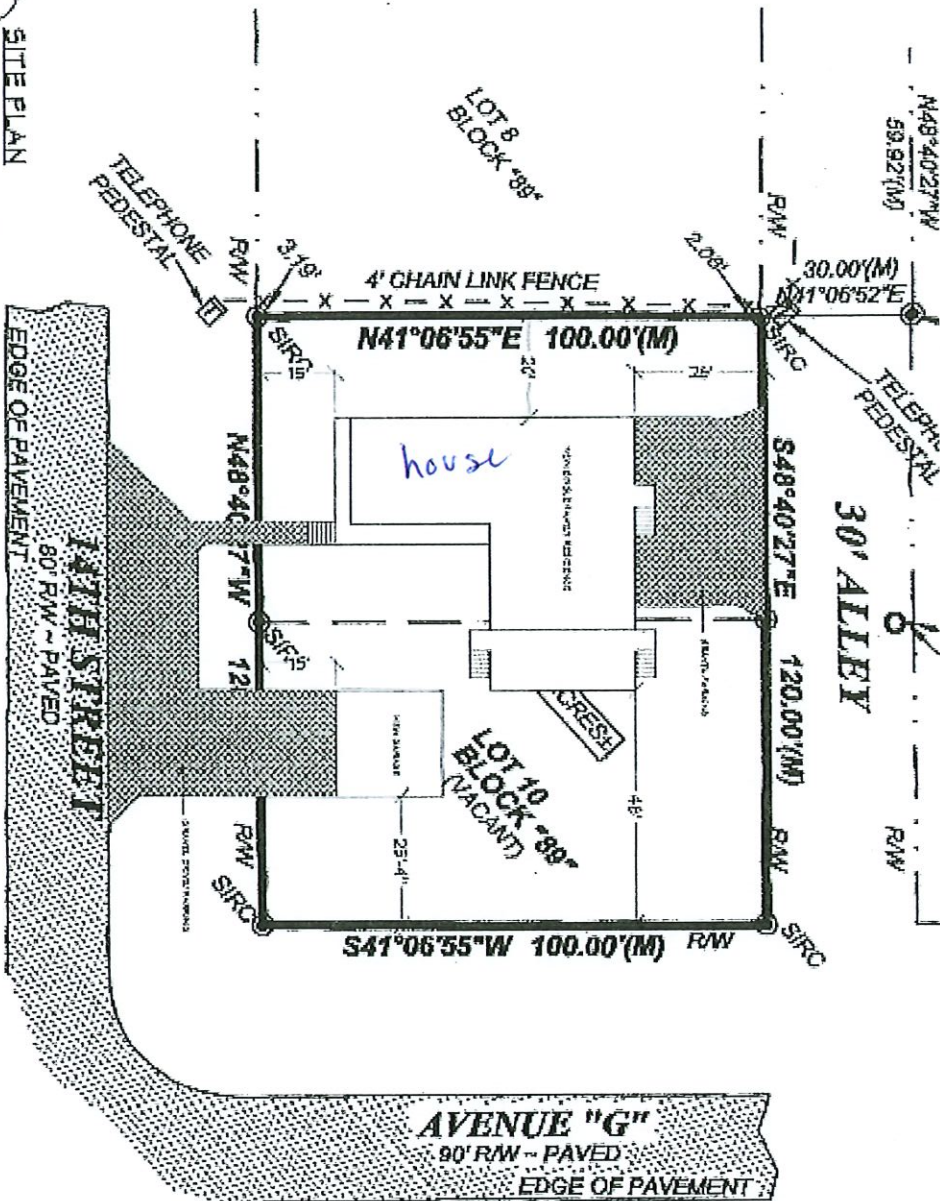
DATE


5/30/2022

SIGNATURE OF APPLICANT



Original Site Plan



  
SITE PLAN  
1" = 20' (11"x11") @ 1:50 (8%)  
1" = 10' (24"x36") @ 2:00 (8%)

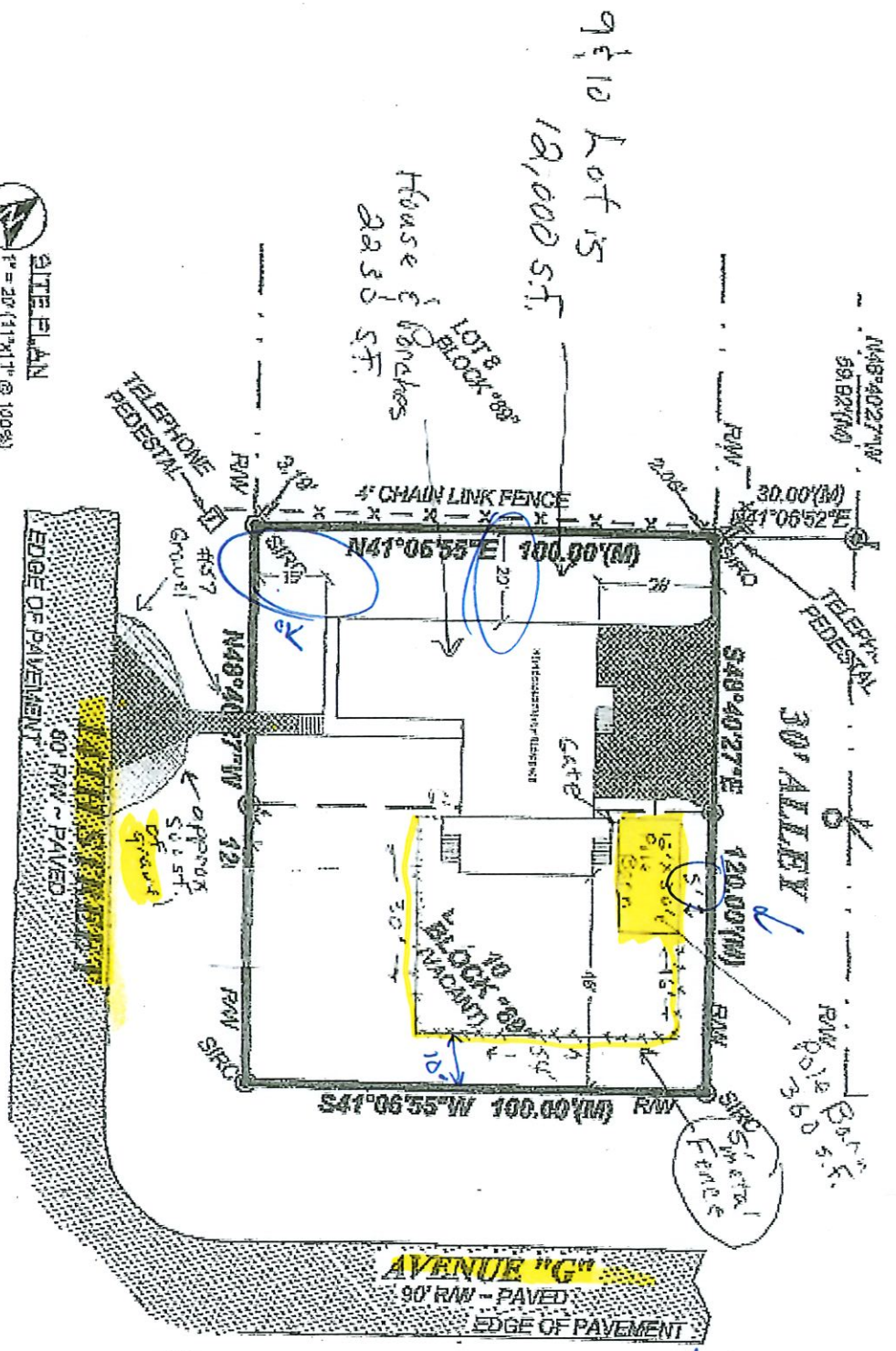
NOON L&P ARCHITECTS  
REGISTERED ARCHITECTS  
REGISTERED PROFESSIONAL ENGINEERS  
REGISTERED PROFESSIONAL SURVEYORS  
REGISTERED PROFESSIONAL LAND SURVEYORS  
REGISTERED PROFESSIONAL PLANNERS



Leo J. Stewart



New Site Plan



9 1/10 Lot is  
12,000 S.F.

House & Garage  
2235 S.F.

SCALE PLAN  
1" = 20' (11"x17" @ 100%)  
1" = 10' (24"x36" @ 200%)

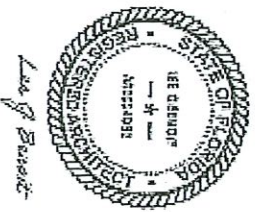
40%

Lot: 12,000 SF

existing: 2,230 SF

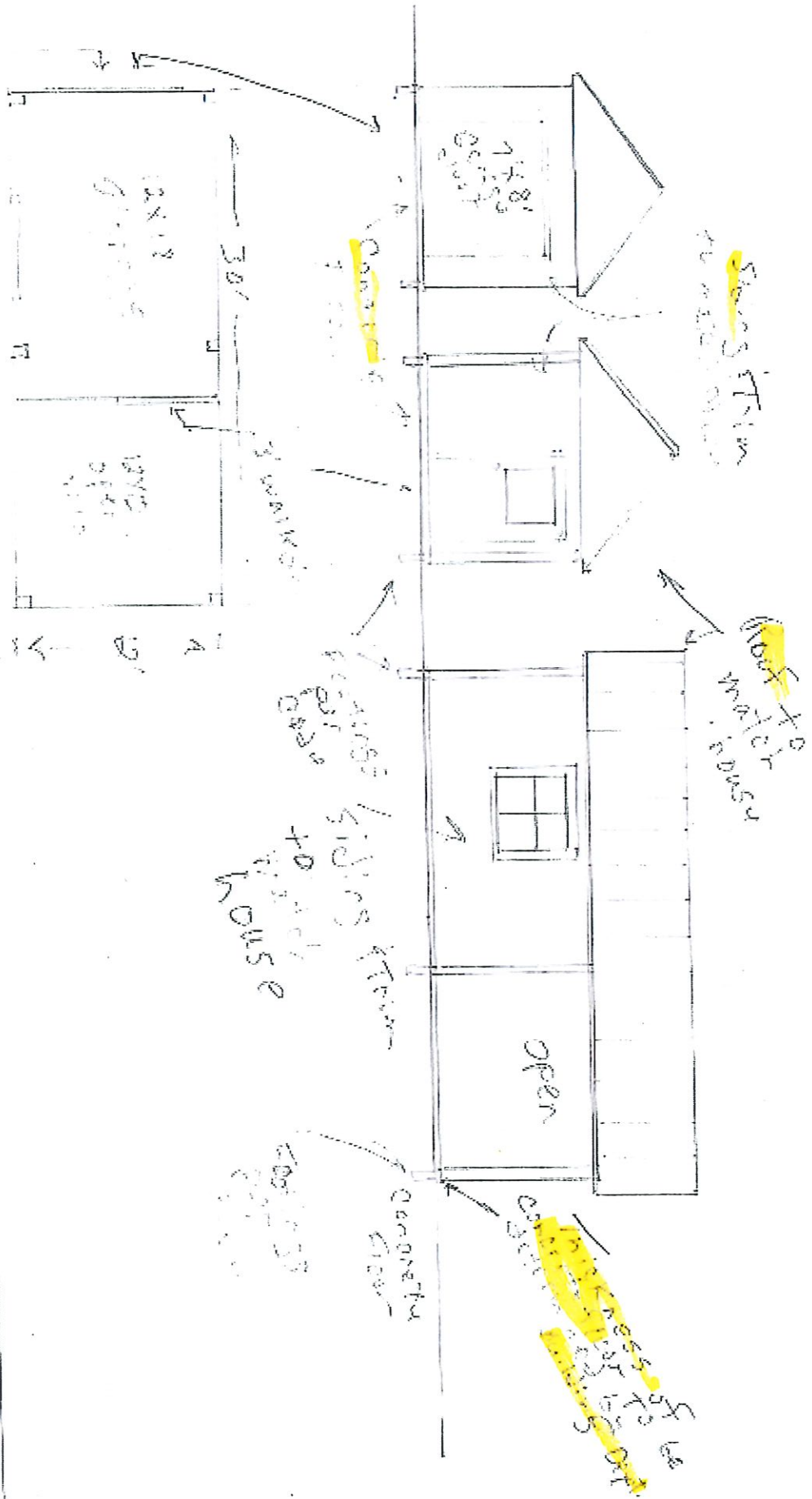
proposed: 360 SF

OK 2,590 SF  
allowed: 4,800



FOR THE STATE OF FLORIDA  
I HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF THE ORIGINAL RECORDING AS SUBMITTED TO THE PUBLIC RECORDS DEPARTMENT.

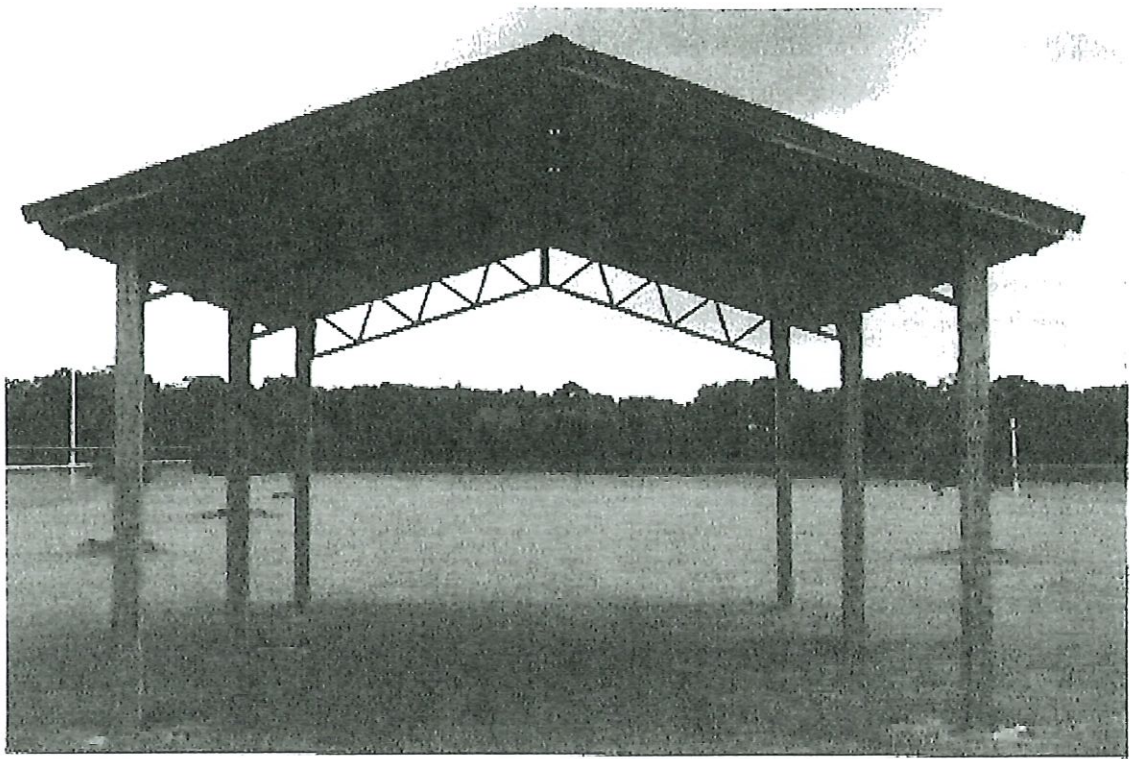
**Paint to Match House**



Jeff Stephens 121 14th Street

DATE	12/10
PROJECT	Jeff Stephens
ADDRESS	121 14th Street
PHONE	
EMAIL	





18' x 30' x 10' Polo Barn



235 6<sup>th</sup> Street

Shed



CITY OF APALACHICOLA  
 CERTIFICATE OF APPROPRIATENESS APPLICATION

Official Use Only

Non HISTORIC DISTRICT ONLY.

Application # \_\_\_\_\_  
 City Representative \_\_\_\_\_  
 Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Ed & Sharon Raetzloff  
 Address 235 6th St.  
 City Apalachicola State Fl. Zip 32320  
 Phone (615) 293-6078 / 615-214-6905

Contractors Name: \_\_\_\_\_  
 State License # \_\_\_\_\_ City License # \_\_\_\_\_  
 Email Address \_\_\_\_\_  
 Phone (\_\_\_\_\_) \_\_\_\_\_

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: Shed (17' x 12')

PROPERTY INFORMATION:

Street Address: 235 6th St. City & State Apalachicola Fl. Zip 32320  
 Historic District  Non-Historic District Zoning District: R-2  
 Parcel #: \_\_\_\_\_ Block(s) 182 Lot(s) 6  
 FEMA Flood Zone/Panel #: \_\_\_\_\_  
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:  
 Front: 15 Rear: 25 Side: 7 1/2 Lot Coverage: 40%  
 Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:  
 \_\_\_\_\_  
 Chairperson, Apalachicola Planning & Zoning Board

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**Bree Robinson**  
 City Planner & Grant Coordinator  
 850.323.0985 / brobinson@cityofapalachicola.com



Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

See attached for all specs.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing	Metal		
Trim			
Foundation	Sandy Pavers (concrete) w/ Rebar		
Shutters	N/A		
Porch/Deck	N/A		
Fencing	N/A		
Driveways/Sidewalks	N/A		
Other			



## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

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10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

6/2/22  
DATE

  
SIGNATURE OF APPLICANT

235 6th St.

House Sq. Ft.  
1,263

1" = 20ft.  
Shed 96 sq. ft.

Deck 109 sq. ft.

#1 foot missing from 5' subbase for shed inside fence.

30' wide Alley

lot:  
6,000 sq

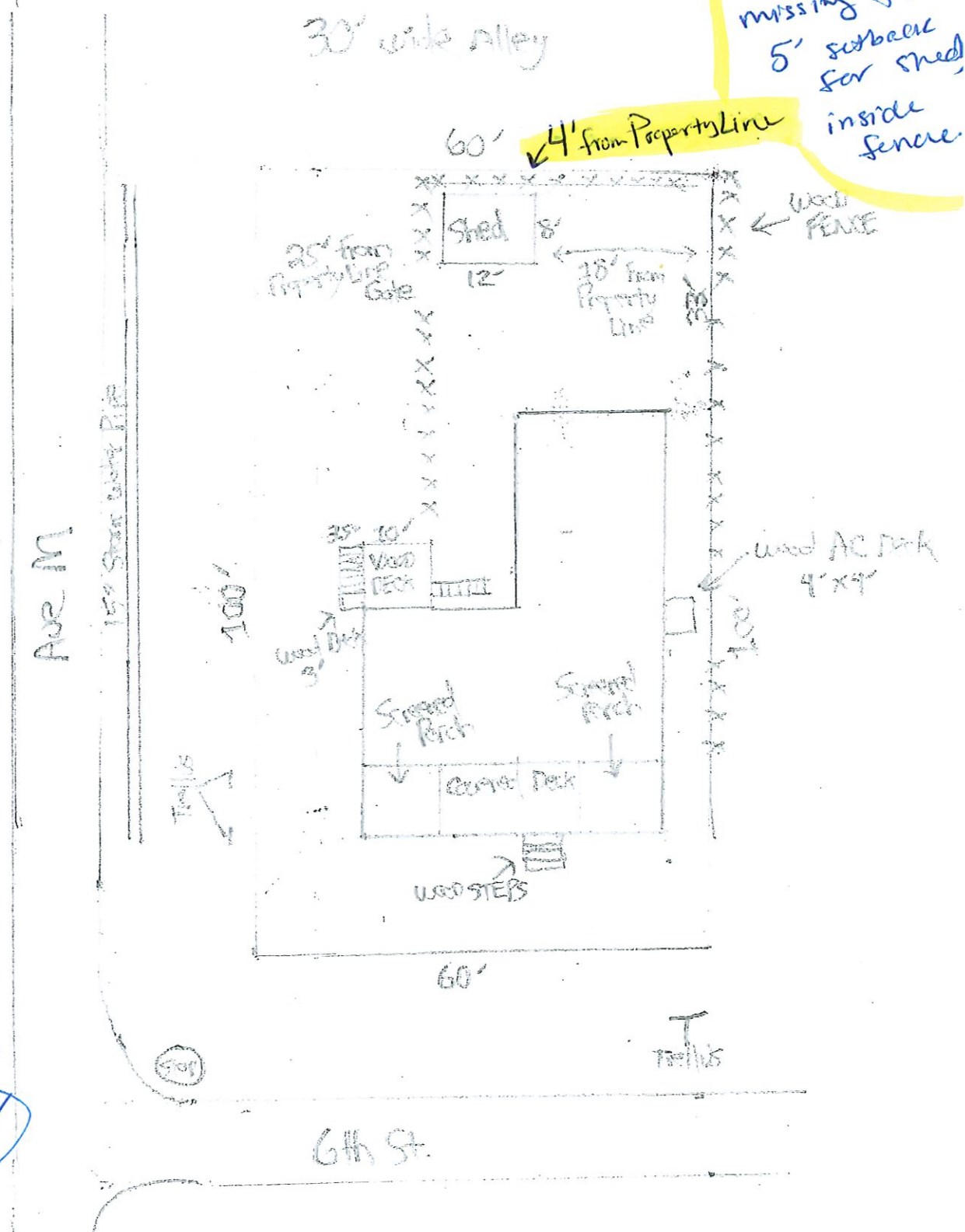
allowed 40%:  
2,400 sq

existing:  
1,263  
109  
1,372

+ 96' shed

1,468sf

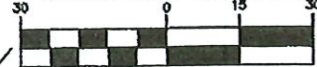
OK ✓



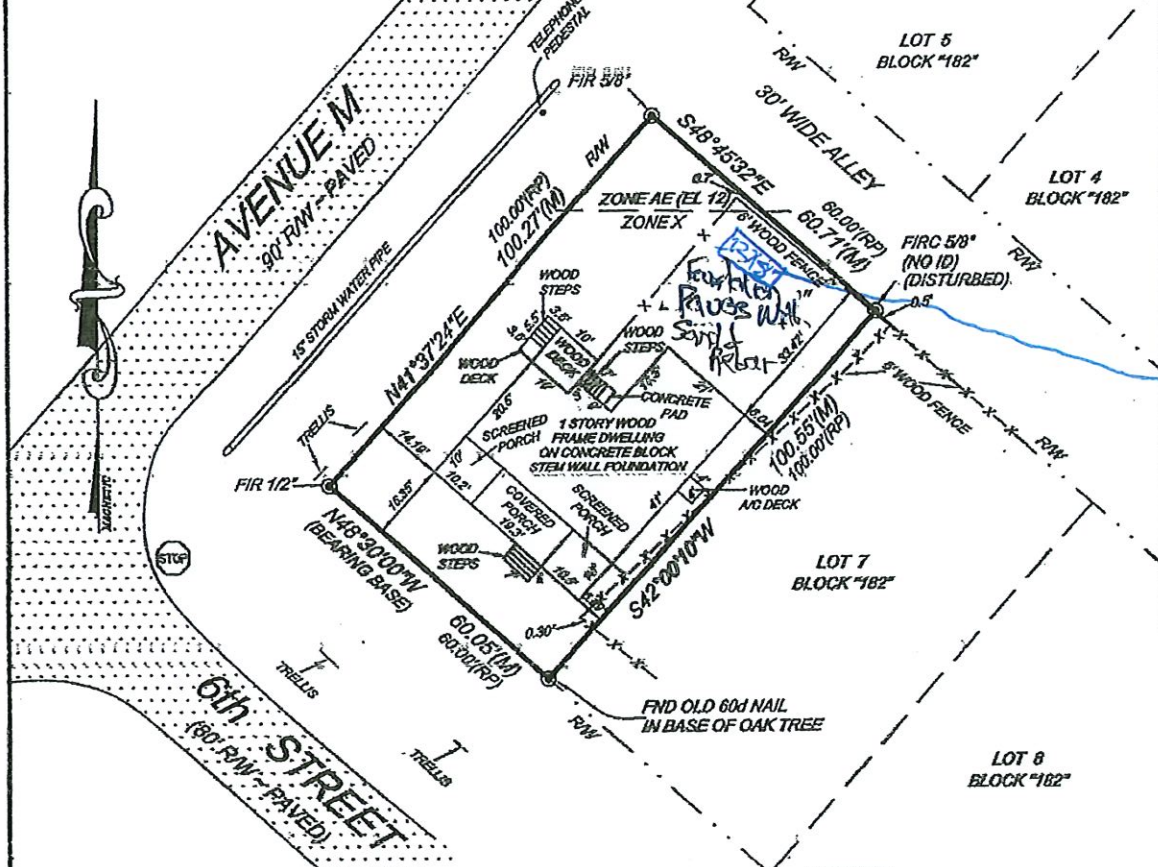


PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
 EDWARD RAETZLOFF and SHAN RAETZLOFF,  
 HOME BRIDGE MORTGAGE,  
 DODD TITLE COMPANY, INC.,  
 FIRST AMERICAN TITLE INSURANCE CO.

GRAPHIC SCALE



( IN FEET )  
 1 inch = 30 ft.



Set 38' from  
 Back Fence  
 48' from  
 property line  
 →  
 Set 18' from  
 property line

LEGAL DESCRIPTION:

Lot 6, Block "182" of the CITY OF APALACHICOLA,  
 as per map or plat thereof in common use on file at  
 the Clerk of the Circuit Office in Franklin County, Florida.

LEGEND

- R/W RIGHT OF WAY
- M MEASURED
- R.P. RECORD PLAT
- SIRC SET 5/8" IRON ROD AND CAP #7160
- FIR FOUND IRON ROD
- FND FOUND
- FIRC FOUND IRON ROD & CAP

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northeastly right of way boundary of 6th Street having an assumed bearing of South 48 degrees 30 minutes 00 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.

Lot 6  
 Block 182  
 0.14 acres

FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" and "AE" (EL12) as per Flood Insurance Rate Map Community Panel No:120089 0526 F, index date: February 05, 2014, Franklin County, Florida.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 61-77.051, 0502).

The undersigned surveyor has not been provided a signed title opinion or abstract of title affecting title or boundaries to the subject property. It is possible there are clouds of title, unrecorded deeds, easements or other instruments which could affect the boundaries.

*James T. Roddenberry*

JAMES T. RODDENBERRY  
 Surveyor and Mapper  
 Florida Certificate No: 4261



THURMAN RODDENBERRY & ASSOCIATES, INC

PROFESSIONAL SURVEYORS AND MAPPERS

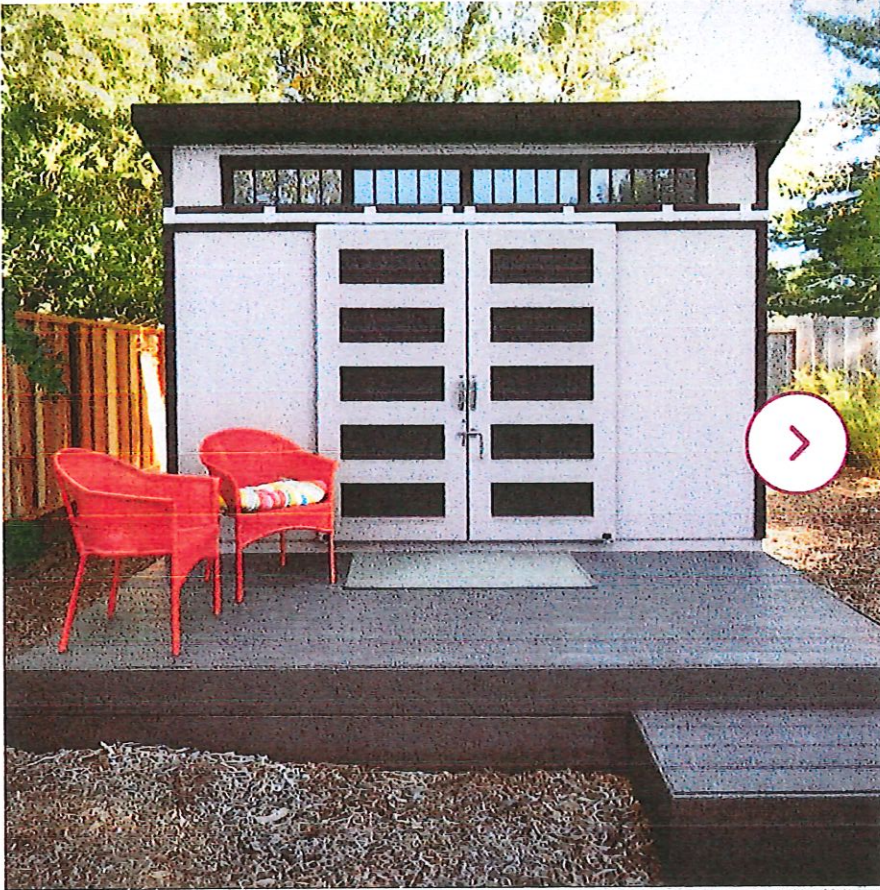
P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358

PHONE NUMBER: 850-962-2333 FAX NUMBER: 850-962-1163

LD # 7100

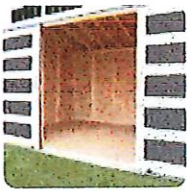
DATE: 11/25/21	DRAWN BY: BB	N.R. PER PLAT	COUNTY: FRANKLIN
FILE: 15311.DWG	DATE OF LAST FIELD WORK: 11/22/21	CHECKED BY:	JOB NUMBER: 15-311





will set on Pavers  
with 2 by 4s under floor  
w/ Rebar thru pavers  
wont have deck  
Roof will be metal.

[See All](#)



Bathroom Accessories & Organization



Bath Rugs & Towels



[Shower Curtains & Accessories](#)

Bathroom Remodel

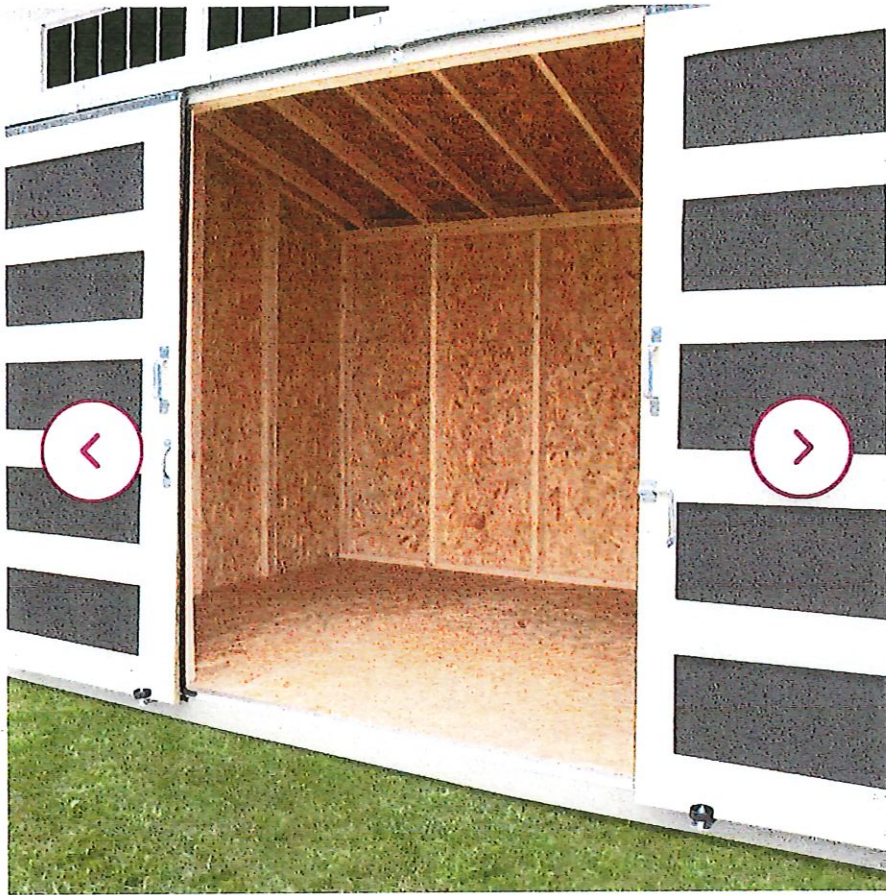


Rugs

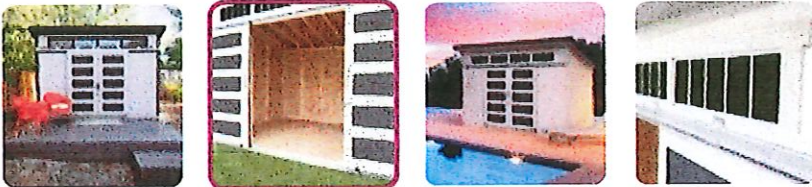


[← Back to Main Menu](#)





[See All](#)



Bathroom Accessories & Organization



Bath Rugs & Towels



[Shower Curtains & Accessories](#)

Bathroom Remodel



Rugs



[← Back to Main Menu](#)



107 25<sup>TH</sup> Ave.

New Mobile Home/Fence



(R-3 Not Historic)

- new mobile home + fence

CITY OF APALACHICOLA  
BUILDING DEPT.  
192 Conch Wagoner Blvd. 850-653-1522  
APPLICATION FOR BUILDING PERMIT

DATE: 2022-06-22 Permit Issued: \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: BRIAN P LEE HBL PROPERTY MGMT Email: PAT.LEE@PSROMM.COM

ADDRESS: 2812 AGNES SCOTT DR.

CITY, STATE & ZIP CODE: PANAMA CITY, FL 32408 PHONE # 407 432 7070

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: 107 25th ST.

CITY, STATE & ZIP CODE: APALACHICOLA, FL 32320 PHONE # 407-432-7070

CONTRACTOR'S NAME: DANIEL W LEMIEUX Email: \_\_\_\_\_

ADDRESS: 203 Starwood Aves License# 1025260

CITY, STATE & ZIP CODE: Chattahoochee, FL 32324 PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: IH/1025260 COMPETENCY CARD # N/A

ADDRESS OF PROJECT: 107 25TH AVENUE, APALACHICOLA FL 32320

PURPOSE OF PERMIT: INSTALL NEW MOBILE HOME + FENCE

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  
YES  NO

PROPERTY PARCEL ID # 01-095-08W-8330-0257-0160

LEGAL DESCRIPTION OF PROPERTY: LOTS 16 + 17, BLOCK 257 CITY OF APALACHICOLA

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: N/A

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: N/A

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_  
MORTGAGE LENDER'S NAME: PEOPLES SOUTH BANK

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: CITY SEWER SYSTEM PROVIDER: CITY

PRIVATE WATER WELL: N/A SEPTIC TANK PERMIT NUMBER: N/A

\*To prevent a \$75 fee, please be sure to call for inspections\*

R-3

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to [towens@cityofapalachicola.com](mailto:towens@cityofapalachicola.com) or dropped off at City Hall mailbox)

**PURPOSE OF BUILDING:**

Single Family      \_\_\_ Townhouse      \_\_\_ Commercial      \_\_\_ Industrial      \_\_\_ Shed  
 \_\_\_ Multi-Family      \_\_\_ Swimming Pool      \_\_\_ Roof      \_\_\_ Sign      \_\_\_ Pole Barn  
 \_\_\_ Temp Pole      \_\_\_ Demolition       Other: Fence  
 \_\_\_ Addition, Alteration or Renovation to building.

Distance from property lines: Front 32'      Rear 25'      L. Side 30'  
 R. Side 20'  
 Cost of Construction \$ 119,000      Square Footage 1,264  
 BPI \_\_\_\_\_ Flood Zone AH-14      Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled 1,264      # Of Stories 1      # Of Units DOUBLE WIDE  
 Type of Roof METAL      Type of Walls WOOD + METAL      Type of Floor WOOD + METAL  
 Extreme Dimensions of: Length 48'      Height 10'-14'      Width 28'

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** City of Apalachicola Building Department does not have the authority to enforce DBED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent: [Signature]      Date: 2022-06-22  
 Signature of Contractor: \_\_\_\_\_      Date: \_\_\_\_\_  
 Notary as to Owner or Agent: [Signature]      Notary as to Contractor: \_\_\_\_\_  
 Date: 6-22-22      Date: \_\_\_\_\_  
 My Commission expires: 4-7-25      My Commission expires: \_\_\_\_\_



APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.

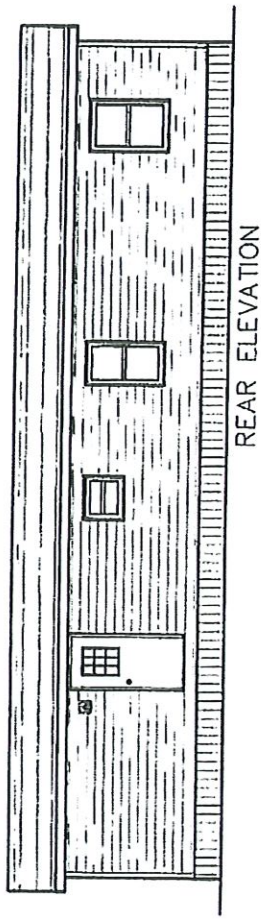
(email to: [towens@cityofapalachicola.com](mailto:towens@cityofapalachicola.com) or drop off in City drop box)  
 (make checks payable to City of Apalachicola)



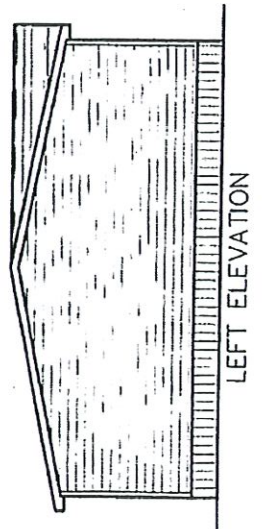
Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

INSTALL DOUBLE WIDE (48x28) 1764 SQ. FT. 3BED 2BATH UNIT LOT 16&17 OF BLOCK 257. THIS UNIT IS DESIGNED FOR INSTALLATION IN FLORIDA WINDZONE 3

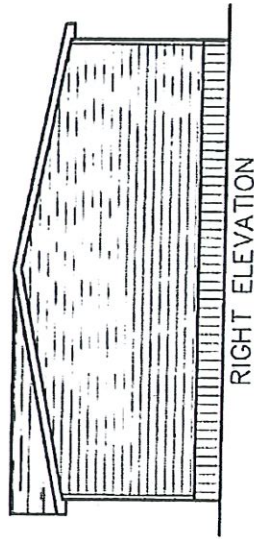
Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		VINYL	
Doors		VINYL WRAPPED	
Windows		WHITE VINYL	
Roofing		ARCH. SHINGLE	
Trim		6" VINYL CORNER	
Foundation		CMU PIERS W/ REBAR	
Shutters		N/A	
Porch/Deck		PT WOOD	
Fencing		PT WOOD DOG EARS BOARDS	
Driveways/Sidewalks		STONE	
Other			



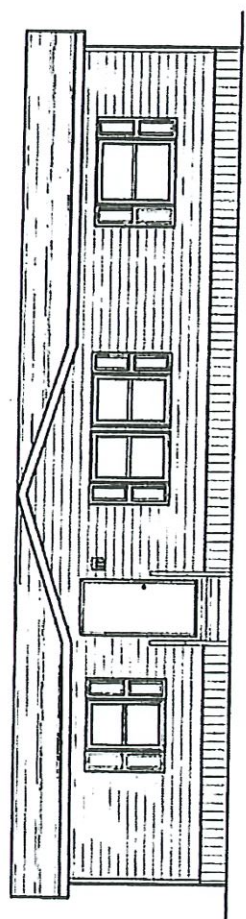
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

1264 SQ.FT. (STD PLAN "CONDITIONED")  
 W/OPT. PORCH/REISS "CONDITIONED"

Model # TRU20400R	Drawing #:
Material to Exter N.T.S.	TRU-M002-48-3
Product Designer: HUTINGJ	20' x 48' Satisfaction
<b>elevation</b>	

REV:

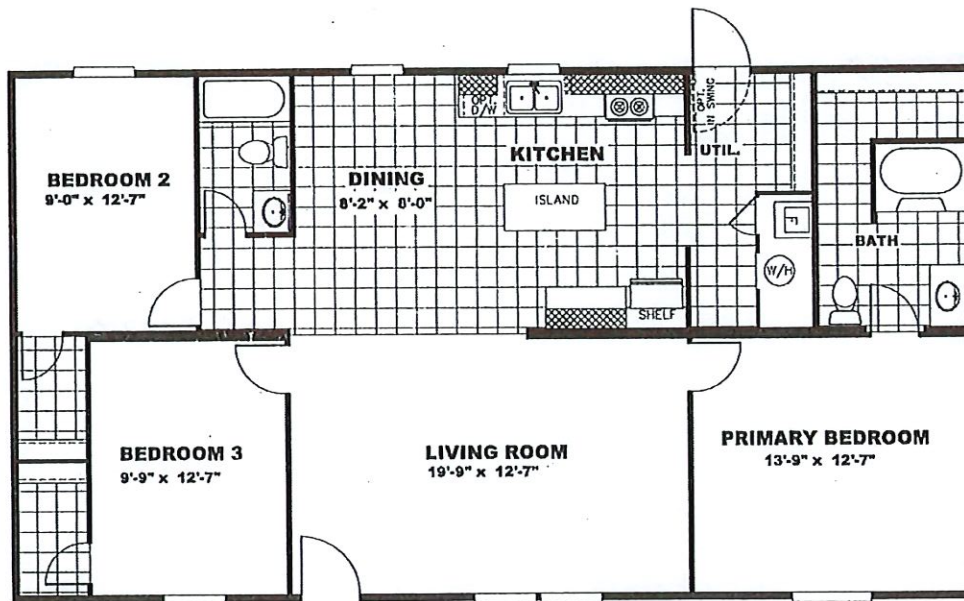




# SATISFACTION

TRU28483R

1,264 sq ft // 3 beds // 2 baths



The home series and floor plans shown all have starting prices within the price range indicated. Your local Home Center can quote you specific prices and terms of purchase for specific homes. TRU invests in continuous product and process improvement. All home series, floor plans, specifications, dimensions, features, materials, availability, and starting prices shown are artist's renderings or estimates and are subject to change without notice or obligation. Dimensions are nominal and length and width measurements are from exterior wall to exterior wall. Starting prices include the home only, plus typical delivery and installation. Starting prices do not include other costs such as taxes, title fees, insurance premiums, filing or recording fees, land or improvements to the land, optional home features, optional delivery or installation services, wheels and axles, community or homeowner association fees, or any other items not shown on your Retailer Closing Agreement and related documents (your RCA). Your RCA will show the details of your purchase. 2020 TRU. All rights reserved.

**PLAT OF BOUNDARY SURVEY CERTIFIED TO:**  
**BRETT BYRD CONSTRUCTION,**  
**CONSTITUTION TITLE, LLC,**  
**FIRST AMERICAN TITLE INSURANCE COMPANY**

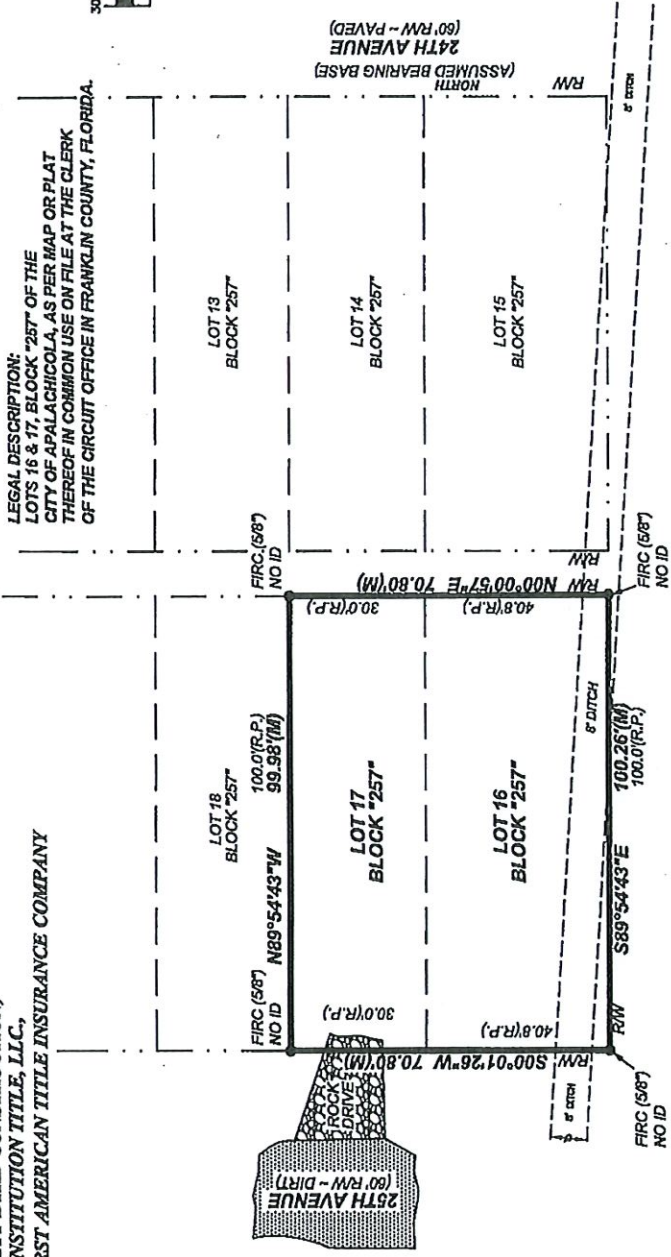
**LEGAL DESCRIPTION:**  
 LOTS 16 & 17, BLOCK "257" OF THE  
 CITY OF APALACHICOLA, AS PER MAP OR PLAT  
 THEREOF IN COMMON USE ON FILE AT THE CLERK  
 OF THE CIRCUIT OFFICE IN FRANKLIN COUNTY, FLORIDA.



( IN FEET )  
 1 inch = 20 ft

**LEGEND**

FCM	FOUND CONCRETE MONUMENT
R/W	RIGHT-OF-WAY
M	MEASURED
△	POINT NOT SET OR FOUND
SPC	SET (887) FROM ROD AND CAP 87160
FIRC	FOUND (887) IRON ROD AND CAP
RP	RECORD PLAT
FRD	FOUND
RWD	ROUND
CM	CONCRETE MONUMENT



**NOTES:**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Westerly right-of-way boundary of 24th Avenue having an assumed bearing of N00°00'00"W.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, encumbrances or other instruments which could affect the boundaries.



*James T. Roddenberry*  
 JAMES T. RODDENBERRY  
 Surveyor and Mapper  
 Florida Certificate No. 4261

**FLOOD ZONE INFORMATION:**

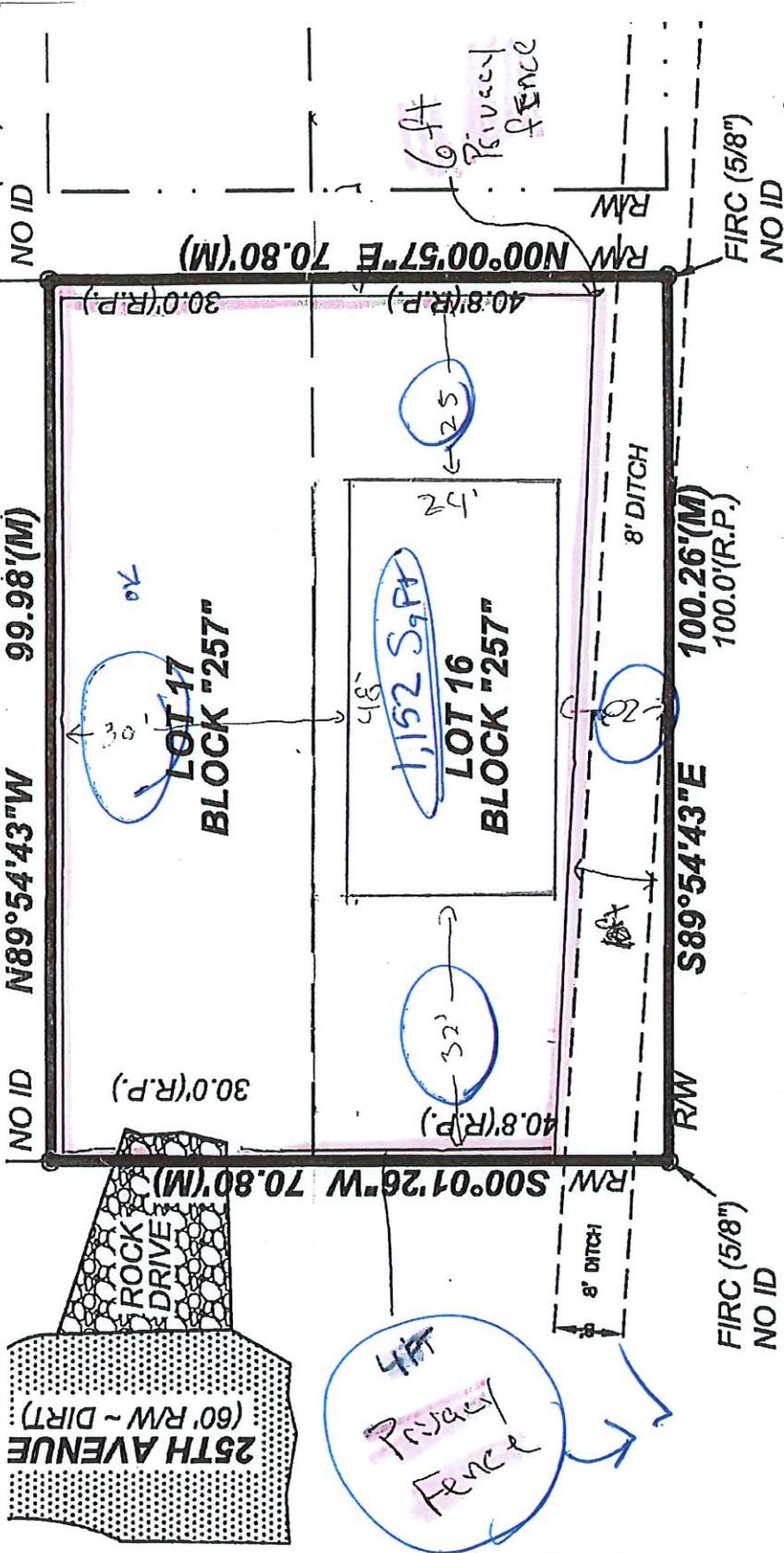
Subject property is located in Zone "A1" (EL. 14) as per Flood Insurance Rate Map Community Panel No: 120089 0508F- Index date: February 5, 2014, Franklin County, Florida.

**T & A**  
 T & A Associates, Inc.  
 PROFESSIONAL SURVEYORS AND MAPPERS  
 P.O. BOX 716 • 753 SHELBY STREET • SUITE 201 • FRANKLIN COUNTY, FLORIDA 32335  
 PHONE NUMBER: 904-963-5339 FAX NUMBER: 904-963-1119  
 LA 17116

DATE: 11/01/17	DRAWN BY: MAD	N.B. PLAT	COUNTY: Franklin
FILE: 0002L0106	DATE OF LAST FIELD WORK: 10/26/17	JOB NUMBER: 03-021	



**PROPOSED SITE PLAN**



**NOTES:**

1. SURVEY SOURCE: Record plat and a field the undersigned surveyor.
2. BEARING REFERENCE: Westerly right-of-way having an assumed bearing of N00°00'00\"/>

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

*James T. Roddenberry*



7,000 Sq Ft Lots, 2,800 SF allowed.

OK ✓

48 + 24

FOR: 107 25TH STREET  
APALACHICOLA FL  
32320

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

2022-06-22

DATE

SIGNATURE OF APPLICANT





159 20<sup>th</sup> Ave.

Car Port

CITY OF APALACHICOLA  
BUILDING DEPT.

192 Coach Wagoner Blvd. 850-653-1522

APPLICATION FOR BUILDING PERMIT

DATE: 6/24/20 Permit Issued: \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: HAROLD + TERI R. ANGEL Email: \_\_\_\_\_

ADDRESS: 159 20th AVENUE

CITY, STATE & ZIP CODE: APALACHICOLA, FL 32320 PHONE # (423) 291-0095

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: EARL DUGGAR Email: etduggar@fairpoint.net

ADDRESS: 80 WADDELL ROAD

CITY, STATE & ZIP CODE: APALACHICOLA FL 32320 PHONE # (850) 653-7080

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 159 20th AVENUE, APALACHICOLA, FL 32320

PURPOSE OF PERMIT: CONSTRUCTION OF CAR PORT (24 x 45)

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  
 YES  NO

PROPERTY PARCEL ID # 01-095-08W 8330-0247-0200

LEGAL DESCRIPTION OF PROPERTY: BLK 247 LOTS 20 THRU 23

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to [towens@cityofapalachicola.com](mailto:towens@cityofapalachicola.com) or dropped off at City Hall mailbox)



**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial       Shed  
 Multi-Family       Swimming Pool       Roof       Sign       Pole Barn  
 Temp Pole       Demolition       Other CAR PORT / STORAGE AND SCREENED IN AREA  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front 18.22 ft Rear 37.53 ft L. Side 15.04 ft  
 R. Side 6 ft  
 Cost of Construction \$ \_\_\_\_\_ Square Footage 1080  
 EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
 Type of Roof HIP SHINGLES Type of Walls \_\_\_\_\_ Type of Floor CONCRETE  
 Extreme Dimensions of: Length 45 ft Height 8 ft Width 24 ft

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I herby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Leri Angel      6/15/22      Carl Duggan  
 Signature of Owner      Date      Signature of Contractor      Date

\_\_\_\_\_  
 Notary as to Owner  
 Date: \_\_\_\_\_  
 My Commission expires: \_\_\_\_\_

\_\_\_\_\_  
 Notary as to Contractor  
 Date: \_\_\_\_\_  
 My Commission expires: \_\_\_\_\_

(email to: [towens@cityofapalachicola.com](mailto:towens@cityofapalachicola.com) or drop off in City drop box)  
 (make checks payable to City of Apalachicola)

\*Be sure to call for inspections to avoid \$75 fee\*



Car Port

CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION

Non-

HISTORIC DISTRICT ONLY.

62

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone (\_\_\_\_) \_\_\_\_\_

Contractors Name: \_\_\_\_\_  
State License # \_\_\_\_\_ City License # \_\_\_\_\_  
Email Address \_\_\_\_\_  
Phone (\_\_\_\_) \_\_\_\_\_

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: (24 x 45) carport

PROPERTY INFORMATION:

Street Address: 159 20<sup>th</sup> Ave City & State \_\_\_\_\_ Zip \_\_\_\_\_

Historic District  Non-Historic District Zoning District: R-2

Parcel #: \_\_\_\_\_ Block(s) \_\_\_\_\_ Lot(s) \_\_\_\_\_

FEMA Flood Zone/Panel #: \_\_\_\_\_  
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25 Side: 7 1/2 Lot Coverage: 40

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits.

Bree Robinson

City Planner & Grant Coordinator

850.323.0985 / brobinson@cityofapalachicola.com



Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

24' x 45' Car Port w/ 2 10' x 9' Storage and 12x24' SCREEN AREA

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

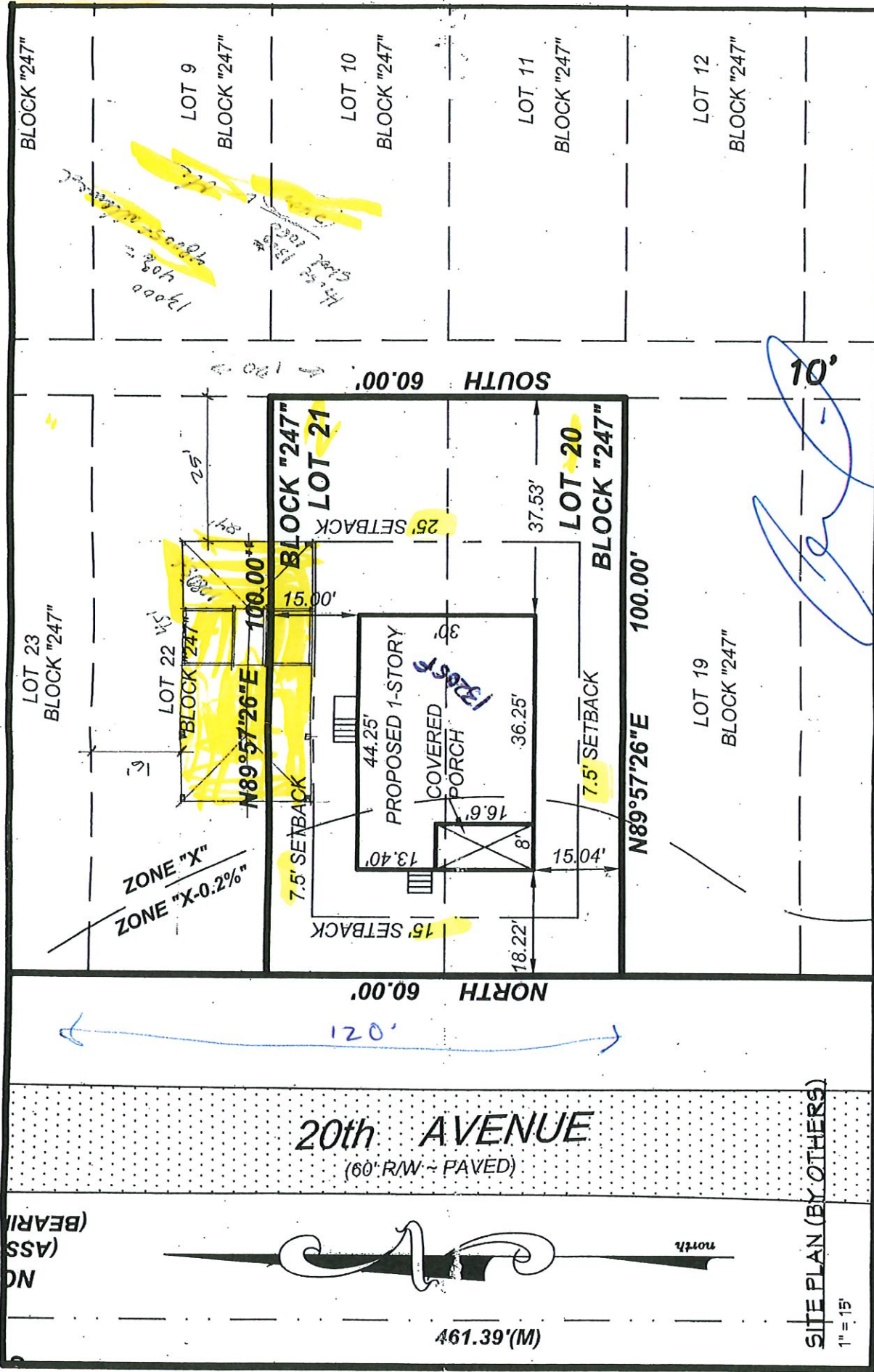
## BUILDING PERMIT APPLICATION CHECKLIST

1. Approval From City Planning & Zoning Board
2. Complete Building Permit Application
3. 2 COMPLETE SETS OF PLANS INCLUDING:
  - \* Site plan
  - \* Final Site Plan(New Construction)-Stormwater Mgt.
  - \* Foundation plan
  - \* Floor plan
  - \* Elevations
  - \* Wall section foundation through the roof
  - \* Fire Protection
  - \* Drawn to scale
4. Contractor Information
  - \*License
  - \*Photo ID of License Holder
  - \*COI: Workers Comp/General Liability
  - \*Letter of Authorization
5. Contract/Scope of Work
6. Energy Forms
7. Notice of Commencement on all permits of \$2500 or more
8. Flood Elevation Certificate
9. Water/Sewer Impact Fees Receipt (If applicable)

Earl Pugga  
Signature

6-24-22  
Date





A-1

Lots 20-23: 12,000 SF 40% = 4,800 SF  
 Horse : 1,320  
 Shed : 1,080 = 2,400 SF  OK ✓

*Handwritten signature*

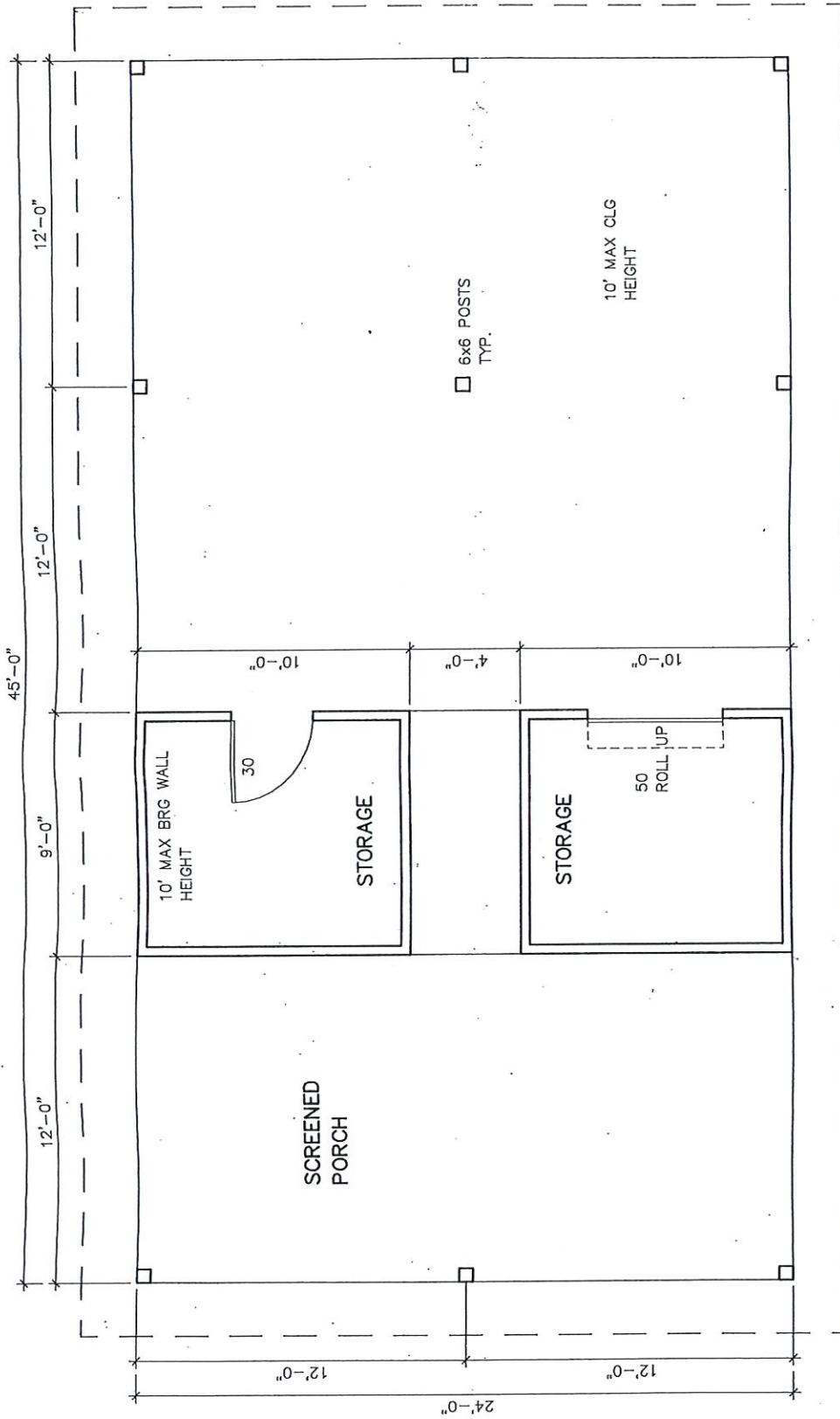
NO  
(ASS  
(BEAR)



461.39'(M)

SITE PLAN (BY OTHERS)

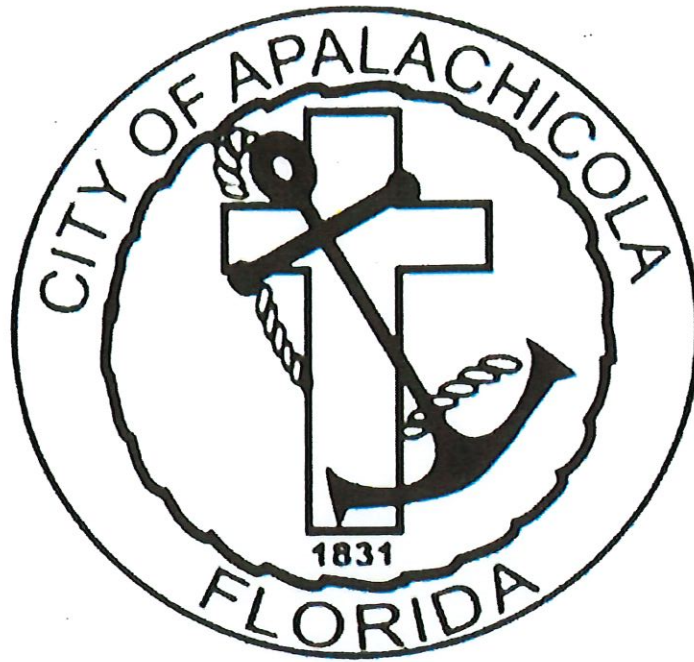
1" = 15'



*[Handwritten signature]*

**FLOOR PLAN**  
 1/8" = 1'-0"





101 Ave. E

Paved Parking Lot

CITY OF APALACHICOLA  
 CERTIFICATE OF APPROPRIATENESS APPLICATION

HISTORIC DISTRICT ONLY

Official Use Only

Application # \_\_\_\_\_  
 City Representative \_\_\_\_\_  
 Date Received \_\_\_\_\_

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner <u>SCT Apalach Holdings, LLC</u> Address <u>315 East 15<sup>th</sup> Street</u> City <u>Panama City</u> State <u>FL</u> Zip <u>32405</u> Phone <u>(850) 763-1721</u>	Contractors Name: <u>Roberts and Roberts, Inc</u> State License # <u>CUC056766</u> City License # _____ Email Address <u>george@rarinc.com</u> Phone <u>(850) 215-8001</u>

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

<input type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Other <u>Repave Asphalt Parking Lot</u> <u>Pave Driveway that is asphalt millings</u>
--	--

PROPERTY INFORMATION:

Street Address 101 Ave E City & State Apalachicola, FL Zip 32320

Historic District  Non-Historic District Zoning District C-2

Parcel #: 01-095-08W-8330-0032-0010 Block(s) 32 Lot(s) 1-2

FEMA Flood Zone/Panel #: \_\_\_\_\_  
 (For AL, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property: Front: <u>15</u> Rear: <u>10</u> Side: <u>5</u> Lot Coverage: <u>60%</u> Water Available: _____ Sewer Available: _____ Taps Paid _____	This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued. Certificate of Appropriateness Approval: _____ Chairperson, Apalachicola Planning & Zoning Board
---	---

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contacted to handle the City of Apalachicola Building Permits.

**Bree Robinson**

City Planner & Grant Coordinator

850.323.0985 / brobinson@cityofapalachicola.com



Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Repave existing Parking Lot and Pave existing Asphalt Millings driveway. This project will not vary from the plans on the site map.

Lot Area = 12,000 SGFT

To be Paved Area = 4,063 SGFT (34%)

Building Area = 3,200 SGFT (27%)

Permeable Area = 4,737 SGFT (39%)

needs to be

40%

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
<u>Driveways/Sidewalks</u>	Roberts and Roberts, Inc.	Asphalt Paving	
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
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6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

6/24/22

DATE



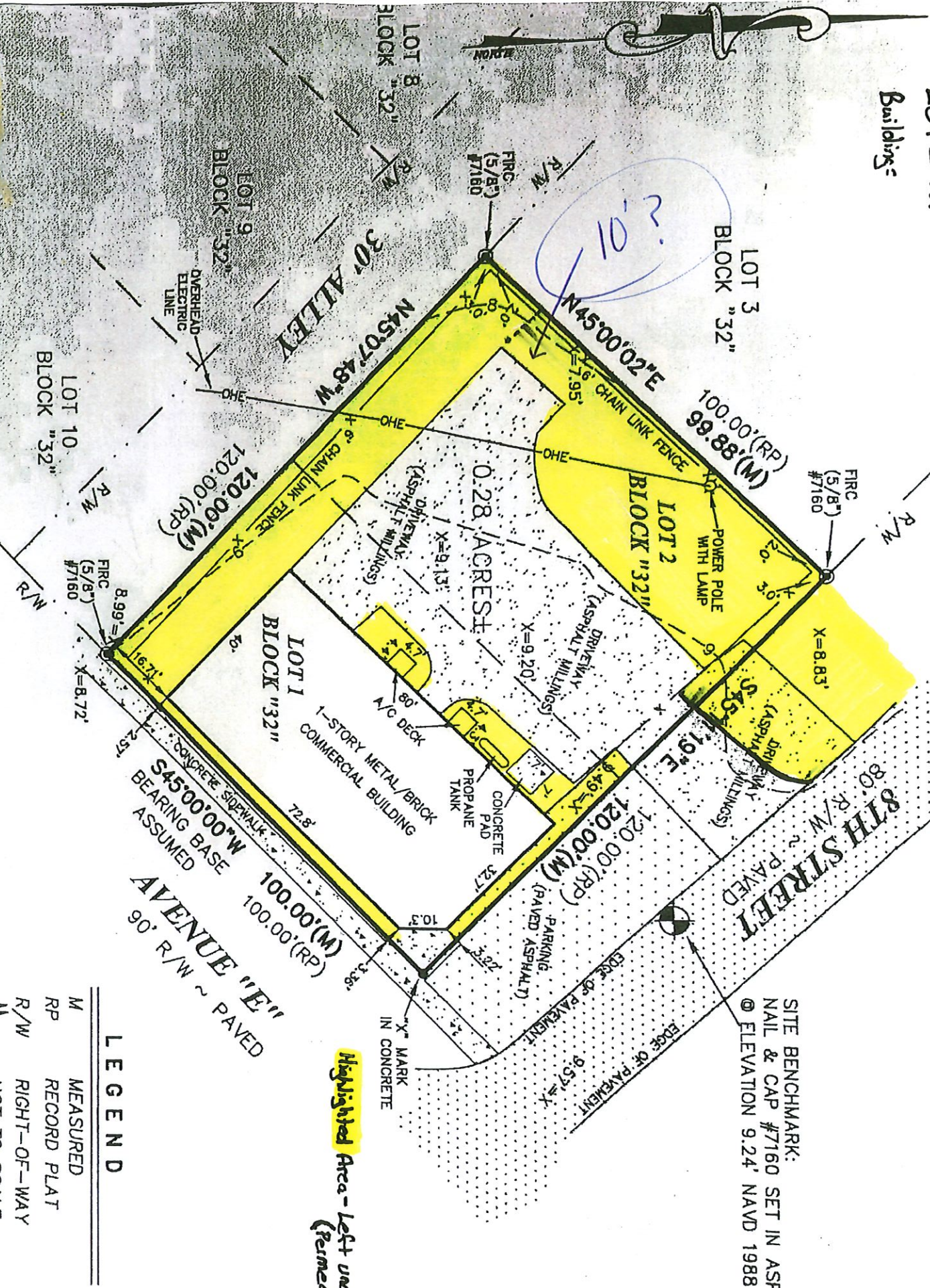
SIGNATURE OF APPLICANT



Lot = 12000 SQFT

Buildings =

LEGAL DESCRIPTION:



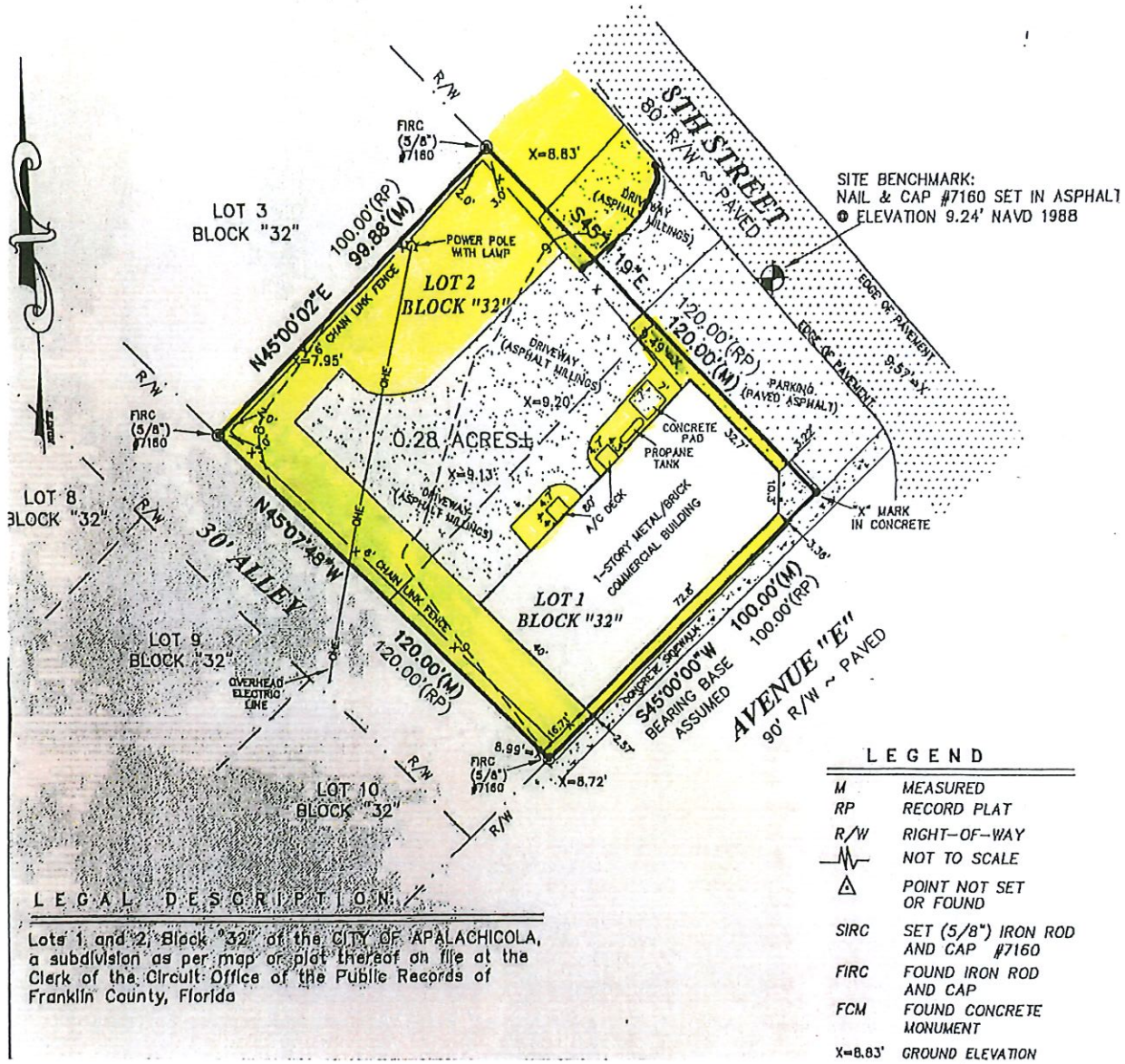
Highlighted Area - Left unchanged (Permeable)

LEGEND

- M MEASURED
- RP RECORD PLAT
- R/W RIGHT-OF-WAY
- NOT TO SCALE
- POINT NOT SET OR FOUND



( IN FEET )  
1 inch = 30 ft.



Lot 1 & Lot 2 Area: 12,000 SQFT  
 Building Area: 3,200 SQFT (27%)  
 To Be Paved Area: 4,063 SQFT (34%)  
 Permeable Area: 4,737 SQFT (39%)

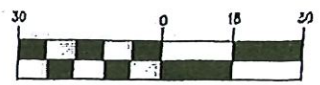
7,200 SF coverage allowed  
 7,263 proposed.

Highlight In Yellow

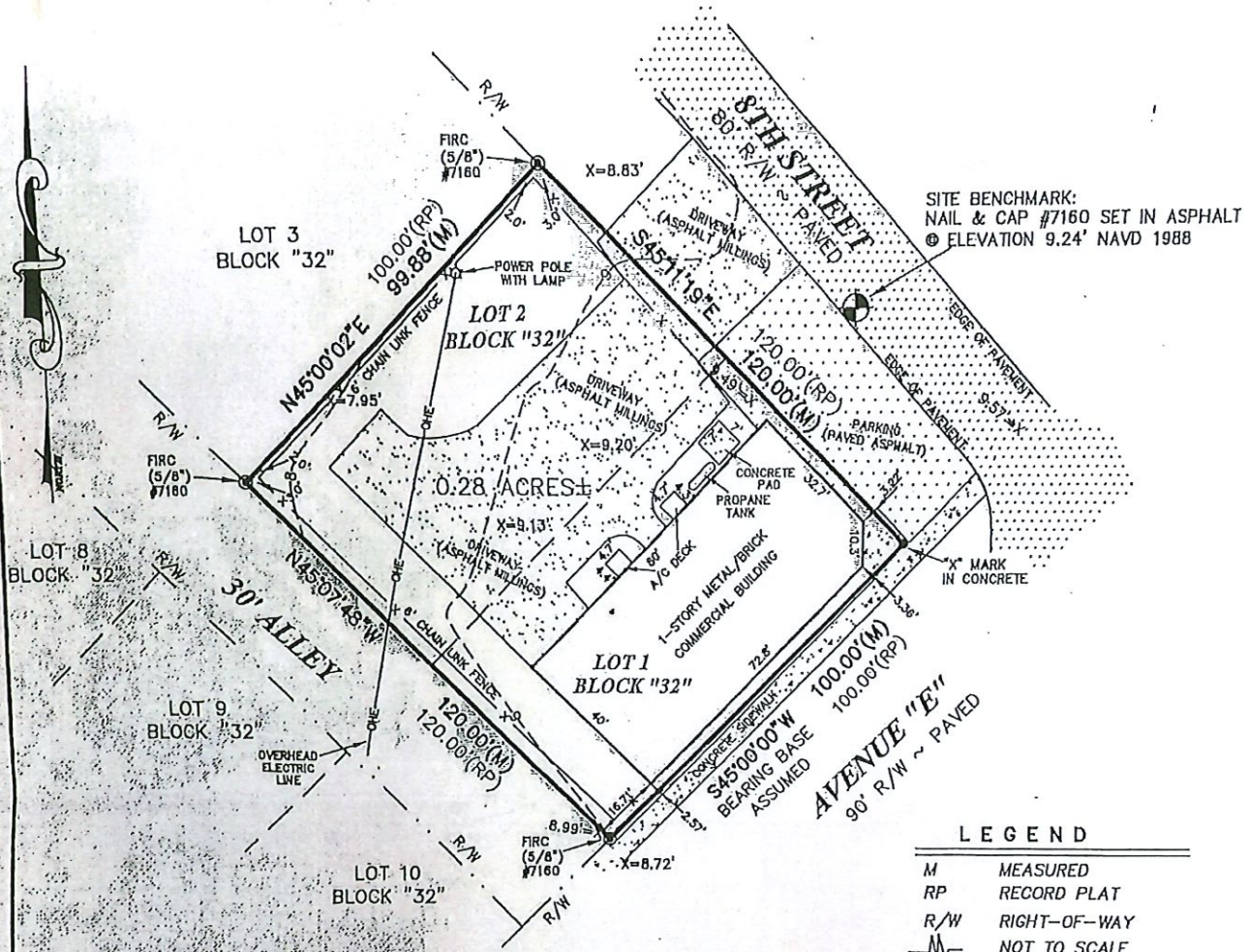
milling = permeable  
 paved = not

OK if can switch out 63 SF of the paved to permeable.





( IN FEET )  
1 inch = 30 ft.



SITE BENCHMARK:  
NAIL & CAP #7160 SET IN ASPHALT  
ELEVATION 9.24' NAVD 1988

**LEGEND**

- M MEASURED
- RP RECORD PLAT
- R/W RIGHT-OF-WAY
- NOT TO SCALE
- POINT NOT SET OR FOUND
- SIRC SET (5/8" IRON ROD AND CAP #7160
- FIRC FOUND IRON ROD AND CAP
- FCM FOUND CONCRETE MONUMENT
- X=8.83' GROUND ELEVATION

**LEGAL DESCRIPTION:**

Lots 1 and 2, Block "32" of the CITY OF APALACHICOLA, a subdivision as per map or plat thereof on file at the Clerk of the Circuit Office of the Public Records of Franklin County, Florida

**NOTES:**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northerly right-of-way boundary of Avenue "E" having an assumed bearing of South 45 degrees 00 minutes 00 seconds West
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

**FLOOD ZONE INFORMATION:**

Subject property is located in Zone "AE (EL 10)" as per Flood Insurance Rate Map Community Panel No: 120089 0526F Index date: February 5, 2014, Franklin County, Florida.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice of land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 63B-7.001).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property; it is possible there are deeds of record, unrecorded deeds, easements or other instruments which could affect the boundaries.

*James T. Roddenberry*  
JAMES T. RODDENBERRY  
Surveyor and Mapper  
Florida Certificate No: 4281

<b>TR &amp; A</b>	<b>THURMAN RODDENBERRY &amp; ASSOCIATES, INC</b>		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 168 • 135 SIBLEY STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 352-142-1111 FAX NUMBER: 352-142-1112 L.S. # 7142		
DATE: 07/11/19	DRAWN BY: RB	N.B. Folder	COUNTY: Franklin
FILE: 14189.0WJ	DATE OF LAST FIELD WORK: 07/10/19	JOB NUMBER: 14-199	





270 Prado

Preliminary Plat – Oyster City Townhomes



CITY OF APALACHICOLA  
 CERTIFICATE OF APPROPRIATENESS APPLICATION

*new*

**HISTORIC DISTRICT ONLY**

Official Use Only

Application # \_\_\_\_\_  
 City Representative \_\_\_\_\_  
 Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner 800 Mexico Beach, LLC  
 Address 2316 Killlearn Center Blvd.  
 City Tallahassee State FL Zip 32308  
 Phone (\_\_\_\_) \_\_\_\_\_

Contractors Name: Sean K. Marston, P.E.  
 State License # 55987 City License # \_\_\_\_\_  
 Email Address smarston@ucceng.com  
 Phone ( 850 ) 566-0083

Approval Type: [ ] Staff Approval Date: \_\_\_\_\_ [ ] Board Approval [ ] Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other \_\_\_\_\_

PROPERTY INFORMATION

Street Address 270 Prado City & State Apalachicola, Florida Zip 32320  
 [ ] Historic District [X] Non-Historic District Zoning District R-2  
 Parcel #: 01-095-08W-8330-0265-0010 Block(s) 265 Lot(s) \_\_\_\_\_  
 FEMA Flood Zone/Panel #: X + AE  
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25 Side: 15 Lot Coverage: 45%  
 Water Available: X Sewer Available: X Taps Paid \_\_\_\_\_  
*townhomes*

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits.

Bree Robinson  
 Grant Coordinator & City Planner  
 City of Apalachicola  
 o: 850-323-0985  
 brobinson@cityofapalachicola.com

APPLICATION FOR SUBDIVISION PRELIMINARY PLAT APPROVAL

DATE: 6/9/2022

PROPOSED SUBDIVISION NAME: Oyster City Townhomes
AGENT'S NAME: Urban Catalyst Consultants, Inc., Sean K. Marston, P.E.
ADDRESS: 2851 Remington Green Circle, Ste. D
Tallahassee, FL 32308
TELEPHONE NUMBER: 850-999-4241

OWNER'S NAME: 800 Mexico Beach, LLC
ADDRESS: 2316 Killearn Center Blvd.
Tallahassee, FL 32308
TELEPHONE NUMBER:

SKETCH PLAT WAS APPROVED: 1/6/2022

NUMBER OF LOTS IN SUBDIVISION: 26

FEE: \$

PLEASE NOTE: PLANNING AND ZONING COMMISSION MAKES RECOMMENDATIONS TO THE FRANKLIN COUNTY BOARD OF COMMISSIONERS REGARDING YOUR APPLICATION. ALL APPLICANT'S ARE NOTIFIED THAT IF YOUR APPLICATION IS DENIED, IT SHALL NOT BE RESUBMITTED FOR ONE YEAR. ALSO, ANY PERSON WISHING TO APPEAL THE RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION OR THE DECISION OF THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSION ARE RESPONSIBLE TO ENSURE THAT A VERBATIM TRANSCRIPT OF THE PROCEEDINGS IS MADE.

I hereby certify, as a representative for that the information given is true and accurate to the best of our knowledge.

Agent's Signature (Handwritten signature)

Owner's Signature (Handwritten signature)

TO BE FILLED IN BY PLANNING OFFICIAL

Planning & Zoning Commission Recommendation: Date:
Board of County Commissioners Action: Date:

Comments:



## City of Apalachicola – Platting General Info

### Link to Land Use Code:

- [https://library.municode.com/fl/apalachicola/codes/code\\_of\\_ordinances?nodetid=SPBLADECO\\_CH111LAUS](https://library.municode.com/fl/apalachicola/codes/code_of_ordinances?nodetid=SPBLADECO_CH111LAUS)
- Sec. 111-37 ~ 191 contains applicable code for subdivision platting.

### Basic Steps:

1. P&Z preliminary plat approval application and documents provided to City staff 30 days prior to next P&Z meeting.
2. P&Z will approve or deny the preliminary plat with comments.
3. P&Z approved preliminary plat will be placed on the next regular commission meeting for commission approval or denial with comments.
4. If approved by commission, final plat documents must be submitted to City staff 30 days prior to next P&Z meeting.
5. P&Z will approve or deny the final plat.
6. P&Z approved final plat will be placed on the next regular commission meeting for commission approval or denial.
7. If commission approves, final signatures and documents will be obtained to be recorded with the City Clerk. At this point development can begin pending permits.

### Part 1: Preliminary Plat Documents

Per our land use code, you will need to provide the following for the first P&Z meeting:

- ✓ • A P&Z Application packet - filled out with as much information as possible. (We know the form isn't perfect, but it is a good starting point for contact info, etc.)
- ✓ • Updated elevation certificate
- ✓ • Two copies of the preliminary plat and accompanying material shall be submitted to the building official 30 days prior to the next regularly scheduled planning and zoning board meeting. The preliminary plat shall include:
  - ✓ (1) Name of subdivision, boundary survey and legal description, scale, north arrow, number of acres to be subdivided, current zoning, and total number of lots.
  - ✓ (2) Names and addresses of owner, developer, land surveyor, and engineer.
  - ✓ (3) Topographic map with contour intervals at one foot.
  - ✓ (4) Dimensions and locations of all parcels of land proposed to be dedicated or reserved for public or common use, such as rights-of-way, easements, drainageways, parks, and other public or common use spaces.
  - ✓ (5) Location of any existing streets, easements, utilities, stormwater management facilities, or other improvements.
  - (6) Proposed lot, block, and street layout and parking areas. Lots and blocks should be numbered and street names should be shown.

- ✓ (7) Schematic drawings of proposed potable water, sanitary sewer, and stormwater management systems, including the location of the outfall for stormwater discharge. Indicate size and approximate location of internal distribution and collection lines, direction of flow, and location of any lift stations, retention/detention facilities, and other major features of these systems.
- ✓ (8) Draft copies of proposed covenants, deed restrictions, and homeowners or condominium documents, if any.
- ✓ (9) Location of streams, lakes, swamps, wetlands and flood prone areas on the property to be subdivided. Indicate the flood zone of the proposed subdivision and the base flood elevation.
- ✓ (10) Proposed bulkheads, seawalls, and similar structures. *N/A*
- ✓ (11) When applicable, indicate how the project will be phased, the order in which the phases will be developed, and the approximate date when development for each phase will begin. Each phase should be designed to stand independently of phases not yet developed. *N/A 1 phase ✓*

The planning and zoning board shall recommend to the city commission that the preliminary plat be approved as presented, be approved with conditions, or be disapproved.

The building official shall place the proposed preliminary plat on the next regularly scheduled city commission agenda. The report of the building official and the recommendation of the planning and zoning board shall be forwarded for the city commission's consideration. The city commission, after reviewing the material presented, shall approve, approve with conditions, or disapprove the preliminary plat. Approval shall constitute authorization to submit a final plat to the planning and zoning board for approval. Application for final plat approval shall be submitted within one year following approval of the preliminary plat by the city commission.

*No development shall be permitted prior to final plat approval. After preliminary approval from P&Z and the City Commission, you will be set to send in your documents for your final plat approval to P&Z and the City Commission. You will need to send in documentation 30 days before next P&Z meeting again.*

**Part 2: Final Plat Documents**

Per our land use code, you will need to provide the following for the second P&Z meeting:

- A P&Z application packet.
- Two copies of the final plat and accompanying material and two copies of the construction plans shall be submitted to the building official at least 30 days prior to the next regularly scheduled planning and zoning board meeting. The plat and accompanying materials shall conform substantially to the approved preliminary plat. The final plat shall reflect the conditions of earlier approvals and shall include:
  - (1) The plat map prepared in accordance with F.S. § 177.091, each sheet thereof being 36 inches long and 24 inches wide. The final plat shall be drawn on Mylar or vellum and shall be at a scale of 60 feet to one inch or larger. Where necessary, the plat may be on several sheets accompanied by an index sheet showing the entire subdivision.



- (2) The construction plans showing all subdivision improvements in accordance with division 3 of this article.
- (3) Developers proposing to post a guarantee for the construction of subdivision improvements shall submit the guarantee pursuant to division 4 of this article.
- (4) Copies of permits required from any federal or state governmental regulatory agency, or proof that application for such permits has been made and is pending approval.
- (5) Title certification pursuant to F.S. § 177.041.
- (6) Restrictive covenants, deed restrictions, deeds for lands on improvements to be conveyed to the city, access on utility easements, drainage, potable water or sanitary sewer easements, and condominium or homeowners association documents, if any.
- (7) Dedications. SEE FULL CODE FOR SPECIFICS.

**Tentative Timeline:**

- Preliminary Plat Documents submitted 30 days prior to next P&Z meeting.
- If approved by P&Z, preliminary plat documents provided to City Commission for decision at next regular meeting.
- If approved by City Commission, then final plat documents submitted 30 days prior to next P&Z.
- If approved by P&Z, final plat documents provided to City Commission for decision at next regular meeting.
- If approved by City Commission, then final plat documents are signed and recorded with City Clerk by City Staff.

**PLEASE READ THE LAND USE CODE FOR FULL INFORMATION AND WHAT THE CITY WILL BE LOOKING FOR. IT IS UP TO THE APPLICANT TO ENSURE ALL NECESSARY DOCUMENTS ARE PROVIDED AND IN ACCORDANCE WITH THE LAND USE CODE.**

# OYSTER CITY TOWNHOMES PRELIMINARY PLAT

*local business name...*

**INDEX OF SHEETS**

C-100	COVER
C-101	EXISTING CONDITIONS
C-102	PRELIMINARY PLAT
C-103	SITE LAYOUT PLAN
C-104	GRADING PLAN
C-105	UTILITY PLAN

TAX IDS: 01-09S-08W-8330-0265-00110  
ADDRESS: 270 PRADO STREET

**UC2**  
URBAN CATALYST CONSULTANTS, INC.  
2851 REMINGTON GREEN CIRCLE, SUITE B  
TALLAHASSEE, FL 32309  
PHONE: (850) 899-4241  
WWW.UCCENG.COM  
FL.CA.0003057Z



LOCATION MAP  
N.T.S.

JUNE 2022

CITY OF APALACHICOLA  
FRANKLIN COUNTY, FLORIDA

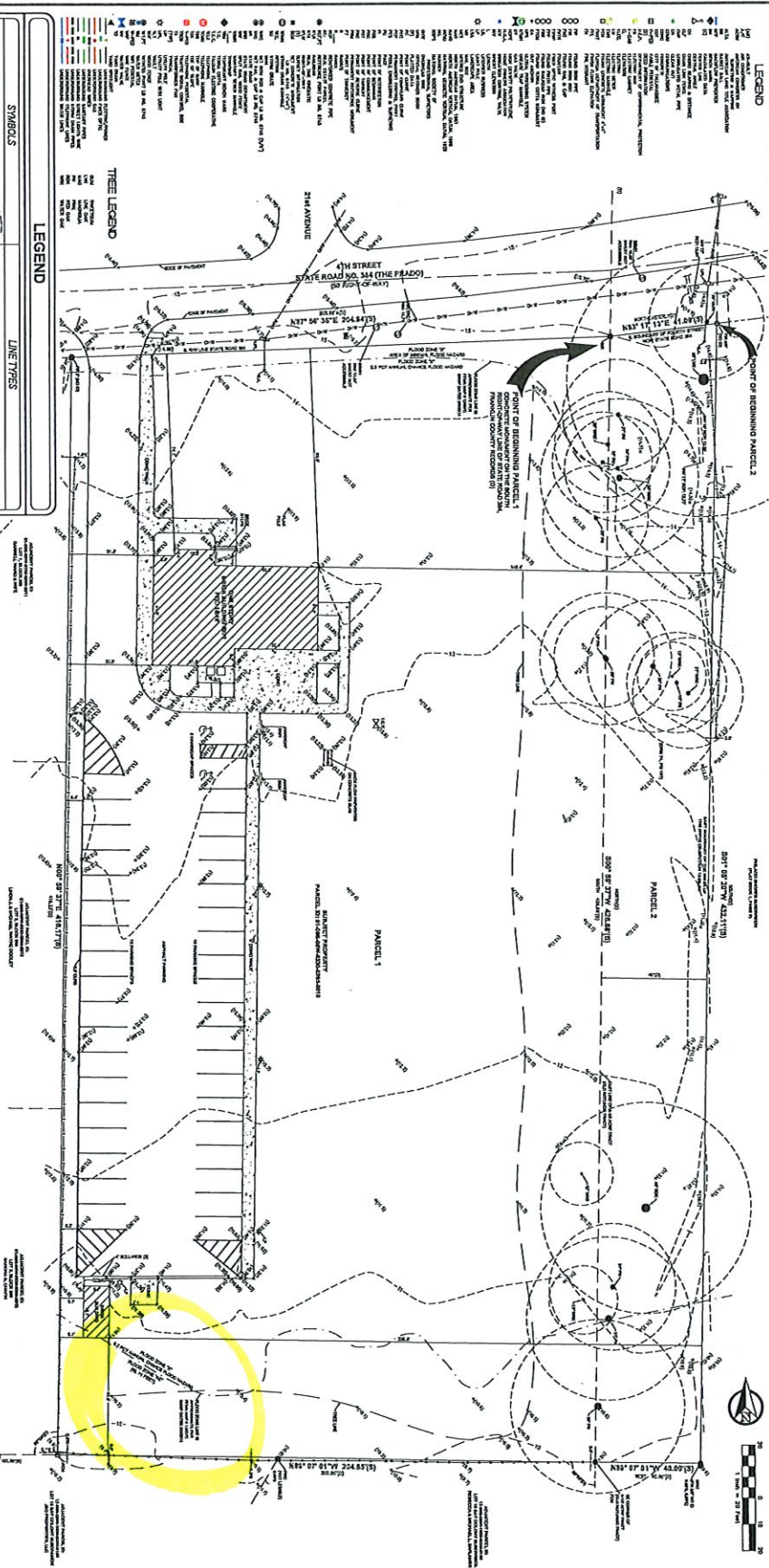
**PREPARED FOR:**  
800 MEXICO BEACH LLC  
2316 KILLEARN CENTER BLVD.  
TALLAHASSEE, FL 32309

**PREPARED BY:**  
URBAN CATALYST CONSULTANTS  
2851 REMINGTON GREEN CIRCLE  
TALLAHASSEE, FL 32309  
(850) 999-4241  
www.ucceng.com

Digitally signed by Sean K. Larston  
DN: cn=Sean K. Larston,  
ou=Urban Catalyst Consultants, Inc.,  
o=Urban Catalyst Consultants, Inc.,  
c=FL, email=slarston@ucceng.com,  
1.3.6.1.5.5.4.1.1=Sean K. Larston,  
1.3.6.1.5.5.4.1.1=Sean K. Larston,  
1.3.6.1.5.5.4.1.1=Sean K. Larston,  
1.3.6.1.5.5.4.1.1=Sean K. Larston

**ENGINEER OF RECORD:**  
SEAN K. LARSTON, P.E.  
COMPLETION DATE OF AUTHORIZATION: 06/15/22  
PROFESSIONAL DESIGNER  
DATE OF SIGNATURE





**LEGEND**

SYMBOLS	DESCRIPTION
○	WATER
○	SEWER
○	STORM
○	UTILITY
○	PROPERTY
○	ADJACENT
○	EXISTING
○	PROPOSED
○	ADJACENT
○	EXISTING
○	PROPOSED
○	ADJACENT
○	EXISTING
○	PROPOSED

**UTILITY NOTE**

ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION AND DEPTH OF UTILITIES IS NOT GUARANTEED. ANY UTILITIES NOT SHOWN SHOULD BE LOCATED AND DELETED PRIOR TO CONSTRUCTION.

ALL UTILITIES SHALL BE DELETED PRIOR TO CONSTRUCTION.

**LOCAL JURISDICTION:** ALL RECORDS, PLATS, AND PERMITS SHALL BE OBTAINED FROM THE LOCAL JURISDICTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FROM THE LOCAL JURISDICTION.

**LOCAL JURISDICTION:** ALL RECORDS, PLATS, AND PERMITS SHALL BE OBTAINED FROM THE LOCAL JURISDICTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FROM THE LOCAL JURISDICTION.

**POOLE ENGINEERING & SURVEYING, Inc.**

2145 DELTA BLVD. • TALLAHASSEE, FL 32303 • (850) 386-5177 • LICENSE NO. 5745

WWW.POOLE-ENG.COM

PROJECT NO. 2103.00	SHEET C-101	DATE 09/09/22	SCALE 1"=20'
DRAWN BY: M.B.C.	CHECKED BY: S.K.L.	DATE 09/09/22	SCALE 1"=20'
OYSTER CITY TOWNHOMES			
EXISTING CONDITIONS			
FRANKLIN COUNTY		FLORIDA	
DATE	BY	REVISIONS	

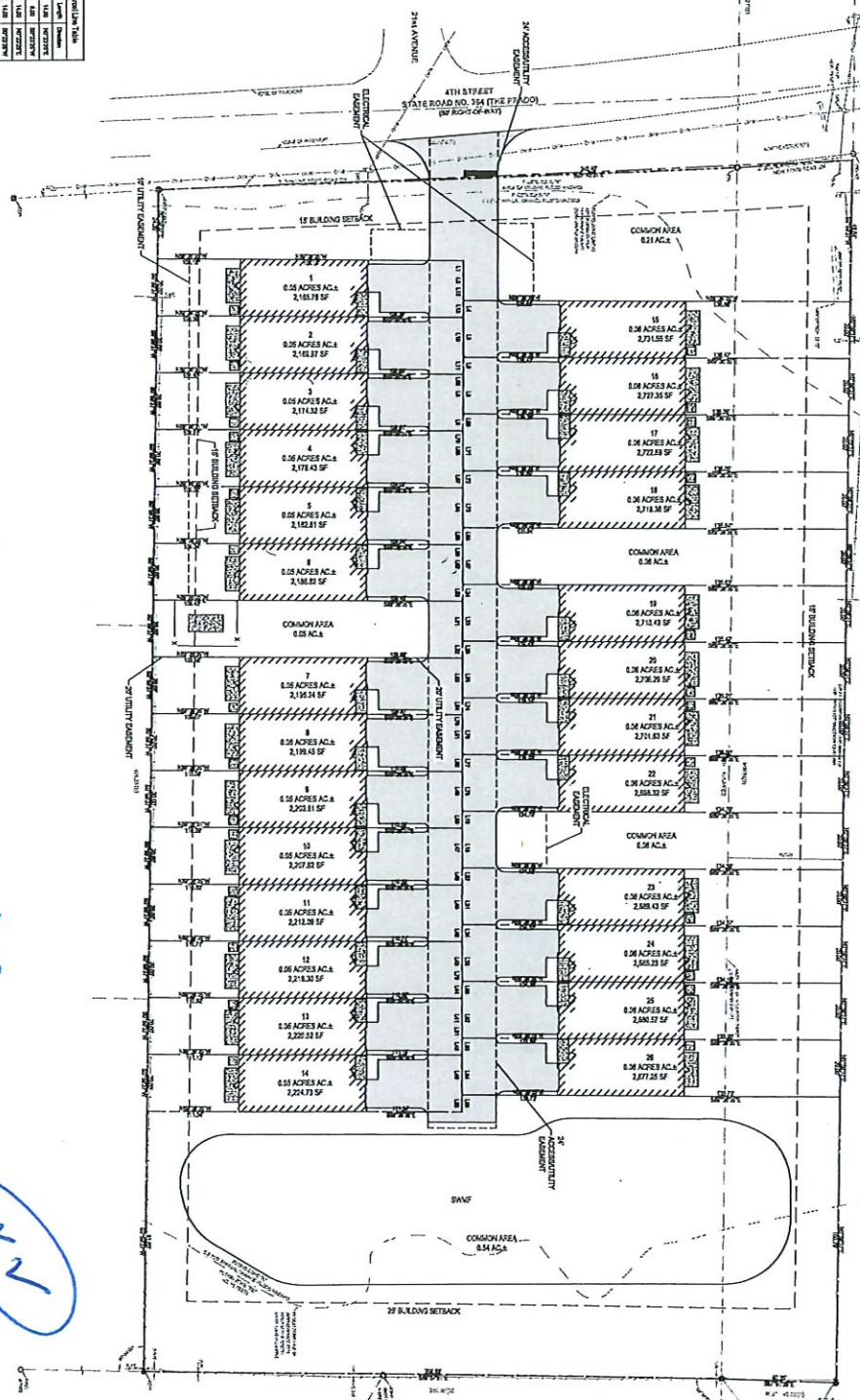
**URBAN CATALYST CONSULTANTS, INC.**

2351 REMINGTON GREEN CIRCLE  
TALLAHASSEE, FLORIDA, 32308  
PHONE: (850) 999-4241  
WWW.UCCENG.COM  
FLCA 00030572





Parcel No.	Area (Acres)	Area (Sq. Ft.)
1	0.56	2,161.78
2	0.56	2,161.87
3	0.56	2,171.32
4	0.56	2,178.43
5	0.56	2,152.81
6	0.56	2,168.83
7	0.56	2,194.34
8	0.56	2,194.43
9	0.56	2,201.11
10	0.56	2,201.81
11	0.56	2,212.38
12	0.56	2,214.30
13	0.56	2,205.13
14	0.56	2,254.71
15	0.56	2,271.83
16	0.56	2,272.83
17	0.56	2,272.83
18	0.56	2,118.38
19	0.56	2,112.43
20	0.56	2,228.26
21	0.56	2,215.83
22	0.56	2,258.32
23	0.56	2,258.43
24	0.56	2,265.23
25	0.56	2,268.27
26	0.56	2,271.25



*lot sizes  
 over  
 1,800 SF  
 OK*

FRANKLIN COUNTY  
 FLORIDA

OYSTER CITY TOWNHOMES  
 PRELIMINARY PLAT

DATE	BY	REVISIONS

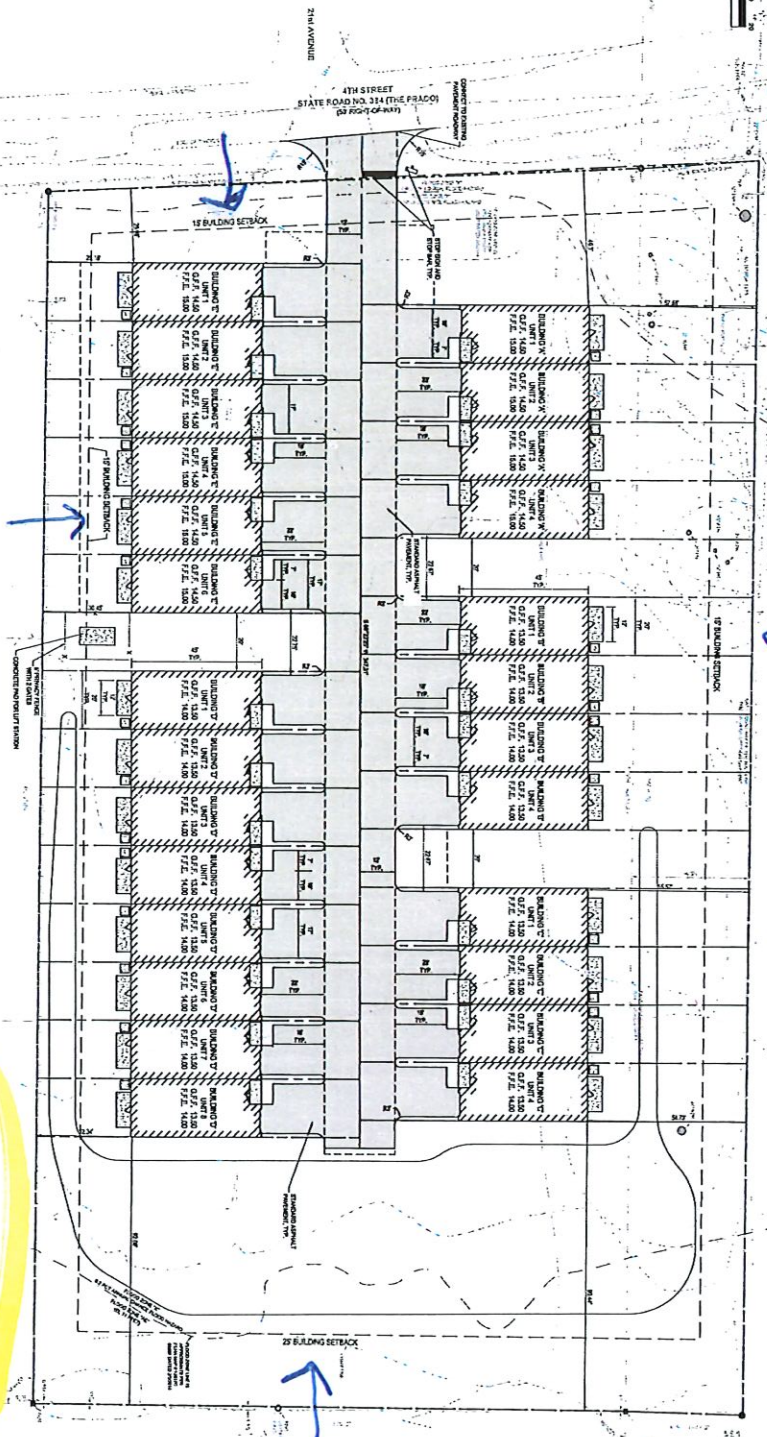
URBAN CATALYST CONSULTANTS, INC.  
 2851 REMINGTON GREEN CIRCLE  
 TALLAHASSEE, FLORIDA, 32308  
 PHONE: (850) 999-4241  
 WWW.UCCENG.COM  
 FL CA 00030572

PROJECT NO. 2020-00  
 SHEET C-102





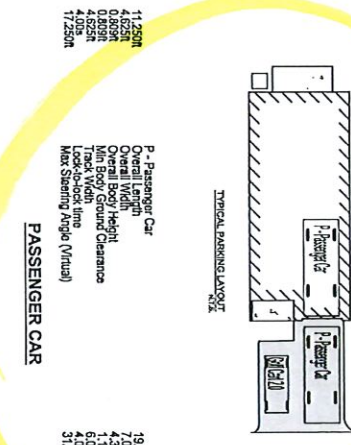
*Setbacks  
OK*



COMPONENT	THICKNESS	UNIT	% OF SUBGRADE	MINIMUM REQUIREMENTS
ASPHALT SURFACE	1.5"	ASPHALT	100%	ASPHALT 57 - 1.5" MIN. 1.5" MIN.
BASE COURSE	4.5"	ASPHALT	100%	ASPHALT 57 - 4.5" MIN. 1.5" MIN.
GRAVEL	4.5"	GRAVEL	100%	GRAVEL 57 - 4.5" MIN. 1.5" MIN.
1" SAND	1"	SAND	100%	SAND 57 - 1" MIN. 1.5" MIN.
1" SAND	1"	SAND	100%	SAND 57 - 1" MIN. 1.5" MIN.

SITE DATA TABLE	
CONTRACT NUMBER	02010-0000-0000
PROJECT NAME	2010-0000-0000
ADDRESS	2010-0000-0000
OWNER	2010-0000-0000
DESIGNER	2010-0000-0000
DATE	2010-0000-0000
SCALE	2010-0000-0000
PROJECT NUMBER	2010-0000-0000
DATE	2010-0000-0000
SCALE	2010-0000-0000
PROJECT NUMBER	2010-0000-0000
DATE	2010-0000-0000
SCALE	2010-0000-0000
PROJECT NUMBER	2010-0000-0000
DATE	2010-0000-0000
SCALE	2010-0000-0000

LEGEND	DESCRIPTION
---	PROPERTY BOUNDARY
---	PROPOSED ASPHALT PAVEMENT
---	PROPOSED CONCRETE PAVEMENT



PASSENGER CAR	
Overall Length	19,000
Overall Width	7,000
Overall Body Height	4,625
Overall Body Width	4,625
Track Width	4,025
Lock-to-lock line	4,025
Max Steering Angle (Virtual)	3,150

GOLF CART	
Overall Length	11,250
Overall Width	4,625
Overall Body Height	4,625
Overall Body Width	4,625
Track Width	4,025
Lock-to-lock line	4,025
Max Steering Angle (Virtual)	3,150

PROPOSED CONCRETE PAVEMENT  
 1.5" SAND  
 4.5" GRAVEL  
 4.5" ASPHALT  
 1.5" SAND

*1780 ST Dwelling*

*OK*  
*26 units*  
 GOLF CART (POLARIS GEM EA)

OYSTER CITY TOWNHOMES

SITE LAYOUT PLAN

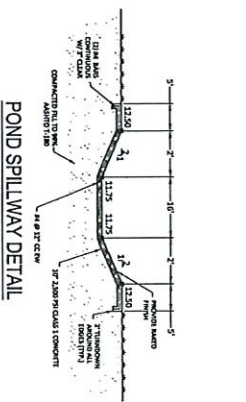
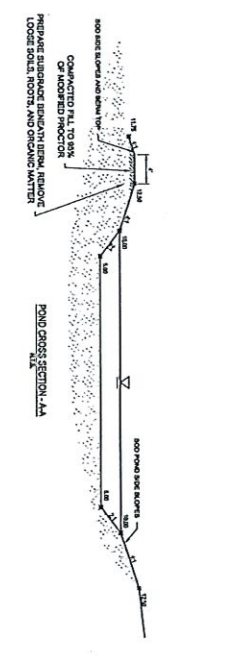
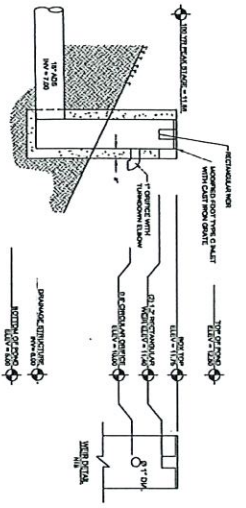
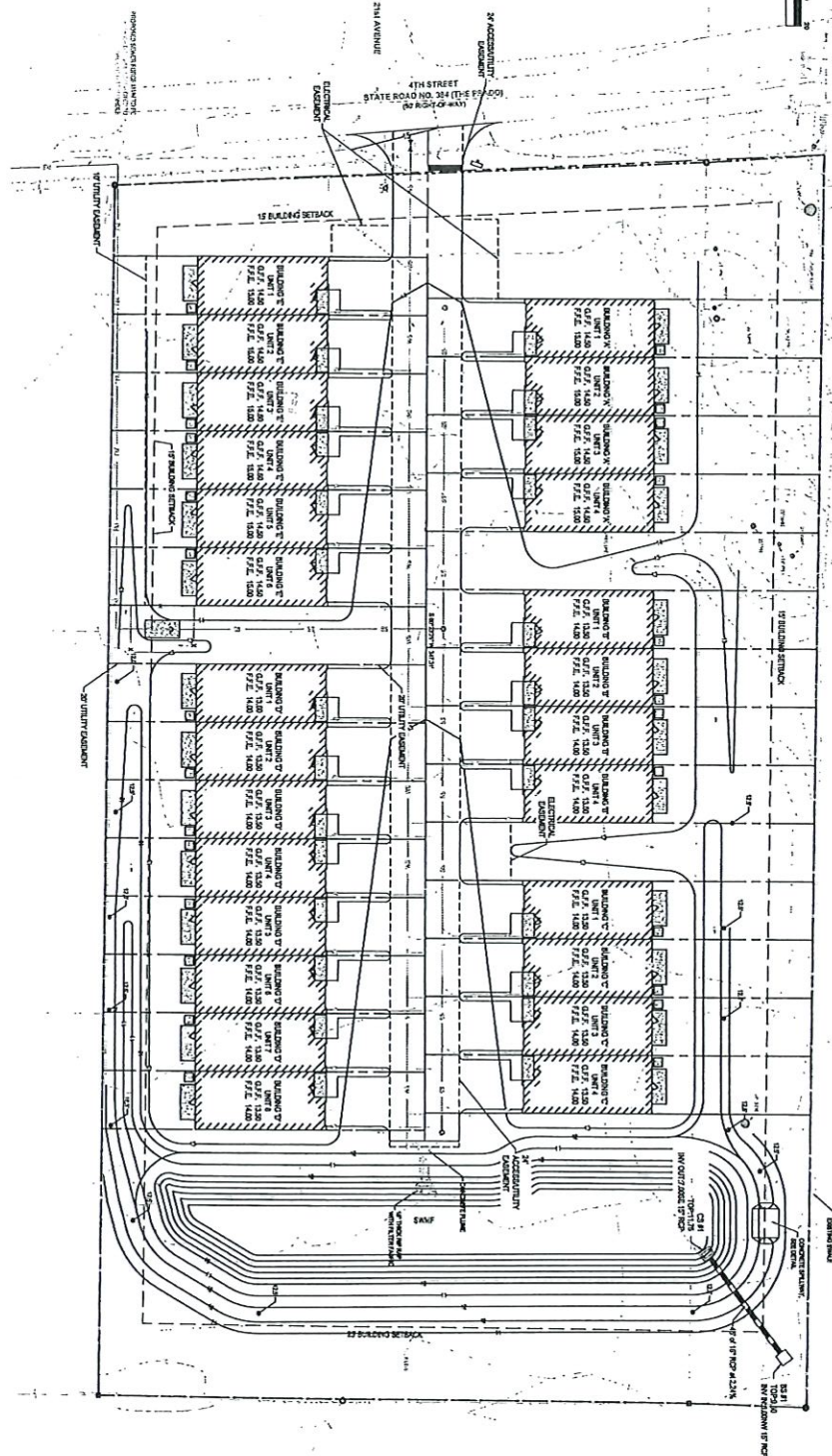
FRANKLIN COUNTY FLORIDA

DATE	BY	REVISIONS

URBAN CATALYST CONSULTANTS, INC.  
 2851 REMINGTON GREEN CIRCLE  
 TALLAHASSEE, FLORIDA 32308  
 PHONE: (850) 959-4241  
 WWW.URCCENG.COM  
 FL CA 00030572

PROJECT INFORMATION	
SHEET	C-103
DATE	06/06/22
SCALE	1"=20'
PROJECT NO.	2010100



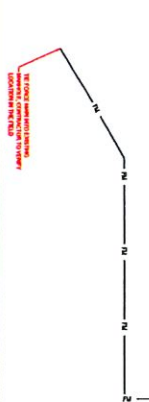
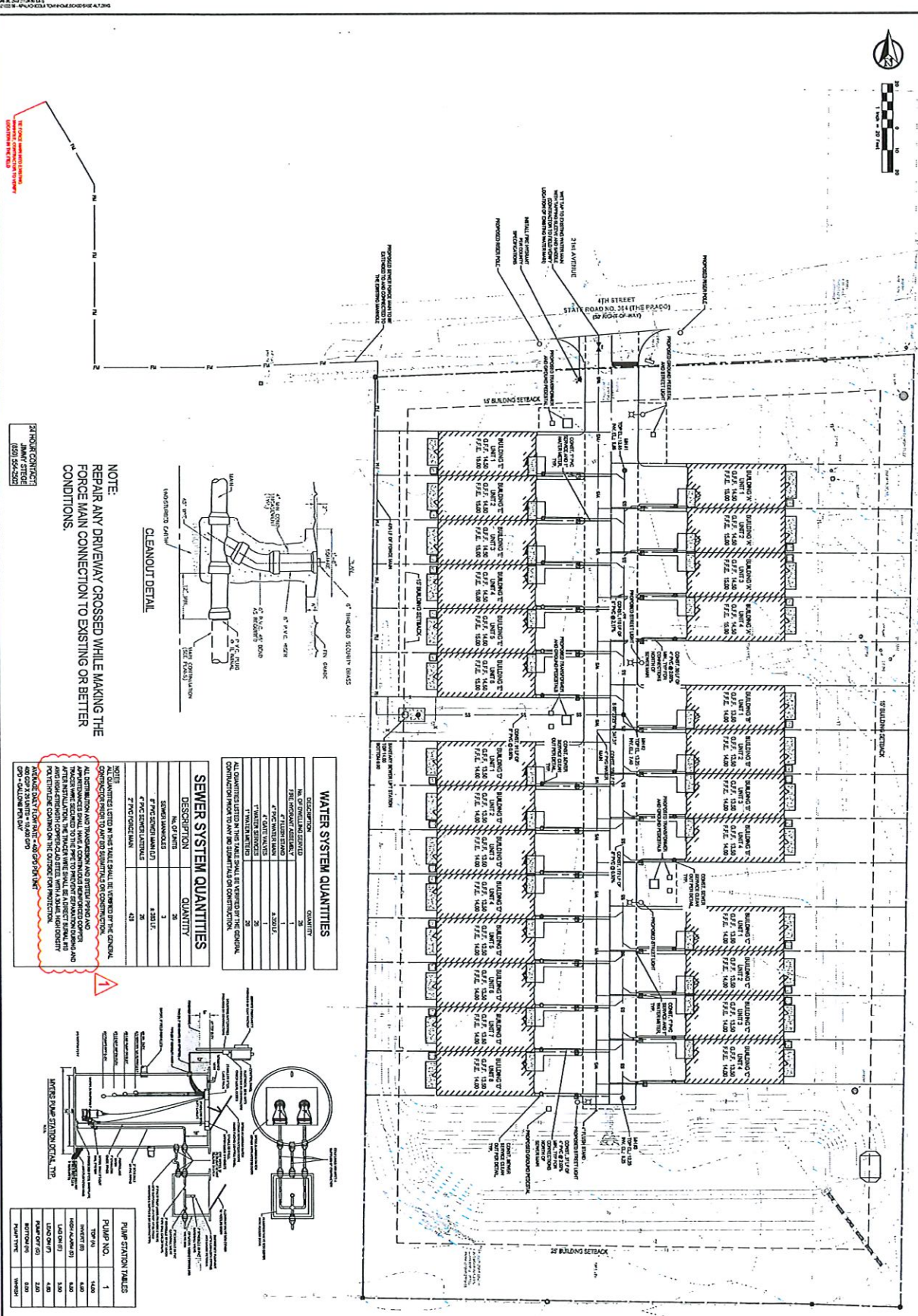


JOHN K. WATSON, P.E.  
 LICENSE NUMBER 5083  
 CHECKED BY: M.D.C.  
 DATE: 09/09/22  
 SCALE: 1"=20'  
 SHEET: C-104  
 PROJECT No. 2020-03

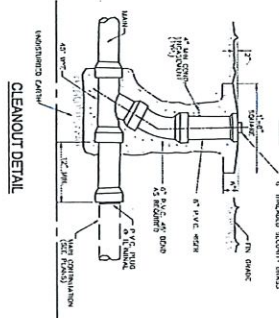
OYSTER CITY TOWNHOMES	
GRADING PLAN	
FRANKLIN COUNTY	FLORIDA
DATE	BY
REVISIONS	

URBAN CATALYST CONSULTANTS, INC.  
 2851 REMINGTON GREEN CIRCLE  
 TALLAHASSEE, FLORIDA, 32308  
 PHONE: (850) 989-4241  
 WWW.UCCENG.COM  
 FL CA 00030572



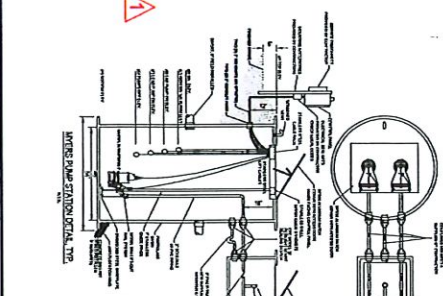


**NOTE:**  
REPAIR ANY DRIVEWAY CROSSED WHILE MAKING THE FORCE MAIN CONNECTION TO EXISTING OR BETTER CONDITIONS.



WATER SYSTEM QUANTITIES	
NO. OF UNITS	28
NO. OF WATER SERVICES	28
4" PVC WATER MAIN	1
4" PVC WATER SERVICE	28
1" WATER SERVICE	28
1" WATER METER	28
4" PVC TRUNK MAIN	28
4" PVC TRUNK MAIN	28

ALL QUANTITIES LISTED IN THIS TABLE SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION OR COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES LISTED IN THIS TABLE SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION OR COMMENCEMENT OF CONSTRUCTION.



SEWER SYSTEM QUANTITIES	
NO. OF UNITS	28
NO. OF MANHOLES	3
4" PVC SEWER MAIN (L)	2,300 FT.
4" PVC SEWER MAIN (S)	28
4" PVC TRUNK MAIN	28
4" PVC TRUNK MAIN	28

NOTE: QUANTITIES LISTED IN THIS TABLE SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION OR COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES LISTED IN THIS TABLE SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION OR COMMENCEMENT OF CONSTRUCTION.

PUMP STATION TABLES	
PUMP NO.	1
TYPE	1/2 HP
WARRANT	3 YEAR
MANUFACTURER	WATTS
DATE	09/09/22
SCALE	1" = 20'
DATE	09/09/22
SCALE	1" = 20'
DATE	09/09/22
SCALE	1" = 20'
DATE	09/09/22
SCALE	1" = 20'

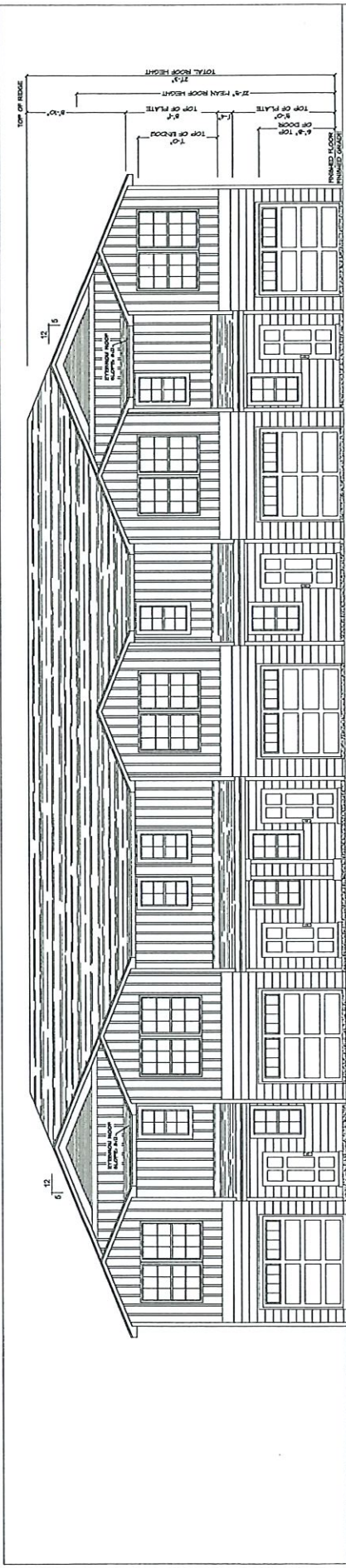
OYSTER CITY TOWNHOMES  
UTILITY PLAN  
FRANKLIN COUNTY FLORIDA

NO.	DATE	BY	REVISIONS
1	02/26		TRACER WIRE NOTE

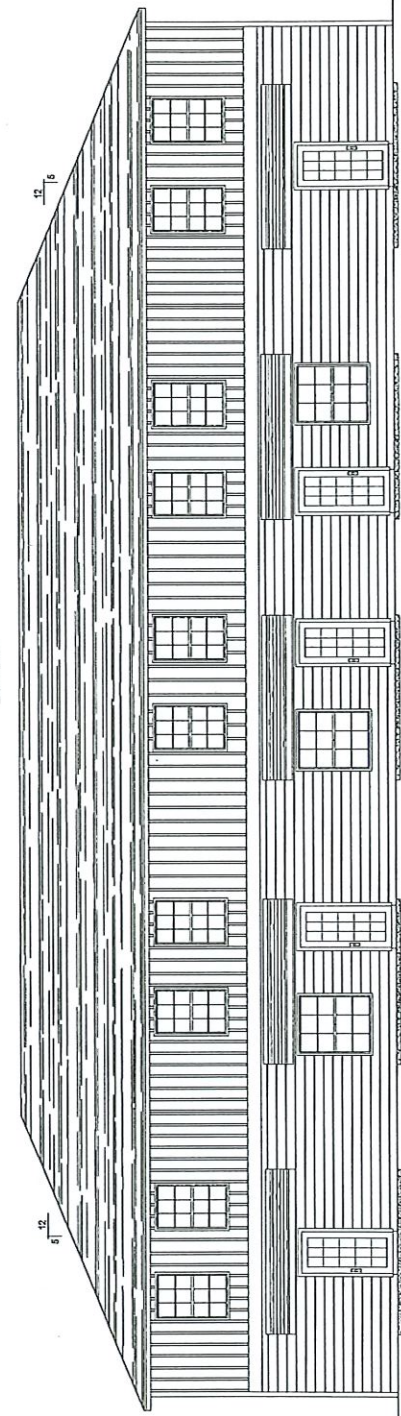
URBAN CATALYST CONSULTANTS, INC.  
2851 REMINGTON GREEN CIRCLE  
TALLAHASSEE, FLORIDA, 32308  
PHONE: (850) 999-4241  
WWW.UCCENG.COM  
FLCA 00030572



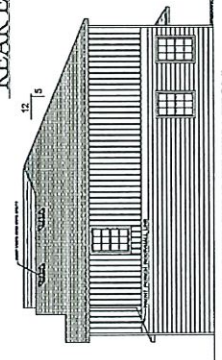
example



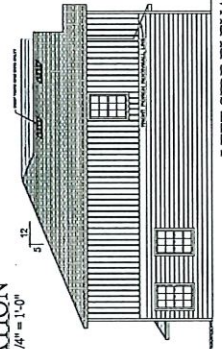
FRONT ELEVATION  
1/4" = 1'-0"



REAR ELEVATION  
1/4" = 1'-0"



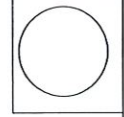
RIGHT SIDE ELEVATION  
1/8" = 1'-0"



LEFT SIDE ELEVATION  
1/8" = 1'-0"

OFF REAR ROOF VENT (R.V.) CALCULATIONS FOR TWO UNITS ONLY  
 SQUARE FEET UNDER ROOF: 900 sq. ft.  
 TOTAL VENT AREA REQUIRED: 222 sq. ft. (1 x 2.0 sq. ft. + 422 sq. ft.) (Note  
 add sq. inches "total venting" required between upper and upper  
 roof with minimum of 40% to upper roof)  
 Using the 40% rule for having roof vents installed  
 within 2'-0" of roof ridge  
 422 (0.40) = 168.8 sq. ft. required  
 168.8 sq. ft. required - 140 sq. ft. (2 x 70 sq. ft.) = 28.8 sq. ft. (Note: 28.8 sq. ft. is Net Free Area Installed)  
 140 sq. ft. x 2 units = 280 sq. ft. Net Free Area Installed

5 Plex  
Units 1 thru 5



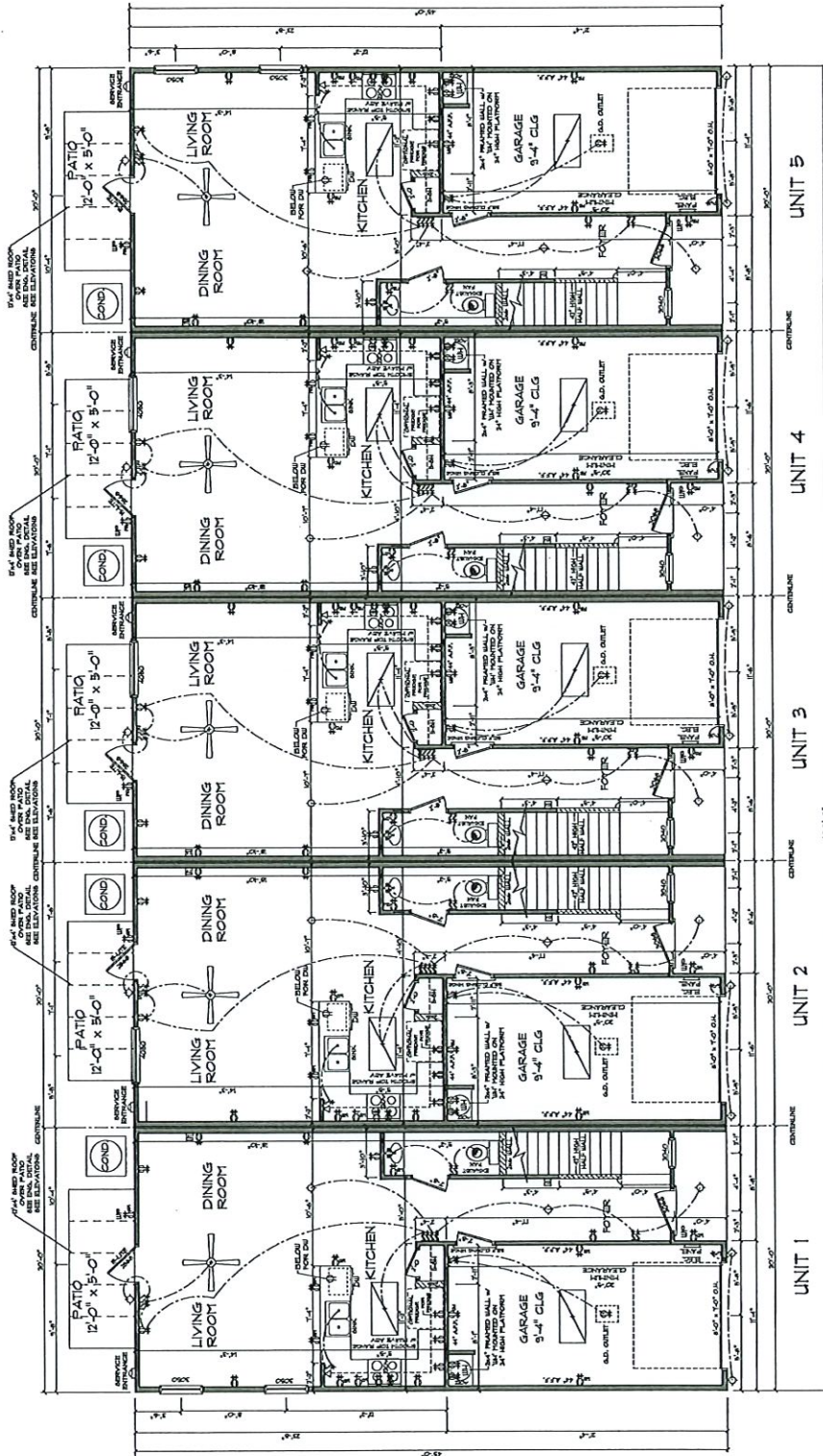
**D-R-HORON**  
America's Builders  
Parkview Townhomes  
City of Lynn Haven, FL

DATE: 05/26/2015  
SCALE: AS SHOWN  
REVISIONS:

A1.0







1st FLOOR PLAN  
1/4" = 1'-0"

5 Plex  
Units 1 thru 5

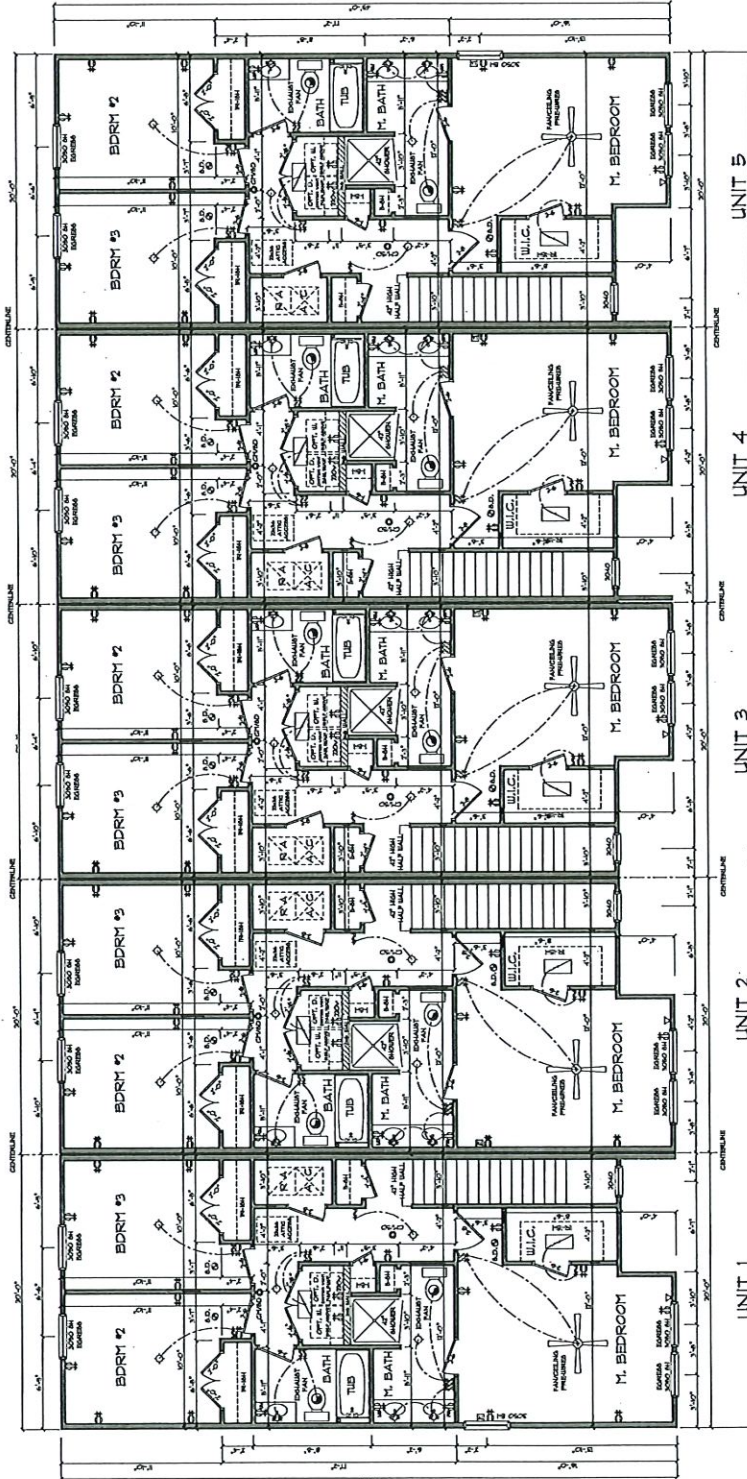
5th FLOOR LIVING AREA	
5th FLOOR LIVING AREA	133
2nd FLOOR LIVING AREA	64
FRONT PORCH	31
GARAGE	23
TOTAL UNDER ROOF	119

5th FLOOR LIVING AREA	
5th FLOOR LIVING AREA	133
2nd FLOOR LIVING AREA	64
FRONT PORCH	31
GARAGE	23
TOTAL UNDER ROOF	119

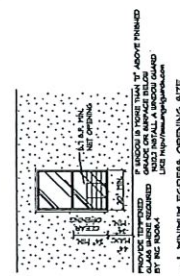
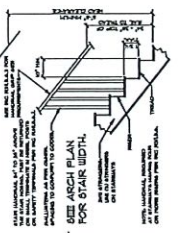
**D.R. HOUGHTON**  
America's Builder  
Parkview Townhomes  
City of Lynn Haven, FL

Date: 06-25-2017  
Scale: As Noted  
REVISIONS:



**5 Plex**  
Units 1 thru 5

2nd FLOOR PLAN  
1/4" = 1'-0"



3 TYPICAL STAIRS DETAIL  
3 | SCALE: NOT TO SCALE

2 MINIMUM EGRESS OPENING SIZE  
2 | SCALE: N.T.S.

**D-R-HORTON**  
America's Builder

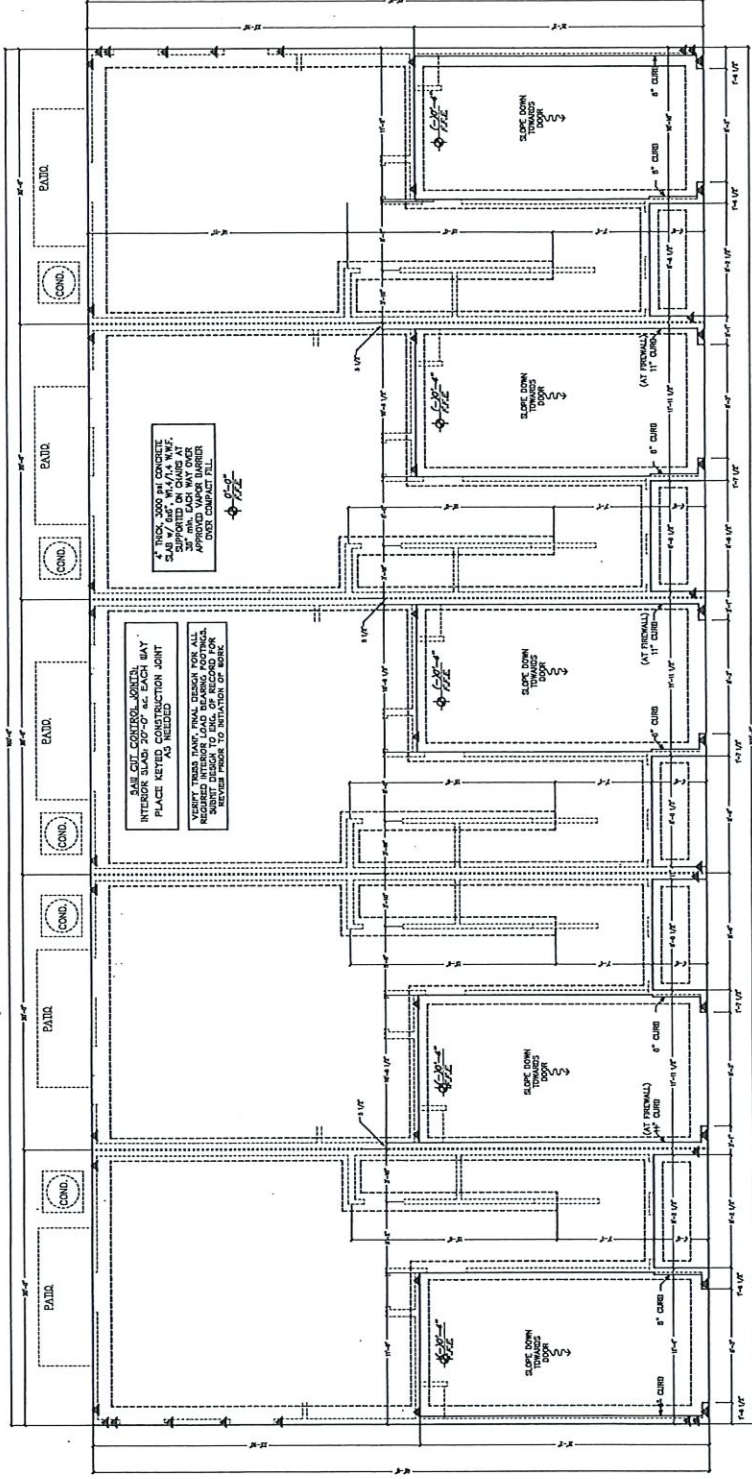
ParkView Townhomes  
City of Lynn Haven, FL

DATE: 06-29-2017	SCALE: AS SHOWN
REVISIONS:	

A1.2

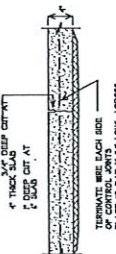
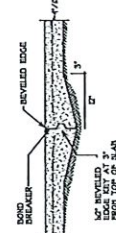






**FOUNDATION PLAN**  
1/4" = 1'-0"

- WALL ANCHORS: (SEE DETAILS)**
1. 1/2" x 12" L-BOLTS @ 1" MIN. EMBEDMENT COPIED TO 5/8" x 3" THREADED ROD THROUGH CONCRETE AND TERMINATED @ 3" x 3" x 1/4" WASHER AND NUT.
  2. ALL LOAD BEARING AND SHEAR WALLS: 5/8" x 12" L-BOLT @ 2" WASHER REQUIRED AT EVERY 8" EACH SIDE OF ALL WALL OPENINGS CORNERS AND AT 3/4" O.C.



TYP. CONSTRUCTION JOINT (WHERE APPLICABLE)  
SECTION VIEW  
3/4" = 1'-0"

TYP. CONTROL JOINT  
SECTION VIEW  
N.T.S.

TYP. CONTROL JOINT  
PLAN VIEW  
N.T.S.

TYP. CONTROL JOINT (OPTION)  
PLAN VIEW  
N.T.S.

Lane and Hatcher Engineers, LLC  
5125 Oak Glen Dr.  
Peeke, FL 32571  
850-393-0937

D.R. HORTON  
America's Builder

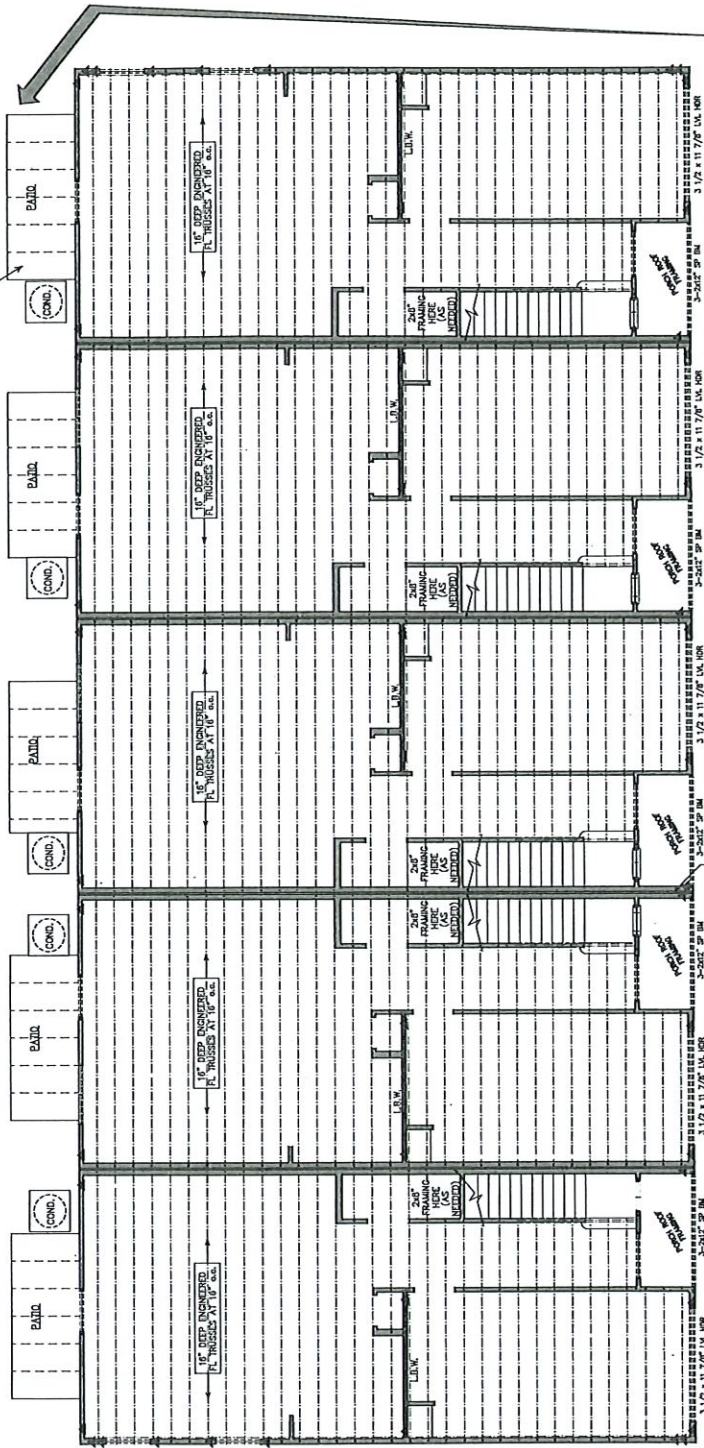
DESIGNED BY	DATE
CHECKED BY	DATE
SCALE	AS SHOWN
REVISIONS	

**\$1.0**

FOUNDATION PLAN



ROOF TRUSS HINGING FROM REAR WALL PER DETAIL

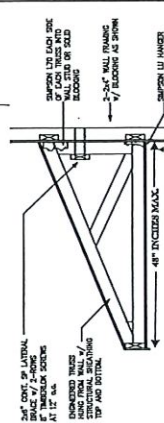


FLOOR FRAMING PLAN 1/4" = 1'-0"

**STRUCTURAL SHEATHING:**  
 ALL EXTERIOR WALL AND INTERIOR SHEAR WALLS AND 12" O.C. INTERIOR SPACING  
 ROOF SHEATHING: 1502" APA RATED SHEATHING 5/8" ID RING SHANK NAILS AT 4" O.C. EDGE AND 12" O.C. INTERIOR SPACING  
 FLOOR SHEATHING: 3/4" APA RATED SHEATHING 5/8" ID RING SHANK NAILS AT 4" O.C. EDGE AND 12" O.C. INTERIOR SPACING  
 PORCH SHEATHING: ENGINEERED WOOD MATERIAL SUPPLIERS MUST FURNISH ENGINEERING CALCULATIONS SEALED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER OR ALL SHEATHING COMPONENTS SHALL BE MANUFACTURED AND/OR REINFORCED TO SATISFY THE STRUCTURAL PERFORMANCE OF EACH COMPONENT.

**WALL ANCHORS (SEE DETAILS)**  
 1. 1/2" x 12" L-ANCHOR 5/8" MIN. BARS EXTENDED THROUGH IN P. TOP PLATE AND TERMINATED 5/8" x 3" x 1/2" WASHER AND NUT.  
 2. ALL LOAD BEARING AND SHEAR WALLS 5/8" x 2" L-BOLT 5/8" WASHER REQUIRED AT INTERIOR SIDE OF ALL WALL OPENINGS, CORNERS AND AT 22' O.C.

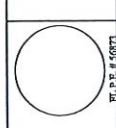
NOTE: ALL STRUCTURAL HEADERS SHALL BE 2-2x12 No. 2 S.P. MINIMUM, UNLESS NOTED OTHERWISE ON PLAN



ROOF DETAIL 3/4" = 1'-0"

Drawn By: JCH	Check By: JCH
Date: 06-17-2023	Date: 06-17-2023
Scale: As Noted	Scale: As Noted
Revisions:	

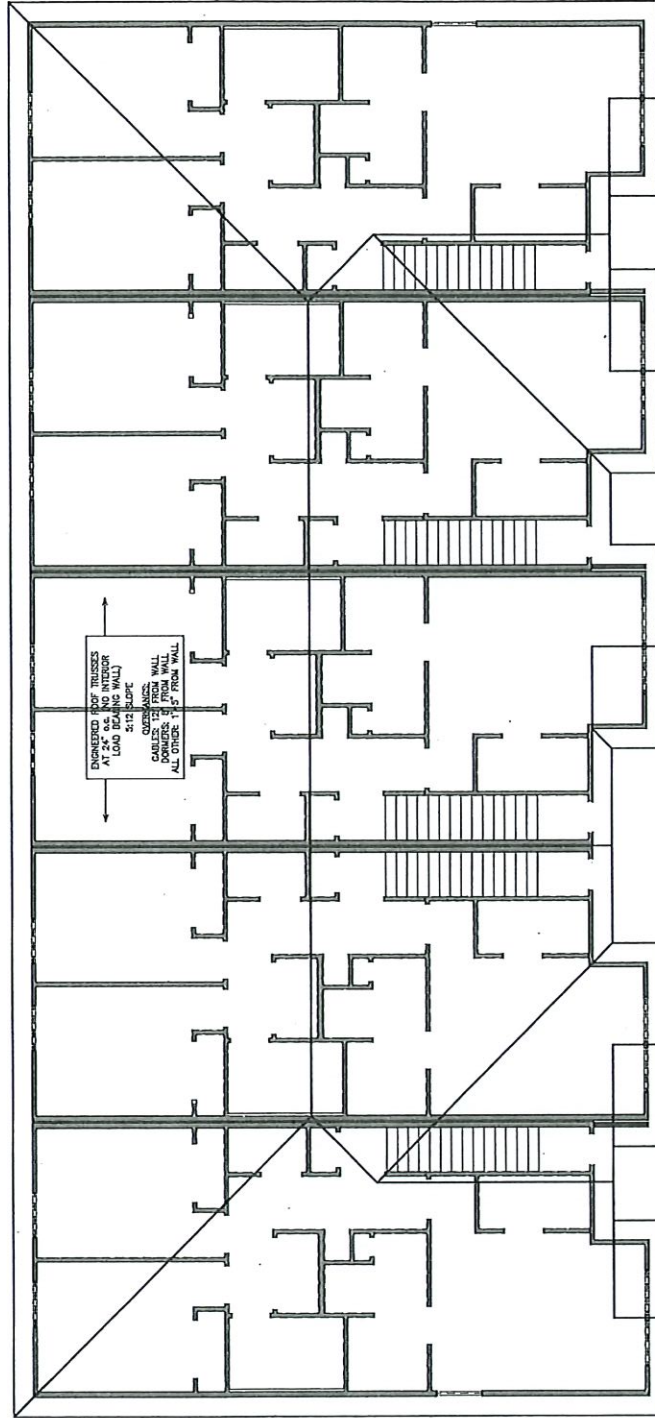
**D-R HORTON**  
*America's Builder*



Lane and Hatcher Engineers, LLC  
 CERT. OF AUTH. #481  
 5195 Oak Glen Dr  
 Ft. Myers, FL 32511  
 850-393-0927

ROOF FRAMING PLAN  
**\$2.0**

P.L.E. #5671



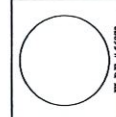
FLOOR TO FLOOR WALL ANCHORAGE (LOAD BIRD WALLS)  
 AT EACH SIDE OF OPENINGS CORNERS.  
 1-SIMPSON SWW2724

BETWEEN ABOVE SPECIFIED LOCATIONS  
 1-SIMPSON CSHR COILED STROOF REQUIRED AT 8' O.C.

**ROOF ANCHORAGE PLAN**  
 1/4" = 1'-0"

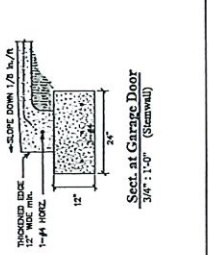
DATE: 06/27/2024	SCALE: AS SHOWN	PROJECT: 1115	CLIENT: CUBIC ARCH
REVISIONS:			

**D-R-HORTON**  
*America's Builder*

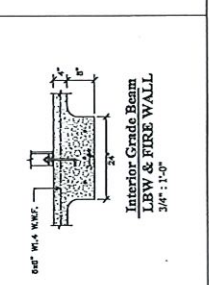


Lane and Hatcher Engineers, LLC  
 5125 Oak Glen Dr  
 Peeta, FL 32571  
 850-393-0937

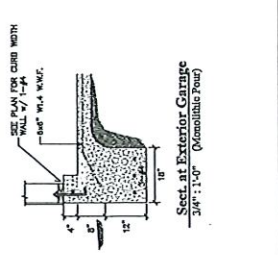




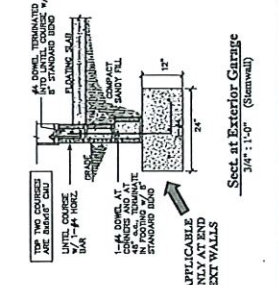
Sect. at Garage Door  
3/4" = 1'-0" (Stemwall)



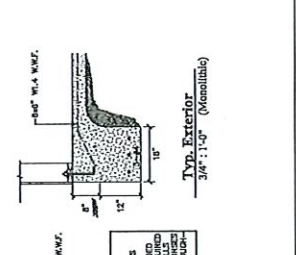
Interior Grade Beam  
LEW & FIRE WALL  
3/4" = 1'-0"



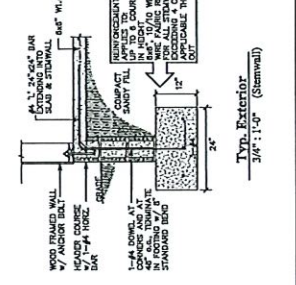
Sect. at Exterior Garage  
3/4" = 1'-0" (Nonhabitable)



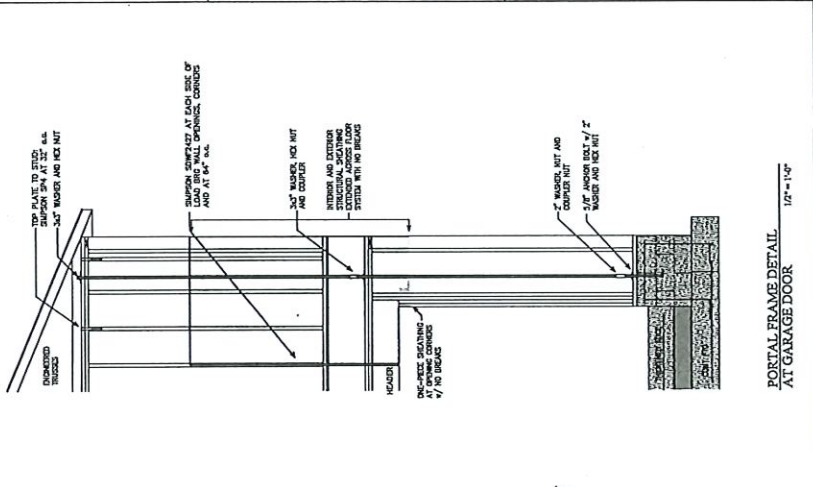
Sect. at Exterior Garage  
3/4" = 1'-0" (Stemwall)



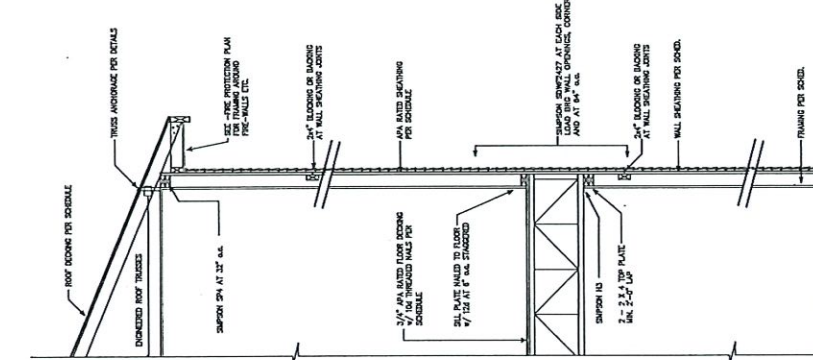
Typ. Exterior  
3/4" = 1'-0" (Nonhabitable)



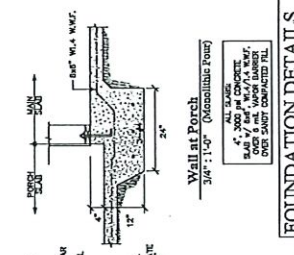
Typ. Exterior  
3/4" = 1'-0" (Stemwall)



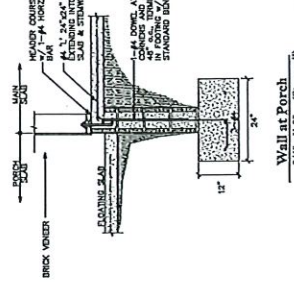
PORTAL FRAME DETAIL  
AT GARAGE DOOR  
1/2" = 1'-0"



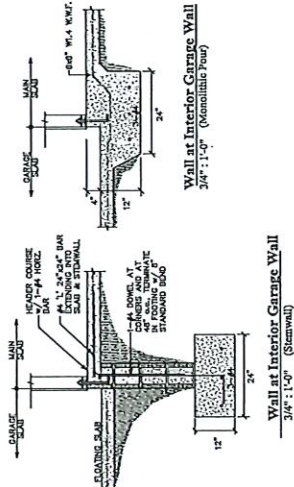
Typ. EXTERIOR WALL SECTION  
3/4" = 1'-0"



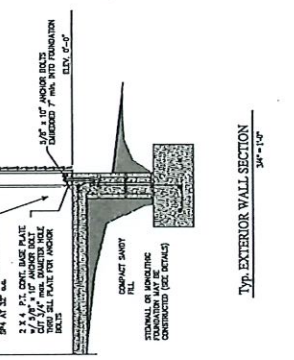
Wall at Porch  
3/4" = 1'-0" (Nonhabitable)



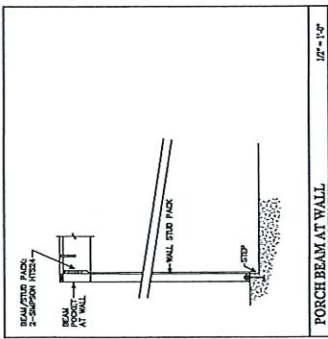
Wall at Porch  
3/4" = 1'-0" (Stemwall)



Wall at Interior Garage Wall  
3/4" = 1'-0" (Nonhabitable)



Wall at Interior Garage Wall  
3/4" = 1'-0" (Stemwall)



PORCH BEAM AT WALL  
1/2" = 1'-0"

1. MATERIALS TO BE USED IN ALL WORK SHALL BE AS SPECIFIED IN THE SPECIFICATIONS AND SHALL BE OF THE HIGHEST QUALITY AVAILABLE.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

FOUNDATION DETAILS

DATE	DESCRIPTION

**D-R HORTON**  
America's Builder

Lane and Hatcher Engineers, LLC  
5125 Oak Glen Dr  
Peach, FL 32571  
850-393-0937



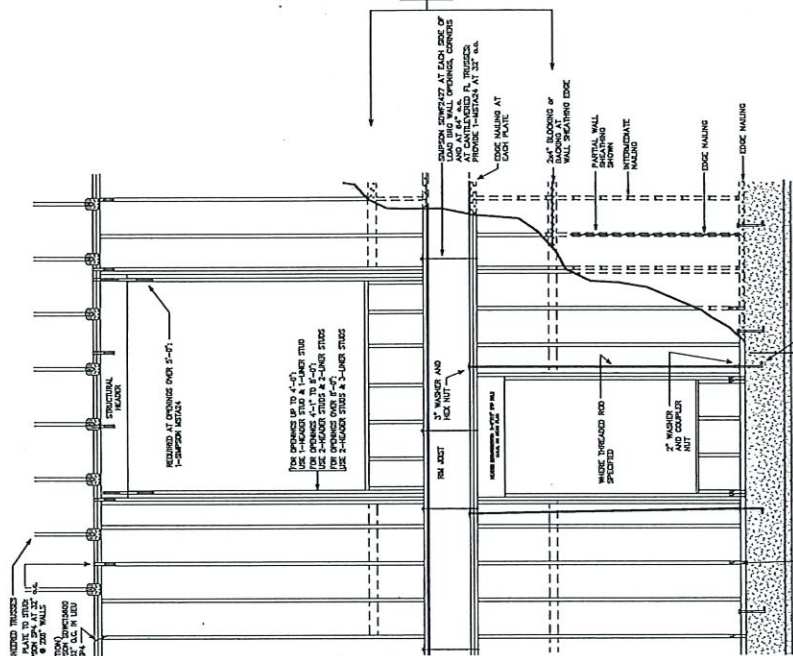
**\$3.0**

**DETAIL FOR DISMANTLE THE BRACE**

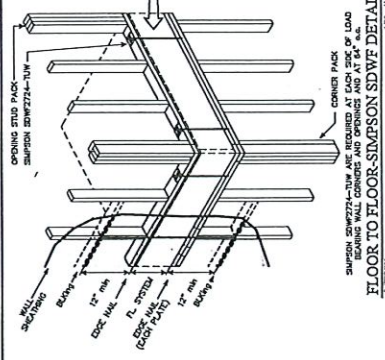
1. WALLS SHALL BE CONSTRUCTION TO REMAIN. ALL INTERIOR TRUSSES SHALL BE ACCESSIBLE TO CONSTRUCTION TO REMAIN. WALLS SHALL BE CONSTRUCTION TO REMAIN. WALLS SHALL BE CONSTRUCTION TO REMAIN. WALLS SHALL BE CONSTRUCTION TO REMAIN.
2. THE BRACE SHALL BE REMOVED UP TO 12" FROM THE TOP OF THE WALL. THE BRACE SHALL BE REMOVED UP TO 12" FROM THE TOP OF THE WALL. THE BRACE SHALL BE REMOVED UP TO 12" FROM THE TOP OF THE WALL.
3. THE BRACE SHALL BE REMOVED UP TO 12" FROM THE TOP OF THE WALL. THE BRACE SHALL BE REMOVED UP TO 12" FROM THE TOP OF THE WALL. THE BRACE SHALL BE REMOVED UP TO 12" FROM THE TOP OF THE WALL.

**TRUSS/TOP ANCHOR OPTIONS (ASTRONOTED)**

5/8" DIA. ANCHOR  
 5/8" DIA. ANCHOR  
 5/8" DIA. ANCHOR

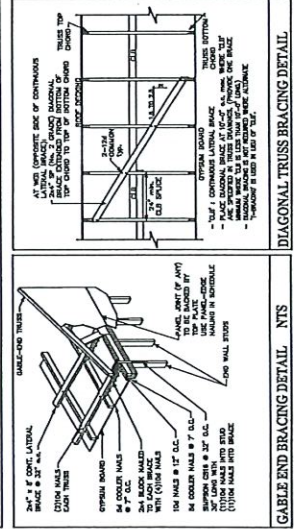


**NOTE: REQUIRED AT 32\"/>**

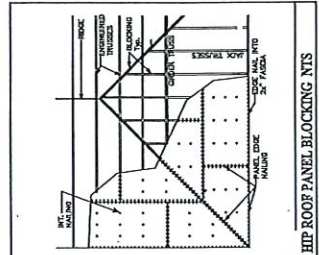


**FLOOR TO FLOOR-SIMPSON SDWF DETAIL**  
 1/2" = 1/2"

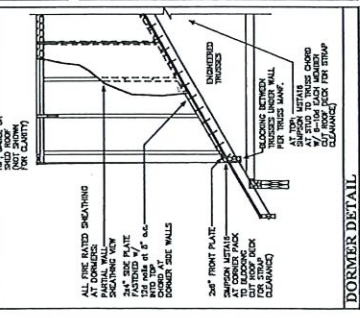
**NOTE: ALL OVER-FRAME SMALL TRUSS ANCHORS OVERFRAME TRUSSES TO MAIN TRUSS SYSTEM W/ SIMPSON VTC2 AT 24\"/>**



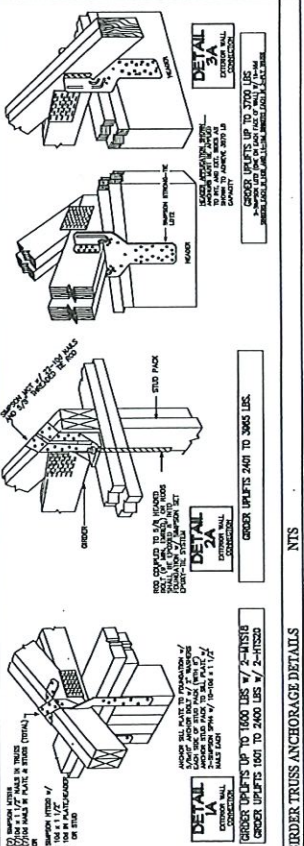
**DIAGONAL TRUSS BRACING DETAIL**



**HIP ROOF PANEL BLOCKING NTS**



**DORMER DETAIL**



**GABLE END BRACING DETAIL NTS**

**NOTE: AT LOAD-BEARING INTERIOR WALLS WHERE APA RATED SHEATHING NOT APPLIED, ANCHOR TOP AND SILL PLATES TO STUD W/ SIMPSON SPA/6 AT 18\"/>**

**LANE and HATCHER ENGINEERS, LLC**  
 5125 Oak Glen Dr  
 Pico, FL 32571  
 850-393-0937

**D R HORTON**  
*America's Builder*

**S3.1**

DATE: 01/11/2023	SCALE: AS SHOWN
PROJECT: 11111	REVISIONS:
DRAWN BY: JCH	CHECKED BY: JCH









January 6, 2022

Ms. Tammy Owens  
Permitting and Development Coordinator  
City of Apalachicola  
192 Coach Wagoner Blvd.,  
Apalachicola, FL 32320

Re: Apalachicola Townhomes  
270 Prado St.  
Ownership Affidavit

Dear Ms. Owens,

I give permission to Urban Catalyst Consultants, Inc., to sign for all permits necessary to perform the work requested on my property located at 270 Prado St., parcel 01-09S-08W-8330-0265-0010

Sincerely,



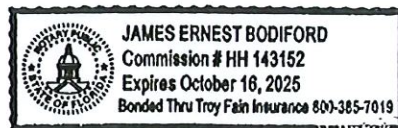
James Rudnick  
800 MEXICO BEACH, LLC

STATE OF FLORIDA -- COUNTY OF LEON

Sworn before me this 6th day of January 2022, by James Rudnick, who is personally known to me.



James E. Bodiford



(NOTARY SEAL)

# ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name RUDNICK DEVELOPMENT				Policy Number:	
A2. Building Street Address (Including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 THE PRADO				Company NAIC Number:	
City APALACHICOLA		State Florida		ZIP Code 32320	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) BLK 265 FRACT 2.4 AC M/L ADJ TO BLK 265 CITY OF APALACHICOLA / Parcel ID 01-09S-08W-8330-0265-0010					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>29.716869</u> Long. <u>-85.000490</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1B</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>0.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>240.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF APALACHICOLA 120089			B2. County Name FRANKLIN		B3. State Florida
B4. Map/Panel Number 12037C 0509	B5. Suffix F	B6. FIRM Index Date 02-05-2014	B7. FIRM Panel Effective/ Revised Date 02-05-2014	B8. Flood Zone(s) X 0.2%	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) N/A
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					



# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 THE PRADO			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32320	Company NAIC Number

## SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
 \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.  
 Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: 14.84' Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

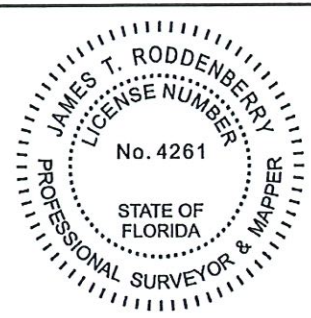
- |   |      |  |                                 |
|---|------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) _____   | 14.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor _____   | 24.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) _____   | N/A  | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) _____  | 13.5 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building<br>(Describe type of equipment and location in Comments) _____ | 13.5 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) _____  | 12.9 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) _____   | 13.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support _____                                  | N/A  | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |

## SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  Check here if attachments.

Certifier's Name JAMES T. RODDENBERRY	License Number 4261
Title PRESIDENT	
Company Name THURMAN RODDENBERRY & ASSOCIATES, INC.	
Address P.O. BOX 100	
City SOPCHOPPY	State Florida
	ZIP Code 32358



Signature: *James T. Roddenberry* Date: 06-29-2022 Telephone: (850) 962-2538 Ext. \_\_\_\_\_

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)  
 JOB NUMBER 22-557CD  
 ELEVATIONS PROVIDED BY CONTRATOR (PLANS)

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 THE PRADO			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32320	Company NAIC Number

## SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

## SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ ZIP Code \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_ Telephone \_\_\_\_\_

Comments

Check here if attachments.





# BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 THE PRADO			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32320	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

Photo One

Photo One Caption

Clear Photo One

Photo Two

Photo Two Caption

Clear Photo Two



# BUILDING PHOTOGRAPHS

OMB No. 1660-0008  
Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

Continuation Page

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>	<b>FOR INSURANCE COMPANY USE</b>		
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 270 THE PRADO	Policy Number:		
City APALACHICOLA	State Florida	ZIP Code 32320	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

Photo Three Caption

Clear Photo Three

Photo Four

Photo Four Caption

Clear Photo Four