



DECEMBER 13th, 2021

P&Z AGENDA PACKET



NOVEMBER 8th, 2021

MINUTES

✓ 1

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, November 8th, 2021
Community Center/ City Hall -1 Bay Avenue
Agenda

Workshop-Signs: 5:00 pm (Minutes p.3)

Regular Meeting: 6:00 pm

1. Approval of Oct. 11th, 2021 regular meeting minutes.
Motion to approve by Jim Bachrach; 2nd by Bobby Miller. All in favor-Motion carries.
2. Review, Discussion and Decision for Shed & Fence. (Historic District) (R-1) @ 201 11th St., Block 156, Lot 10. For E. Escobar-Owner; Contractor: Self
Motion to approve by Jim Bachrach; 2nd by Joe Taylor. All in favor-Motion carries.
3. Review, Discussion and Decision for Porch & Shed. (Historic District) (R-1) @ 213 11th St., Block 156, Lot 7. For C. Escobar-Owner; Contractor: Tbd
Motion to approve by Jim Bachrach; 2nd by Bobby Miller. All in favor-Motion carries.
4. Review, Discussion and Decision for Carport. (Non-Historic District) (R-1) @ 250-1/2 US Hwy 98, Neels Parcel. For J.Chesley-Owner; Contractor: Self
Motion to approve by Jim Bachrach; 2nd by Bobby Miller. All in favor-Motion carries.
5. Review, Discussion and Decision for Pole Barn. (Historic District) (C-2) @ 211 8th St. Block 171, Lot 9. For L. Buchanon-Owner; Contractor: tbd
Motion to approve by Bobby Miller; 2nd by Jim Bachrach. All in favor-Motion carries.
6. Review, Discussion and Decision for Fencing. (Historic District) (R-1) @ 29 5th St. Block 11, Lot 8. For K. Valentino-Owner; Contractor: Leubano
Motion to approve by Bobby Miller; 2nd by Lee McLemore. 6' max-Motion carries.
7. Review, Discussion and Decision for Sign.(Historic District) (R-1) @ 98 12th St., Parcel In 01-09S-08W-8380-0084-0010. For ABC School-Owner; Contractor: Apogee Signs.
Motion to approve by Joe Taylor; 2nd by Bobby Miller. All in favor-Motion carries.
Motion meets criteria for exemption, Section 113 (Educational Institutions)-Per Dan Hartman, City Attorney

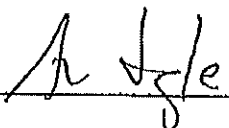
CITY OF APALACHICOLA
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- 8. Review, Discussion and Decision for Deck. (R-1) @ 214 Ave C, Parcel In 01-09S-08W, For J. Bachrach--Owner; Contractor: Galloway Construction
Jim Bachrach recuses himself.
Motion to approve by Bobby Miller; 2nd by Joe Taylor. All in favor. Motion carries.

Other/New Business:

Outstanding/Unresolved Issues: Status of P&Z Resignations and Alternate.

Motion to Adjourn: Jim Bachrach; 2nd by Joe Taylor



Chairman, Al Ingle

CITY OF APALACHICOLA
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Workshop-Signs: 5:00 pm - Key points of discussion

- Lighting must meet NEC codes
- Possibly allow Internal illumination in certain districts-also backlit, halo?
- Possibly base sign size on building wall square feet facing street
- Lighting issues originated with issues downtown.
- Need to study more about Historic Towns.
- Pick 3-4 towns and review their LDRs-ex. St. Augustine; come up with examples of illuminosity/feet at 2% of building wall area; residential and commercial
- Neon, electric, streaming-looks more modern-we don't want that.
- Houses of Worship-have large bright signs
- Grandfathered illuminated signs exist
- Problems with internal lighting-36watts ok for incandescent not LED? How to measure light intensity; Lumens or Lux? Handheld spectrometer?
- CVS had to comply
- Should there be certain times of day for illumination?

11/19/21

Ar Jg/e



41 Ave F - Shed

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

HISTORIC DISTRICT ONLY

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner HARRY ARNOLD
Address P.O. Box 9 169 WATER ST.
City Apalachicola State FL Zip 32309
Phone (850) 524-0770

Contractors Name: _____
State License # _____ City License # _____
Email Address _____
Phone (_____) _____

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

New Construction

Addition

Alteration/Renovation

Relocation

Demolition

Fence

Repair (Extensive)

Variance

Other: 16x40' Storage Only

PROPERTY INFORMATION:

Street Address: 41 Ave B City & State Apalachicola FL Zip 32309

Historic District Non-Historic District

Zoning District C-1

Parcel #: 01-095-08W-8330-0004-0010 Block(s) 4 Lot(s) 1,2,3

FEMA Flood Zone/Panel #: _____
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCL.

Tammy Owens
Permitting and Development Coordinator
(850) 658-1522
cityofapalachicola@gmail.com

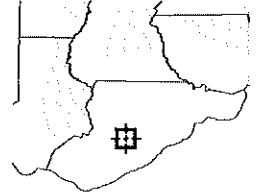
Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

SEE ATTACHED SUBMITTED




Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0004-0010	Alternate ID	08W09S01833000040010	Owner Address	ARNOLD HARRY KTRUST
Sec/Twp/Rng	1-9S-8W	Class	OFFICE BUI		P.O. BOX 9
Property Address	SUPERVISOR OF ELECTIONS	Acreage	n/a		APALACHICOLA, FL 32329
District	3				
Brief Tax Description	BL 4 LOTS 1-2-3 OR/LL/186 (Note: Not to be used on legal documents)				

Date created: 11/15/2021
 Last Data Uploaded: 11/15/2021 7:51:25 AM

Developed by  Schneider
 GEOSPATIAL

41 Ave F

qPublic.net™ Franklin County, FL

Parcel Summary

Parcel ID 01-09S-08W-8330-0004-0010
 Location Address SUPERVISOR OF ELECTIONS
 Brief Tax Description* BL 4 LOTS 1-2-3 OR/LL/186 CITY OF APALACHICOLA 878/772.1154/559
 *The Description above is not to be used on legal documents.
 Property Use Code OFFICE BUI (001700)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
Arnold Harry K Trust
 P.O. Box 9
 Apalachicola, FL 32329



Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
001000	COMMERCIAL	180.00	FF	0	0

Residential Buildings

Building 1
 Type OFFICE LOW
 Total Area 3,358
 Heated Area 3,276
 Exterior Walls COMMON BRK
 Roof Cover BUILT-UP
 Interior Walls MINIMUM
 Frame Type MASONARY
 Floor Cover CONC FINSH
 Heat CONVECTION
 Air Conditioning WINDOW
 Bathrooms 0
 Bedrooms 0
 Stories 0
 Effective Year Built 1947

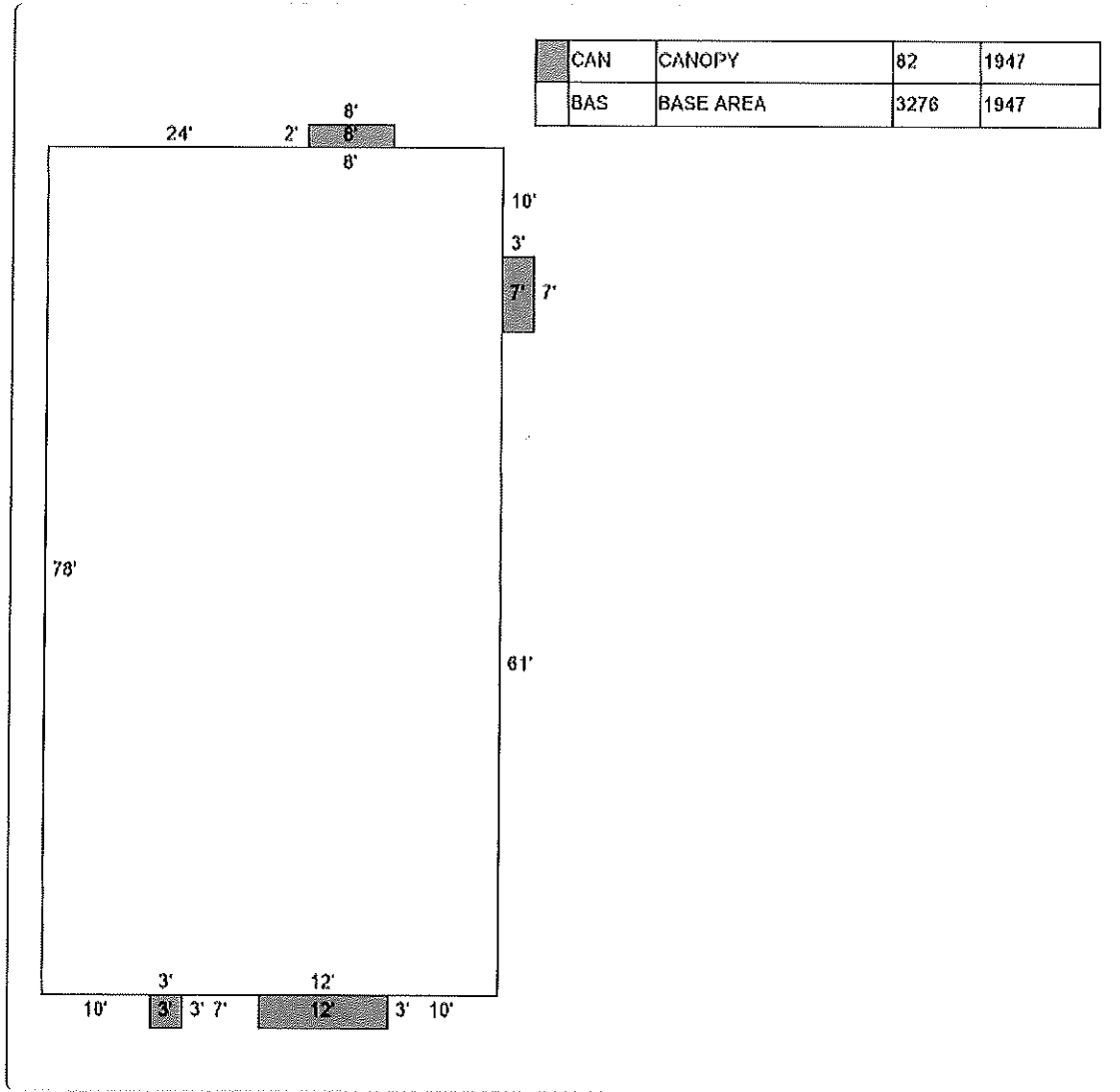
Handwritten notes:
 1007 180
 - 18,000 SF
 - 3358 Bldg
 = 800 Awning
 13 842
 - 640 SF
 approx. - 13,202 SA Remaining Pervious Area
 OK

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0410	WD FENCE	1	0x0x0	111	UT	0
0320	CONCRETE	1	0x0x0	2,130	UT	0
0140	C L FENCE 6	1	0x0x0	298	UT	0
0320	CONCRETE	1	0x0x0	108	UT	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	10/05/2015	\$100	QC	1154	559	Unqualified (U)	Improved	ARNOLD	ARNOLD TRUST
N	11/15/2005	\$1,025,000	WD	878	772	Unqualified (U)	Improved	FLORIDA POWER CORP.	ARNOLD



No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

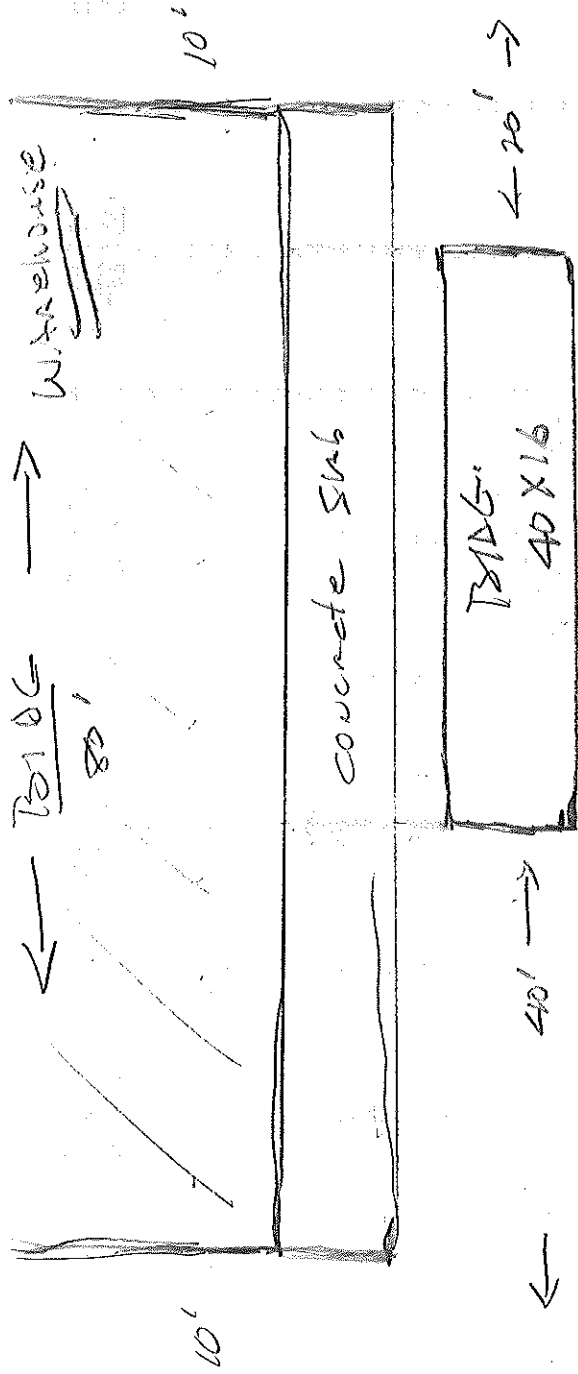
[User Privacy Policy](#)
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Last Data Upload: 11/15/2021, 7:51:25 AM

Developed by
Schneider
GEOSPATIAL

Version 2.3.161

Property
LINE



$$\frac{16 \times 40}{= 640SF}$$

16 X 40

Property
LINE



December 31, 2020

Mr. Thomas Campbell
Florida Department of Business and Professional Regulation
2601 Blair Stone Road, Building C
Tallahassee, Florida 32399-6563

**RE: Plan Approval
Graceland Portable Buildings
Plan # GPB PG-20**

Dear Mr. Campbell,

Pursuant to the requirements of the Department of Business & Professional Regulation, the above referenced documents have been reviewed for compliance with:

**2020 Florida Building Code, 7th Edition
2017 National Electrical Code (NFPA-70)
Florida Product Approval Rule 61G20-3.006 (FAC)**

All mandatory comments have been satisfied and plans are approved for construction by a currently approved modular building manufacturer.

These documents were reviewed for only what is to be constructed in the factory. Any work performed at the site, such as the foundation, is under the authority and jurisdiction of the local Building Official.

Third Party Agency approval in no way alleviates the builder/manufacturer from complying with all the applicable codes, which may or may not be identified in this review. Approval also does not preclude the local building official from requiring work be performed that was not previously reviewed, approved, and constructed under the State of Florida's Manufactured (Modular) Building Program to make the building, code compliant, for the intended use.

A signed and sealed set of plans are maintained on file with Top Line Engineering, LLC.

If you require my assistance in any way, please do not hesitate to contact me.

Thank you.

Respectfully,

A handwritten signature in black ink that reads 'William E. Neary, III'. The signature is written in a cursive style.

William E. Neary, III
Business Partner
Top Line Engineering, LLC
BILL.TLE@yahoo.com

***** Please note: Any questions regarding local permitting should be directed to the Manufacturer. The Manufacturer's contact information can be found in the title block of the plans.**

BUILDING CODE	2020 FBC, 7th Edition 2017 NATIONAL ELECTRICAL CODE (NFPA-70)
BUILDING TYPE	RESIDENTIAL LAWN STORAGE MANUFACTURER
AGENCY	GRACELAND PORTABLE BUILDINGS
AGENCY PLAN NUMBER	TOP LINE ENGINEERING, LLC PG-2020
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	B
FIRE SUPPRESSION SYSTEM	NO
OCCUPANCY	UTILITY
ALLOWABLE # OF STORIES	1
WIND VELOCITY	15 MPH - CATEGORY C 3 SECOND GUST
FIRE RATING OF EXTERIOR WALLS	0 HOUR
FLOOR LIVE LOAD/DEAD LOAD	40PSF/10PSF
ROOF LIVE LOAD/DEAD LOAD	20PSF/10PSF
R- RATING OF FLOOR, WALL, AND ROOF	R-0, R-0, R-0
KNOTS PER BUILDING	1
SQUARE FOOTAGE	719 SQ-FT
HVHZ APPROVED	NO

GENERAL NOTES:

1. FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION.
2. BUILDINGS ARE APPROVED FOR RESIDENTIAL LAWN STORAGE ONLY.
3. THIS BUILDING IS EXEMPT FROM THE FECC PER SECTIONS R101.4.2.4, R402.1.
4. REFER TO THE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE.
5. ALL LUMBER FOR CONSTRUCTION WILL BE #2 SYP EXCEPT AS NOTED.
6. GUTTERS SHALL BE SITE INSTALLED PER THE LOCAL AUTHORITY HAVING JURISDICTION AND PERMITTING REQUIREMENTS.
7. ALL WINDOWS AND DOORS TO MEET THE MINIMUM SPECIFICATIONS PER THE APPROVED PLANS AND THE FLORIDA BUILDING CODE.

SHEET APPROVAL STAMP

Gregory B. Sedberry
No. 74829
STATE OF FLORIDA
PROFESSIONAL ENGINEER

FILED
William S. Noyce, III
5504 Old 793, SE 2356040
35440 Old 793, SE 2356040
Gainesville, Florida 32608

8. IN ACCORDANCE WITH FBC 1609.1.2, STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE.
9. IN ACCORDANCE WITH FBC 1010.1.1, EXCEPTION (10), BUILDINGS THAT ARE 400 SQ. FT. OR LESS AND THAT ARE INTENDED FOR USE IN CONSTRUCTION WITH ONE- AND TWO-FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THIS CODE. STRUCTURES 400 SQ-FT OR MORE SHALL HAVE AN 80" MINIMUM DOOR.
10. IN ACCORDANCE WITH FLORIDA STATUTE 553.80 (1)(D), LAWN STORAGE BUILDINGS AND STORAGE SHEDS BEARING THE INSIGNIA OF APPROVAL OF THE DEPARTMENT ARE NOT SUBJECT TO 553.842 (FLORIDA PRODUCT APPROVALS) BUT SHALL MEET THE DESIGN WIND LOAD REQUIREMENTS OF THE 2020 FBC 7TH EDITION.
11. FLAT METAL SCRAPS CAN BE BENT AROUND STRUCTURAL MEMBERS OF WALL STUDS, TRUSSES, CHORDS, ETC. TO HELP SECURE THESE MEMBERS, PROVIDED THAT THE ADDED BEND DOES NOT INTERFERE WITH ANY OF THE EXISTING BREAKS/BENDS IN THE STRAP.
12. AS PER FBC SECTION 1626.1 EXCEPTION (F): STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF LESS THAN 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE.
13. COMPONENTS/CLADDING ARE IN COMPLIANCE WITH THE 2020 FBC 7TH EDITION.
14. SHEDS LOCATED IN FLOOD HAZARD AREAS MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.
15. IF A WALL IS FRAMED FOR FUTURE HVAC UNITS THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
16. WINDOWS AND DOORS INSTALLED BY THE CUSTOMER THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.

NOT APPROVED FOR HVHZ

17. HVHZ COMPONENTS FOR SHEDS REQUIRE THAT INSTALLATION BE PER MANUFACTURER'S INSTRUCTIONS.
18. STRUCTURES ARE DESIGNED FOR LOCATIONS WITH A SURFACE ROUGHNESS CATEGORY B AND A TOPOGRAPHICAL FACTOR OF 1.0. STRUCTURES SHOULD NOT BE USED IN OTHER LOCATIONS.
19. STRUCTURES SHOULD HAVE METAL ROOF OR OPTIONAL 25 YEAR RATED FIBERGLASS/ASPHALT SHINGLES.
20. ALL STUDS, RAFTERS, COLLAR TIES, AND TRUSS CHORDS ARE SPF #2, U.N.O.
21. ALL EXTERIOR WOOD IS TO BE PRESSURE TREATED.
22. ALL ROOF DECKING IS TO BE 3/8" O.S.B.
23. ALL SIDING IS TO BE 5/8" P.T. T-111 PLYWOOD OR DURATEMP.
24. ALL FLOOR JOISTS ARE TO BE P.T. SYP #2.
25. ALL EXTERIOR WALLS ARE TO BE HOT DIPPED GALVANIZED.
26. ALL FLOOR DECKING IS TO BE 5/8" P.T. PLYWOOD.
27. ALL SKIDS ARE TO BE 4x6 P.T. SYP, RATED FOR GROUND CONTACT.
28. THE STRUCTURE HAS BEEN DESIGNED TO RESIST LOADS AS A COMPLETED STRUCTURE ONLY. APPLICATION OF CONSTRUCTION LOADS TO THE PARTIALLY COMPLETED STRUCTURE SHALL BE CONSIDERED BY THE CONTRACTOR AND INCLUDED IN THE DESIGN OF SHORING, BRACING, FORM WORK, AND OTHER SUPPORTING ELEMENTS PROVIDED FOR CONSTRUCTION OF THE STRUCTURE.
29. NO FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION HAS BEEN PROVIDED BY THE ENGINEER.
30. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
31. DIFFERENTIAL PRESSURE: WINDOWS & DOORS = +/- .25P

BUILDING SIZES:

10' WIDTH	14' NOMINAL WIDTH*
10'x24'	*NOTE:(13'-0" ACTUAL)
12'x20'	14'x24'
12'x24'	14'x32'
12'x28'	14'x36'
12'x32'	14'x40'
12'x40'	16'x32'
	16'x36'
	16'x40'

INDEX OF SHEETS:

S-0-PG - COVER SHEET	
S-0A-PG - GENERAL NOTES (CONT)	
S-1-PG - FOUNDATION PLAN (NOT USED)	
S-2-PG - UPLIFT ANCHORAGE (NOT USED)	
S-3-PG - FRAMING PLAN	
S-4-PG - BUILDING SECTIONS	
S-5-PG - ELEVATIONS	
S-6-PG - NAIL PATTERNS	
S-7-PG - DETAILS	
S-8-PG - DETAILS	
S-8A-PG - DORMER DETAILS	

ITEMS BY OTHERS:

THE FOLLOWING ITEMS ARE NOT PROVIDED BY RAILROAD CONSULTANTS, PLLC AND ARE TO BE DESIGNED BY OTHERS IF APPLICABLE AND ARE TO BE SUPPLIED AND INSTALLED BY OTHERS. THESE ITEMS MAY BE SUBJECT TO LOCAL JURISDICTION APPROVAL. RAILROAD CONSULTANTS, PLLC IS NOT RESPONSIBLE THESE ITEMS.

1. RAMPS, STAIRS, AND GENERAL ACCESS

Please refer any questions regarding local permitting should be directed to the Manufacturer. The Manufacturer's technical information can be found in the blue block of the plans.

PORTABLE GARAGE--FL--V=150MPH--FBC 2020

RAILROAD CONSULTANTS, PLLC
213 UPTOWN SQUARE
MURFREESBORO, TN 37129
PHONE: (615) 863-1142

GRACELAND PORTABLE BUILDINGS
267 RELIHAN STREET
PEARSON, GA 31642
PHONE: (888) 472-2304

PROJECT NO: 4061001FL

DATE: 12-22-20

DRAWN BY: JMG

CHECKED BY: DBG

REVISION: 03

SHEET NUMBER: S-0-PG

2020-12-31 TOP LINE ENGINEERING APPROVAL PLAN # GFB PG-20 NOT HVHZ APPROVED

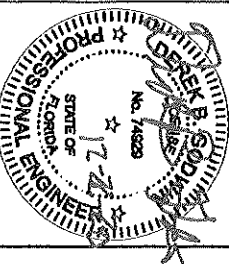
GENERAL NOTES (CONT.)

32. HARDIE OR LP LAP SIDE OR EQUAL (8-1/4" x 7" EXPOSURE/REVEAL) INSTALLED OVER 7/16" OSB ARE ACCEPTABLE ALTERNATES TO THE ORIGINAL DESIGN FOR ALL STRUCTURES AND THEY MEET OR EXCEED ALL APPLICABLE BUILDING CODES.

DESIGN CRITERIA:

1. DEAD LOADS:
LOFT: 5 psf
2. LIVE LOADS:
LOFT: 10 psf
3. SNOW LOADS:
GROUND SNOW LOAD, $P_g=25\text{psf}$
FLAT ROOF SNOW LOAD, $P_f=20\text{psf}$
SNOW EXPOSURE FACTOR, $C_e=1.2$
SNOW LOAD IMPORTANCE FACTOR, $I=0.8$
THERMAL FACTOR, $C_t=1.2$
4. WIND LOADS:
BASIC WIND SPEED, $V=150$ MPH
RISK CATEGORY = 1
WIND EXPOSURE = B
C&C ROOF-ZONE 1=23.3, -37.0 psf
C&C ROOF-ZONE 2=23.3, -54.5 psf
C&C ROOF-ZONE 3=23.3, -95.4 psf
C&C WALL-ZONE 4=40.5, -43.9 psf
C&C WALL-ZONE 5=40.5, -54.2 psf
5. SEISMIC LOADS:
THIS STRUCTURE IS EXEMPT FROM SEISMIC DESIGN PER EXEMPTION 3 OF ASCE 7-16, SECTION 11.1.2

NOT APPROVED FOR HVHZ



SHEET APPROVAL STAMP
FILE ENGINEERING, INC.
William E. Hardy, III
5745 St. James St., Jacksonville, FL 32217
10445 Gateway Parkway
Gainesville, Florida 32603

PORTABLE GARAGE---FL---V=150MPH---FBC 2020



RAILROAD CONSULTANTS, PLLC
213 UPTOWN SQUARE
MURFREESBORO, TN 37129
PHONE: (615) 663-1142

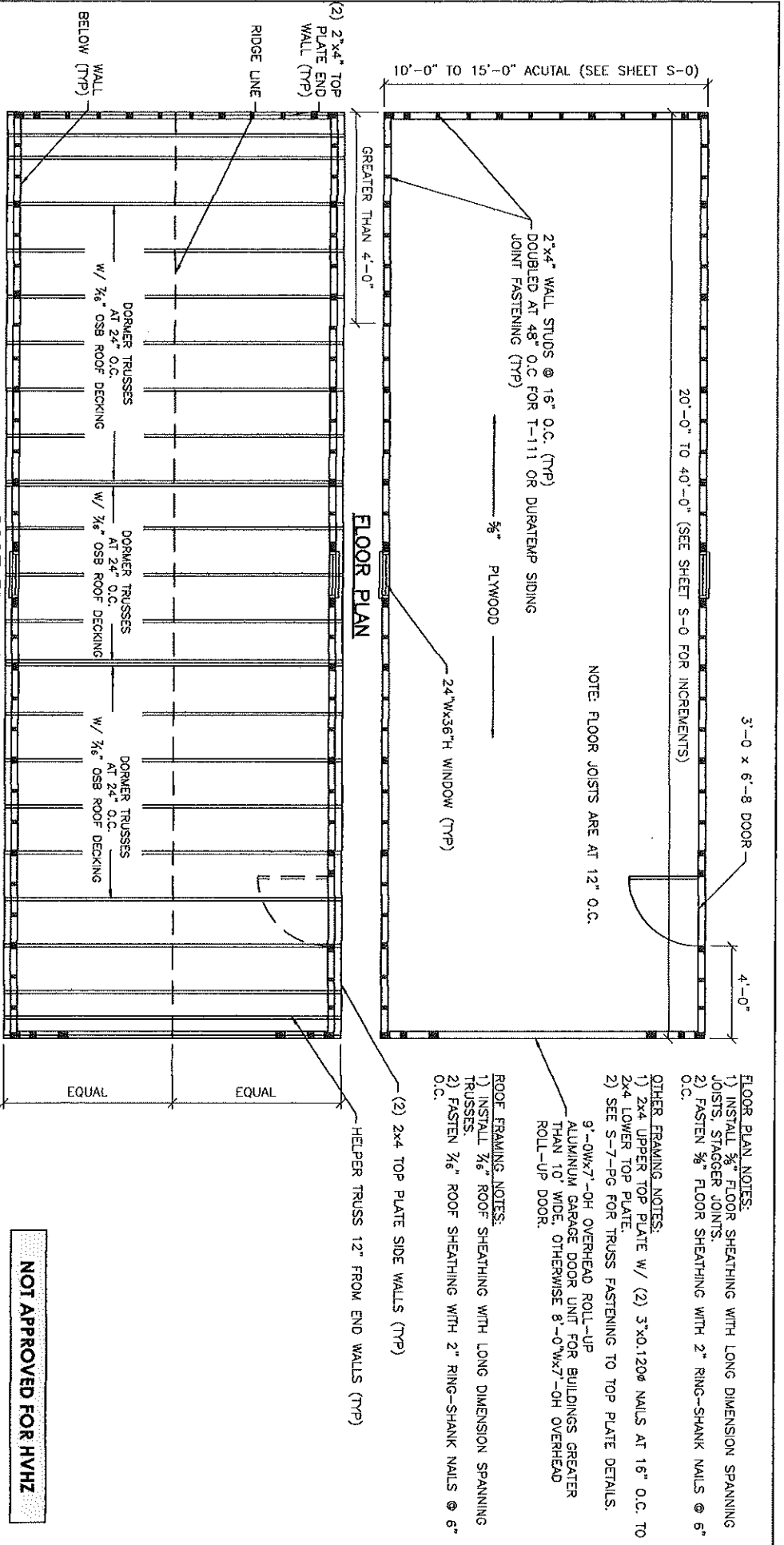


GRACELAND PORTABLE BUILDINGS, LLC
267 RELHAN STREET
PEARSON, GA 31642
PHONE: (888) 472-2304

PROJECT NO:	4061001FL
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DRAWN BY:	JMG
CHECKED BY:	DBG
REVISION:	03

SHEET NUMBER
S-0A-PG

2020-12-31 TOP LINE ENGINEERING APPROVAL PLAN # GP8 PG-20 NOT HVHZ APPROVED



PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 No. 74828
 GERRY B. GARDNER
 12-22-20

FLORIDA ENGINEERING INC.
 William S. Moore, III
 5700 N. US HWY 90
 13600 Oakview Drive, Suite 200
 Ocala, Florida 34473

SHEET APPROVAL STAMP

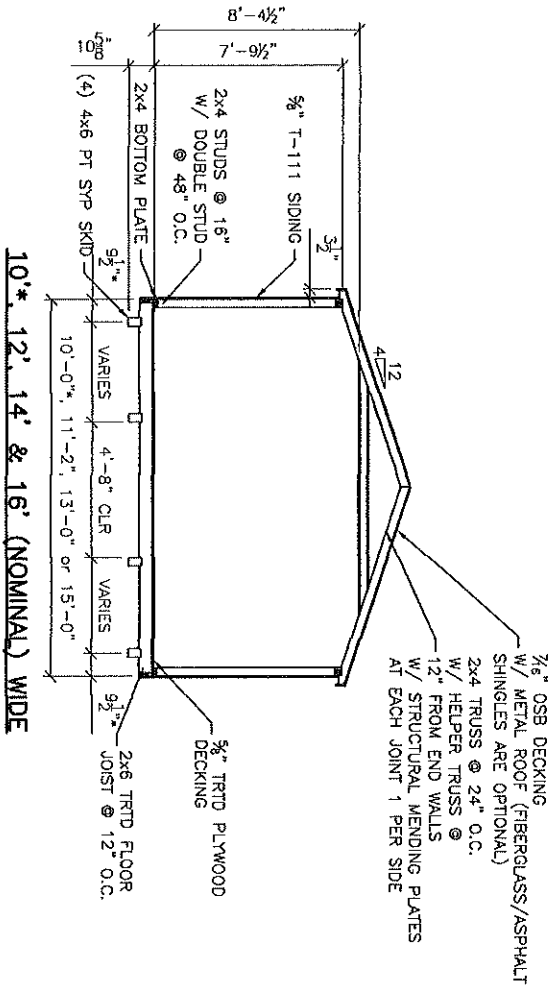
RAILROAD CONSULTANTS, PLLC
 213 UPTOWN SQUARE
 MURFREESBORO, TN 37129
 PHONE: (615) 863-1142

GRACELAND PORTABLE BUILDINGS
 GRACELAND PORTABLE BUILDINGS, LLC
 267 RELJHAN STREET
 PEARSON, GA 31642
 PHONE: (888) 472-2304

PROJECT NO: 4061001FL
 DATE: 12-22-20
 DRAWN BY: JMG
 CHECKED BY: DBG
 REVISION: 03

SHEET NUMBER
S-3-PG
 SCALE: 1/4"=1'-0"

2020-12-31 TOP LINE ENGINEERING APPROVAL PLAN # GFB PG-20 NOT HVHZ APPROVED



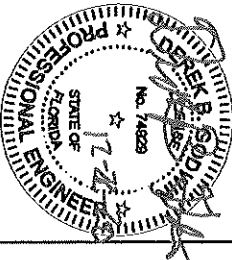
10' x 12', 14' & 16' (NOMINAL) WIDE

BUILDING SECTIONS

- NOTES:
- 1) ON 10'-0" WIDE BUILDINGS THE OUTER SKIDS ARE SPACED AT 12" FROM THE EXTERIOR OF THE BUILDING (EXCLUDING THE SHEATHING).
 - 2) FOR METAL GAUGE OF ROOF DECKING SEE S-5-PG.
 - 3) FOR MFGR AND SIZE OF TRUSS MENDING PLATES SEE S-7-PG.
 - 4) FOR BOTTOM PLATE & SKID FASTENING SEE S-8-PG.
 - 5) FOR WALL SHEATHING FASTENING SEE S-6-PG.
 - 6) FOR OPTIONAL DORMER SEE S-8A-PG.

NOT APPROVED FOR HVHZ

SHEET APPROVAL STAMP



WILLIAM G. NESTER, III
 No. 14829
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER



RAILROAD CONSULTANTS, PLLC
 213 UPTOWN SQUARE
 MURFREESBORO, TN 37129
 PHONE: (615) 663-1142



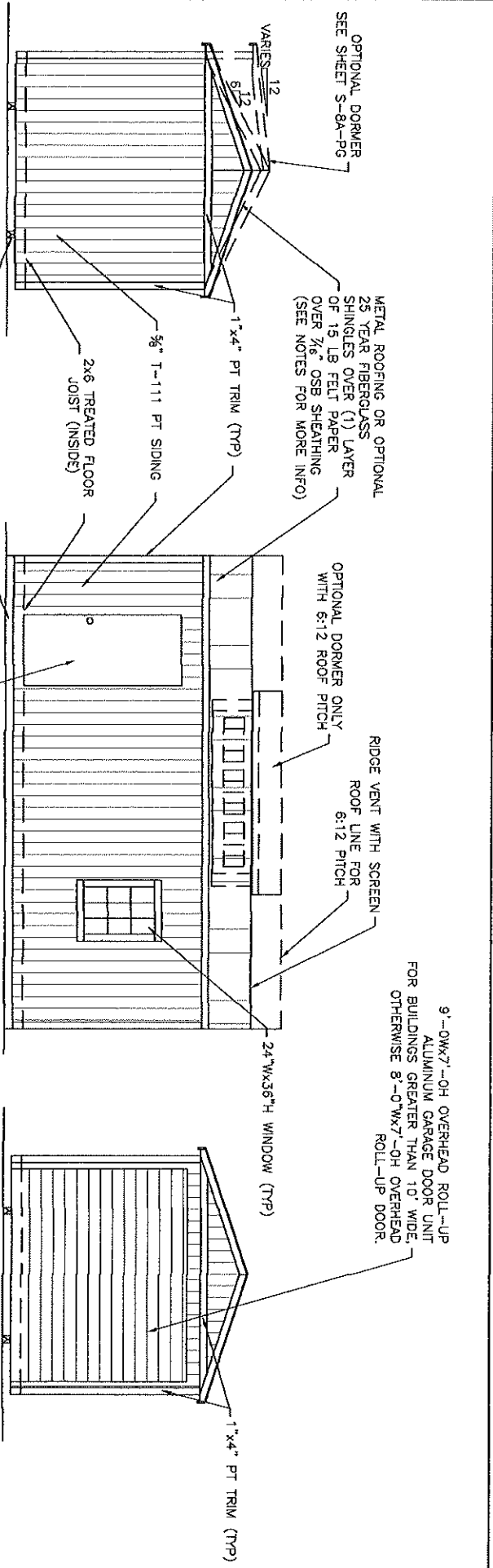
GRACELAND PORTABLE BUILDINGS, LLC
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 PHONE: (888) 472-2304

PROJECT NO:	4061001FL
DATE:	12-22-20
DRAWN BY:	JMG
CHECKED BY:	DBG
REVISION:	03

SHEET NUMBER
S-4-PG
 SCALE: 1/4"=1'-0"

PORTABLE GARAGE---FL---V=150MPH---FBC 2020

2020-12-31 TOP LINE ENGINEERING APPROVAL PLAN # G15 PG-20 *** NOT HVHZ APPROVED



END WALL ELEVATION

SIDE WALL ELEVATION

END WALL ELEVATION 2

- ROOFING AND UNDERLAMENT NOTES:
- 1) PROVIDE A RIDGE VENT TYPICAL WITH INSECT SCREEN.
 - 2) METAL ROOFING SHALL BE 29 GAUGE METAL IN ACCORDANCE WITH ASTM A 924 OR ASTM A 924M OVER OSB SHEATHING.
 - 3) PROVIDE 29 GAUGE RIDGE CAP, EAVE TRIM AND RAKE TRIM.
 - 4) INSTALL AND FASTEN METAL ROOFING PER MANUFACTURER'S INSTRUCTIONS FOR WIND LOADING.
 - 5) OPTIONAL SHINGLES SHALL BE IN ACCORDANCE WITH ASTM D 7158 TYPE H OR ASTM D 3161F TYPICAL.
 - 6) INSTALL 1 LAYER OF 15 LB ROOFING FELT, START WITH A 19" WIDE STRIP PARALLEL WITH AND STARTING AT EAVES FASTENED SECURELY TO HOLD IN PLACE. START AT EAVE WITH A 38" WIDE SHEET WITH OVERLAPPING SUCCESSIVE SHEETS BY 19". FASTEN UNDERLAMENT WITH CORROSION-RESISTANT FASTENERS PER MANUFACTURER'S INSTRUCTIONS AND SPACED A MAXIMUM OF 56" APART.
 - 7) FASTEN 1"x4" PT TRIM W/ (2) 8d NAILS @ 24" O.C.

NOT APPROVED FOR HVHZ

PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 No. 14528
 DEREK B. SODER
 12-14-20

FILE APPROVAL STAMP
 WILLIAM E. MAYER, III
 5140 S. STATE RD. DECEMBER 2020
 TAMPA, FLORIDA 33629

RAILROAD CONSULTANTS, PLLC
 213 UPTOWN SQUARE
 MURREESBORO, TN 37129
 PHONE: (615) 663-1142

GRACELAND PORTABLE BUILDINGS
 BUILDINGS, LLC
 287 RELIHAN STREET
 PEARSON, GA 31642
 PHONE: (888) 472-2304

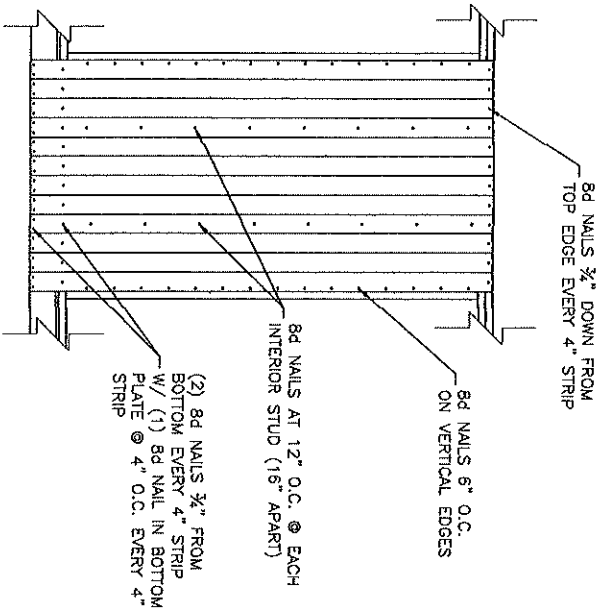
PROJECT NO:	4061001FL
DATE:	12-22-20
DRAWN BY:	JMG
CHECKED BY:	DBG
REVISION:	03

SHEET NUMBER
S-5-PG
 SCALE: 1/4"=1'-0"

PORTABLE GARAGE--FL--V=150MPH--FBC 2020

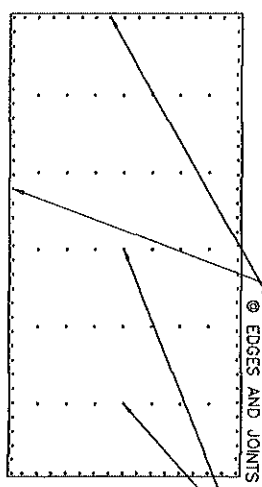
2020-12-31 TOP LINE ENGINEERING APPROVAL PLAN # GP8 PG-20 NOT HVHZ APPROVED

WALL SHEATHING (NAIL PATTERN)

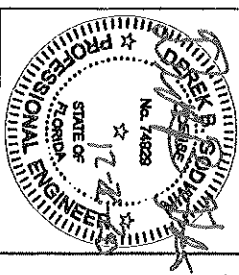
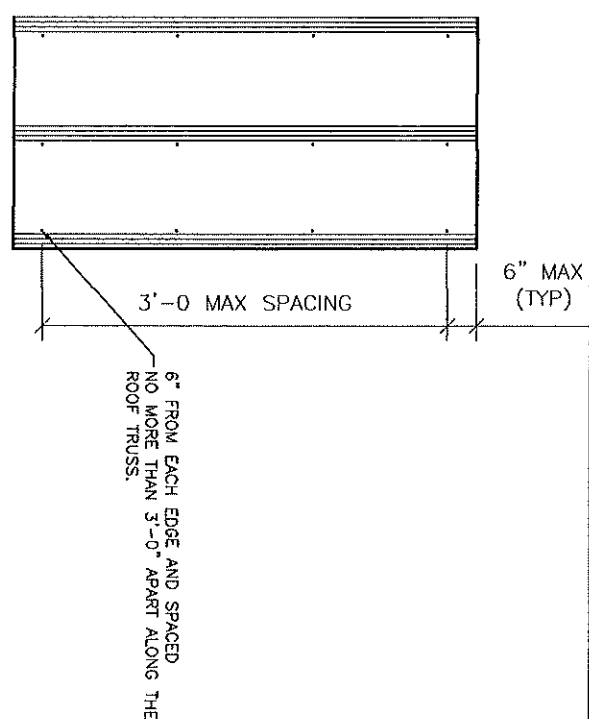


NOT APPROVED FOR HVHZ

FLOOR SHEATHING (NAIL PATTERN)



METAL ROOFING (SCREW PATTERN)



SHEET APPROVAL STAMP
 T.E. JOHNSON, ENGINEERING, LLC
 William E. Henry, III
 5045-51 JAMES ST. ICE CASSARD
 GAINES, FLORIDA 32635



RAILROAD CONSULTANTS, PLLC
 213 UPTOWN SQUARE
 MURREESBORO, TN 37129
 PHONE: (615) 663-1142



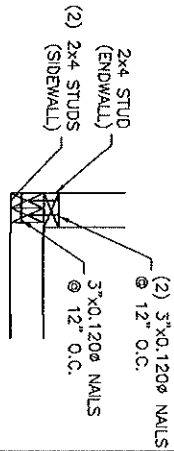
GRACELAND BUILDINGS, LLC
 267 RELIHAN STREET
 PEARSON, GA 31642
 PHONE: (888) 472-2304

PROJECT NO:	4061001E
DATE:	12-22-20
DRAWN BY:	JMG
CHECKED BY:	DEG
REVISION:	03

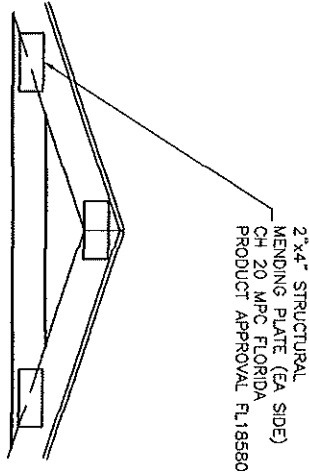
SHEET NUMBER
S-6-PG
 SCALE: 1/2"=1'

PORTABLE GARAGE---FL---V=150MPH---FBC 2020

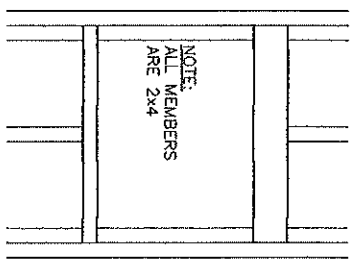
2020-12-31 TOP LINE ENGINEERING APPROVAL PLAN # GP8 PG-20 NOT HVHZ APPROVED



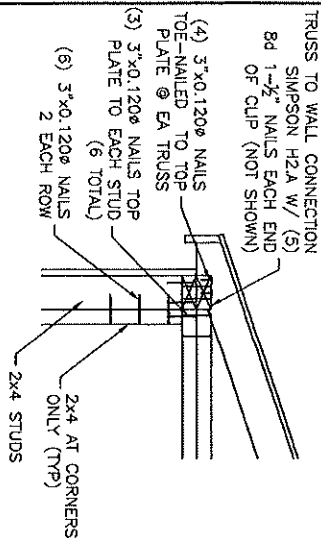
1-CORNER DETAIL



2-TRUSS SPLICE DETAIL

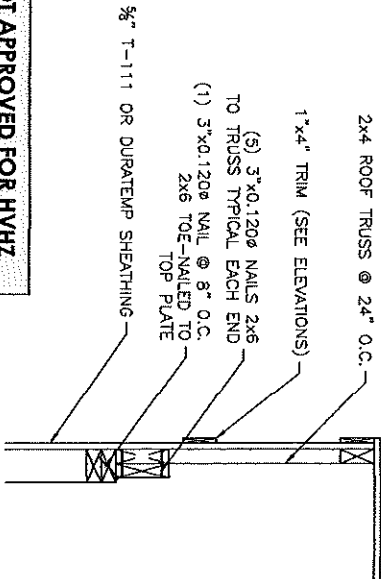


3-TYP WINDOW FRAMING

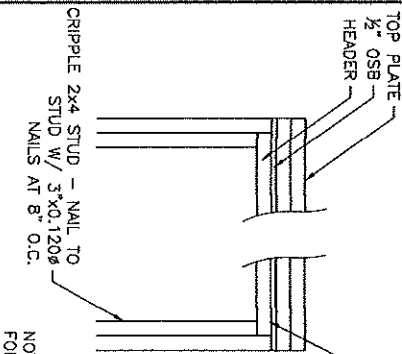


4-CORNER & WALL DETAIL

NOTE: INSTALL H2.5A PER MANUFACTURER'S RECOMMENDATIONS

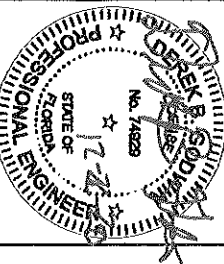


5-END WALL DETAIL



6-TYP DOOR FRAMING

NOTE: FOR 12' HIGH OR GREATER SIDEWALLS, A 48" MAX OPENING IS ALLOWED.



FILE
WILLIAM E. MERRY III
SHEPHERD ENGINEERING, LLC
3000 S.W. 75th Avenue, Suite 200
Davie, Florida 33317



RAILROAD CONSULTANTS, PLLC
213 UPTOWN SQUARE
MURFREESBORO, TN 37129
PHONE: (615) 663-1142



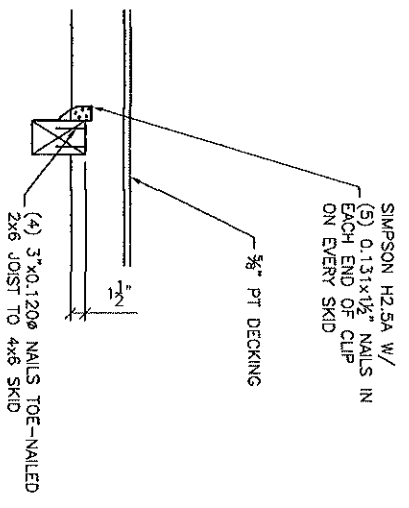
GRACELAND PORTABLE BUILDINGS, LLC
267 RELIHAN STREET
PEARSON, GA 31842
PHONE: (888) 472-2304

PROJECT NO:	4061001RL
DATE:	12-22-20
DRAWN BY:	JMG
CHECKED BY:	DBG
REVISION:	03

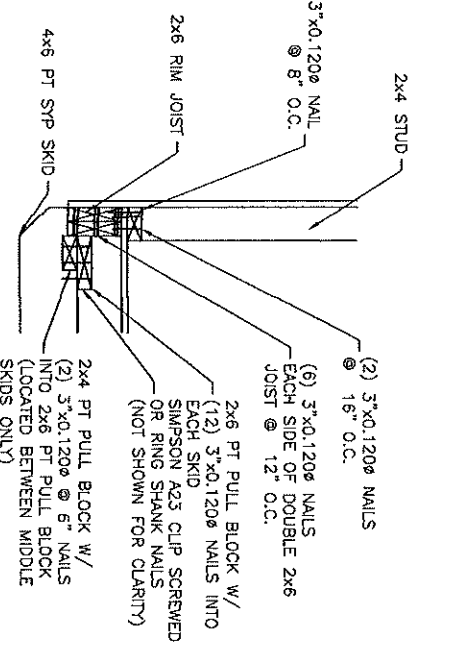
SHEET NUMBER
S-7-PG
SCALE: 1"=1'

PORTABLE GARAGE---FL---V=150MPH---FBC 2020

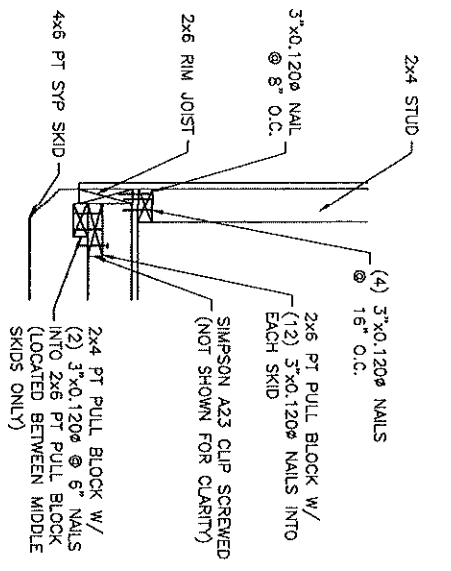
NOT APPROVED FOR HVHZ



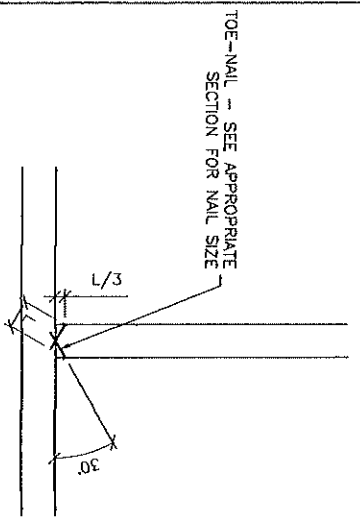
1-INNER & OUTER SKID DETAIL @ EVERY JOIST



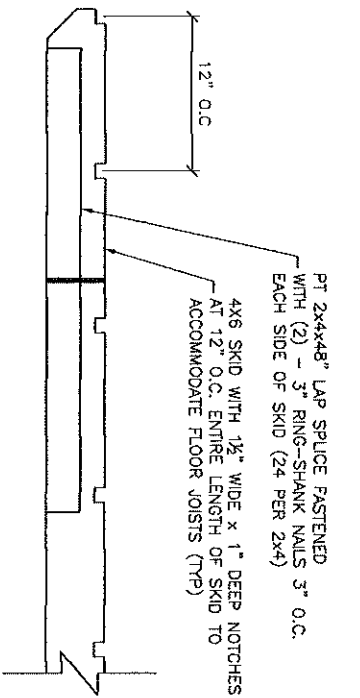
2-ENTRY DOOR ENDWALL JOIST DETAIL



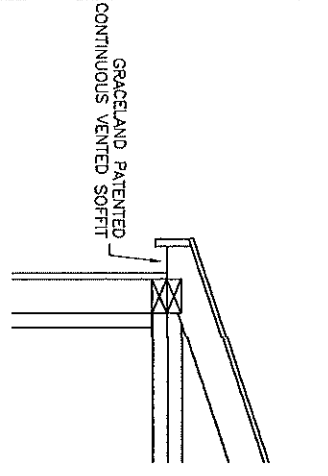
3-REAR ENDWALL JOIST DETAIL



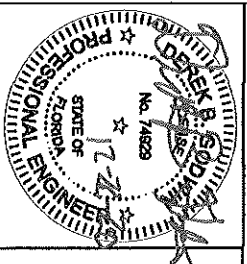
4-TOE-NAIL DETAIL



5-SKID DETAIL



6-SOFFIT VENTS



TILE ENGINEERING CONSULTANTS, LLC
 WILSON G. VANDY, III
 5842-52, SW 17th, OCC 3155440
 33049
 Ocala, Florida 32703

SHEET APPROVAL STAMP



RAILROAD CONSULTANTS, PLLC
 213 UPTOWN SQUARE
 MURFREESBORO, TN 37129
 PHONE: (615) 663-1142



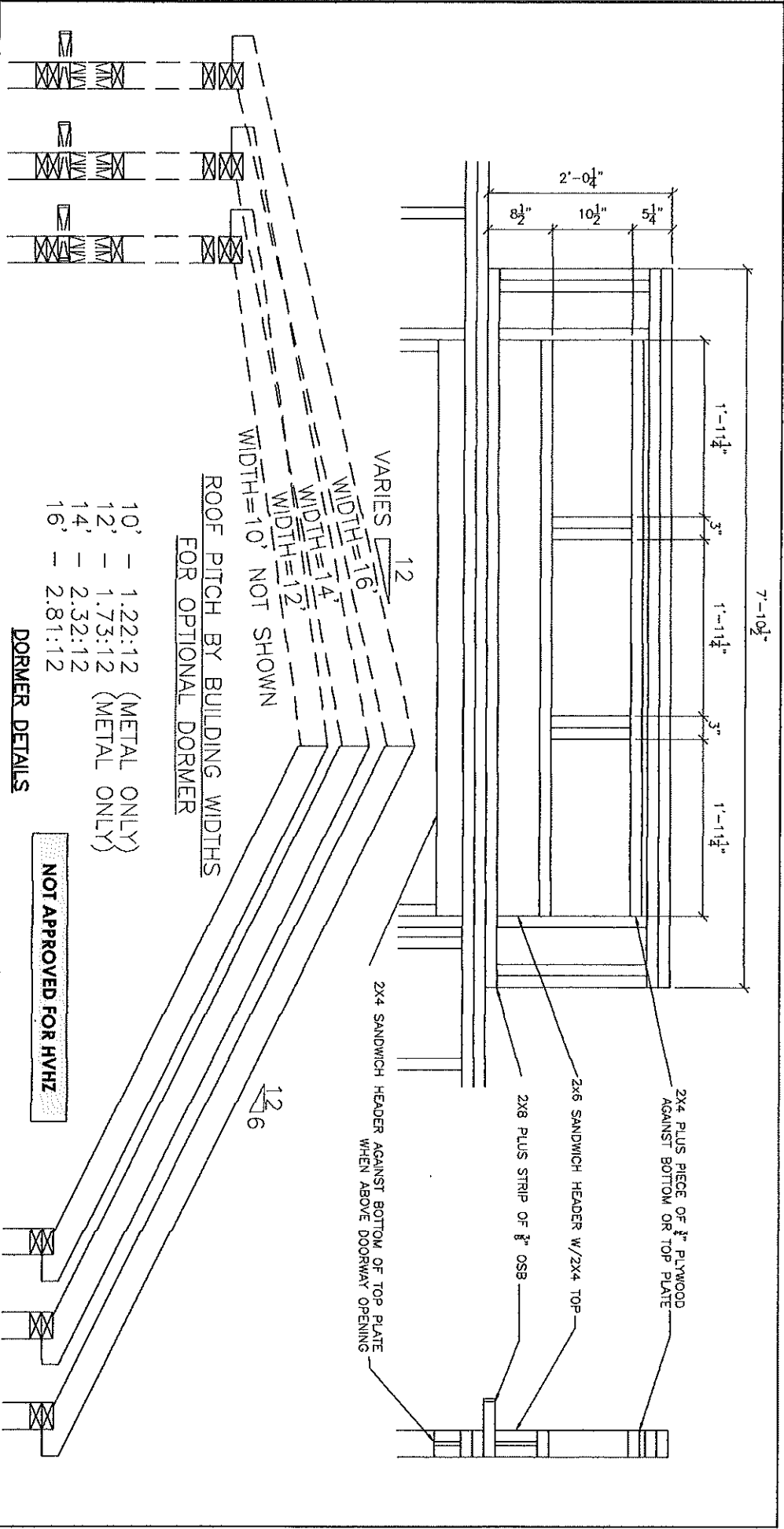
GRACELAND PORTABLE BUILDINGS, LLC
 267 RELIHAN STREET
 PEARSON, GA 31642
 PHONE: (888) 472-2304

PROJECT NO:	4061001FL
DATE:	12-22-20
DRAWN BY:	JMG
CHECKED BY:	DBG
REVISION:	03

SHEET NUMBER
S-8-PG
 SCALE: 1"=1'

PORTABLE GARAGE---FL---V=150MPH---FBC 2020

2020-12-31 TOP LINE ENGINEERING APPROVAL PLAN # GFS PG-20 NOT HVHZ APPROVED



- ROOF PITCH BY BUILDING WIDTHS
FOR OPTIONAL DORMER
- 10' - 1.22:12 (METAL ONLY)
 - 12' - 1.73:12 (METAL ONLY)
 - 14' - 2.32:12
 - 16' - 2.81:12

NOT APPROVED FOR HVHZ

PROFESSIONAL ENGINEER
STATE OF FLORIDA
No. 14829
BERNARD GOLDMAN

FTL ENGINEERING, INC.
William E. Moore, III
State-51334791, DEC2019
2000 Corporate Park Center
Gainesville, Florida 32609

RAILROAD CONSULTANTS

RAILROAD CONSULTANTS, PLLC
213 UPTOWN SQUARE
MURFREESBORO, TN 37129
PHONE: (615) 663-1142

GRACELAND PORTABLE BUILDINGS

GRACELAND PORTABLE BUILDINGS, LLC
267 RELIHAN STREET
PEARSON, GA 31642
PHONE: (888) 472-2304

PROJECT NO: 4061001L

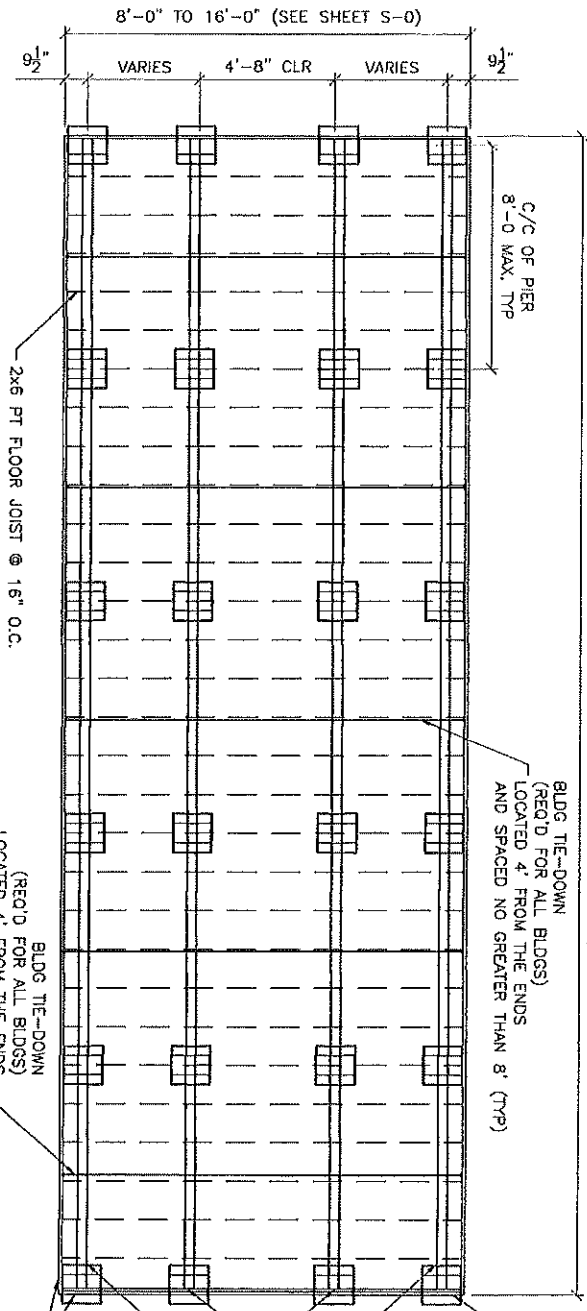
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DRAWN BY:	JMG
CHECKED BY:	DBG
REVISION:	03

SHEET NUMBER
S-8A-PG

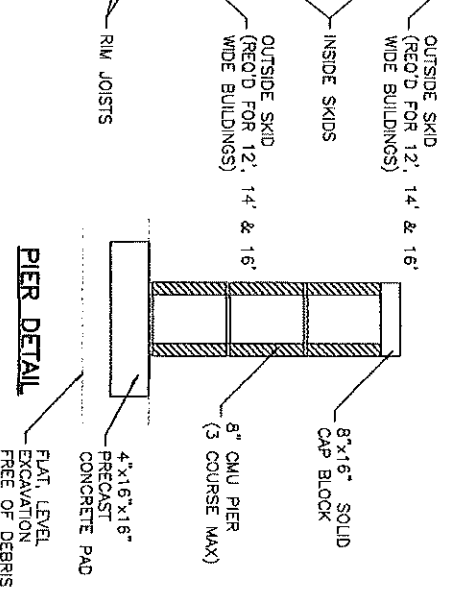
SCALE: 1"=1'

2020-12-31 TOP LINE ENGINEERING APPROVAL PLAN # GP8 PG-20 NOT HVHZ APPROVED

12'-0" TO 40'-0" (SEE SHEET S-0 FOR INCREMENTS)



MAXIMUM OF (3) 8"x8"x16" CONCRETE MASONRY UNITS TO INCREASE SHED HEIGHT. EACH PIER SHALL BEAR ON (1) 4"x16"x16" CONCRETE PAD. MAXIMUM BUILD UP HEIGHT = 24". MIN DIMENSIONS OF BEARING AREA IS 16"x16"



MASONRY:

CMU f'm = 1,500 PSI
 MORTAR f'm = 1,900 PSI
 GROUT f'm = 3,500 PSI

CONCRETE:

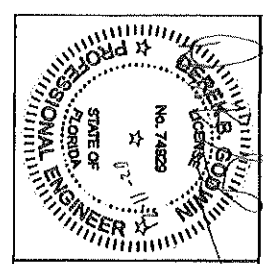
1. MATERIALS (COMPRESSIVE STRENGTH AT 28 DAYS)
 FOOTINGS 3,000 PSI
 FOOTINGS AND EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED

FOUNDATION PLAN*
 *NOTES ON SHEET 2

FOUNDATION IS APPLICABLE TO:

- CORNER PORCH CABIN
- MIDDLE PORCH CABIN
- CABIN
- GARDEN SHED
- PORTABLE GARAGE
- SIDE PORCH CABIN
- UTILITY

- FOUNDATION ALTERNATIVES:
- 1) THE FOLLOWING 16"x16" ABS PIER PAD, www.mobilehomeportsstore.com, ITEM #: 503250 IS AN ACCEPTABLE SUBSTITUTE FOR THE 4"x16"x16" PRECAST CONCRETE PAD.
 - 2) IT IS ALSO ACCEPTABLE SUBSTITUTE THE 4"x16"x16" PRECAST CONCRETE PAD WITH (2) 4"x8"x8" PRECAST CONCRETE PAD BLOCKS IF THE NUMBER OF PIERS ARE DOUBLED AND ALSO EVENLY SPACED.



UTILITY--FL--V=150MPH--FBC 2020

RAILROAD CONSULTANTS, PLLC
 213 UPTOWN SQUARE
 MURFREESBORO, TN 37129
 PHONE: (615) 663-1142

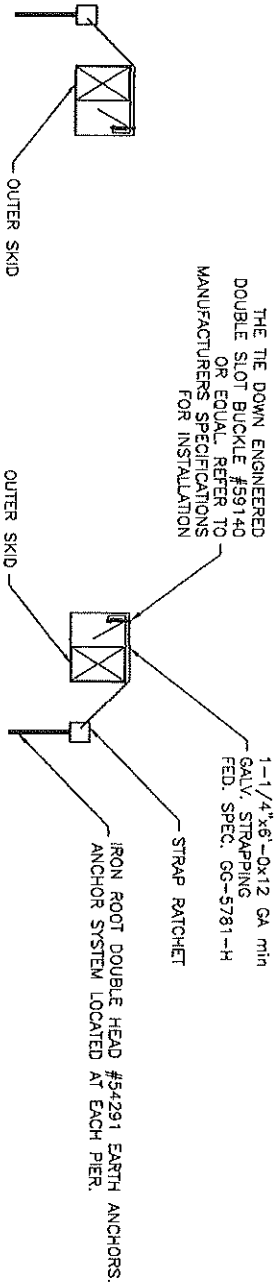
GRACELAND PORTABLE BUILDINGS
 Look for the G

GRACELAND PORTABLE BUILDINGS
 6807 US HWY 62
 PHONE: (888) 472-2304

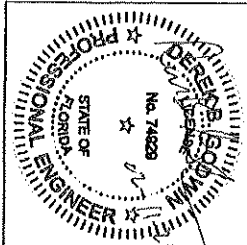
PROJECT NO:	4061001FL
DATE:	01-22-21
DRAWN BY:	JMG
CHECKED BY:	DJG
REVISION:	03

SHEET NUMBER
S-1UT
 SCALE: 1/4"=1'-0"

- FOUNDATION NOTES:**
1. ANCHORS ARE IRON ROOT DOUBLE HEAD EARTH ANCHORS. PROVIDE ANCHOR AT EACH PERIMETER PIER GIRDER. PROVIDE 1/2" - 12 ga OR EQUIVALENT GALVANIZED STRAPS WITH BUCKLE AND SLOTTED PER THE BUILDING CODE.
 2. ANCHORS AND STRAPS INCLUDING THE INSTALLATION SHALL MEET THE REQUIREMENTS OF APPENDIX E OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE.
 3. THE MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2500 psf HAS BEEN ASSUMED FOR FOOTING DESIGN. CONTRACTOR TO HAVE THIS CAPACITY VERIFIED PRIOR TO CONSTRUCTION.
 4. IF A MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 psf IS USED, THEN THE PIER SPACING SHALL BE NO GREATER THAN 4'-0".
 5. FOOTINGS SHALL BE CARRIED TO AN ELEVATION LOWER THAN THOSE SHOWN ON THE DRAWINGS IF REQUIRED TO REACH SUITABLE SOIL.
 6. FOOTINGS SHALL BE PLACED ON SUITABLE SOIL THAT MEETS DESIGN ASSUMPTIONS.



ANCHOR TIE DOWN DETAIL



UTILITY---FL---V=150MPH---FBC 2020



RAILROAD CONSULTANTS, PLLC
213 UPTOWN SQUARE
MURFREESBORO, TN 37129
PHONE: (615) 663-1142

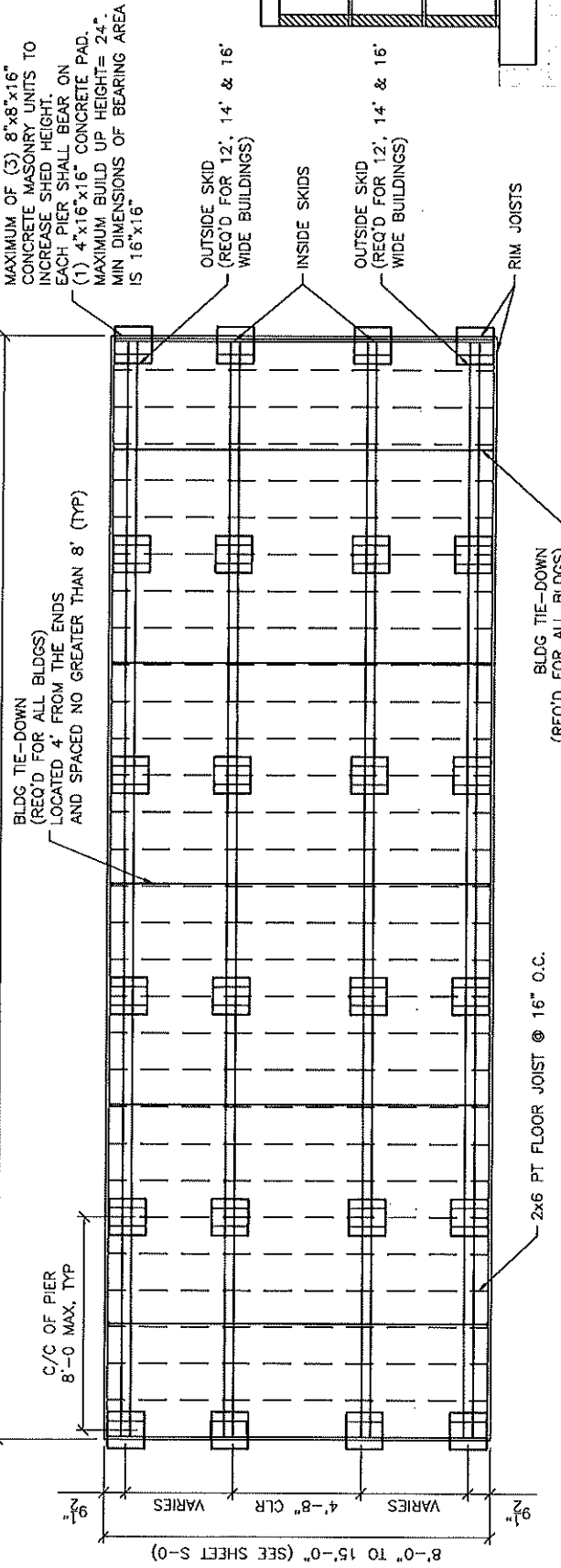


GRACELAND PORTABLE BUILDINGS
8807 US HWY 62
PHONE: (888) 472-2304

PROJECT NO:	4061001FL
DATE:	01-22-21
DRAWN BY:	JMG
CHECKED BY:	DBG
REVISION:	03

SHEET NUMBER
S-2-UT
SCALE: 1/4"=1'-0"

12'-0" TO 40'-0" (SEE SHEET S-0 FOR INCREMENTS)



FOUNDATION PLAN

FOUNDATION:

- ANCHORS ARE IRON ROOT DOUBLE HEAD EARTH ANCHORS. PROVIDE ANCHOR AT EACH PERIMETER PIER GIRDER. PROVIDE 1/4" - 12 ga OR EQUIVALENT GALVANIZED STRAPS WITH BUCKLE AND SLOTTED PER THE BUILDING CODE.
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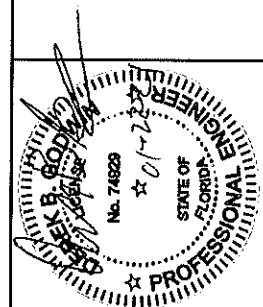
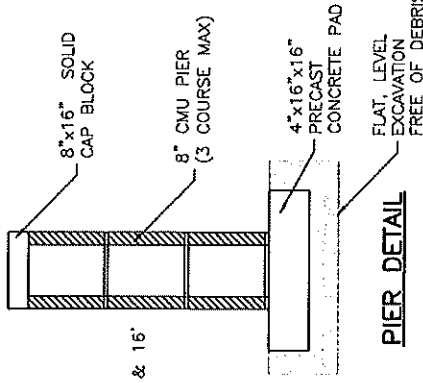
MASONRY:

CMU f'm = 1,500 PSI
 MORTAR f'm = 1,900 PSI
 GROUT f'm = 3,500 PSI

CONCRETE:

- MATERIALS (COMPRESSIVE STRENGTH AT 28 DAYS)
 FOOTINGS 3,000 PSI
 FOOTINGS AND EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED

PIER DETAIL



UTILITY---FL---V=150MPH---FBC 2020



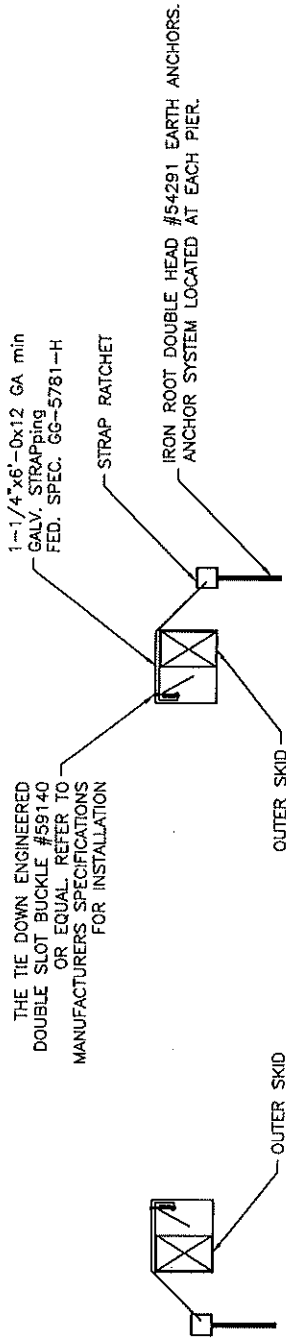
RAILROAD CONSULTANTS, PLLC
 213 UPTOWN SQUARE
 MURFREESBORO, TN 37129
 PHONE: (615) 663-1142



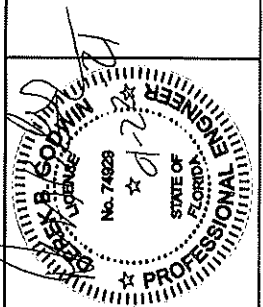
GRACELAND PORTABLE BUILDINGS
 6807 US HWY 62
 PHONE: (888) 472-2304

PROJECT NO: 4061001FL
DATE: 01-22-21
DRAWN BY: JMG
CHECKED BY: DBG
REVISION: 03

SHEET NUMBER
S-1-UT
 SCALE: 1/4"=1'-0"



ANCHOR TIE DOWN DETAIL



UTILITY---FL---V=150MPH---FBC 2020



RAILROAD CONSULTANTS, PLLC
 213 UPTOWN SQUARE
 MURFREESBORO, TN 37129
 PHONE: (615) 663-1142



GRACELAND PORTABLE BUILDINGS
 6807 US HWY 62
 PHONE: (888) 472-2304

PROJECT NO:	4061001FL
DATE:	01-22-21
DRAWN BY:	JMG
CHECKED BY:	DBG
REVISION:	03

SHEET NUMBER
S-2-JT
 SCALE: 1/4"=1'-0"

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

11/17

SIGNATURE OF APPLICANT





170 21st St - Porch

CITY OF APALACHICOLA
 CERTIFICATE OF APPROPRIATENESS APPLICATION

NON

~~HISTORIC DISTRICT ONLY~~

Official Use Only
 Application # _____
 City Representative _____
 Date Received _____

OWNER INFORMATION
 Owner B. Hoffman
 Address _____
 City _____ State _____ Zip _____
 Phone (____) _____

CONTRACTOR INFORMATION
 Contractors Name: _____
 State License # _____ City License # _____
 Email Address _____
 Phone (____) _____

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____
 *Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: 10x26 SIDE PORCH

PROPERTY INFORMATION:
 Street Address: 170 21st City & State _____ Zip _____
 Historic District Non-Historic District Zoning District: R-2
 Parcel #: _____ Block(s) 245 Lot(s) 1,2,3
 FEMA Flood Zone/Panel #: _____
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:
 Front: _____ Rear: _____ Side: _____ Lot Coverage: _____
 Water Available: _____ Sewer Available: _____ Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.
 Certificate of Appropriateness Approval:

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCL.

Tammy Owens
 Permitting and Development Coordinator
 (850) 658-1522
cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

10 X 25 ATTACHED SCREENED SIDE PORCH. MATERIAL LIST PROVIDED. PLANK FLOOR, SCREENED WALLS, METAL ROOF OVER WOOD TRUSS. ONE SCREENED ENTRY DOOR

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows	N/A		
Roofing		wood frame - metal roof	
Trim			
Foundation	wood		
Shutters	N/A		
Porch/Deck	yes	- wood frame	
Fencing	N/A		
Driveways/Sidewalks	N/A		
Other			

SEE ATTACHED LIST OF MATERIALS

HOFFMAN
170 21ST ST.
APALACHICOLA, FL 32320

MATERIALS LIST-SIDE PORCH ADDITION

FLOOR

6x8x8 filled with concrete
2x12x10 pressure treated floor framing, 3" framing nails
2x10 bucket straps
5 quarter deck boards installed with 3" screws

ROOF

2x10x14 pressure treated roof trusses, 3" nails
H10 truss straps
5x8 CDX plywood
Titanium roof paper
26 gauge metal roofing panels

SCREEN

20x20 vinyl coated insect mesh screening

Labor

\$8600 Poloronis Brothers Builders

CERTIFICATION

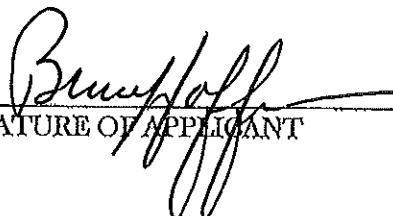
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1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

11/10/2021

SIGNATURE OF APPLICANT



EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Couch Wagoner Blvd, 850-653-1522
APPLICATION FOR BUILDING PERMIT

DATE: _____ Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: BRUCE HOFFMAN Email: MR. NATURAL 55 @ GMAIL

ADDRESS: 170 21ST ST.

CITY, STATE & ZIP CODE: APALACHICOLA, FL 32320 PHONE # 770-899-6671

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: _____ Email: _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: 170 21ST ST APALACHICOLA, FL 32320

PURPOSE OF PERMIT: SIDE PORCH ADDITION (26' X 10')

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # _____

LEGAL DESCRIPTION OF PROPERTY: _____

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to cityofapalachicola@gmail.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Roof Sign Pole Barn
 Temp Pole Demolition Other _____

Addition, Alteration or Renovation to building. SIDE PORCH

Distance from property lines: Front 39' Rear 29' L. Side 30'
 R. Side 60'
 Cost of Construction \$ # 20,000 Square Footage 160
 EPI _____ Flood Zone Lowest Floor Elevation _____
 Area Heated/Cooled NO # Of Stories 1 # Of Units -
 Type of Roof METAL Type of Walls SCREEN Type of Floor PLANK
 Extreme Dimensions of: Length 26' Height 11' Width 10'

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent  Date _____ Signature of Contractor _____ Date _____

Notary as to Owner or Agent
Date: _____

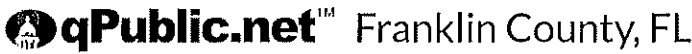
Notary as to Contractor
Date: _____

My Commission expires: _____

My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: cityofapalachicola@gmail.com or drop off in City drop box)
(make checks payable to EPCI – 192 Coach Wagoner Blvd. Apalachicola, FL 32320)



Parcel Summary

Parcel ID 01-09S-08W-8330-0245-0010
 Location Address 170 21ST AVE.
 32320
 Brief BL 245 LOTS 1 2 3 OR/168/113 OR 223/572 ORB 223 PAGE 572 OR/257/310 633/503 721/748 937/533 947/481 1128/432 1136/109 1201/184
 Tax Description* 1201/185 1236/645
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead Y

[View Map](#)



Owner Information

Primary Owner
 Hoffman Marsha Marie Ellis &
 Hoffman Bruce Richard
 170 21st Ave
 Apalachicola, FL 323201544

Land Information

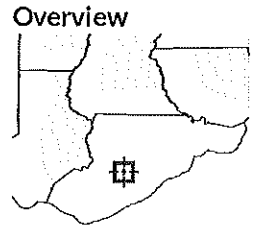
Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000155	SFR GREATER APALACH	90.00	FF	0	0

Residential Buildings

Building 1
 Type CITY OF AP
 Total Area 1,612
 Heated Area 1,612
 Exterior Walls CB STUCCO
 Roof Cover COMP SHNGL
 Interior Walls PLYWOOD
 Frame Type WOOD FRAME
 Floor Cover CLAY TILE; CLAY TILE
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 3
 Stories 2
 Effective Year Built 1981

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	03/04/2019	\$230,000	WD	1236	645	Qualified (Q)	Improved	GREEN LEAF,LLC	HOFFMAN
N	08/30/2017	\$100	WD	1201	185	Unqualified (U)	Improved	ZUCKERMAN	GREEN LEAF,LLC
N	08/30/2017	\$172,000	WD	1201	184	Qualified (Q)	Improved	WARD	GREEN LEAF,LLC
N	12/30/2014	\$71,900	WD	1136	109	Unqualified (U)	Improved	FEDERAL NATIONAL MORTGAGE ASSOCIATION	WARD/ZUCKERMAN
N	09/02/2014	\$100	CT	1128	432	Unqualified (U)	Improved	HERRINGTON	FEDERAL NATIONAL MORTGAGE ASSOCIATION
N	09/18/2007	\$100	WD	947	481	Unqualified (U)	Improved	HERRINGTON	HERRINGTON
N	05/31/2007	\$165,500	WD	937	533	Qualified (Q)	Improved	GORMAN	HERRINGTON
N	01/07/2003	\$114,000	WD	721	748	Qualified (Q)	Improved	CARROLL	GORMAN
N	02/11/2000	\$65,000	WD	633	503	Qualified (Q)	Improved	O'NEIL	CARROLL
N	07/01/1987	\$40,800	WD	257	310	Unqualified (U)	Improved	TREXLER	O'NEIL
N	06/01/1985	\$21,250	WD	223	572	Qualified (Q)	Improved		



Legend

- Parcels
- Roads
- City Labels

Parcel ID	01-09S-08W-8330-0245-0010	Alternate ID	08W09S01833002450010	Owner Address	HOFFMAN MARSHA MARIE ELLIS & HOFFMAN BRUCE RICHARD
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		170 21ST AVE
Property Address	170 21ST AVE.	Acreage	n/a		APALACHICOLA, FL 32320-1544

District 3
 Brief Tax Description BL 245
 (Note: Not to be used on legal documents)

Date created: 12/1/2021
 Last Data Uploaded: 12/1/2021 7:58:27 AM

Valuation

	2021 Certified	2020 Certified	2019 Certified	2018 Certified	2017 Certified
Building Value	\$185,469	\$163,437	\$164,588	\$117,805	\$61,961
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$45,000	\$45,000	\$45,000	\$13,500	\$13,500
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$230,469	\$208,437	\$209,588	\$131,305	\$75,461
Assessed Value	\$211,355	\$208,437	\$209,588	\$131,305	\$75,461
Exempt Value	\$50,000	\$50,000	\$0	\$0	\$75,461
Taxable Value	\$161,355	\$158,437	\$209,588	\$131,305	\$0
Maximum Save Our Homes Portability	\$19,114	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2021

2021 TRIM Notice (PDF)

TRIM Notice 2020

2020 TRIM Notice (PDF)

TRIM Notice 2019

2019 TRIM Notice (PDF)

Handwritten notes:

9000 SF x 40% = 3600 Allowed impervious

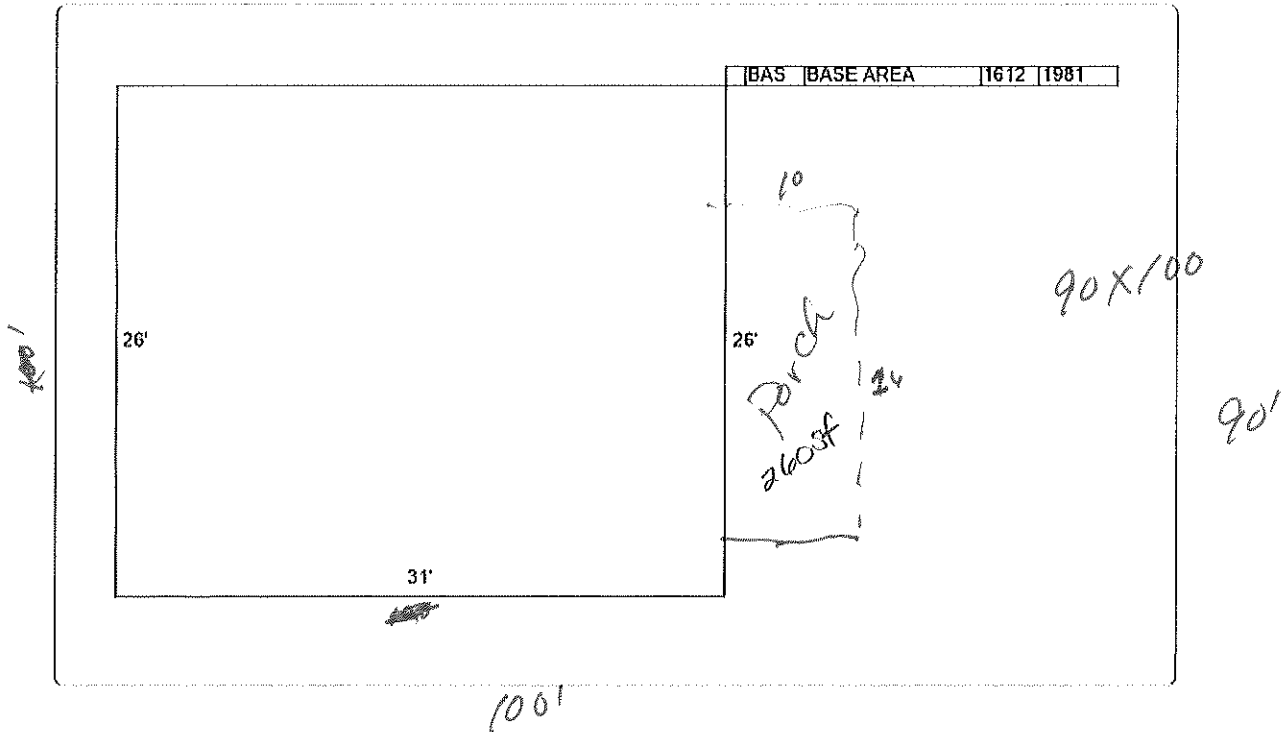
-1612 -home

-2600 -Porch

18722 SF

OK

Sketches



No data available for the following modules: Commercial Buildings, Extra Features.

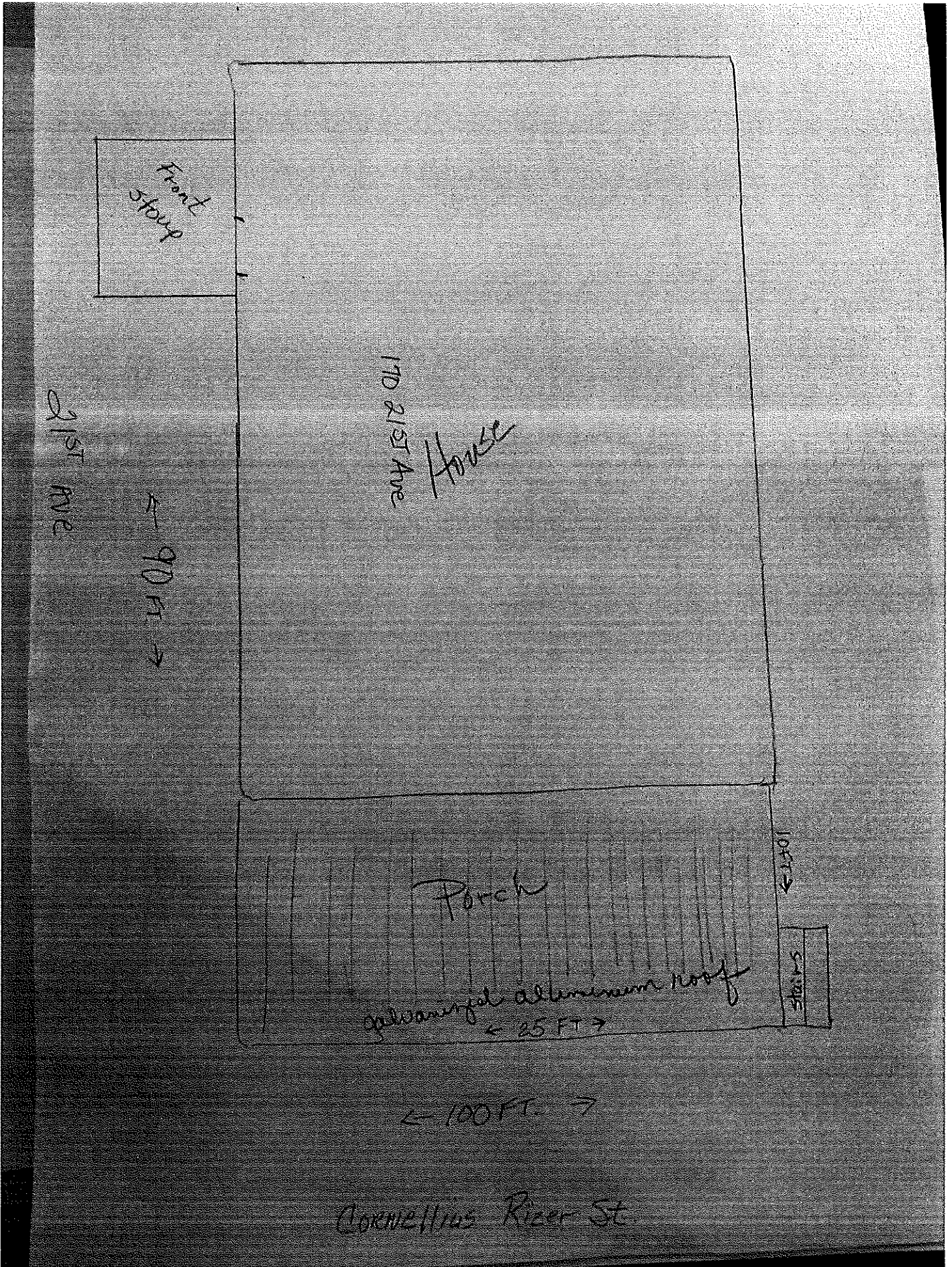
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

User Privacy Policy
GDPR Privacy Notice

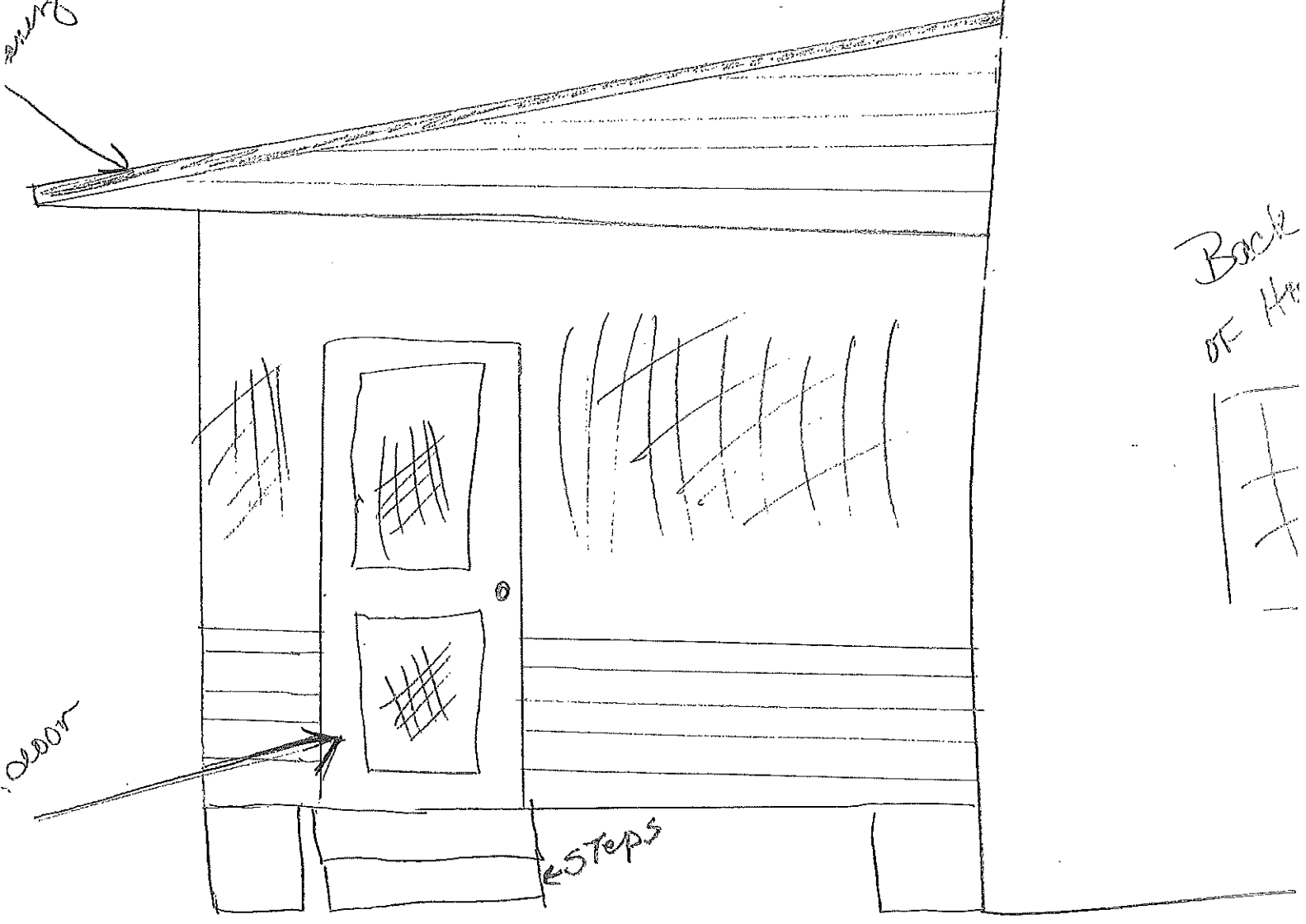
Last Data Upload: 11/15/2021, 7:51:25 AM



Version 2.3.161



single roof



Back of H...

door

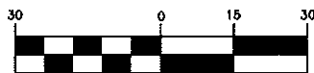
steps



22ND Ave

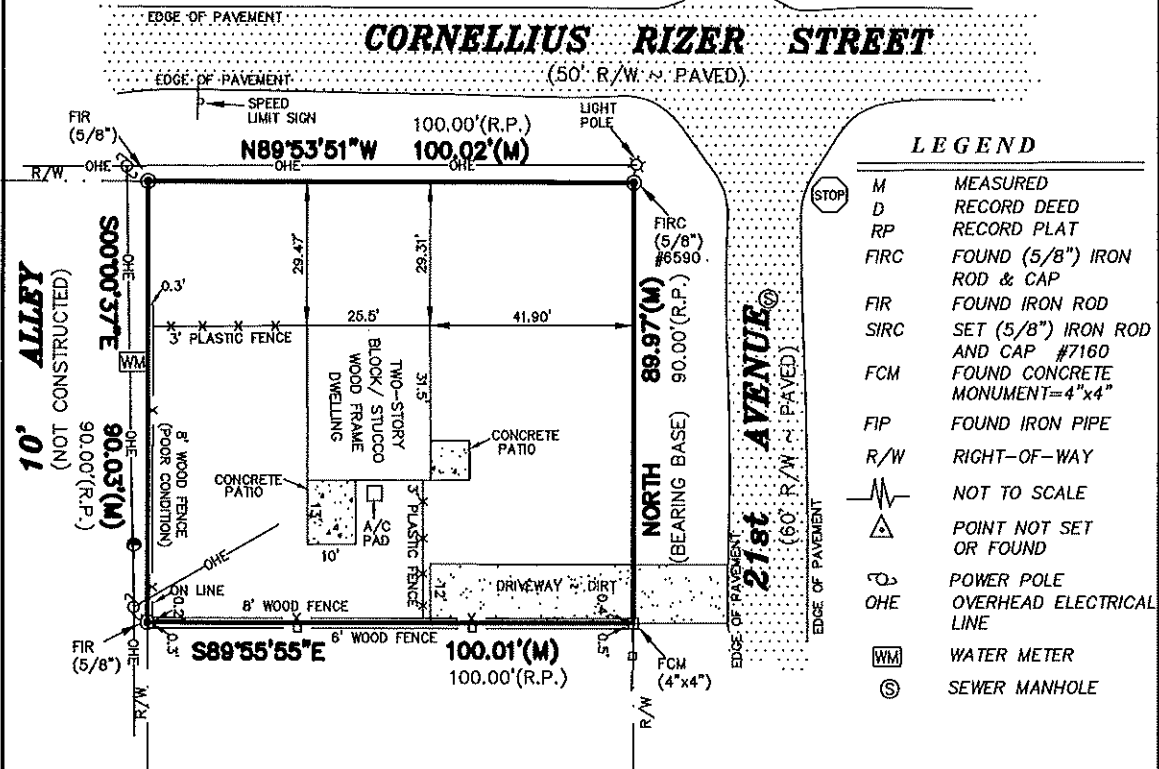
PLAT OF BOUNDARY SURVEY CERTIFIED TO:
MARSHA MARIE ELLIS HOFFMAN and BRUCE RICHARD HOFFMAN,
HOMEBRIDGE FINANCIAL SERVICES, INC.,
SANDERS & DUNCAN, P.A.,
CHICAGO TITLE INSURANCE COMPANY

GRAPHIC SCALE



(IN FEET)

1 inch = 30 ft.



LEGEND

- M MEASURED
- D RECORD DEED
- RP RECORD PLAT
- FIRC FOUND (5/8") IRON ROD & CAP
- FIR FOUND IRON ROD
- SIRC SET (5/8") IRON ROD AND CAP #7160
- FCM FOUND CONCRETE MONUMENT=4"x4"
- FIP FOUND IRON PIPE
- R/W RIGHT-OF-WAY
- NOT TO SCALE
- POINT NOT SET OR FOUND
- POWER POLE
- OHE OVERHEAD ELECTRICAL LINE
- WM WATER METER
- S SEWER MANHOLE

LEGAL DESCRIPTION:

Lots 1, 2 and 3, Block "245" of the CITY OF APALACHICOLA, as per map or plat in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Westerly right of way boundary of 21st Avenue having an assumed bearing of North,
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

FLOOD ZONE INFORMATION:

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No:120089 0507F index date: February, 5, 2014, Franklin County, Florida.

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

TR & A THURMAN RODDENBERRY & ASSOCIATES, INC
 PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358
 PHONE NUMBER: 850-952-2558 FAX NUMBER: 850-952-3191
 LR # 7166

JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 4261

DATE: 02/18/19	DRAWN BY: BB	N.B.613 pg. 11	COUNTY: FRANKLIN
FILE: 00038.DWG	DATE OF LAST FIELD WORK: 02/14/19	JOB NUMBER: 00-038	





99 Butler St. – Pool Enclosure

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

Non-HISTORIC DISTRICT ONLY.

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner <u>GREG PHILLIPS</u> <u>ELIZABETH DOHERTY</u> Address <u>99 BUTLER ST.</u> City <u>APALACHICOLA</u> State <u>FL</u> Zip <u>32329</u> Phone <u>(207) 212-1220</u>	Contractors Name: _____ State License # _____ City License # _____ Email Address _____ Phone (_____) _____

Approval Type: [] Staff Approval Date: _____ [] Board Approval [] Board Denial Date _____
 *Reason for Denial _____

PROJECT TYPE

<input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Other: <u>SWIM POOL</u>
---	---

PROPERTY INFORMATION:

Street Address: 99 BUTLER ST. City & State APALACHICOLA Zip 32329
 [] Historic District [X] Non-Historic District Zoning District R-2 # 15 + EAST
 Parcel #: _____ Block(s) "1" Lot(s) #14
 FEMA Flood Zone/Panel #: _____
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property: Front: _____ Rear: _____ Side: _____ Lot Coverage: _____ Water Available: _____ Sewer Available: _____ Taps Paid _____	This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued. Certificate of Appropriateness Approval _____ Chairperson, Apalachicola Planning & Zoning Board
---	--

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Tammy Owens
 Permitting and Development Coordinator
 (850) 658-1522
cityofapalachicola@gmail.com

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to cityofapalachicola@gmail.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Roof Sign Pole Barn
 Temp Pole Demolition Other TO ENCLOSE EXERCISE POOL

Addition, Alteration or Renovation to building. _____

Distance from property lines: Front _____ Rear _____ L. Side _____
 R. Side _____
 Cost of Construction \$ _____ Square Footage _____
 EPI _____ Flood Zone _____ Lowest Floor Elevation _____
 Area Heated/Cooled _____ # Of Stories _____ # Of Units _____
 Type of Roof _____ Type of Walls _____ Type of Floor _____
 Extreme Dimensions of: Length _____ Height _____ Width _____

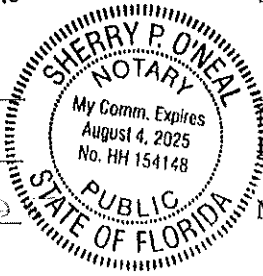
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Jimmy F. Walker 11/26/2021 N/A
 Signature of Owner or Agent Date Signature of Contractor Date

Sherry P. O'Neal
 Notary as to Owner or Agent
 Date: 11/29/2021



 Notary as to Contractor
 Date: _____

My Commission expires: 8/4/2025 My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: cityofapalachicola@gmail.com or drop off in City drop box)
 (make checks payable to EPCI – 192 Coach Wagoner Blvd. Apalachicola, FL 32320)

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
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10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

11/26/2021
DATE


SIGNATURE OF APPLICANT

EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Couch Wagoner Blvd, 850-653-1522
APPLICATION FOR BUILDING PERMIT

DATE: 11/26/2021 Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: GREGORY PHILLIPS Email: GFloyd53@gmail.com

ADDRESS: 99 BUTLER ST. P.O. BOX 657

CITY, STATE & ZIP CODE: APALACHICOLA, FL PHONE # 201-812-1220

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: SELF Email: _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: 99 BUTLER ST. APALACHICOLA, FL.

PURPOSE OF PERMIT: 8'X14' ADDITION TO EXISTING PORCH FOR POOL

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
XYES NO

PROPERTY PARCEL ID # _____

LEGAL DESCRIPTION OF PROPERTY: LOT 15 + EASTERLY 10' OF LOT 14, BLOCK #1
OF NEEL'S ADDITION

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

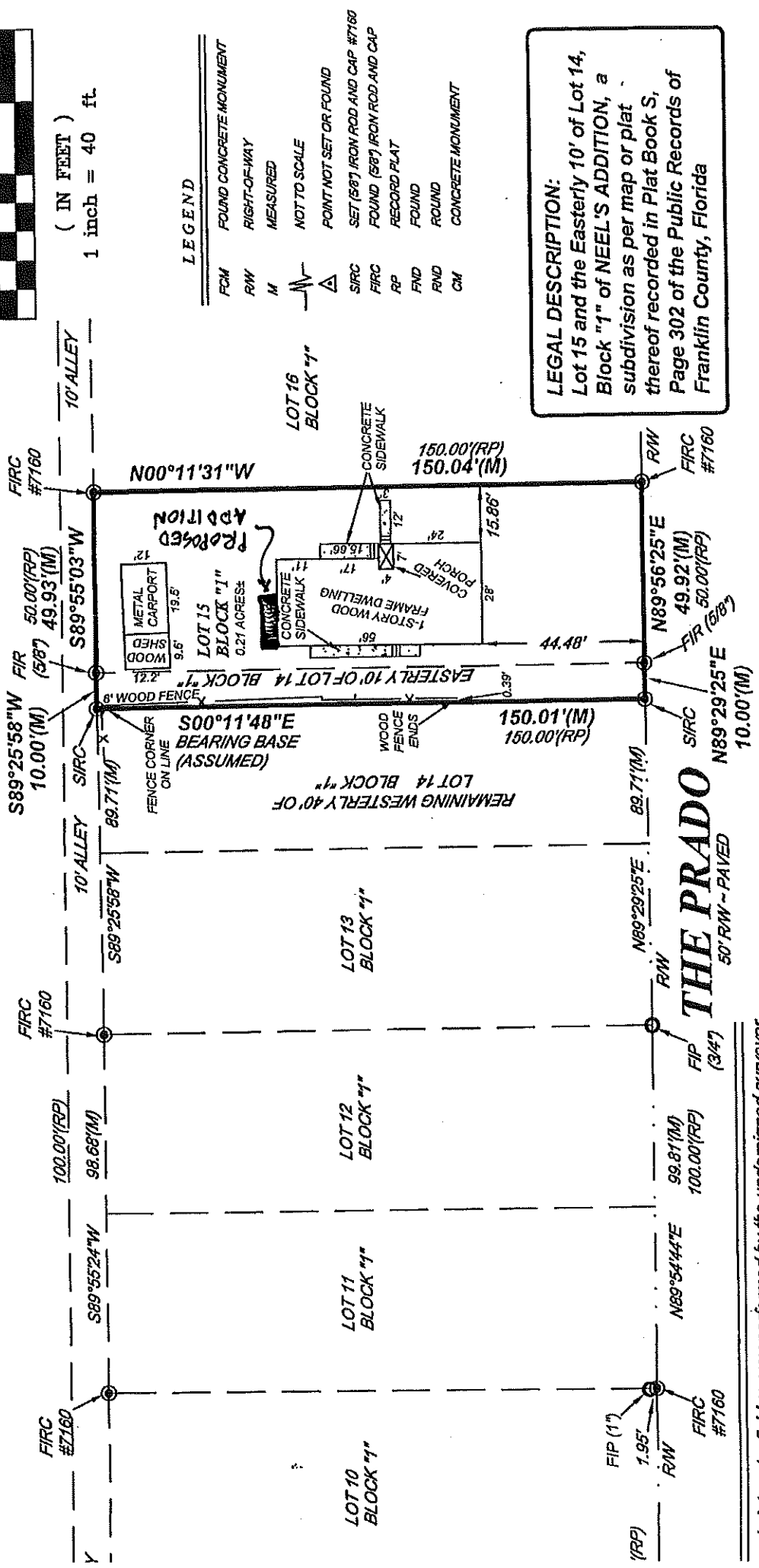
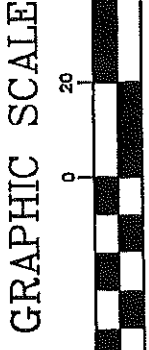
PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

ADDITION TO EXISTING UNHEATED PORCH: 8'x16' EXERCISE
POOL ENCLOSURE ATTACHED TO EXISTING GABLE END (NORTH)
OF HOUSE. CONCRETE BLOCK, WOOD SIDING, INSECT SCREEN, METAL
SHED ROOF. EXERCISE TO MATCH EXISTING STRUCTURE MATERIALS.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding WOOD			
Doors (NONE) ACCESS FROM INTERIOR			
Windows (NONE) SCREEN		INSECT SCREEN	
Roofing METAL TO MATCH EXISTING			
Trim WOOD			
Foundation CONC. SLAB			
Shutters			
Porch/Deck (NONE)			
Fencing (NONE)			
Driveways/Sidewalks (NONE)			
Other			

SURVEY CERTIFIED TO:
PHILLIPS and GREG PHILLIPS



FLOOD ZONE INFORMATION:
Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0528F index date: February 5, 2014, Franklin County, Florida.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.S.C. 54-17.051(05)).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry, II
JAMES T. RODDENBERRY, II
Surveyor and Mapper
Florida Certificate No. 4261

J & A
Hurtman Roddenberry & Associates, Inc.
PROFESSIONAL SURVEYORS AND MAPPERS
P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358
PHONE NUMBER: 904-965-2534 FAX NUMBER: 904-965-1103
L.S. # 1716

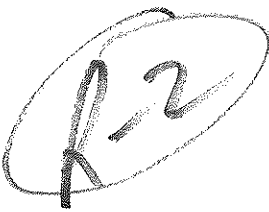
DATE: 05/04/18	DRAWN BY: MMD	N.B. 590 PG 10	COUNTY: Franklin
FILE: 17163.DWG	DATE OF LAST FIELD WORK: 04/30/18	JOB NUMBER: 17-163	

...rd plat and a field survey performed by the undersigned surveyor.
...: Westerly boundary of subject parcel having an assumed
...ees 11 minutes 48 seconds East
...ave been located in this survey other than shown hereon.
ENCROACHMENTS other than those shown hereon.
t upon EXISTING MONUMENTATION.
ature and the original raised seal of
r and mapper.

qPublic.net™ Franklin County, FL

Parcel Summary

Parcel ID 01-09S-08W-8360-0001-0150
 Location Address 99 BUTLER ST
 APALACHICOLA 32320
 Brief Tax Description* BL 1 LOT 15 & THE EAST 10' OF LOT 14 NEELS ADDITION OR 1032/590 1169/207 1304/497
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead Y



[View Map](#)

Owner Information

Primary Owner
 Phillips Gregory F
 Elizabeth Doherty
 PO Box 657
 Apalachicola, FL 32329

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	60.00	UT	0	0

Residential Buildings

Building 1
 Type CITY OF AP
 Total Area 1,440
 Heated Area 1,164
 Exterior Walls CONC BLOCK
 Roof Cover MODULAR MT
 Interior Walls WALL BD/WD
 Frame Type N/A
 Floor Cover CARPET; SHT VINYL
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 2
 Stories 1
 Effective Year Built 1958

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0700	WDBLDG	1	10 x 13 x 0	130	UT	0
0360	PUMPHOUSE	1	2 x 4 x 0	8	UT	0
0320	CONCRETE	1	0 x 0 x 0	323	UT	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	05/30/2021	\$100	WD	1304	497	Unqualified (U)	Vacant	TARATOOT DONNA COLLINS	PHILLIPS GREGORY F & DOHERTY ELIZABETH
N	05/31/2016	\$80,000	WD	1169	207	Qualified (Q)	Improved	FAIRCLOTH/SCARABIN/WATKINS	PHILLIPS/DOHERTY
N	04/04/2011	\$100	PR	1032	5910	Unqualified (U)	Improved	FAIRCLOTH	FAIRCLOTH/SCARABIN/WATKINS

Valuation

	2021 Certified	2020 Certified	2019 Certified	2018 Certified	2017 Certified
Building Value	\$57,080	\$50,367	\$50,273	\$43,809	\$43,809
Extra Features Value	\$1,954	\$1,954	\$1,954	\$1,954	\$1,954
Land Value	\$21,600	\$18,000	\$18,000	\$18,000	\$22,500
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$80,634	\$70,321	\$70,227	\$63,763	\$68,263
Assessed Value	\$71,305	\$70,321	\$70,227	\$63,763	\$68,263
Exempt Value	\$46,305	\$45,321	\$45,227	\$0	\$0
Taxable Value	\$25,000	\$25,000	\$25,000	\$63,763	\$68,263
Maximum Save Our Homes Portability	\$9,329	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2021

2021 TRIM Notice (PDF)

TRIM Notice 2020

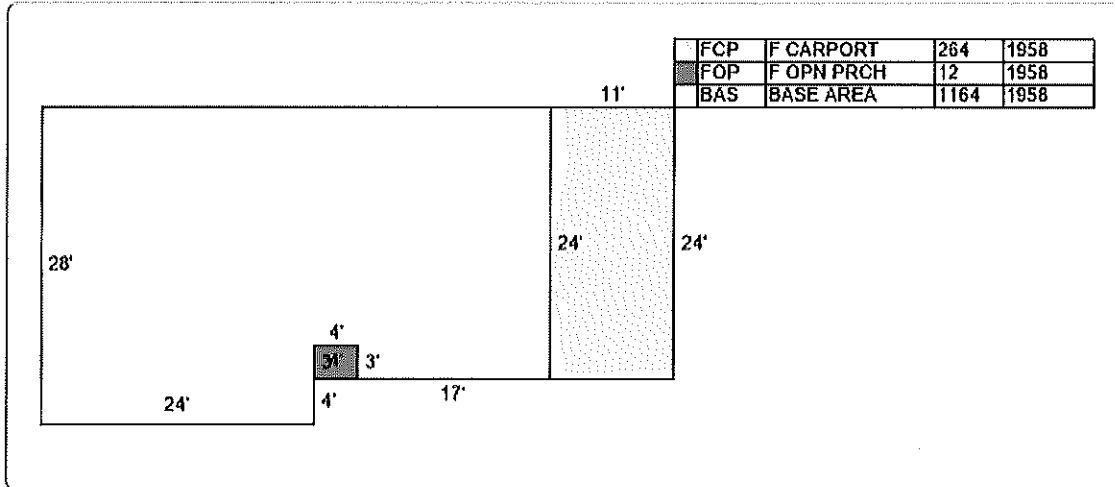
2020 TRIM Notice (PDF)

TRIM Notice 2019

2019 TRIM Notice (PDF)

*60 X 160 lot = 9600 SF
x 40%
3840 SF - Allowed imperv
- 1440 SF - Home
- 120 SF - carport/shed
proposed -> 128 SF pool enclosure
Approx -> 2150 SF remaining allowance
OK*

Sketches



No data available for the following modules: Commercial Buildings.

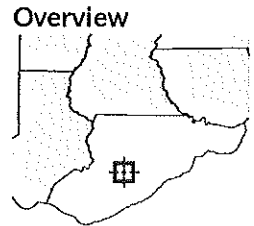
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Developed by
Schneider
GEOSPATIAL

Last Data Upload: 12/1/2021, 7:58:27 AM

Version 2.3.163



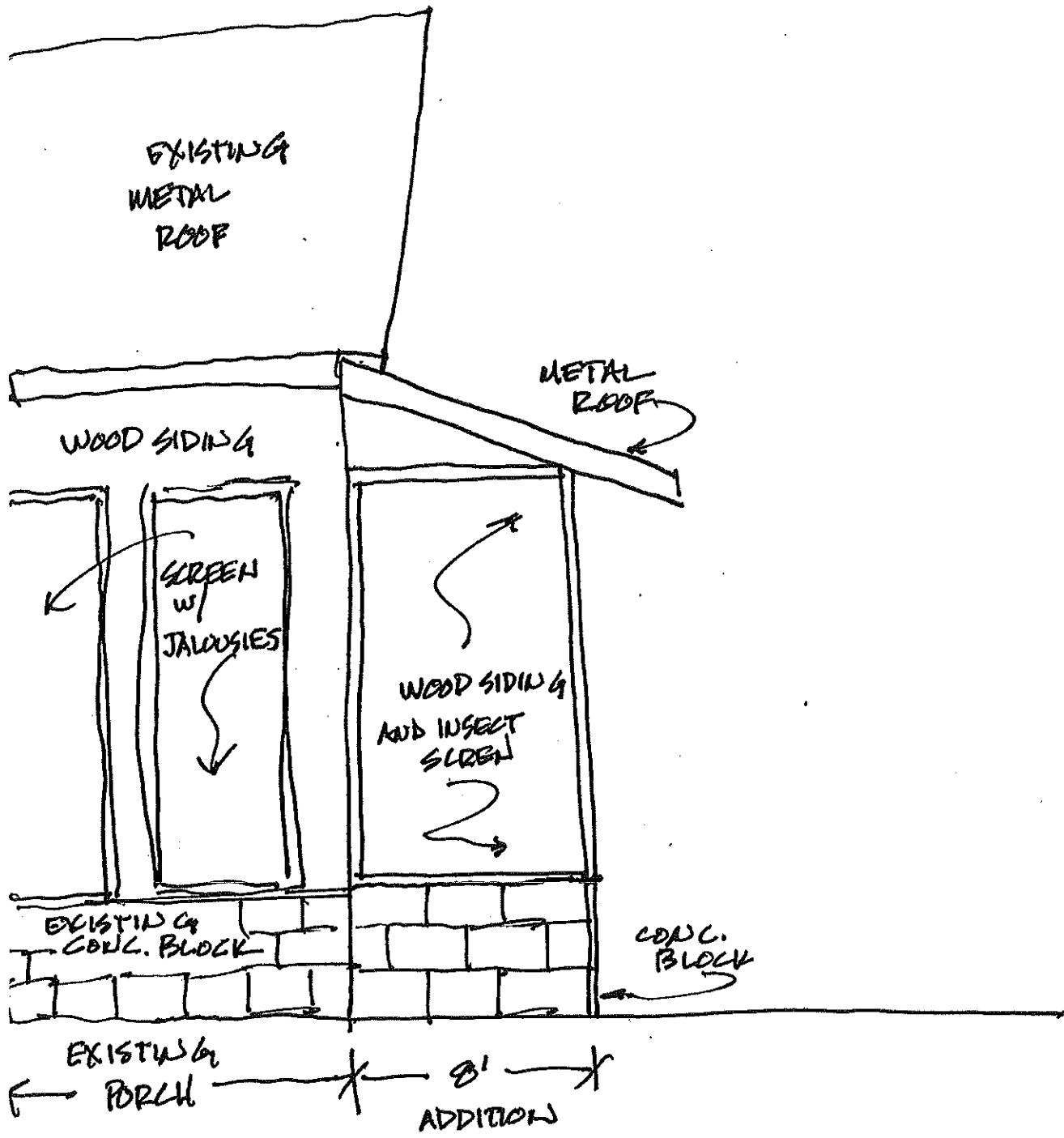
Legend

- Parcels
- Roads
- City Labels

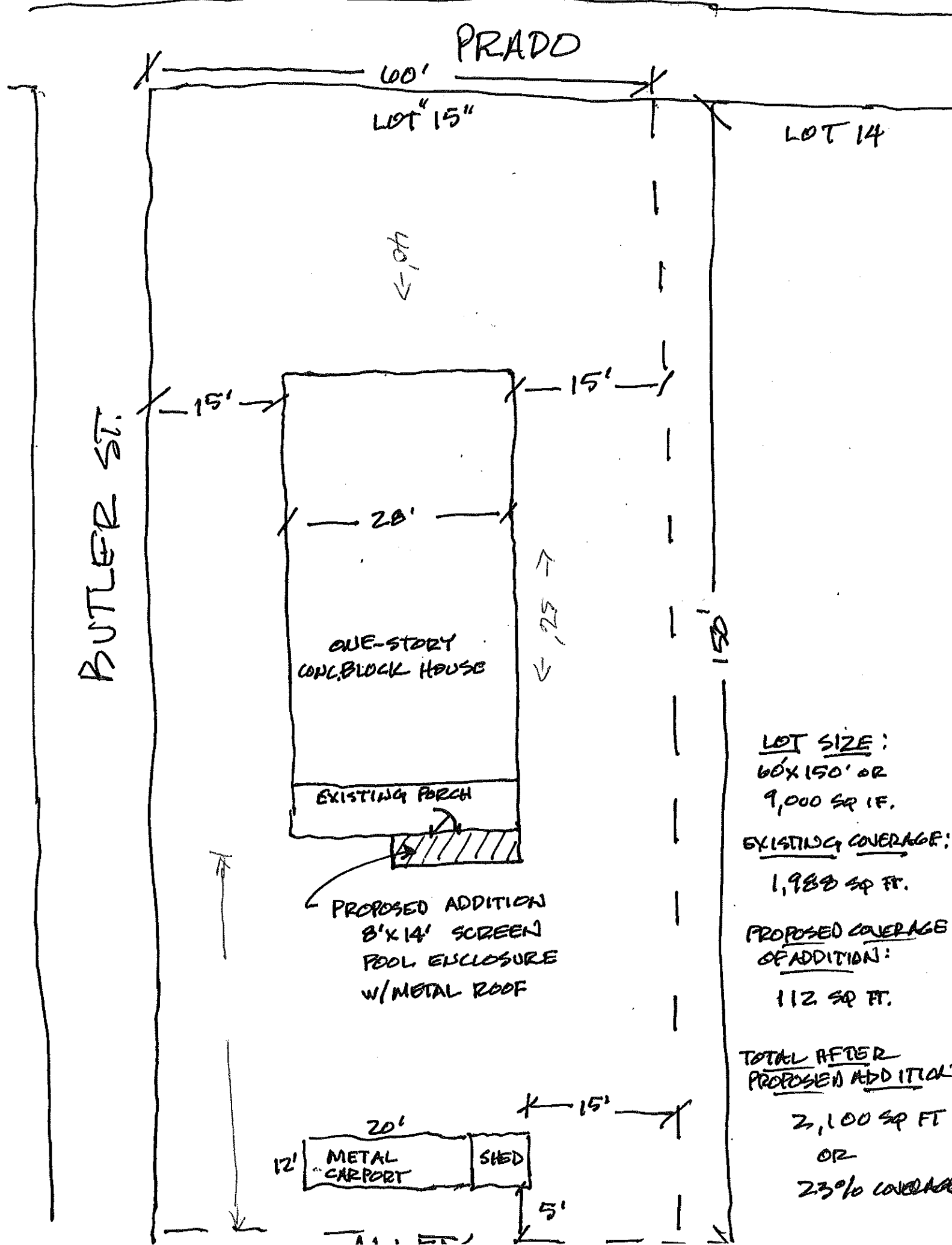
Parcel ID	01-09S-08W-8360-0001-0150	Alternate ID	08W09S01836000010150	Owner Address	PHILLIPS GREGORY F
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		ELIZABETH DOHERTY
Property Address	99 BUTLER ST	Acreage	n/a		PO BOX 657
	APALACHICOLA				APALACHICOLA, FL 32329
District	3				
Brief Tax Description	BL 1 LOT 15 & THE EAST 10' OF (Note: Not to be used on legal documents)				

Date created: 12/1/2021
 Last Data Uploaded: 12/1/2021 7:58:27 AM

Developed by  **Schneider**
 GEOSPATIAL



EAST ELEVATION
FROM STREET (BUTLER STREET)



LOT SIZE:
60' x 150' OR
9,000 SQ. FT.

EXISTING COVERAGE:
1,988 SQ. FT.

PROPOSED COVERAGE OF ADDITION:
112 SQ. FT.

TOTAL AFTER PROPOSED ADDITION:
2,100 SQ. FT.
OR
23% COVERAGE



225 Timothy Simmons St. – Mobile Home

CITY OF APALACHICOLA
 CERTIFICATE OF APPROPRIATENESS APPLICATION

NON-HISTORIC DISTRICT ONLY

Official Use Only
 Application # _____
 City Representative _____
 Date Received _____

OWNER INFORMATION

Owner Melisse Rae
 Address 152 20th St
 City Apalachicola State FL Zip 32320
 Phone (850) 323 0874

CONTRACTOR INFORMATION

Contractors Name: CD's Housing / Wayne Edensfeld
 State License # MH 1025 271 / MH Install Co. City License # _____
 Email Address cathy.cross1@yahoo.com
 Phone (850) 522 1488

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Removation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other New Mobile Home

Carport - 24'x20'
shed - 10'x16'
Fence - 6' Privacy

PROPERTY INFORMATION

Street Address 225 Timothy Simmons St. City & State Apalachicola FL Zip 32320
 Historic District Non-Historic District Zoning District R-3 MH acceptable per County
 Parcel # 01-095-08W-8330-0228-0110 Block(s) "228" Lot(s) 11, 12, 13, 14

FEMA Flood Zone/Panel # _____
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:
 Front: 25 Rear: 10 Side: 10 Lot Coverage: _____
 Water Available: Sewer Available: Taps Paid:

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Tammy Owens
 Permitting and Development Coordinator
 (850) 658-1522
 cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Project Scope	Manufacturer	Product Description	FL Product Approval #
Sliding		vinyl 5.5" dutchlap + vertical lap	
Doors		House type & storm door on front	
Windows		thermal double pane	
Roofing		shingles	
Trim		vinyl + shutters vinyl	
Foundation		400 pier and abs pads (dry stack)	
Shutters			
Porch/Deck		composite wood and vinyl railings	
Fencing			
Driveways/Sidewalks		concrete existing	
Other			

EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Conch Wagoner Blvd. 850-653-1522
APPLICATION FOR BUILDING PERMIT

DATE: _____ Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: Mellissie Ray Email: cathyross1@yahoo.com

ADDRESS: 152 20th Ave.

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # 850-323-0874

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: Wayne Edenfield Email: _____

ADDRESS: P.O. Box 209

CITY, STATE & ZIP CODE: Grandridge, FL 32442 PHONE # 850-209-1879

STATE LICENSE NUMBER: IH1025276 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 225 Timothy Simons St. Apalachicola, FL

PURPOSE OF PERMIT: Mobile Home

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 01-095-08W-8330-0228-0110

LEGAL DESCRIPTION OF PROPERTY: BLK 228 Lot 11-14 Greater Apalach

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to cityofapalachicola@gmail.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:


Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Roof Sign Pole Barn
 Temp Pole Demolition Other Manufactured Home
 Addition, Alteration or Renovation to building.

Distance from property lines: Front 25' Rear 27' L. Side 22'
 R. Side 50'
 Cost of Construction \$ 146,000.00 Square Footage 1,338
 EPI _____ Flood Zone X Lowest Floor Elevation _____
 Area Heated/Cooled 1268 # Of Stories 1 # Of Units 1
 Type of Roof Shingle Type of Walls Sheet Rock Type of Floor Vinyl
 Extreme Dimensions of: Length 56 Height _____ Width 28


WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

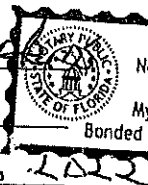
NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DBED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

 11-23-21
 Signature of Owner or Agent Date

 11-23-21
 Signature of Contractor Date

 Stacey Ann Hopkins
 Notary as to Owner or Agent
 Notary Public - State of Florida
 Commission # GG 236692
 My Comm. Expires Nov 6, 2022
 Bonded through National Notary Assn.
 My Commission expires: 11-6-2022

 Stacey Ann Hopkins
 Notary as to Contractor
 Notary Public - State of Florida
 Commission # GG 236692
 My Comm. Expires Nov 6, 2022
 Bonded through National Notary Assn.
 My Commission expires: 11-6-2022

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: cityofapalachicola@gmail.com or drop off in City drop box)
 (make checks payable to EPCI - 192 Coach Wagoner Blvd. Apalachicola, FL 32320)



Parcel Summary

Parcel ID 01-09S-08W-8330-0228-0110
 Location Address 32320
 Brief BL 228 LOTS 11 THRU 14 OR 169/400 GREATER APALACH OR 128/81 OR 132/349 ORB 405/133 664/119 817/189 847/363 1259/748-EASEMENT
 Tax Description* 1307/78
 *The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)



Owner Information

Primary Owner
 Ray Mellise Virginia
 Willie Smith
 152 20th Ave
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000155	SFR GREATER APALACH	120.00	FF	0	0

Sales

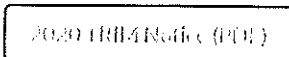
Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	07/02/2021	\$55,000	WD	1307	78	Qualified (Q)	Vacant	HOOKE (MUTLI PRACL)	RAY/SMITH
N	04/27/2005	\$112,000	WD	847	363	Unqualified (U)	Vacant	NEWBERRY	HOOKE (MUTLI PRACL)
N	10/18/2004	\$65,000	WD	817	189	Qualified (Q)	Vacant	NUNEZ	NEWBERRY MULTI PRACL
N	04/27/2001	\$12,500	WD	664	119	Qualified (Q)	Vacant	GOFF	NUNEZ
N	03/01/1993	\$4,675	WD	405	133	Qualified (Q)	Vacant	HAMMONDS	GOFF
N	01/01/1975	\$4,000	WD	128	81	Qualified (Q)	Vacant		

Valuation

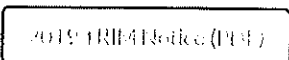
	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$24,000	\$24,000	\$18,000	\$18,000	\$18,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$24,000	\$24,000	\$18,000	\$18,000	\$18,000
Assessed Value	\$21,780	\$19,800	\$18,000	\$18,000	\$18,000
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$21,780	\$19,800	\$18,000	\$18,000	\$18,000
Maximum Save Our Homes Portability	\$2,220	\$4,200	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2020



TRIM Notice 2019



No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.



Overview

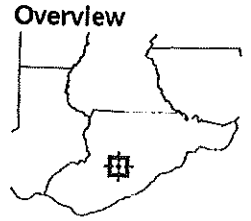


Legend

- Parcels
- Roads
- City Labels

Parcel ID	01-095-08W-8330-0228-0110	Alternate ID	08W09501833002280110	Owner Address	RAY MELLISIE VIRGINIA
Sec/Twp/Rng	1-9S-8W	Class	VACANT		SMITH WILLIE
Property Address		Acreage	n/a		152 20TH AVE
					APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 228 LOTS 11 THRU 14				
	(Note: Not to be used on legal documents)				

Date created: 11/15/2021
 Last Data Uploaded: 11/15/2021 7:51:25 AM



Legend
 □ Parcels
 Roads
 City Labels

Parcel ID	01-09S-08W-8330-0228-0110	Alternate ID	08W09S01833002280110	Owner Address	RAY MELLISIE VIRGINIA WILLIE SMITH 152 20TH AVE APALACHICOLA, FL 32320
Sec/Twp/Rng	1-9S-8W	Class	VACANT		
Property Address		Acreeage	n/a		
District	3				
Brief Tax Description	BL 228 LOTS 11 THRU 14 (Note: Not to be used on legal documents)				

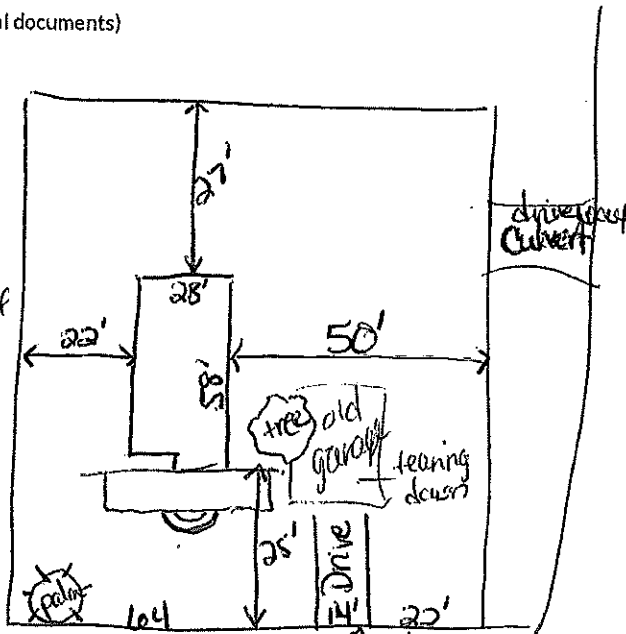
Date created: 7/23/2021
 Last Data Uploaded: 7/23/2021 7:46:00 AM

Developed by  **Schneider
GEOSPATIAL**

100x119' lot
 11,900sf
 + 40% imperv. Allowance
 4760sf
 - 1456sf
 3304 remaining
 - 160 shed
 - 480 garage
 540 drive way
 2124sf

Proposed Home = 28x52' = 1456sf

Oh

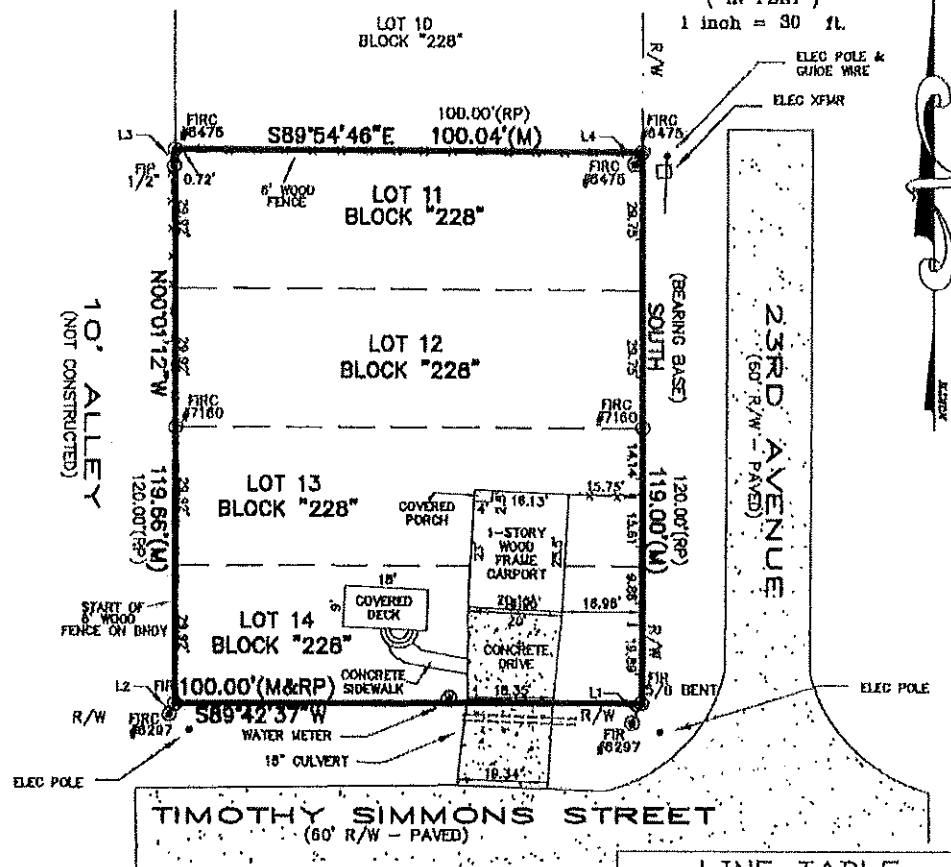


PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 MELLISE RAY
 DONNA DUNCAN, P.A.
 CHICAGO TITLE INSURANCE CO.

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.



LEGAL DESCRIPTION:

Lots 11, 12, 13 & 14, Block 228 of the City of APALACHICOLA, as per map or plot in common use on file at the Clerk of the Circuit Office in Franklin County, Florida

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Easterly boundary of subject parcel being South as per record plat
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

LINE TABLE		
LINE	LENGTH	BEARING
L1	4.81	S24°50'04"W
L2	2.70	S27°28'29"W
L3	3.49	S02°46'24"W
L4	2.98	S32°26'09"W

PRELIMINARY FLOOD ZONE INFORMATION:

Subject property is located in Zone "A" as per Flood Insurance Rate Map Community Panel No: 120088 0507G Index date: June 13, 2010, Franklin County, Florida.

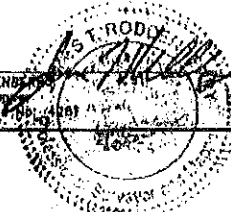
EFFECTIVE FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120088 0507F Index date: February 05, 2014, Franklin County, Florida.

I hereby certify that this is a true and correct representation of the property shown hereon and that this survey meets the minimum technical standards for land surveying (Chapter 5J-17, .051/.052 Florida Administrative Code).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, assessments or other instruments which could affect the boundaries.

JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate # 120088-0507G



TR & A THURMAN RODDENBERRY & ASSOCIATES, INC
 PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358
 PHONE: (904) 245-8200 FAX: (904) 245-1140
 LE # 7749

DATE: 04/21/21	DRAWN BY: TCR	COUNTY: FRANKLIN
FILE: 04458.DWG	DATE OF LAST FIELD WORK: 04/12/21	JOB NUMBER: 04-458

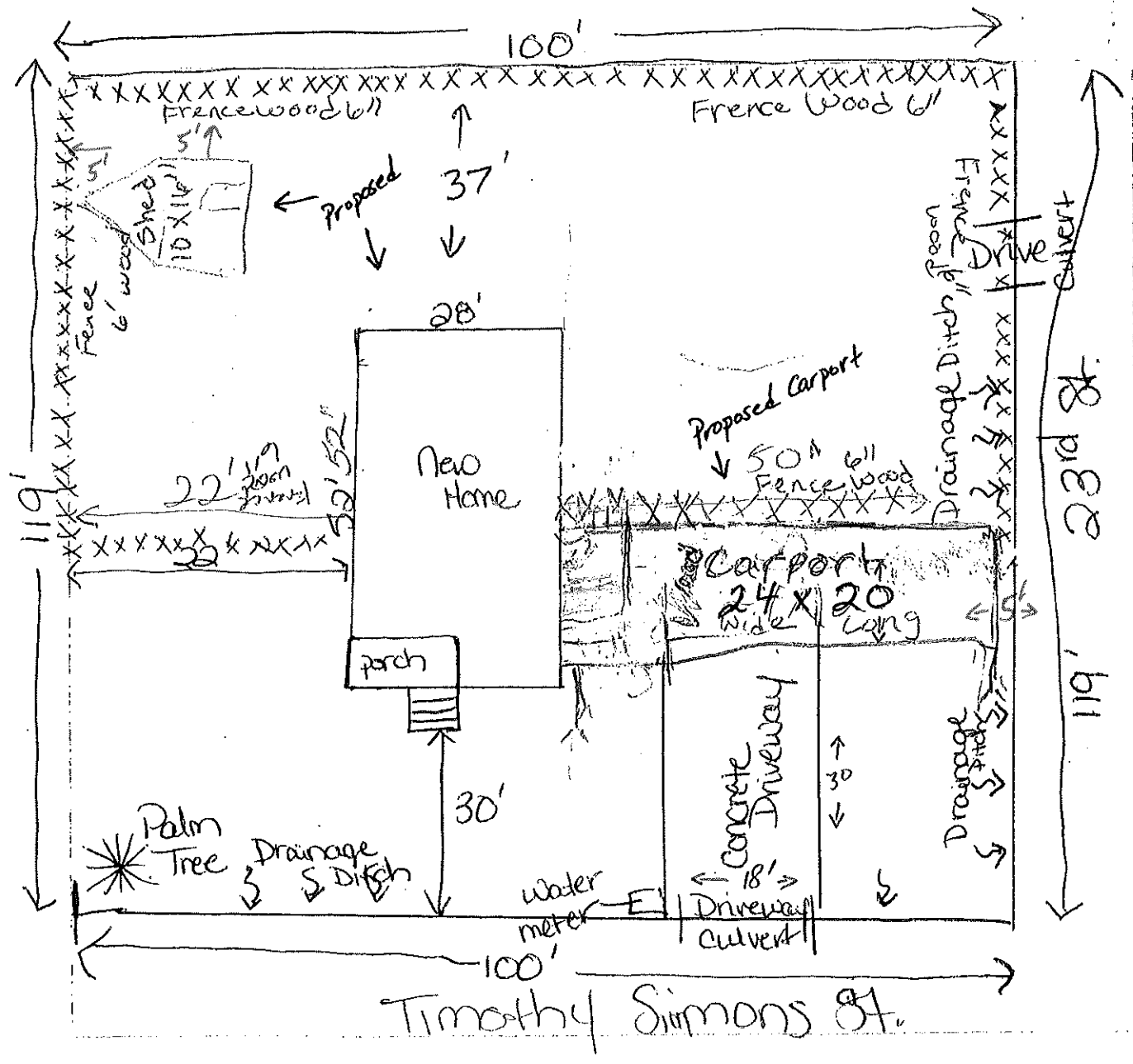
16' wide
18x20 feet long

20x20 75000
wide long 20x22
24x20

Site Plan

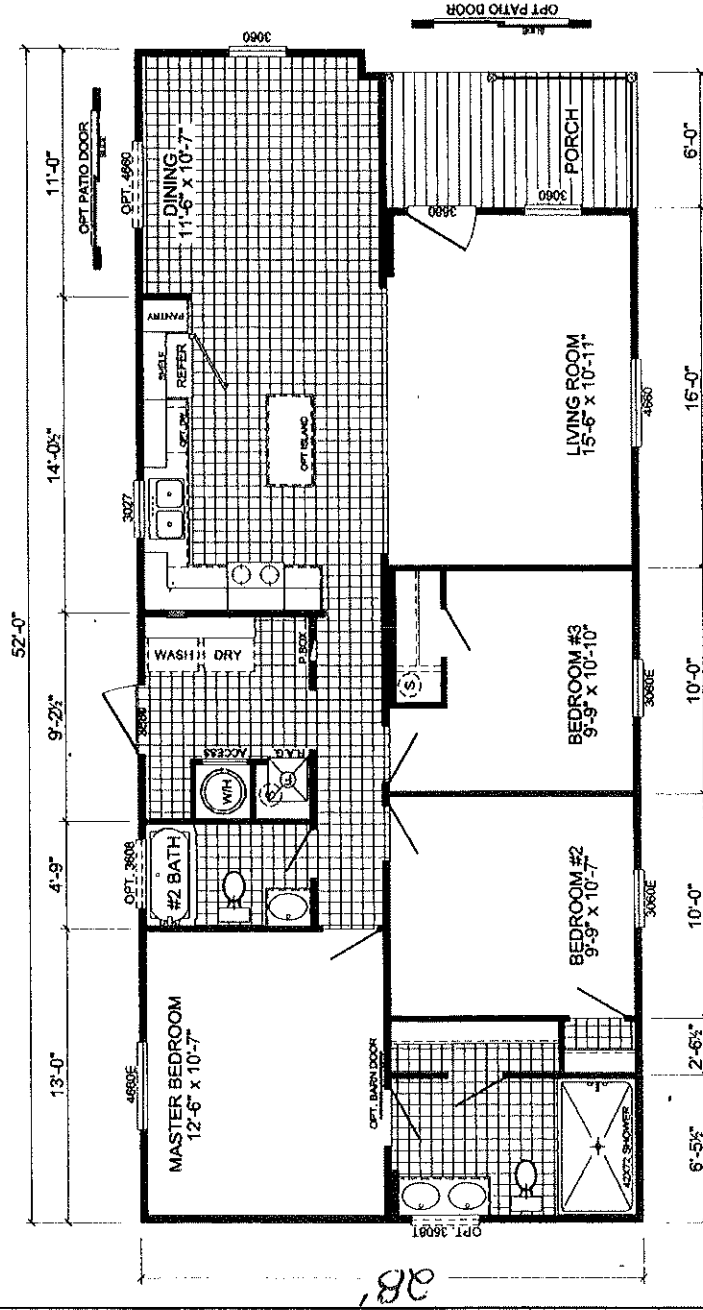
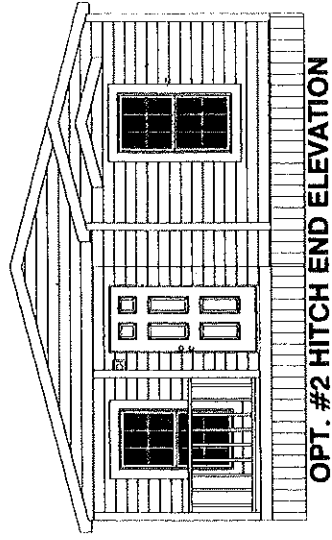
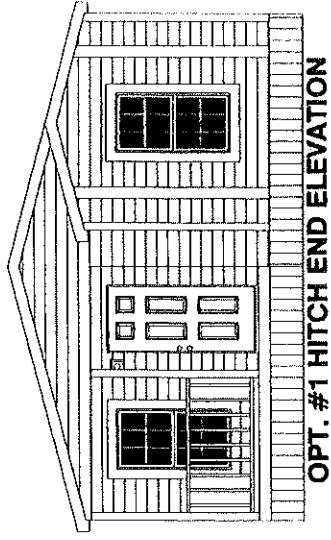
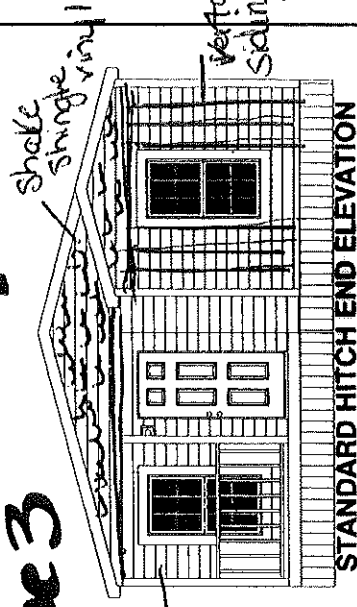
Customer: Rae, M Model: Scottbilt Homes
 Address: 225 Timothy Simmons St Make: _____
Apalachicola, FL Size: 28x52
 Phone: _____

Parcel ID# 01-095-08W-8330-0228-0110



"The Bungalow" SCOTBIT HOMES

28' x 52'
3 bedroom / 2 bath
zone 3



TOTAL SQUARE FOOTAGE: 1456 sq. ft.
1220 sq. ft. w/out porch

zone 3
VERSION D

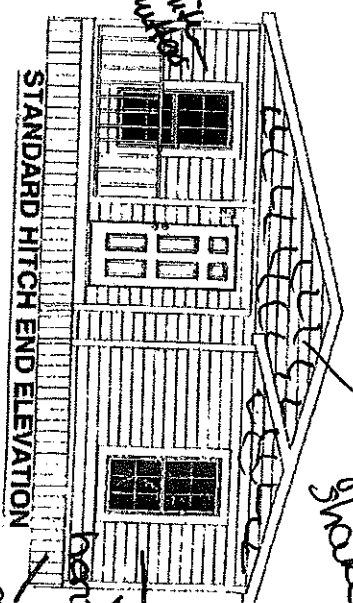
UNIT SPACES: GRAND SLAM 28' x 56' - 3BR 2Bath

MODEL # 2452344GSM

ScotBit HOMES, INC.

Class below posted 7/6/21

- black shingles
- Countertops - pebble - bush
- granite
- black glass
- black appl.
- white cabinets
- white trim 1/0
- dark green
- grey
- grey vertical siding
- grey horizontal siding
- dark green shutters
- grey
- grey vertical siding
- grey horizontal siding



- tan preps only
- dark green shutters
- grey
- grey vertical siding
- grey horizontal siding
- dark green shutters
- grey
- grey vertical siding
- grey horizontal siding

RAY, M.
 SOLD: 151011

X Customer
 X Salesperson
 Date 1/21
 Date 10/20/21

Scotbilt

2852372GSM

GRAND SLAM
 28 X 56 - 3BR 2Bath

DATE	5-30-2019
AREA	1,338 SQ. FT.
AREA	1,288 SQ. FT.
AREA	78 SQ. FT.

License Number: IH / 1025276 / 1 Name: R. D. "WAYNE" EDENFIELD, JR.

Order #: 5085	Label #: 84236	Manufacturer: Scot Bilt	(Check Size of Home)
Homeowner: Mellisie Ray		Year Model: 2021	Single _____
Address: 225 Timothy Simons St.		Length & Width: 56x28	Double <input checked="" type="checkbox"/>
City/State/Zip: Apalachicola, FL 32320		Type Longitudinal System:	Triple _____
Phone #: 850-323-0874		Type Lateral Arm System:	HUD Label #:
Date Installed:		New Home: <input checked="" type="checkbox"/> Used Home: _____	Soil Bearing / PSF:
Installed Wind Zone:		Data Plate Wind Zone:	Torque Probe / in-lbs:
Note:			Permit #:

STATE OF FLORIDA
INSTALLATION CERTIFICATION LABEL

84236

LABEL #

DATE OF INSTALLATION

R. D. "WAYNE" EDENFIELD, JR.

NAME

IH / 1025276 / 1

5085

LICENSE #

ORDER #

CERTIFIES THAT THE INSTALLATION OF THIS MOBILE HOME IS
IN ACCORDANCE WITH FLORIDA STATUTES 320.8249, 320.8325
AND RULES OF THE HIGHWAY SAFETY AND MOTOR VEHICLES.

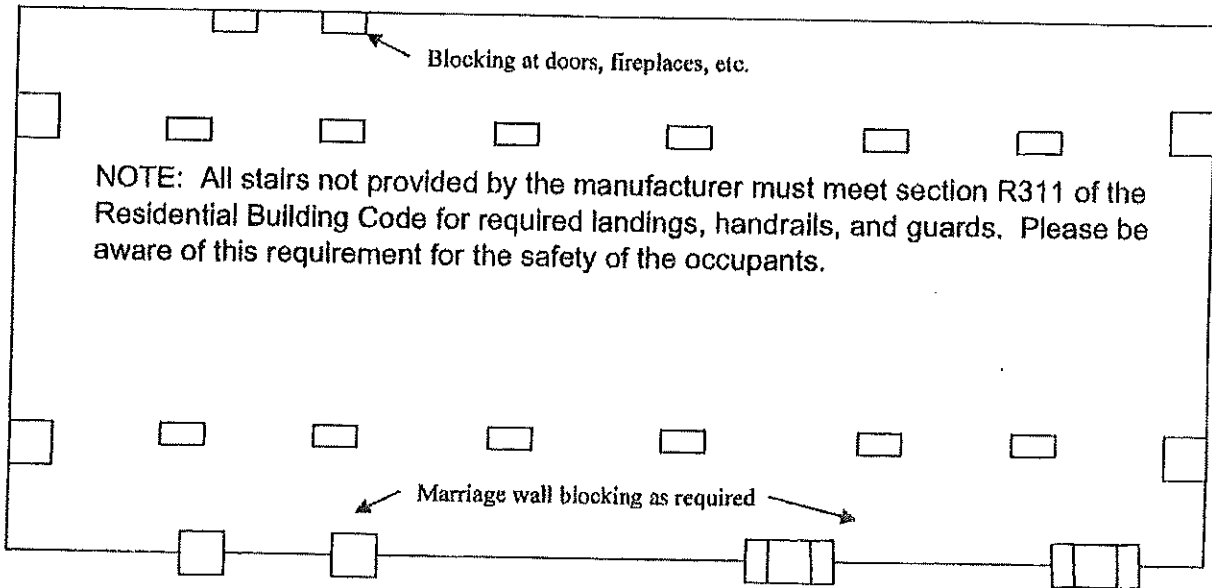
INSTRUCTIONS

PLEASE WRITE DATE OF
INSTALLATION AND AFFIX
LABEL NEXT TO HUD LABEL.
USE PERMANENT INK PEN
OR MARKER ONLY.
COMPLETE INFORMATION
ABOVE AND KEEP ON FILE
FOR A MINIMUM OF 2 YEARS.
YOU ARE REQUIRED TO
PROVIDE COPIES WHEN
REQUESTED.

BLOCKING PLAN

Address: 225 Timothy SIMONS St. Apalachicola Permit #: _____

Single wide or one unit of double or triple wide



Complete All Below:

Year and Make Scotbilt/2014
 Size of Home 28 x 56
 Tested Soil psf 1000
 Footer (pad) size 17 x 25

Check One Below:

Single-Wide _____
 Double-Wide
 Additional Units _____
 Block Spacing 5'

Check One Below:

Torque test for anchors:
 276in/lbs or more (4ft anchors)
 275in/lbs or less _____ (5ft anchors)

IMPORTANT NOTES:

- 1) End blocking required within one (1) foot of ends.
- 2) Above blocking typical - number varies with length.
- 3) Home must have a HUD label and must be approved for wind zone II or III.
- 4) Marriage walls to be adequately supported.
- 5) Straps not to exceed 5' 4" o.c. homes manufactured after 3/29/99.
- 6) After 5/29/99, longitudinal ties required (two (2) straps and anchors per end of beams).
- 7) Torque test value of less than 276 in/lbs requires 4000lb working load anchors (5ft).

The above information and testing is in accord with Rule 15C of the Department of Highway Safety and Motor Vehicles.

[Signature]
 (Signature of Contractor)

STATE OF FLORIDA
COUNTY OF BAY

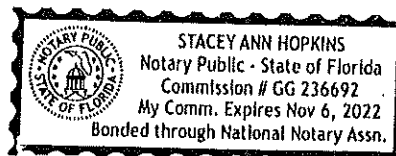
Sworn to (or affirmed) and subscribed before me this 23 day of Nov, 2021,
by Wayne Edenfield

[Signature]
 (Signature of Notary Public - State of Florida)

(Notary Stamp or Seal)

Personally Known OR Produced Identification _____

Type of Identification Produced _____



FLOOD PLAIN MANAGEMENT
PERMIT APPLICATION REVIEW

DATE: 11/2/21

PERMIT # _____

NAME: Melliste Ray

MAILING ADDRESS: _____ CITY/STATE/ZIP: _____

PHONE: _____

STREET ADDRESS: 225 Timothy Simmons St. Apalachicola FL 32320

LEGAL DESCRIPTION: _____

PARCEL I.D. #: 01-095-08W-8330-0228-0118

DESCRIBE DEVELOPMENT: New Mobile Home

RESIDENTIAL COMMERCIAL NEW STRUCTURE SUBSTANTIAL IMPROVEMENT

FLOOD ZONE INFORMATION: "X"

PANEL NO.: _____ FIRM ZONE: _____ HPI: _____ GRADE ELEVATION: _____

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE:
AND/OR TOP OF THE BOTTOM FLOOR _____ (PER PLANS)

SQUARE FEET OF ENCLOSURE BELOW HPI: _____ (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, _____, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014, my/our property may be adversely affected by those changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: _____ PARCEL I.D. #: _____
EFFECTIVE FLOOD ZONE: _____ PRELIMINARY FLOOD ZONE: _____

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel.

Melliste Ray
Signature of owner or developer

11-2-21
Date

Material used for enclosure below BFE: solid wall/breakaway wall _____, flow through vents
(sq ft of vent opening), screen wire, lattice or louvers: _____

Type of foundation: State Approved HUD Blocking Plan zone 3
Pile Support
Concrete block stem wall
Other construction

Application meets all requirements designated in the flood plain management ordinances
_____ Date, _____

Inspections:

Foundation meets the requirement for the flood zone designation: _____

Under construction elevation certificate has been submitted and meets elevation standards for flood zone

Enclosures below the BFE are designed as required by the flood plain management ordinances:

Final elevation certificate has been submitted and all aspects of the structure meet designated flood zone requirements: _____

All Mechanical and A/C equipment meet the required elevation for the designated BFE:

Final inspection on structure meets all requirements designated in the flood plain management ordinances:
_____ Date, _____

Flood Plain Administrator

Date



270 Prado – Townhouse Development

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

NON-HISTORIC DISTRICT ONLY.

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner 800 Mexico Beach, LLC
Address P.O. Box 13633
City Tallahassee State FL Zip 32317
Phone (850-671-1999)

Contractors Name: TBD
State License # _____ City License # _____
Email Address _____
Phone ()

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: _____

PROPERTY INFORMATION:

Street Address: 270 Prado St. City & State Apalachicola, FL Zip 32320
 Historic District Non-Historic District Zoning District R-2
Parcel #: 01-09S-08W-8330-0265-0010 Block(s) _____ Lot(s) _____
FEMA Flood Zone/Panel #: 12037C 0509F
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:
Front: 15 Rear: 25 Side: 15 Lot Coverage: 50%
Water Available: Sewer Available: Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCO.

Tammy Owens
Permitting and Development Coordinator
(850) 658-1522
cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

----- Building permit to be submitted after Site Plan Approval -----

SEE ATTACHED

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

qPublic.netTM Franklin County, FL

Parcel Summary

Parcel ID 01-09S-08W-8330-0265-0010
 Location Address 270 THE PRADO
 APALACHICOLA 32320
 Brief Tax Description* BLK 265 FRACT 2.4 AC M/L ADJ TO BLK 265 OR 48-327 GREATER APALACH OR BOOK AND PAGE 74/195 74/197 1315/151
 *The Description above is not to be used on legal documents.
 Property Use Code CHURCHES (007100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)



Owner Information

Primary Owner
 800 Mexico Beach, LLC
 P.O. Box 13633
 Tallahassee, FL 32317

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000188	SFR CHAPMAN/APALACH	200.00	FF	0	0

Residential Buildings

Building 1
 Type ED RELIGOS
 Total Area 2,292
 Heated Area 2,292
 Exterior Walls COMMON BRK
 Roof Cover COMP SHINGL
 Interior Walls DRYWALL
 Frame Type NONE
 Floor Cover CARPET
 Heat AIR DUCTED
 Air Conditioning ENG CENTRL
 Bathrooms 0
 Bedrooms 0
 Stories 0
 Effective Year Built 1975

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0390	CON WALL	1	264 x 4 x 0	1,056	UT	1982
0640	ASPH DR WAY	1	69 x 222 x 0	15,318	UT	1982
0640	ASPH DR WAY	1	150 x 24 x 0	3,600	UT	1982

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	09/28/2021	\$270,000	WD	1315	151	Unqualified (U)	Improved	THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS	800 MEXICO BEACH, LLC

Valuation

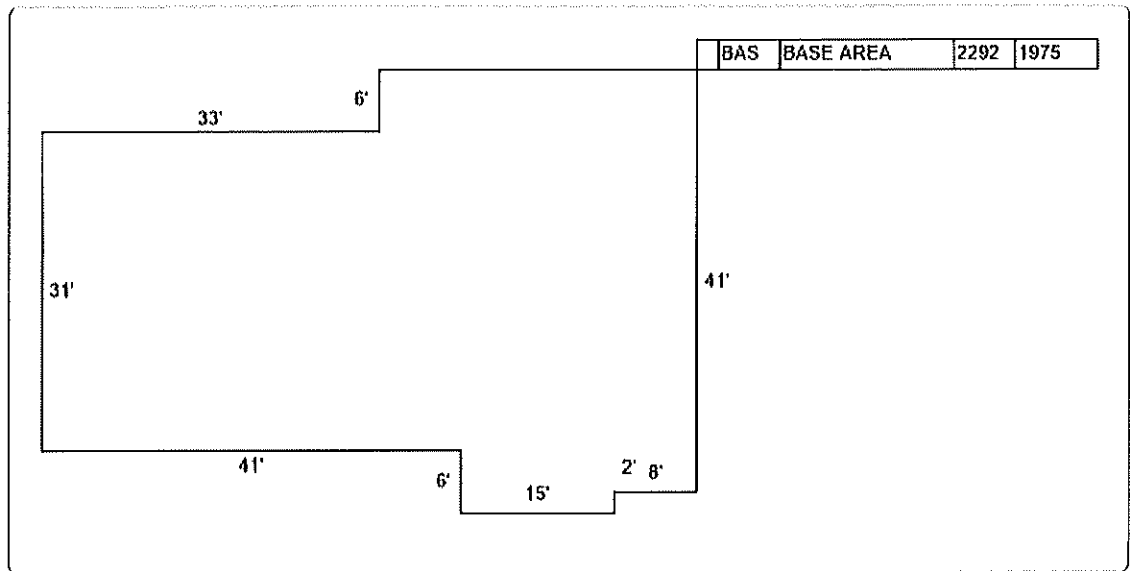
	2021 Certified	2020 Certified	2019 Certified	2018 Certified	2017 Certified
Building Value	\$125,913	\$128,203	\$130,492	\$135,071	\$135,071
Extra Features Value	\$19,032	\$19,032	\$19,032	\$19,032	\$19,032
Land Value	\$70,000	\$70,000	\$70,000	\$70,000	\$70,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$214,945	\$217,235	\$219,524	\$224,103	\$224,103
Assessed Value	\$214,945	\$217,235	\$219,524	\$224,103	\$224,103
Exempt Value	\$0	\$217,235	\$219,524	\$224,103	\$224,103
Taxable Value	\$214,945	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2021

2021 TRIM Notice (PDF)

Sketches



No data available for the following modules: Commercial Buildings, TRIM Notice 2020, TRIM Notice 2019.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

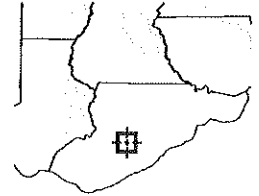
Last Data Upload: 12/2/2021, 7:49:09 AM

Developed by
 Schneider
 GEOSPATIAL

Version 2.3.164



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	01-09S-08W-8330-0265-0010	Alternate ID	08W09S01833002650010	Owner Address	800 MEXICO BEACH, LLC
Sec/Twp/Rng	1-9S-8W	Class	CHURCHES		P.O. BOX 13633
Property Address	270 THE PRADO APALACHICOLA	Acreage	n/a		TALLAHASSEE, FL 32317
District	3				
Brief Tax Description	BLK 265 FRACT 2.4 AC M/L (Note: Not to be used on legal documents)				

Date created: 12/2/2021
Last Data Uploaded: 12/2/2021 7:49:09 AM

Developed by  **Schneider**
GEO SPATIAL



Proposed Townhouse Elevation



DATE	REV.	DESCRIPTION

FLORIDA

SITE LAYOUT PLAN

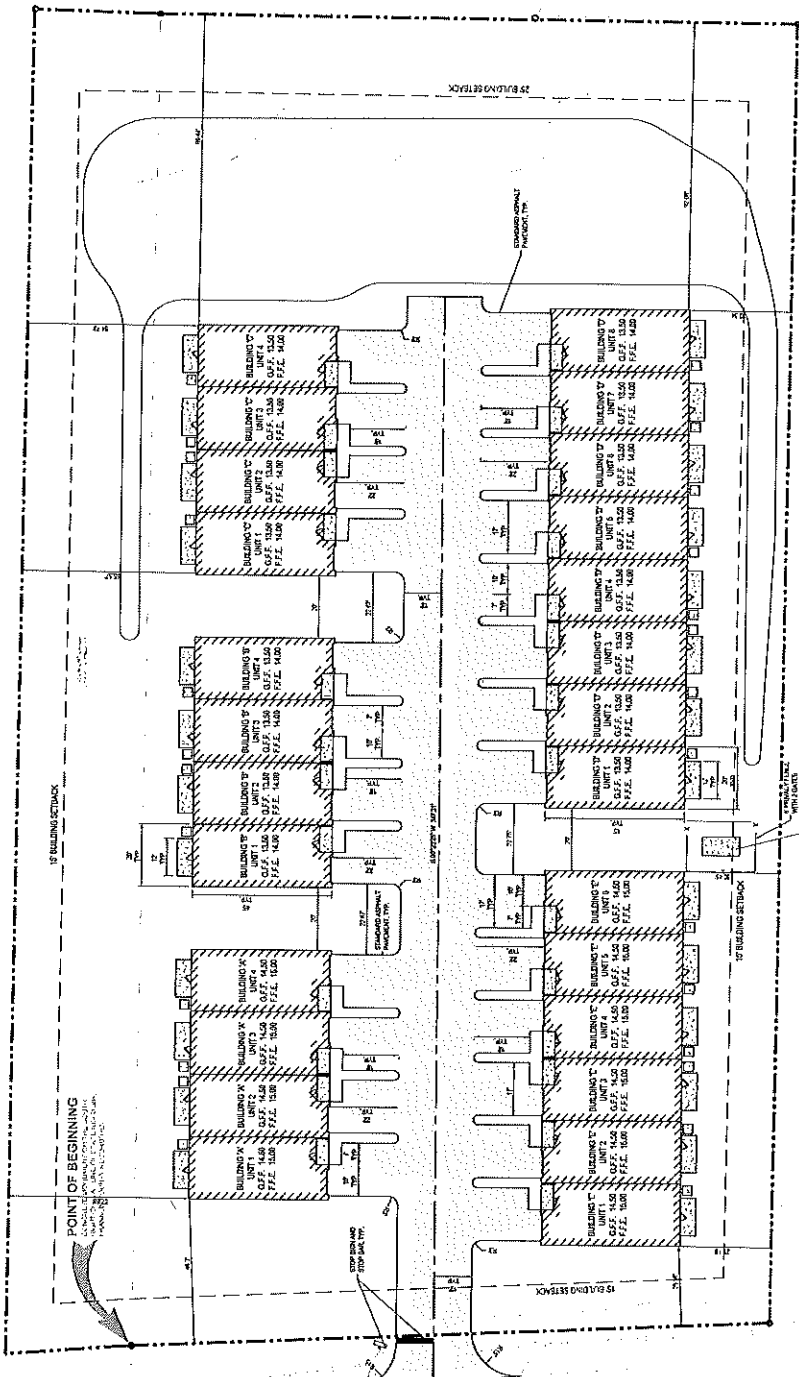
APALACHICOLA TOWNHOMES

FRANKLIN COUNTY

SEAN J. WARDEN, P.E.
LICENSE NUMBER: 12044

DRAWN BY: M.A.C.
CHECKED BY: S.A.M.
DATE: 10/17/2021
SCALE: 1"=20'

SHEET: C-103
PROJECT NO. 21033.00



total area = 103,540 sf
x 50%
= 51,770 sf (Imperious Allowance)

26 Townhouse units

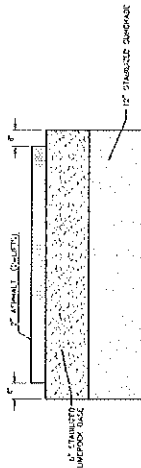
Below Allowance

OK

LEGEND:

---	PROPERTY BOUNDARY
▭	PROPOSED ASPHALT PAVEMENT
▭	PROPOSED CONCRETE PAVEMENT

SITE DATA TABLE	
PROJECT NAME	APALACHICOLA TOWNHOMES
ADDRESS	270 PHARO STREET
PARCEL ID:	01-09-26W-4300-000-010
PROJECT NUMBER	21033
CHARGES (TOTAL)	2.38 A.C. 80,240 SF
Existing Impervious Area (To be Removed):	22,669 SF 21.89 %
Asphalt Paving:	14,520 SF 14.04 %
Misc Concrete:	7,766 SF 7.54 %
Total Site Area:	103,540 SF 100.00 %
Existing Open Space:	83,871 SF 80.82 %
Proposed Impervious Area:	42,270 SF 40.86 %
Asphalt Paving (16) Footprint:	27,643 SF 26.71 %
Misc Concrete:	17,988 SF 17.39 %
Total Proposed Units:	2,859 SF 2.77 %
Proposed Open Space:	66,611 SF 64.54 %
Building Units:	49 Units
Total Allowed Units:	28 Units
Total Proposed Units:	26 Units



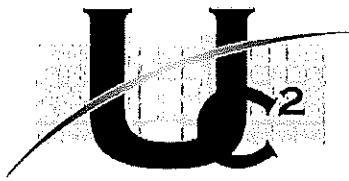
COMPONENT	THICKNESS	AREA	NO. OF COURSES	MINIMUM REQUIREMENTS
ASPHALT	2"	14,520 SF	1	ASPHALT, 90 GRADE, 1 1/2" MIN. THICKNESS
CONCRETE	4"	7,766 SF	1	CONCRETE, 3000 PSI, 4" MIN. THICKNESS
SUBGRADE	4"	83,871 SF	1	SUBGRADE, 4" MIN. THICKNESS

1. The design and construction of this paving system shall conform to the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, Section 706, and the Florida Department of Transportation (FDOT) Standard Specifications for Materials, Section 706.01.
2. The design and construction of this paving system shall conform to the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, Section 706, and the Florida Department of Transportation (FDOT) Standard Specifications for Materials, Section 706.01.
3. The design and construction of this paving system shall conform to the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, Section 706, and the Florida Department of Transportation (FDOT) Standard Specifications for Materials, Section 706.01.
4. The design and construction of this paving system shall conform to the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, Section 706, and the Florida Department of Transportation (FDOT) Standard Specifications for Materials, Section 706.01.

SECTION - STANDARD DUTY PAVING



OF FOUR CONTRACT SHEETS



**Urban Catalyst
Consultants**

2851 REMINGTON GREEN CIRCLE, STE. D
TALLAHASSEE, FL 32308
(850) 999-4241

Apalachicola Townhomes

Site Plan Narrative

Parcel ID: 01-09S-08W-8330-0265-0010

UC² is submitting a site plan application for a townhome development located at 270 Prado Street in Apalachicola. This is a redevelopment project as an old church building and parking lot have been previously developed on the site. The parcel is zoned R-2 which allows 20 units/acre. The total area of the site is 2.38 acres and we are proposing 26 units on the site which results in a density of 11 units/acre. There is an AE flood zone that is located on portions of the site and has a base flood elevation of 11-ft. There is no residential development within the AE zone and the finished floors of the proposed units are set at elevation 14-ft.

The project will be served by a proposed gravity sewer system that will drain to a lift station on-site. The lift-station will pump to an existing gravity main located within 22nd Avenue. A 4-inch waterline will be constructed down the center of the project for water service. A proposed wet detention stormwater pond will provide water quality treatment and rate attenuation to meet the standards of Apalachicola and the NFWFMD. The pond will discharge through a bubble-up structure located at the southeast corner of the site which is connected to an existing drainage ditch.

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

11/18/21

SIGNATURE OF APPLICANT



Site Plan Review/Checklist (Section VII, Site Plan Review Regulations)

The Site Plan Review Process is applicable for any development OTHER THAN the construction of one single family residence on an individual lot unless such lot is located within the Special Waterfront District. The development of multifamily dwellings, commercial structures, industrial structures, parking lots, and all special exceptions must be approved through the site plan review process. Also included are projects which involve the alteration or conversion of any existing structure into a multi-family, commercial, or industrial structure which involves a change where there is the need for upgrading of the site for parking requirements, fire flow, storm water management, etc.

F. SITE PLAN CHECKLIST

Site plans or any portion thereof involving engineering shall be certified and prepared by and/or under the direct supervision of a professional engineer. Site plans shall contain maps and documents indicating the following:

A. General Information

1. Name of Project
2. Statement of intended use of site
3. Legal description of the property, size of parcel in acres or square feet and the linear dimensions of the property.
4. Name, address, and telephone number of the owner or owners of record.
5. Name, address, and telephone number of the applicant and firm which he represents.
6. Name, address, signature and registration of the professionals preparing the plan.
7. Date, north arrow and scale, number of sheets; the scale (not smaller than one (1) inch to fifty (50) feet shall be designated and, where appropriate, the same scale should be used in drawing the site plan rather than varying the scale.
8. Vicinity map, showing relationship proposed development to the surrounding streets, wetlands and water bodies shall be at a scale of not less than one inch equals two thousand feet (1:2,000')
9. Location and identification of soil characteristics including wettest season high water table elevation, vegetable cover, wetlands, water bodies and the 100 year floodplain, including elevation, on the site.
10. Existing topography at two (2) foot contour intervals for the proposed site, except where determined to be unnecessary by the City Planner.
11. Finish grading elevation
12. All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, right-of-way, the building setback lines, if different than those specified by the Zoning Regulation.) In addition, state any commitments, such as, contributions to offset public facilities impacts.

B. Building and Structures

1. Intended use
2. Number of stories
3. Height of building
4. Number of dwelling units and density for multifamily site plans
5. Projected number of employees (if applicable)
6. (Restaurants) show number of seats and occupancy load.
7. Square footage for proposed development -- gross square footage, non-storage area, square footage of each story, gross square footage of sales area, etc.

C. Streets, Sidewalks, Driveways, Parking Areas and Loading Spaces

1. If available, engineering plans and specifications for street, sidewalks, and driveways, this information will be required prior to the issuance of a building permit.
2. All parking spaces designated and calculated as per code requirements
3. Number of parking spaces
4. Number and location of handicapped spaces
5. Number and designation of loading spaces
6. Number of square feet of paved parking and driveway area
7. Surface materials of driveways
8. Cross section of proposed street improvements
9. Fire lanes
10. Location of proposed driveways and median cut(s)
11. Interim traffic circulation plan, including directional arrows and signs to direct traffic flow
12. Location of traffic-control signs and signalization devices
13. Designate location of sidewalks
14. Coordinate walkways, driveways, etc., with facilities in adjacent developments
15. All proposed streets and alleys
16. The extension or construction of service roads and access thereto on-site must be shown where applicable

D. Existing Improvements (On-Site, adjacent to site)

1. Driveway and median cuts
2. Sidewalks, streets, alleys, and easements (note widths and type)
3. Storm water management systems to include natural and structural (size and materials, invert elevation)
4. Size and location of nearest water mains, valves, and fire hydrants
5. Sanitary sewer systems (size, invert elevations, etc., to be included)
6. Gas, power and telephone lines, where available.

E. Proposed Water and Sewer Facilities

1. Water, size, material and location of water mains, plus valves and fire hydrants. Engineering plans and specifications will be required prior to the issuance of a building permit.
2. Sanitary Sewer Systems. Size, material, and location of lines. Engineering plans and specifications, with submittal of a profile where required, will be required prior to the issuance of a building permit.

F. Solid Waste. Location (s) and access provisions for refuse service, including pad-screening, fencing, and landscaping.

G. Dredge and Fill. If any dredging or filling is intended in the development, a copy of the dredge and fill permit issued by the Florida Department of Environmental Regulations shall be required prior to the issuance of a building permit.

H. Storm water Management. A copy of the storm water permit pursuant to Chapter 17-25 F.A.C. issued by the Florida Department of Environmental Regulations shall be required prior to the issuance of a building permit. For those developments exempt from a storm water permit pursuant to 17.25 F.A.C., a storm water management system shall be required of all development within the Special Waterfront District.

FEMA has released the revised 2012 Elevation Certificate and 2012 Flood proofing Certificate, DEM has done a word-for-word review and determined there are no revisions that change any meaning or in any way alter the information that is collected. However, we encourage you to start reminding builders and surveyors that the revised certificates are now available.

FEMA announced that it will permit a “phase-in” of the revised Elevation Certificate on a voluntary basis. During the 12-month transition period beginning August 1, 2012, FEMA will accept either the new form or the old form. This voluntary transition period will allow for sufficient time for coordination and training of all affected NFIP stakeholders. Elevations certified after the last day of the transition period must be submitted on the new Elevation Certificate form with the expiration date of July 31, 2015.

Elevation Certificate – <http://www.fema.gov/library/viewRecord.do?id=1383>

Flood proofing Certificate – <http://www.fema.gov/library/viewRecord.do?id=1600>

Please share this message with any concerned.

“Floods are an act of God, but flood losses are largely an act of man”.

-Gilbert F. White, scientist & philosopher, “Father of floodplain management”

Florida State Floodplain Management Office

2555 Shumard Oak Blvd. Tallahassee, FL 32399-2100

(850)413-9960(help line) or floods@em.myflorida.com

FLOOD PLAIN MANAGEMENT
PERMIT APPLICATION REVIEW

DATE: 11/18/21

PERMIT #: _____

NAME: 800 Mexico Beach, LLC
MAILING ADDRESS: P.O. Box 13633 Tallahassee, FL. 32317
PHONE: 850-617-1999 CITY/STATE/ZIP: _____

STREET ADDRESS: 270 Prado St.
LEGAL DESCRIPTION: See Survey
PARCEL ID #: 01-09S-08W-8330-0265-0010

DESCRIBE DEVELOPMENT: Residential Townhomes are in the area designated X, there is only a portion of the site that is AE and there is no development in those areas

RESIDENTIAL: COMMERCIAL: _____ NEW STRUCTURE: _____ SUBSTANTIAL IMPROVEMENT: _____

FLOOD ZONE INFORMATION:
12037C 0509F

PANEL NO.: _____ FIRM ZONE: AE BRN 11 GRADE ELEVATION: 13

ELEVATION OF THE LOWEST HORIZONTAL: 14 (TOPING MEMBER OF STRUCTURE:
AND/OR TOP OF THE BOTTOM FLOOR (PER PLANS)

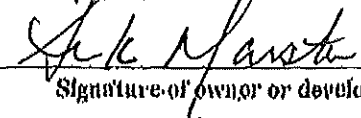
SQUARE FEET OF ENCLOSURE BELOW RFE: _____ (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, 800 Mexico Beach, LLC, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014; my/our property may be adversely affected by these changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: 270 Prado St. PARCEL ID #: 01-09S-08W-8330-0265-0010
EFFECTIVE FLOOD ZONE: AE PRELIMINARY FLOOD ZONE: _____

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel.


Signature of owner or developer

11/18/21
Date

Material used for enclosure below BFE: solid wall/breakaway wall _____, flow through vents
_____ (sq ft of vent opening), screen wire, lattice or louvers: _____

Type of foundation: _____

Pile Support

Concrete block stem wall

Other

Application meets all requirements designated in the flood plain management ordinance
_____ Date,

Inspections:

Foundation meets the requirement for the flood zone designation: _____

Under construction elevation certificate has been submitted and meets elevation standards for flood zone

Enclosures below the BFE are designed as required by the flood plain management ordinance:

Final elevation certificate has been submitted and all aspects of the structure meet designated flood zone
requirements: _____

All Mechanical and A/C equipment meet the required elevation for the designated BFE:

Final inspection on structure meets all requirements designated in the flood plain management ordinance:
_____ Date,

Flood Plain Administrator

Date

ORDINANCE 2015 003
CITY OF APALACHICOLA, FLORIDA
(POSTING 911 EMERGENCY ADDRESS)

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF APALACHICOLA, FLORIDA ADOPTING A UNIFORM SYSTEM THAT REQUIRES THE POSTING OF THE ASSIGNED 911 EMERGENCY ADDRESS FOR BUILDINGS WITH ACCESS FROM OFFICIALLY NAMED ROADS AND STREETS WITHIN THE JURISDICTION OF THE CITY OF APALACHICOLA, FLORIDA; PROVIDE FOR ENFORCEMENT; PROVIDING FOR THE REPEAL OF ANY ORDINANCE IN CONFLICT HEREWITH; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, The City Commission of the City of Apalachicola has determined that it would be in the best interest of the public health, safety and general welfare of its citizens and inhabitants to adopt a uniform system that requires the posting of the assigned 911 EMERGENCY ADDRESS for buildings with access from officially named roads and streets within the jurisdiction of the City of Apalachicola, Florida; and

WHEREAS, all buildings, with the exception of accessory or out buildings, located on a property within the City of Apalachicola shall have the assigned address number properly displayed, whether or not mail is delivered to such building or property; and

WHEREAS, it shall be the duty of the property owner to post the assigned address number for buildings on the property in the following manner:

1. The assigned address number shall be affixed to the front of the building or to a separate structure in front of the building such as a mailbox, post, wall or fence in such a manner so as to be clearly visible and legible from the public ways on which the building fronts. In the event that the building is not visible from a road or street, the address must be posted on the building and at the intersection of the building driveway and the road or street where the driveway connects.
2. Numbers shall be legible and easily seen from the road or street in which the building fronts.
3. Numbers shall be of a contrasting color with the immediate background of the building or structure on which such numerals are affixed.
4. Numbers on residential buildings shall be no less than four (4) inches in height.
5. Numbers for all commercial buildings shall be no less than six (6) inches in height and shall be placed on the business sign in front of the building and shall also be posted on the building.

WHEREAS, 911 emergency addresses currently assigned at time of passage of this Ordinance shall be posted for the building within sixty (60) days upon its adoption. Further, addresses shall be posted within 30 days of an initial assignment, a change of address or upon issuance of a warning notice that a non-compliance exist.

NOW THEREFORE BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF APALACHICOLA, that:

SECTION 1: All buildings, with the exception of accessory or out buildings, located on a property within the City of Apalachicola shall have the assigned 911 EMERGENCY ADDRESS properly displayed for buildings with access from officially named roads and streets within the jurisdiction of the City of Apalachicola, Florida.

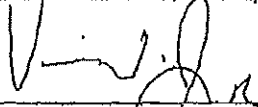
SECTION 2: Any person falling to comply with the provisions of this Ordinance may be issued a \$50.00 fine for non-compliance in the event an effort is not taken to satisfy provisions of this Ordinance.

SECTION 3: All ordinances or parts thereof in conflict herewith are hereby appealed.

SECTION 4: This Ordinance shall become effective immediately upon adoption.

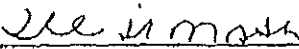
ADOPTED in open regular session this 7th day of July, 2015.

FOR THE CITY COMMISSION OF THE
CITY OF APALACHICOLA, FLORIDA



Van W. Johnson, Sr., Mayor

ATTEST:



Lee H. Mathes, City Clerk

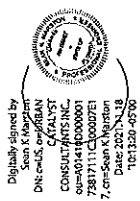
APALACHICOLA TOWNHOMES SITE PLAN SUBMITTAL

PREPARED FOR:
RUDNICK DEVELOPMENT
2316 KILLEARN CENTER BLVD.
TALLAHASSEE, FL 32309

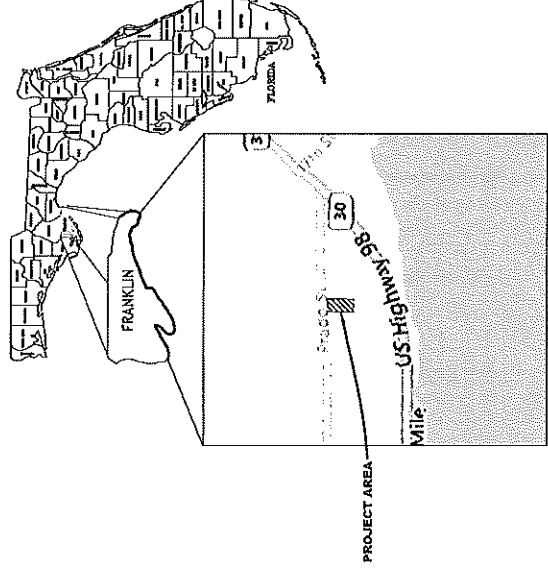
24 HOUR CONTACT:
JIMMY STEGE
(850) 544-2502

PREPARED BY:
URBAN CATALYST CONSULTANTS
2851 REMINGTON GREEN CIRCLE
TALLAHASSEE, FL 32308
(850) 999-4241
WWW.UCCENG.COM

ENGINEER OF RECORD:



Digitally signed by
Sean K. Maguire
DN: cn=Sean K. Maguire, o=URBAN CATALYST CONSULTANTS INC., ou=URBAN CATALYST CONSULTANTS INC., email=smaguire@ucceng.com, c=US
U.S. NATIONAL BOARD
OF PROFESSIONAL ENGINEERS
STATE OF FLORIDA
LICENSE NO. 15487
DATE OF SIGNATURE
11/01/2021 07:59



LOCATION MAP
N.T.S.

NOVEMBER 2021

CITY OF APALACHICOLA
FRANKLIN COUNTY, FLORIDA

INDEX OF SHEETS

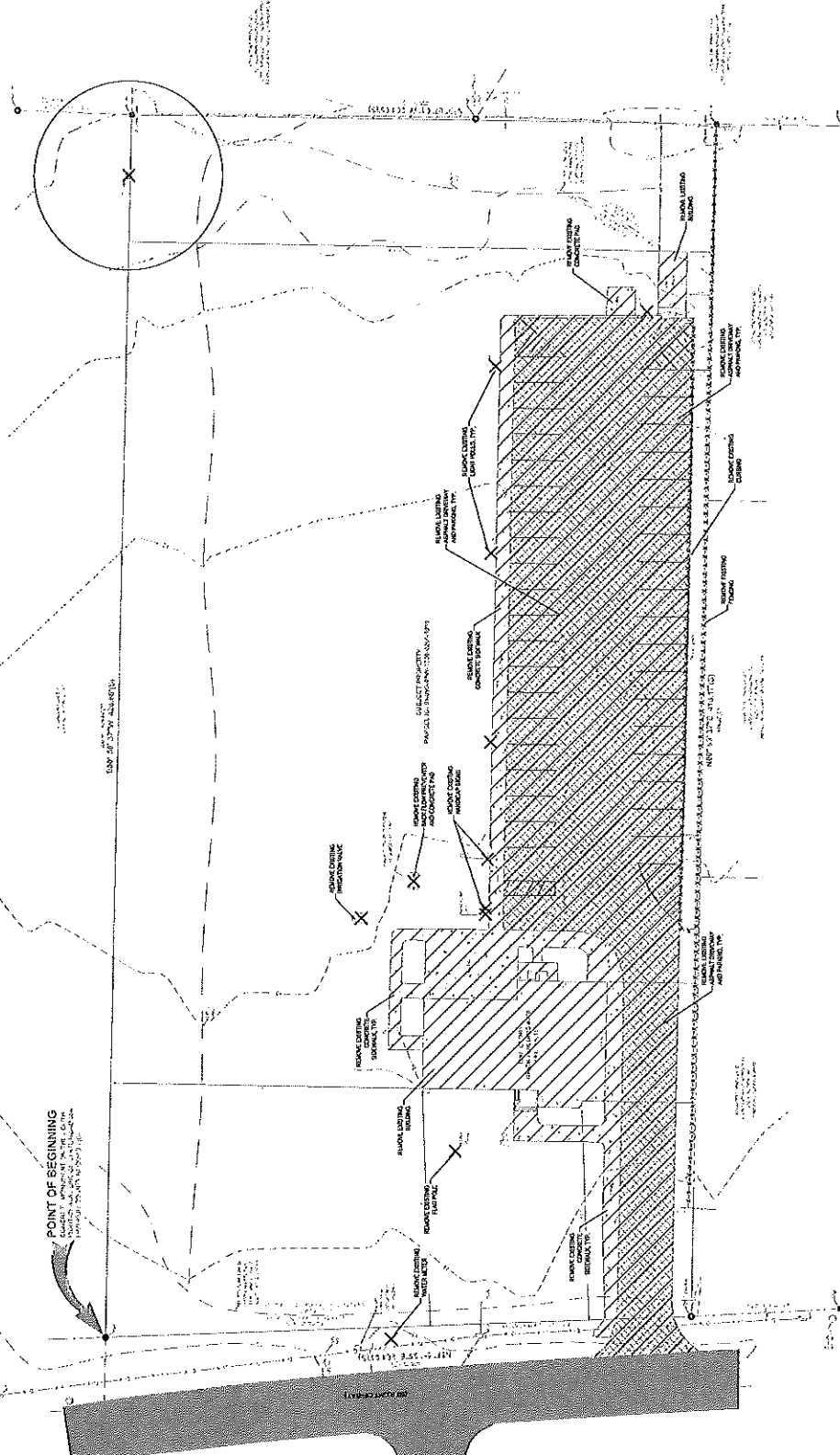
C-100	COVER
C-101	EXISTING CONDITIONS
C-102	DEMOLITION PLAN
C-102.1	EROSION CONTROL PLAN
C-103	SITE LAYOUT PLAN
C-104	GRADING PLAN
C-105	UTILITY PLAN
C-106	LANDSCAPE PLAN

PROPERTY USE: CHURCHES
TAX IDS: 01-09S-08W-8330-0265-0010
ADDRESS: 270 PRADO STREET

URBAN CATALYST CONSULTANTS, INC.
2851 REMINGTON GREEN CIRCLE, SUITE D
TALLAHASSEE, FLORIDA 32308
PHONE: (850) 999-4241
WWW.UCCENG.COM
FLCA 00030572



DATE	BY	REVISIONS



STABILIZATION NOTES:

1. ALL DISTURBED AREAS LEFT TOILE CONSIDER THAN 14 DAYS MUST BE STABILIZED WITH EROSION CONTROL MEASURES.
2. ADDITIONAL DEMOLITION AND EROSION CONTROL MEASURES MAY BE REQUIRED DURING ANY PHASE OF DEVELOPMENT, AT THE DISCRETION OF THE ENGINEER OR CITY INSPECTOR.
3. ALL DEMOLITION AND EROSION CONTROL MEASURES MUST BE REMOVED AND DISPOSED OF PROPERLY.

CONSTRUCTION SEQUENCE:

1. CONTRACTOR SHALL CONDUCT PRE-CONSTRUCTION MEETING 48 HRS PRIOR TO CONSTRUCTION COMMENCEMENT.
2. THE CONTRACTOR SHALL ENSURE THAT A FOREMAN OR SUPERVISOR IS PRESENT AT ALL TIMES DURING THE CONSTRUCTION OF ALL EROSION CONTROL MEASURES.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. AFTER DEMOLITION AND EROSION CONTROL MEASURES ARE COMPLETED, THE CONTRACTOR SHALL SCHEDULE FINAL SITE INSPECTION WITH ENGINEER.

LEGEND:

DEMOLITION

TO BE REMOVED



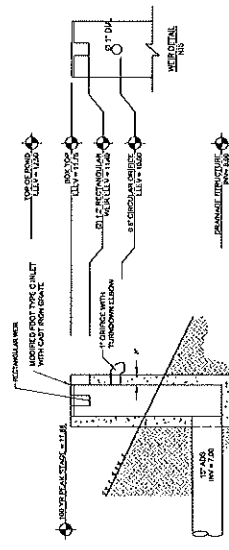
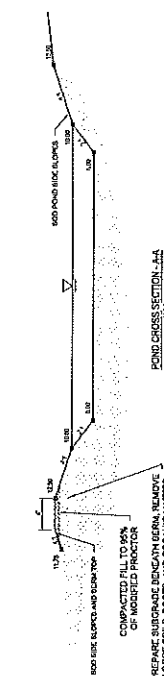
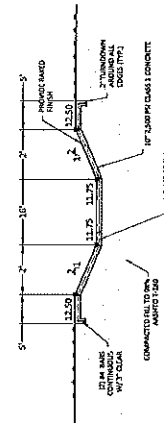
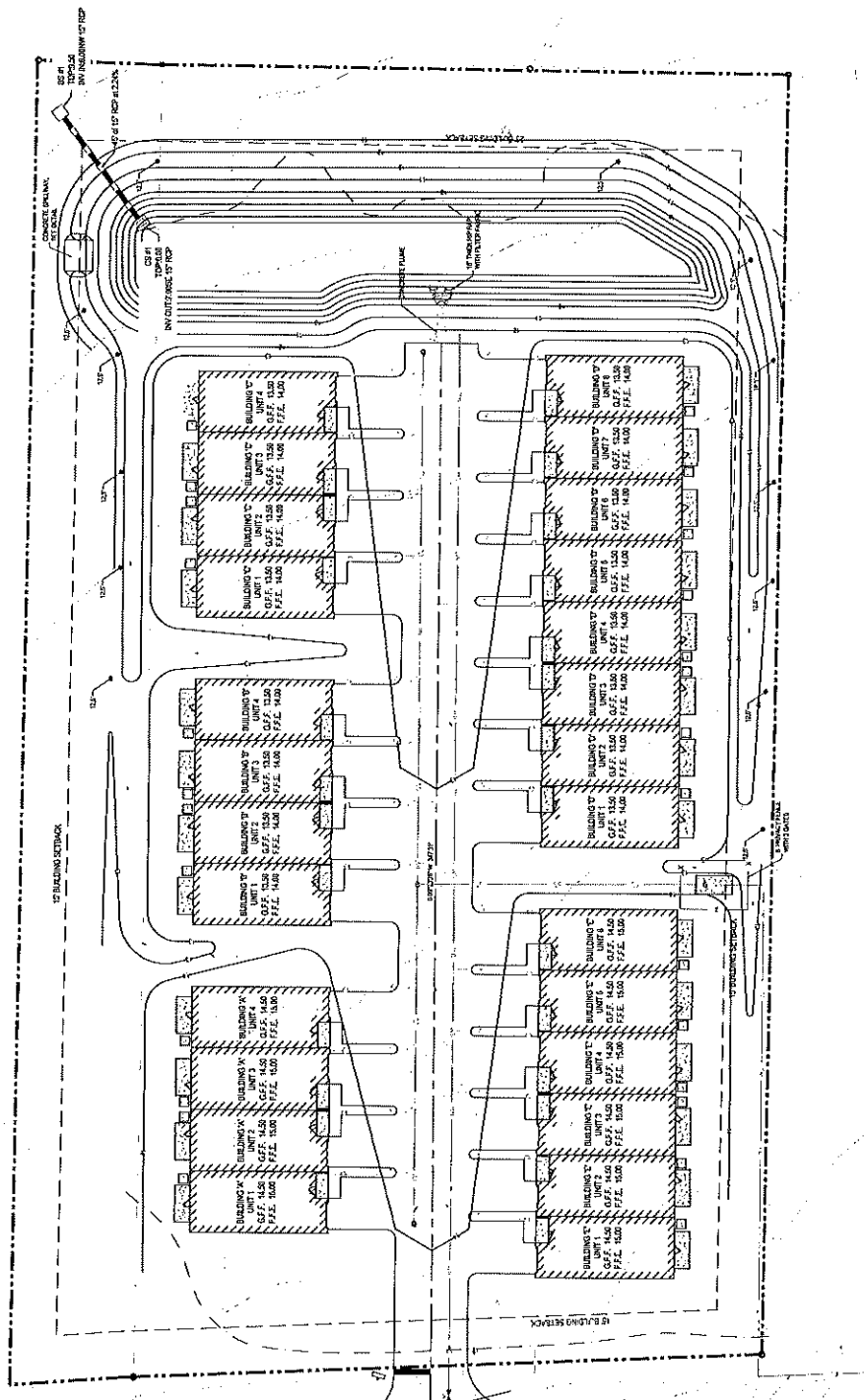
URBANCATALYSTCONSULTANTS, INC.
2811 REYNOLDS GREEN CIRCLE
TALLAHASSEE, FLORIDA 32308
PHONE: (850) 948-4241
WWW.URCENR.COM
FL CA 00030572



DATE	BY	REVISIONS

FLORIDA
APALACHICOLA TOWNHOMES
GRADING PLAN
FRANKLIN COUNTY

STAN S. HARTSON, P.E.
REGISTERED PROFESSIONAL ENGINEER
DRAWN BY: M.D.C.
CHECKED BY: S.K.M.
DATE: 10/12/2021
HORIZ. SCALE: 1"=20'
VERT. SCALE: 1"=4'
SHEET: C-104
PROJECT No. 21003.00



STATE ROAD 102, STATE STREET
FOR FRONT AND

27th AVENUE

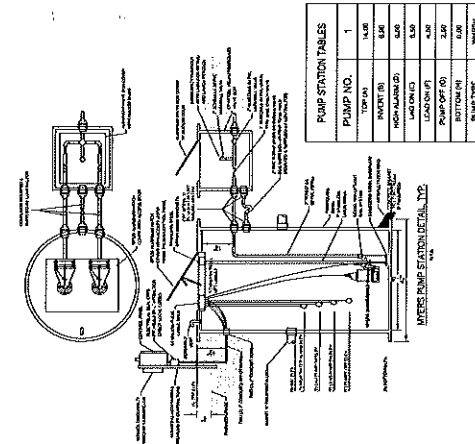
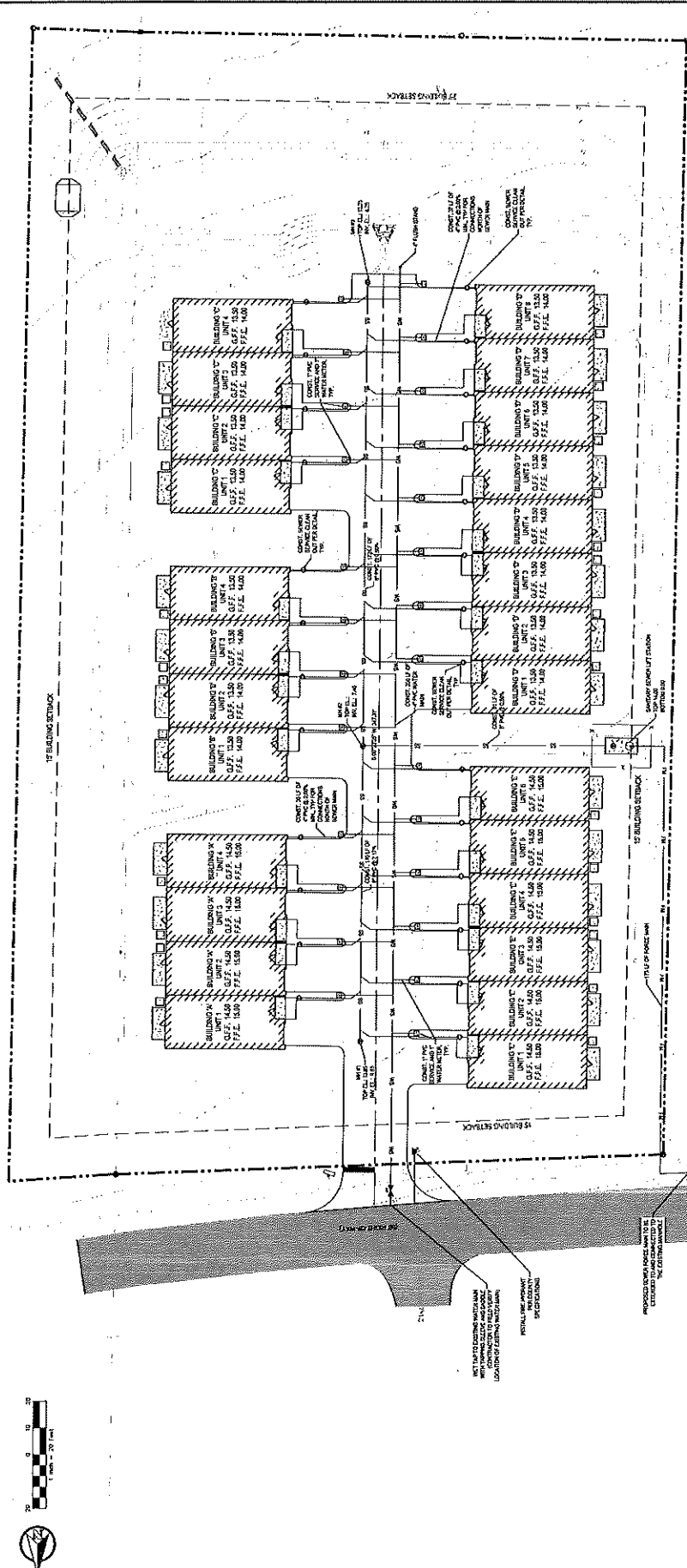
URBAN CATALYST CONSULTANTS, INC.
2851 REMINGTON GREEN CIRCLE
TALLAHASSEE, FLORIDA 32308
PHONE: (850) 599-4241
WWW.UCCENG.COM
FLCA 00030572



DATE	BY	REVISIONS

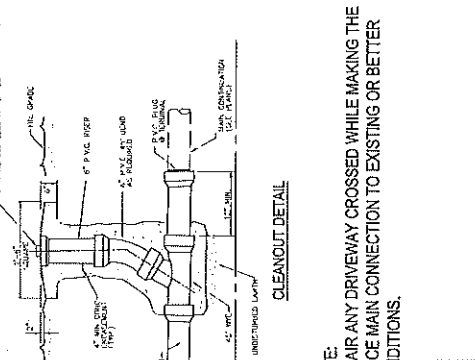
APALACHICOLA TOWNHOMES
UTILITY PLAN
FRANKLIN COUNTY

JEAN W. WARDEN, P.E.
LICENSED PROFESSIONAL ENGINEER
DRAWN BY: M.D.C.
CHECKED BY: S.M.M.
DATE: 10/12/2021
PROJECT NO. 21033.00
SHEET: C-105



DESCRIPTION	QUANTITY
NO. OF DWELLING SERVED	24
2" PVC WATER MAIN	1.380 LF
4" PVC WATER MAIN	1.380 LF
6" PVC WATER MAIN	1.380 LF
8" PVC WATER MAIN	1.380 LF
10" PVC WATER MAIN	1.380 LF
12" PVC WATER MAIN	1.380 LF
14" PVC WATER MAIN	1.380 LF
16" PVC WATER MAIN	1.380 LF
18" PVC WATER MAIN	1.380 LF
20" PVC WATER MAIN	1.380 LF
22" PVC WATER MAIN	1.380 LF
24" PVC WATER MAIN	1.380 LF
26" PVC WATER MAIN	1.380 LF
28" PVC WATER MAIN	1.380 LF
30" PVC WATER MAIN	1.380 LF
32" PVC WATER MAIN	1.380 LF
34" PVC WATER MAIN	1.380 LF
36" PVC WATER MAIN	1.380 LF
38" PVC WATER MAIN	1.380 LF
40" PVC WATER MAIN	1.380 LF
42" PVC WATER MAIN	1.380 LF
44" PVC WATER MAIN	1.380 LF
46" PVC WATER MAIN	1.380 LF
48" PVC WATER MAIN	1.380 LF
50" PVC WATER MAIN	1.380 LF
52" PVC WATER MAIN	1.380 LF
54" PVC WATER MAIN	1.380 LF
56" PVC WATER MAIN	1.380 LF
58" PVC WATER MAIN	1.380 LF
60" PVC WATER MAIN	1.380 LF
62" PVC WATER MAIN	1.380 LF
64" PVC WATER MAIN	1.380 LF
66" PVC WATER MAIN	1.380 LF
68" PVC WATER MAIN	1.380 LF
70" PVC WATER MAIN	1.380 LF
72" PVC WATER MAIN	1.380 LF
74" PVC WATER MAIN	1.380 LF
76" PVC WATER MAIN	1.380 LF
78" PVC WATER MAIN	1.380 LF
80" PVC WATER MAIN	1.380 LF
82" PVC WATER MAIN	1.380 LF
84" PVC WATER MAIN	1.380 LF
86" PVC WATER MAIN	1.380 LF
88" PVC WATER MAIN	1.380 LF
90" PVC WATER MAIN	1.380 LF
92" PVC WATER MAIN	1.380 LF
94" PVC WATER MAIN	1.380 LF
96" PVC WATER MAIN	1.380 LF
98" PVC WATER MAIN	1.380 LF
100" PVC WATER MAIN	1.380 LF

DESCRIPTION	QUANTITY
NO. OF DWELLING SERVED	24
2" PVC WATER MAIN	1.380 LF
4" PVC WATER MAIN	1.380 LF
6" PVC WATER MAIN	1.380 LF
8" PVC WATER MAIN	1.380 LF
10" PVC WATER MAIN	1.380 LF
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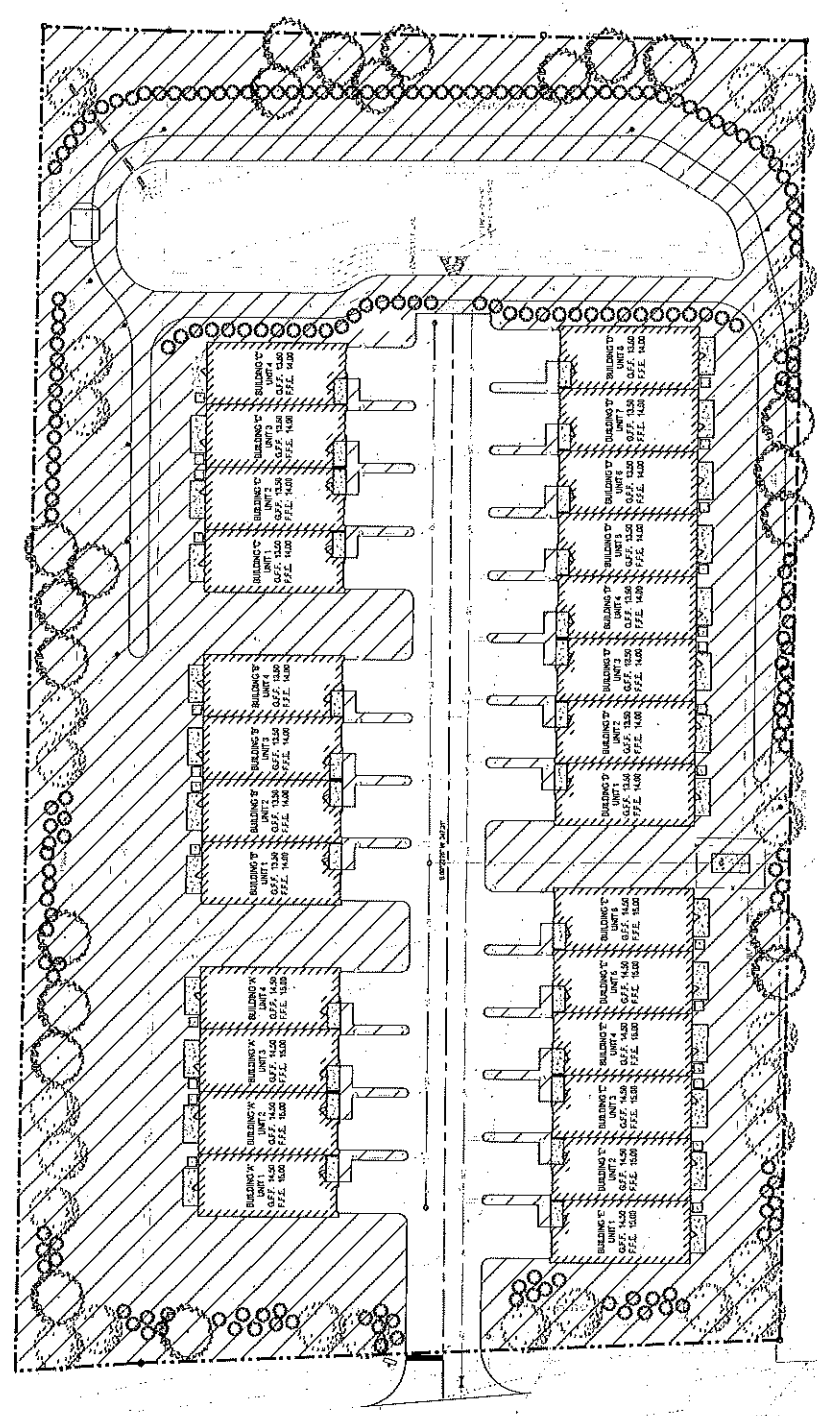


NOTE:
REPAIR ANY DRIVEWAY CROSSED WHILE MAKING THE
FORCE MAIN CONNECTION TO EXISTING OR BETTER
CONDITIONS.

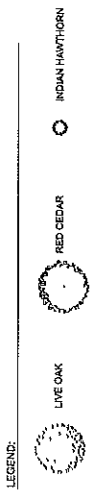
EXTRUDED CONTRACT
JIMMY STEEL
(850) 554-2565



DATE	BY	REVIEWS



- LANDSCAPE NOTES:**
1. LOCATE ALL UTILITIES PRIOR TO INSTALLING LANDSCAPE. UNPROTECTED UTILITIES EXCEPT PUBLIC UTILITIES OR AS INDICATED BY THE UTILITY PLAN SHALL BE RELOCATED ON THE GRADE.
 2. ALL PLANT MATERIALS SHALL BE HEALTHY, WELL-PROPORTIONED, DISEASE FREE, AND WINTER HARD FOR THE REGION. ALL PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA LANDSCAPE CODE.
 3. ALL TREES AND SHRUBS MUST BE PLANTED 18" OFF THE EDGE OF PAVEMENT.
 4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA LANDSCAPE CODE.
 5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA LANDSCAPE CODE.
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 27. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA LANDSCAPE CODE.



PLANTING SCHEDULE	PLANT	QUANTITY	COMMON NAME	BOTANICAL NOMENCLATURE	SEEK (SPACING)
TREES	LIVE OAK	27	Live Oak	<i>Quercus virginiana</i>	3" x 6" @ 10' x 10'
	RED CEDAR	27	Red Cedar	<i>Juniperus virginiana</i>	3" x 6" @ 10' x 10'
	INDIAN HAWTHORN	42	Indian Hawthorn	<i>Chamaecrista nictitans</i>	4.5" @ 3" x 3" @ 10' x 10'
GROUND COVER	CORTICEE BOD		Corticee Bod	<i>Diarrhena ovatifolia</i>	



FLORIDA DEPARTMENT OF
Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Shawn Hamilton
Secretary

**SELF-CERTIFICATION FOR
A STORMWATER MANAGEMENT SYSTEM IN UPLANDS SERVING
LESS THAN 10 ACRES OF TOTAL PROJECT AREA AND
LESS THAN 2 ACRES OF IMPERVIOUS SURFACES**

Owner(s)/Permittee(s): 800 Mexico Beach, LLC
File No: 0412665001EG
File Name: APALACHICOLA TOWNHOMES
Site Address: 270 Prado St.
Apalachicola FL - 32320
County: Franklin
Latitude: 29° 43' .7064"
Longitude: -85° 0' 1.303"
Total Project Area: 2.38
Total Impervious Surface Area: 0.99
**Approximate Date of Commencement
of Construction:** 01/04/2021

Registered Florida Professional: Sean Marston
License No.: 55987
Company: Urban Catalyst Consultants, Inc.

Date: November 18, 2021

Sean Marston certified through the Department's Enterprise Self-Service Application portal that the project described above was designed by the above-named Florida registered professional to meet the following requirements:

- (a) The total project area involves less than 10 acres and less than 2 acres of impervious surface;
- (b) Activities will not impact wetlands or other surface waters;
- (c) Activities are not conducted in, on, or over wetlands or other surface waters;
- (d) Drainage facilities will not include pipes having diameters greater than 24 inches, or the hydraulic equivalent, and will not use pumps in any manner;
- (e) The project is not part of a larger common plan, development, or sale; and
- (f) The project does not:
 - 1. Cause adverse water quantity or flooding impacts to receiving water and adjacent lands;

- 2. Cause adverse impacts to existing surface water storage and conveyance capabilities;
- 3. Cause a violation of state water quality standards; or
- 4. Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to s. 373.042 or a work of the district established pursuant to s. 373.086, F.S.

This certification was submitted before initiation of construction of the above project. The system is designed, and will be operated and maintained in accordance with applicable rules adopted pursuant to part IV of chapter 373, F.S. There is a rebuttable presumption that the discharge from such system will comply with state water quality standards. Therefore, construction, alteration, and maintenance of the stormwater management system serving this project is authorized in accordance with s.403.814(12), F.S.

In accordance with s. 373.416(2), F.S., if ownership of the property or the stormwater management system is sold or transferred to another party, continued operation of the system is authorized only if notice is provided to the Department within 30 days of the sale or transfer. This notice can be submitted to:

FDEP Northwest District
 160 Governmental Center
 Pensacola, FL32502

This certification was submitted along with the following electronic documents:

File Description
Stormwater Report
Engineered Site Plan

If you have submitted this certification as a Florida Registered Professional, you may wish to sign and seal this certification, and return a copy to the Department, in accordance with your professional practice act requirements under Florida Statutes.

I, Sean Marston, License No. 55987, do hereby certify that the above information is true and accurate, based upon my knowledge, information and belief. In the space below, affix signature, date, seal, company name, address and certificate of authorization (if applicable).

This sealed certification may be submitted to the Department, either electronically (as an attachment in Adobe PDF or other secure, digital format) at NWD_ERP_Applications@dep.state.fl.us, or as a hardcopy, at the postal address below:

FDEP Northwest District
 160 Governmental Center
 Pensacola, FL32502

November 18, 2021

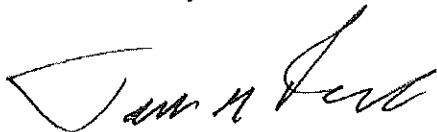
Ms. Tammy Owens
Permitting and Development Coordinator
City of Apalachicola
192 Coach Wagoner Blvd.,
Apalachicola, FL 32320

Re: Apalachicola Townhomes
270 Prado St.
Ownership Affidavit

Dear Ms. Owens,

I give permission to Urban Catalyst Consultants, Inc., to sign for all permits necessary to perform the work requested on my property located at 270 Prado St., parcel 01-09S-08W-8330-0265-0010

Sincerely,

A handwritten signature in black ink, appearing to read "James Rudnick". The signature is stylized and cursive.

James Rudnick
800 MEXICO BEACH, LLC

In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.

2. Parking Regulations

See Section IV E (8) Parking Regulations.

3. Special Exceptions:

Unless otherwise specified, special exceptions must comply with development standards As referenced. If deemed appropriate by the Planning and Zoning Commission in order to grant a special exception, certain more stringent standards may be imposed.

4. Submerged Lands:

In case where building lots are adjacent to and contiguous with wetlands, a setback of 20 feet from jurisdictional wetlands shall replace conflicting lot line setbacks. This setback shall consist of a vegetative buffer.

5. Residential Apartment Units:

When approved as a special exception, up to a maximum of three (3) residential apartment units may be allowed per existing single family structure provided that the lot upon which the structure is located has a front lot line of at least 60 feet and a depth of at least 100 feet and provided that at least one parking space per apartment unit is provided onsite; however, up to a maximum of four (4) residential apartment units may be allowed when approved as a special exception provided that the lot upon which the structure is located has a front lot line of at least 90 feet and depth of 100 feet and provided that at least one parking space per apartment unit is provided onsite.

6. Supplemental Regulations:

Provisions of Section VII, Site Plan Review, and Section VIII, Storm water Management Plans shall be applicable to certain lands within this district.

R-2 MULTI-FAMILY RESIDENTIAL

DISTRICT INTENT:

To provide for the accommodation of medium to high density, multi-family dwelling units. And where appropriate, to allow for certain educational, religious, recreational and public needs compatible with the general characteristics of the District.

PERMITTED USES AND STRUCTURE:

PRINCIPAL

1. Single family residential
2. Two family residential
3. Townhouses
4. Multi-family residential

ACCESSORY

Accessory uses and structure customarily incidental and subordinate to permitted principal uses and structure and not of a commercial nature, including private garages, tool sheds, kitchen gardens and the like.

SPECIAL EXCEPTIONS: After public notice and hearing and appropriate conditions and safeguards, the Planning and Zoning Board may permit as special exceptions, subject to referenced development standards:

1. Funeral Homes
2. Utilities Substations
3. Churches
4. Schools
5. Hospitals & Clinics
6. Home Occupations
7. Nursing Home
8. Public Facilities & Structure
9. Residential Apartment Units in existing single family structure (See Applicable Regulations No. 5)

PROHIBITED USES AND STRUCTURE

1. Mobile homes or house trailers on vacant lots or in residential yards.
2. Any structure or use of a nature not specifically or provisionally permitted herein.
3. Travel trailers

DEVELOPMENT STANDARDS

MINIMUM LOT OR SITE SIZE

Single Family and Home Occupations

Area: 6,000 sq.ft.

Width: 60 ft.

Depth: 100 ft.

Two Family

Area: 9,000 sq.ft.

Width: 90 ft.

Depth: 100 ft.

Townhouses

Area

Site Size: 9,000 sq.ft.

Individual Lot Size: 1,800 sq.ft. per dwelling unit

Maximum building grouping: 10 units or 200 feet

Minimum building grouping: 3 units or 48 feet

Width

Site: 90 ft.

Individual Lot: 16 ft.

Depth:

Site: 100 ft.

Individual Lot: none

Multi-family and Special Exceptions

Area: 12,000 sq. ft.

Width: 120 ft.

Depth: 85 ft.

MINIMUM BUILDING SETBACKS

Front: 15 ft.

Side - Interior Lot:

Single Family: 7 1/2 feet each side, or any combination of setbacks on each side that equals at least 15 feet, provided that no such setback shall be less than 5 feet.

Two Family: 7 1/2 feet each side, or any combination of setbacks on each side that equals at least 15 feet, provided that no such setback shall be less than 5 feet.

Townhouses: For 4 or fewer attached townhouses the same as for single family. For 5 or more attached townhouses the same as for multi-family.

Multi-family: 15 feet

Side - Corner Lot: 15 feet

Rear: 25 feet for principal structure

5 feet for accessory structure

MAXIMUM BUILDING RESTRICTIONS

Lot Coverage: 40% for single family

45% for two family

45% for townhouses

50% for multi-family

Building Height: 35 feet

APPLICABLE REGULATIONS

1. Location of accessory structures:

Location of accessory structures in residential districts: In residential districts, and on any lot used for residential purposes, no accessory structure shall be located in required front yards.

2. Parking Regulation

See Section IV E (8) Parking Regulations

3. Multi-Family Housing

- 1) Fifty percent (50%) maximum lot coverage which shall include impervious surface.
- 2) Maximum of one ground floor dwelling unit per 2,000 square feet of total building site.
- 3) Minimum dwelling unit size shall be 600 square feet.
- 4) Maximum of twenty (20) dwelling units per acre at total build out.

4. Special Exceptions:

Unless otherwise specified, special exceptions must comply with development standards as referenced. If deemed appropriate by the Planning and Zoning Commission in order to grant a special exception, certain more stringent standards may be imposed.

5. Residential Apartment Units

When approved as a special exception, up to a maximum of three (3) residential apartment units may be allowed per existing single family structure provided that the lot upon which the structure is located has a front lot line of at least 60 feet and a depth of at least 100 feet and provided that at least one parking space per apartment unit is provided onsite; however, up to a maximum of four (4) residential apartment units may be allowed when approved as a special exception provided that the lot upon which the structure is located has a front lot line of at least 90 feet and a depth of 100 feet and provided that at least one parking space per apartment unit is provided onsite.

6. Supplemental Regulations

Provisions of Section VII, Site Plan Review, and Section VIII, Storm water Management Plans, shall be applicable to certain lands within this district.

R-3 MOBILE HOME RESIDENTIAL

DISTRICT INTENT:

To provide for the accommodation of medium to high density, multi-family dwelling units, as well as to allow for the location of mobile and module homes within City limits. And, where appropriate, to allow for certain educational, religious, recreational and public needs compatible with the general characteristics of the District.

PERMITTED USES AND STRUCTURES:

PRINCIPAL

1. Single family residential
2. Two family residential
3. Townhouses