

AGENDA ITEM (#2)

110 7th ST - FENCE

Seaborn

EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Conch Wagouer Blvd.
APPLICATION FOR BUILDING PERMIT

DATE: _____ Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: Robert Seaborn Email: RSEABORN2@COMCAST.NET

ADDRESS: 110 Dr. Frederick S. Humphries St.

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # 850 443 5939

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: N/A Email: _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: see above

PURPOSE OF PERMIT: back yard fence

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 01-098-08W-8330-0060-0021

LEGAL DESCRIPTION OF PROPERTY: BL 60 Lot 2

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____



Franklin County, FL

110 7th St

Parcel Summary

Parcel ID 01-09S-08W-8330-0060-0021
 Location Address 110 7TH ST
 32320
 Brief Tax Description* BL 60 LOT 2 460/155 581/672 637/357 643/217 873/119 1035/391 1094/404
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead Y

[View Map](#)

Owner Information

Primary Owner
 Seaborn Robert & Marlene
 110 Dr Frederick S Humphries
 Apalachicola, FL 323201410

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000188	SFR CHAPMAN/APALACH	60.00	FF	0	0

Residential Buildings

Building 1
 Type SF APALACH
 Total Area 3,488
 Heated Area 2,972
 Exterior Walls BD/BTN AVG
 Roof Cover MODULAR MT
 Interior Walls CUST PANEL
 Frame Type WOOD FRAME
 Floor Cover PINE WOOD; HARDWOOD
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 3
 Stories 2
 Effective Year Built 2006

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0665	STEPS W/RAILS	1	12 x 4 x 0	48	SF	2006
0349	FENCE PLASTIC 4'	1	0 x 0 x 0	120	LF	2015
0200	GARAGE FINISHED	1	0 x 0 x 0	440	SF	2017
0080	DECK	1	0 x 0 x 0	324	SF	2017

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	06/13/2013	\$293,000	WD	1094	404	Qualified (Q)	Improved	GOLLBACH WILLIAM F & LURA	SEABORN ROBERT & MARLENE
N	05/20/2011	\$270,000	WD	1035	391	Qualified (Q)	Improved	STEWART	GOLLBACH/GOLLBACH
N	09/28/2005	\$145,000	WD	873	119	Qualified (Q)	Vacant	PDB SHERMAN, LLC	STEWART

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$234,012	\$235,930	\$205,514	\$205,514	\$208,802
Extra Features Value	\$11,961	\$11,961	\$11,961	\$731	\$731
Land Value	\$46,482	\$46,482	\$46,482	\$51,240	\$38,430
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$292,455	\$294,373	\$263,957	\$257,485	\$247,963
Assessed Value	\$275,158	\$268,972	\$263,957	\$253,170	\$247,963
Exempt Value	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000
Taxable Value	\$225,158	\$218,972	\$213,957	\$203,170	\$197,963
Maximum Save Our Homes Portability	\$17,297	\$25,401	\$0	\$4,315	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

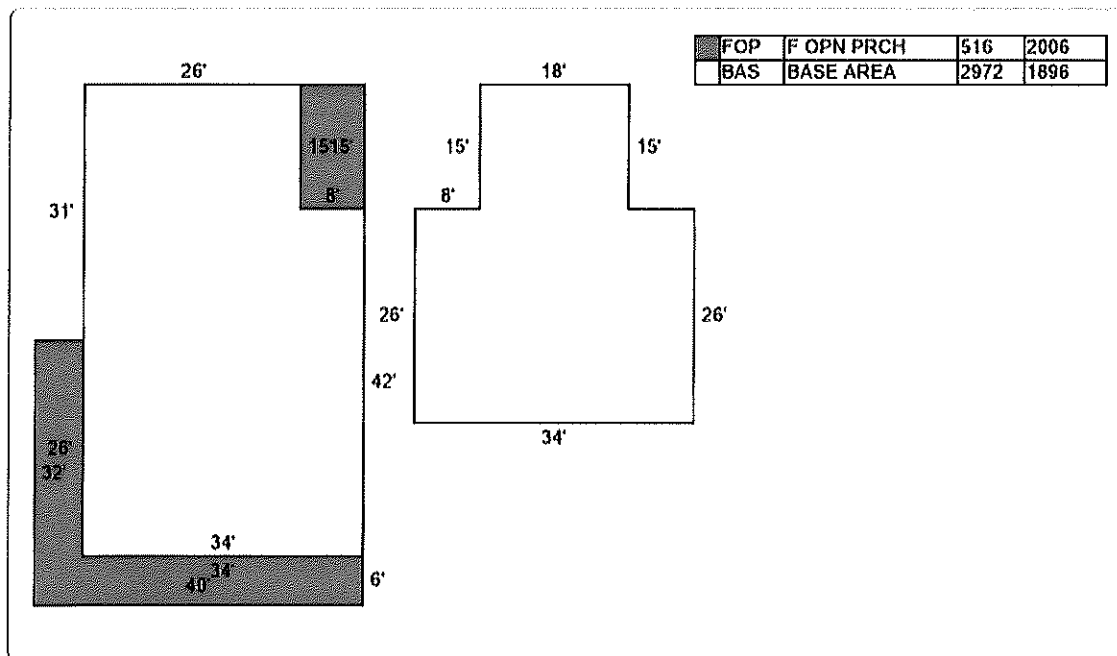
TRIM Notice 2020

2020 TRIM Notice (PDF)

TRIM Notice 2019

2019 TRIM Notice (PDF)

Sketches



No data available for the following modules: Commercial Buildings.

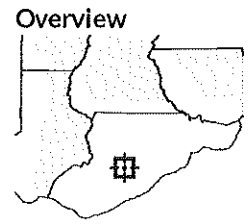
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

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Developed by
 Schneider
 GEOSPATIAL

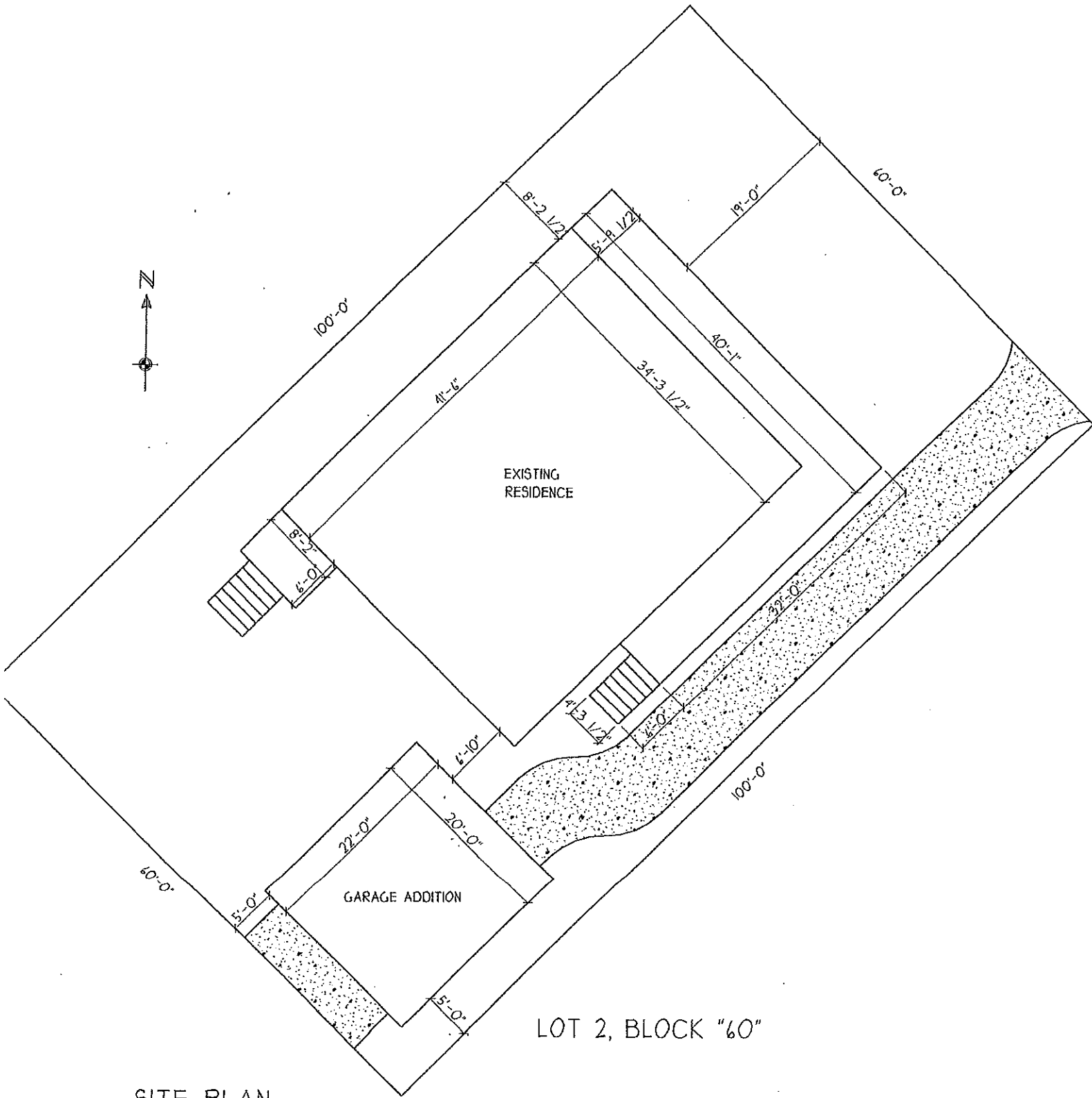


- Legend
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	01-09S-08W-8330-0060-0021	Alternate ID	08W09S01833000600021	Owner Address	SEABORN ROBERT & MARLENE
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		110 DR FREDERICKS HUMPHRIES
Property Address	110 7TH ST	Acreage	n/a		APALACHICOLA, FL 32320-1410
District	3				
Brief Tax Description	BL 60 LOT 2 460/155 581/672				
	(Note: Not to be used on legal documents)				

Date created: 3/1/2021
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EXISTING
RESIDENCE

GARAGE ADDITION

LOT 2, BLOCK "60"

SITE PLAN
SCALE: 1" = 20'

BL 60 Lot 2

60'

01-095 - 08W - 8330-0060 - 0021

6" from lot line

100'

40' 4"

19' 0"

8' 2 1/4"

47' 6"

HOUSE

8' 2 1/4"

6' 0"

6' 0"

28' 0"

GARAGE

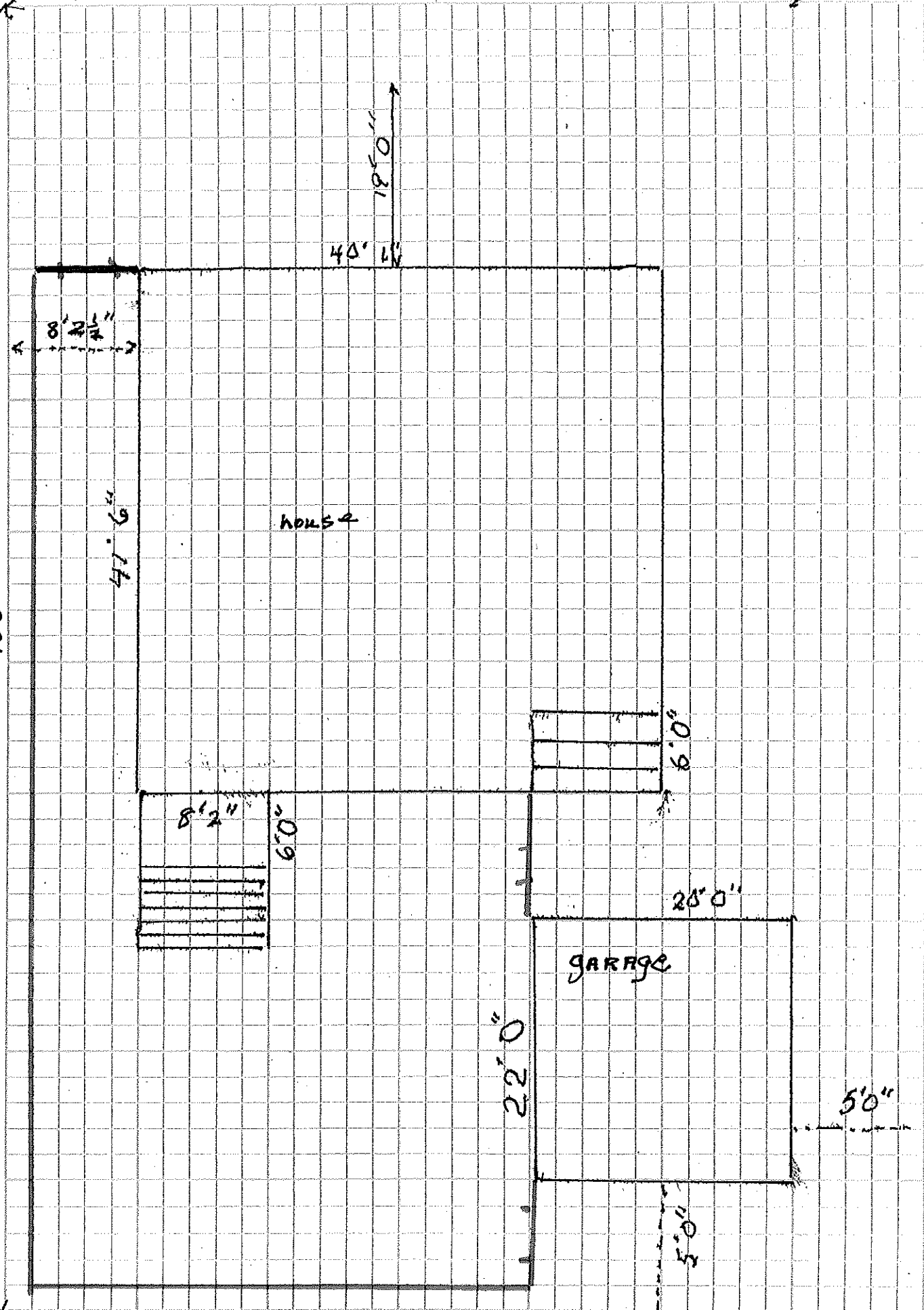
22' 0"

5' 0"

5' 0"

60'

Red lines depict new fence



#3

362 21st AVE

CARPORT

Edward KANE

EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Conch Wagoner Blvd.
APPLICATION FOR BUILDING PERMIT

DATE: 2/18/21 Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: EDWARD KANE Email: _____

ADDRESS: 362 21 AVE

CITY, STATE & ZIP CODE: Apalachicola FLA 39183 PHONE # 440 417 5205

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: ED KANE Email: _____

ADDRESS: 362 21 AVE

CITY, STATE & ZIP CODE: Apalachicola FLA PHONE # 440 417 5205

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: _____

PURPOSE OF PERMIT: Build 15'x26' CAR port

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # R01-095-08W-8330-0216-0070

LEGAL DESCRIPTION OF PROPERTY: Block 216 Lot 7+8

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

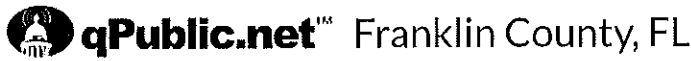
WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

15' X 26' METAL CAR PORT

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other CAR PORT	Allen factory outlet	15' X 26' METAL CAR PORT	



Parcel Summary

Parcel ID 01-09S-08W-8330-0216-0070
 Location Address 362 21 AVE
 32320
 Brief Description CITY OF APALACHICOLA BLOCK 216 LOTS 7 & 8 138/131 475/5 475/267 475/270 595/740 703/235 781/102 837/41 1021/584 1033/628 1122/332
 Tax Description* 1234/699
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng --
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Kane Edward
 3102 Genung Street
 Madison, OH 44057

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000155	SFR GREATER APALACH	60.00	FF	0	0

Residential Buildings

Building 1
 Type SF APALACH
 Total Area 940
 Heated Area 880
 Exterior Walls BD/BATTEN
 Roof Cover MODULAR MT
 Interior Walls DRYWALL
 Frame Type WOOD FRAME
 Floor Cover CLAY TILE; HARDWOOD
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 2
 Stories 1
 Effective Year Built 2003

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0320	CONCRETE	1	0 x 0 x 0	900	UT	2003

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	02/04/2019	\$126,000	WD	1234	699	Qualified (Q)	Improved	SCARABIN	KANE
N	06/09/2014	\$54,900	WD	1122	332	Qualified (Q)	Improved	SHOEMAKER JAMES A.	SCARABIN
N	04/26/2011	\$43,300	WD	1033	628	Unqualified (U)	Improved	U.S. BANK NATIONAL ASSOCIATION	SHOEMAKER JAMES A.
N	09/30/2010	\$100	CT	1021	584	Unqualified (U)	Improved	NESHAT	U.S.BANK NATIONAL ASSOC.
N	03/02/2005	\$315,000	WD	837	41	Unqualified (U)	Improved	BLOODWORTH	NESHAT
N	03/19/2004	\$7,900	WD	781	102	Qualified (Q)	Improved	BOLTON/WORTH,LLC	BLOODWORTH

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$87,132	\$34,180	\$39,844	\$39,844	\$41,016
Extra Features Value	\$1,710	\$1,710	\$1,710	\$1,710	\$1,710
Land Value	\$12,000	\$12,000	\$9,000	\$9,000	\$9,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$100,842	\$47,890	\$50,554	\$50,554	\$51,726
Assessed Value	\$52,679	\$47,890	\$50,554	\$50,554	\$51,726
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$52,679	\$47,890	\$50,554	\$50,554	\$51,726
Maximum Save Our Homes Portability	\$48,163	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

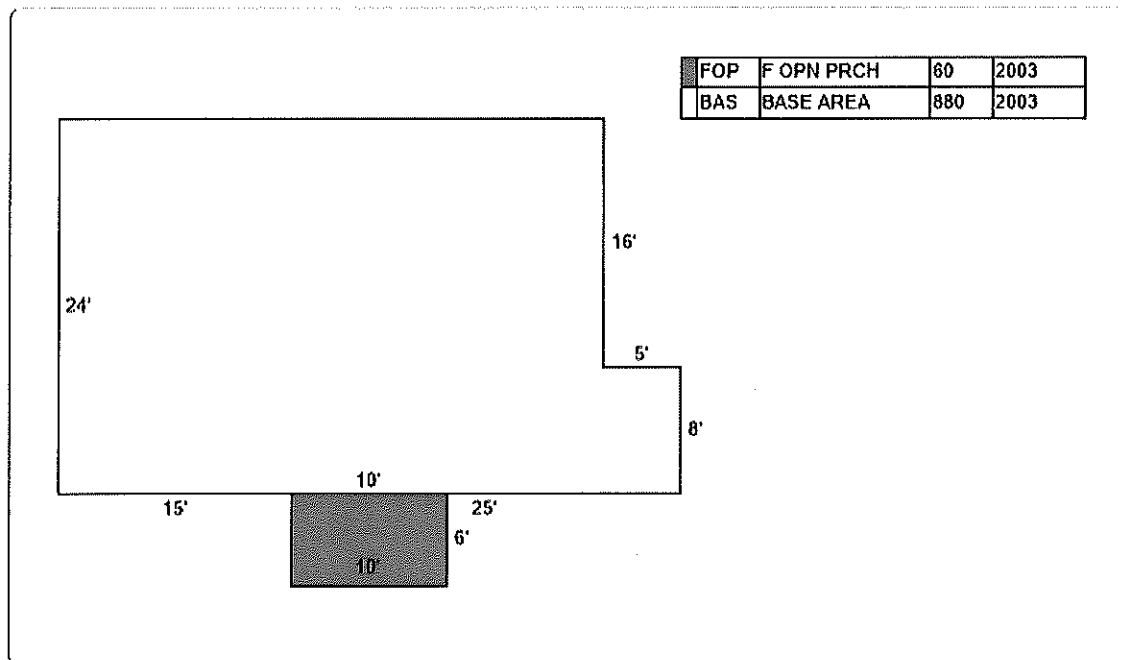
TRIM Notice 2020

2020 TRIM Notice (PDF)

TRIM Notice 2019

2019 TRIM Notice (PDF)

Sketches



No data available for the following modules: Commercial Buildings.

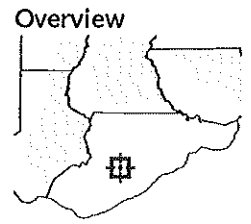
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- Legend
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	01-09S-08W-8330-0216-0070	Alternate ID	08W09501833002160070	Owner Address	KANE EDWARD
Sec/Twp/Rng	--	Class	SINGLE FAM		3102 GENUING STREET
Property Address	362 21 AVE	Acreage	n/a		MADISON, OH 44057
District	3				
Brief Tax Description	CITY OF APALACHICOLA BLOCK 216				
	(Note: Not to be used on legal documents)				

Date created: 3/1/2021
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 GEOSPATIAL

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

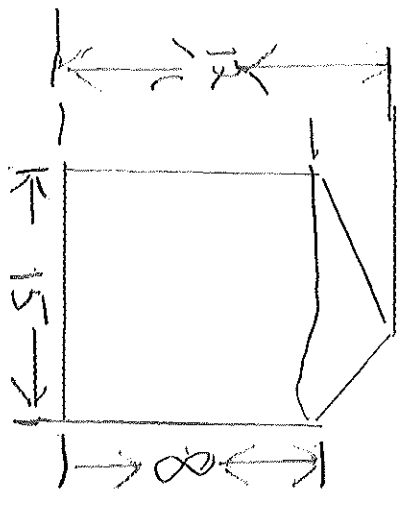
DATE

2/18/21

SIGNATURE OF APPLICANT

[Handwritten Signature]

EXISTING Two bed House
362 21 AVE

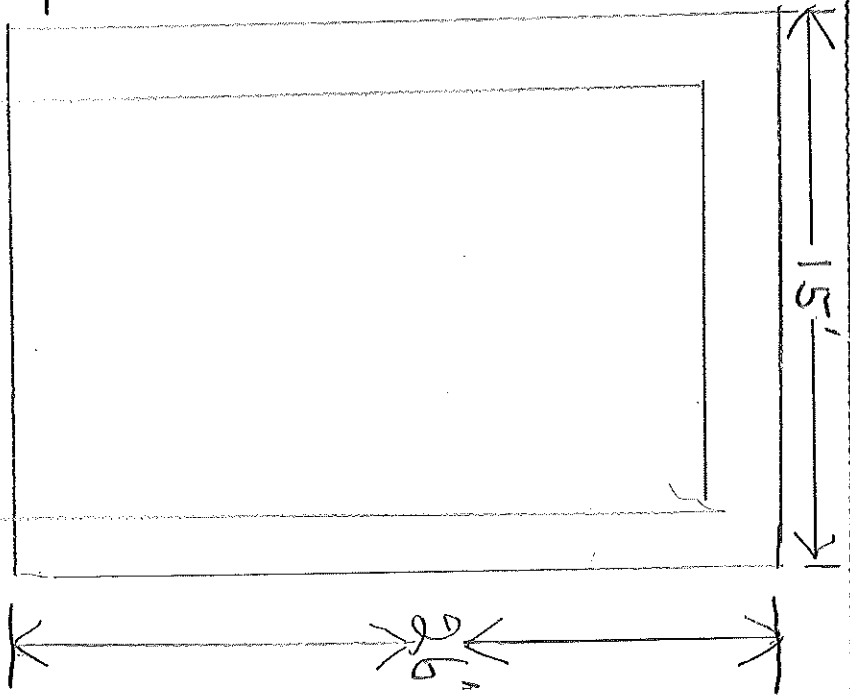


PRAPROSED METAL
CARPORT

EDWARD RANE
362 21 AVE

440 417 5205

SURVEYED PROPERTY LINE



4

116 15th St.

SHED

R. Butler

CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION HISTORIC DISTRICT ONLY	Official Use Only Application # _____ City Representative _____ Date Received _____
-----------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------

OWNER INFORMATION Owner <u>Rhett Butler</u> Address <u>116-15th St</u> City <u>Apalachicola</u> State <u>FL</u> Zip <u>32320</u> Phone <u>(850) 658-5466</u>	CONTRACTOR INFORMATION Contractor Name: _____ State License # _____ City License # _____ Email Address _____ Phone <u>()</u> _____
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

<input type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input type="checkbox"/> Fence <input checked="" type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input type="checkbox"/> Other <u>Shed</u>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------

PROPERTY INFORMATION:

Street Address 116-15th St City & State Apalachicola Florida Zip 32320

Historic District (Non-Historic District) Zoning District R-15 3

Parcel # 01-095-08W-8320-0000-0100-0040 Block(s) 34100 Lot(s) 4

FLMA Flood Zone/Panel #: _____
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: _____ Rear: _____ Side: _____ Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid: _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Thommy Owens
 Permitting and Development Coordinator
 (850) 658-1522
 cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Project Scope	Manufacturer	Product Description	RI Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveway/Sidewalks			
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apache Junction and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apache Junction Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

1/5/21
DATE


SIGNATURE OF APPLICANT

EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
 192 Conch Wagoner Blvd.
APPLICATION FOR BUILDING PERMIT

DATE: 1/ Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: _____ Email: _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: _____ Email: _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: _____

PURPOSE OF PERMIT: _____

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?

YES NO

PROPERTY PARCEL ID # 01-095-086-8330-0100-0040

LEGAL DESCRIPTION OF PROPERTY: _____

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK, or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to cityofapalachicola@gmail.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial X Shed
Multi-Family Swimming Pool Storage Sign Polo Barn
Temp Pole Demolition Other
Addition, Alteration or Renovation to building,

Distance from property lines: Front Rear L. Side R. Side
Cost of Construction \$ Square Footage
MP Flood Zone AE14 Lowest Floor Elevation
Area Heated/Cooled none # Of Stories 1 # Of Units 1
Type of Roof Galvalume Type of Walls Aluminum Type of Floor wood
Extreme Dimensions of: Length 12' Height 6'6" Width 12'

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPC: The EPC/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent Date

Signature of Contractor Date

Notary as to Owner or Agent
Date:

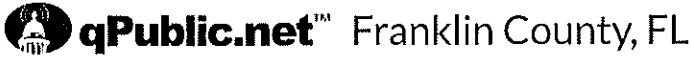
Notary as to Contractor
Date:

My Commission expires:

My Commission expires:

APPLICATION APPROVED BY: BUILDING OFFICIAL

(email to: cityofapalachicola@gmail.com or drop off in City drop box)
(make checks payable to EPC - 192 Coach Wagoner Blvd. Apalachicola, FL 32320)



Parcel Summary

Parcel ID 01-09S-08W-8330-0100-0040
 Location Address 116 15TH ST
 APALACHICOLA 32320
 Brief Tax Description* BL 100 CITY OF APALACH LOT 4 OR 143/544 OR 221/68 OR 263/57 ORB 221 PAGE 68-
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead Y

[View Map](#)

Owner Information

Primary Owner
 Butler Virginia
 116-15th Street
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000188	SFR CHAPMAN/APALACH	60.00	FF	0	0

Residential Buildings

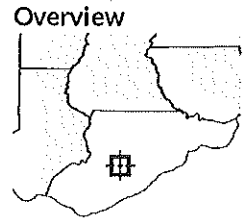
Building 1
 Type SF APALACH
 Total Area 1,278
 Heated Area 1,058
 Exterior Walls BELOW AVG.
 Roof Cover MODULAR MT
 Interior Walls WALL BD/WD
 Frame Type WOOD FRAME
 Floor Cover PINE WOOD
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 0
 Bedrooms 0
 Stories 0
 Effective Year Built 1920

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0351	FENCE WOOD 6'	1	0 x 0 x 0	120	LF	2016
1014	WOOD FENCE 4'	1	0 x 0 x 0	60	LF	2016
0330	STORAGE, UTILITY	1	0 x 0 x 0	1	UT	2017

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	10/15/1987	\$17,850	WD	263	57	Unqualified (U)	Improved	STUTZMAN	BUTLER
N	03/01/1985	\$10,700	WD	221	68	Unqualified (U)	Improved		

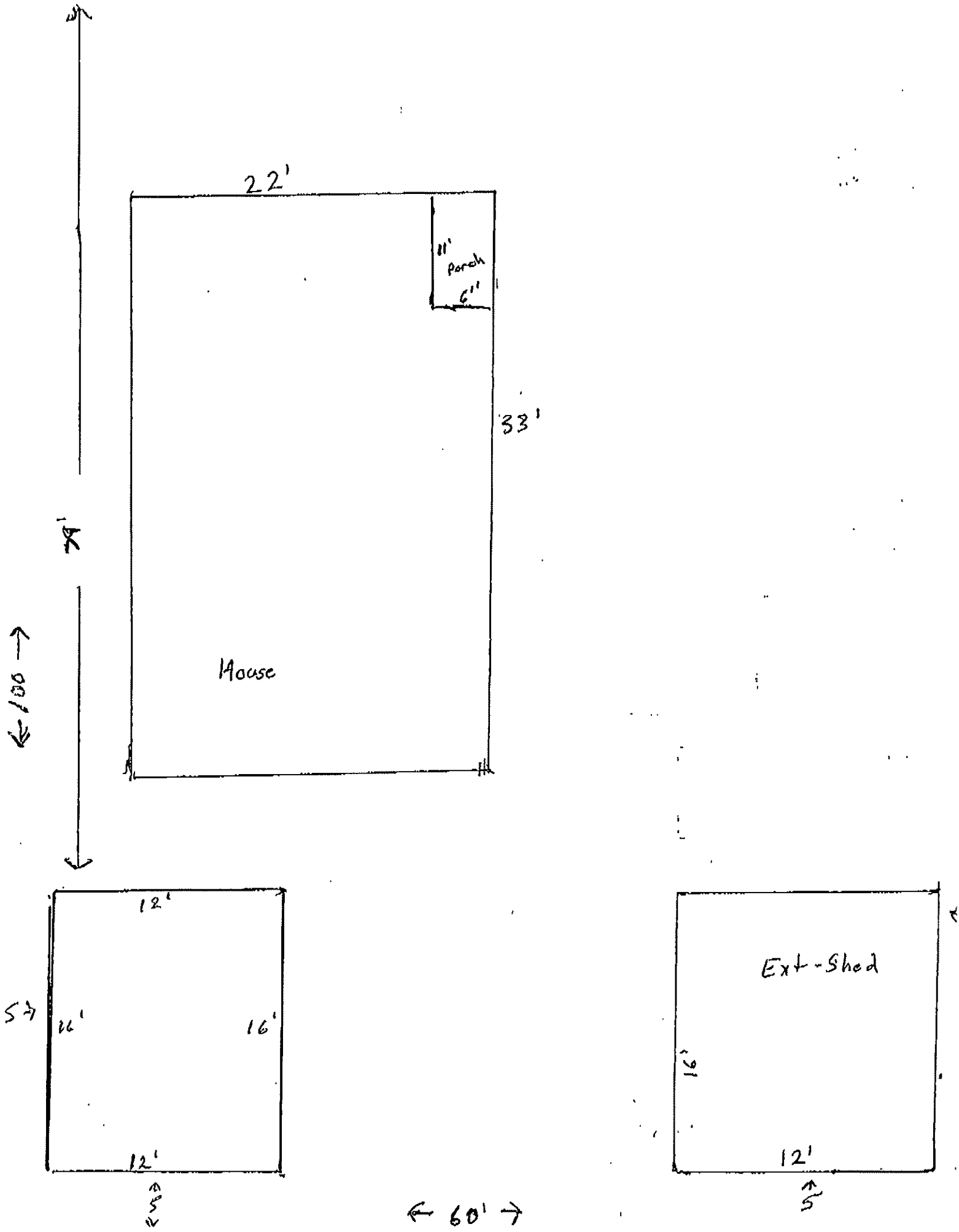


- Legend**
- Parcels
 - Roads
 - City Labels

Parcel ID	01-09S-08W-8330-0100-0040	Alternate ID	08W09S01833001000040	Owner Address	BUTLER VIRGINIA
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		116-15TH STREET
Property Address	116 15TH ST	Acreage	n/a		APALACHICOLA, FL 32320
	APALACHICOLA				
District	3				
Brief Tax Description	BL 100 CITY OF APALACH				
	(Note: Not to be used on legal documents)				

Date created: 3/1/2021
Last Data Uploaded: 3/1/2021 7:53:52 AM

Developed by  **Schneider**
GEOSPATIAL



FLOOD PLAIN MANAGEMENT
PERMIT APPLICATION REVIEW

DATE: 2/3/21

PERMIT # _____

NAME: Rhett Butler
MAILING ADDRESS: 116-15th St CITY/STATE/ZIP: Apalachicola FL 32320
PHONE: 850 653-5466

STREET ADDRESS: 116-15th St

LEGAL DISCRPTION: _____

PARCEL I.D #: 01-095-086-8330-0100-0040

DESCRIBE DEVELOPMENT: Shed

RESIDENTIAL: COMMERCIAL: _____ NEW STRUCTURE: _____ SUBSTANTIAL IMPROVEMENT: _____

FLOOD ZONE INFORMATION:

PANEL NO.: _____ FIRM ZONE: _____ OFD: _____ GRADE ELEVATION: _____

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE:
AND/OR TOP OF THE BOTTOM FLOOR _____ (PER PLANS)

SQUARE FEET OF ENCLOSURE BELOW RFD: _____ (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, Rhett Butler, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014, my/our property may be adversely affected by these changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: 116-15th St PARCEL I.D #: 01-095-086-8330-0100-0040
EFFECTIVE FLOOD ZONE: _____ PRELIMINARY FLOOD ZONE: A-14

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel.

Rhett Butler
Signature of owner or developer

2/3/21
Date

#5

120 AVE I

Holiness Church

CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION HISTORIC DISTRICT ONLY	Official Use Only Application # _____ City Representative _____ Date Received _____
-----------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------

OWNER INFORMATION Owner <u>HOLINESS CHURCH OF THE LIVING GOD, LLC.</u> Address <u>P.O. BOX 237</u> City <u>APALACHICOLA</u> State <u>FL</u> Zip <u>32320</u> Phone (____) _____	CONTRACTOR INFORMATION Contractors Name: <u>J. WARREN JERRY FRAMING CREWS, INC.</u> State License # <u>RG291103680</u> City License # _____ Email Address <u>JERRYWRRN1@AOL.COM</u> Phone (<u>850</u>) <u>481-6570</u>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input type="checkbox"/> Other _____
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------

PROPERTY INFORMATION:

Street Address: 120 AVE. I City & State APALACHICOLA FL Zip 32320

Historic District Non-Historic District Zoning District O/R

Parcel #: 01-09S-08W-8330-0072-0060 Block(s) 72 Lot(s) 6 & 7

FEMA Flood Zone/Panel #: 12037C0526F
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front 15 Rear 25 Side 7.5 Lot Coverage 40%

Water Available: Sewer Available: Taps Paid _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approved

 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, BPCI.

Tammy Owens
 Permitting and Development Coordinator
 (850) 658-1522
cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

The proposed project is for the construction of a church to replace the previous church destroyed by hurricane Michael.

The new building will consist of a steel framed structure on an elevated slab. The exterior will consist of fiber cement board & batten siding. There will be a sleeplo located on an exterior porch that reaches a height of 38'-6". The proposed finished floor is located 2' above proposed adjacent grade.

Project Scope	Manufacturer	Product Description	BL Product Approval #
Siding	JAMES HARDIE	FIBER CEMENT D&B	
Doors	JELDWEN	IMPACT DOORS	
Windows	JELDWEN	IMPACT WINDOWS	
Roofing	TITAN STEEL	METAL ROOF	
Trim		FIBER CEMENT TRIM	
Foundation		SLAB ON STEMWALL	
Shutters		N/A	
Porch/Deck		CONTRACTOR BUILT	
Fencing		N/A	
Driveways/Sidewalks		GRAVEL / CONCRETE	
Other			

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submitted may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

2-18-2021
DATE


SIGNATURE OF APPLICANT

EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Coach Waggoner Blvd.
APPLICATION FOR BUILDING PERMIT

DATE: 2/18/21 Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: HOLINESS CHURCH OF THE LIVING GOD, LLC. Email: SLIWII@AOL.COM

ADDRESS: P.O. BOX 237

CITY, STATE & ZIP CODE: APALACHICOLA, FL. 32320 PHONE # _____

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): N/A

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: JERRY FRAMING CREWS, INC. Email: jerrywrrn1@aol.com

ADDRESS: 1930 HIGHWAY 98

CITY, STATE & ZIP CODE: PORT ST. JOE, FLORIDA 32456 PHONE # 850.481.6579

STATE LICENSE NUMBER: RG291103680 COMPETENCY CARD # ON FILE

ADDRESS OF PROJECT: 120 AVE. I

PURPOSE OF PERMIT: CONSTRUCTION OF A CHURCH STRUCTURE

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 01-09S-08W-0330-0072-0060

LEGAL DESCRIPTION OF PROPERTY: LOTS 6 & 7, BLOCK 72, CITY OF APALACHICOLA

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: N/A

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: MONICA BARBER

ADDRESS: 209 7TH STREET CITY, STATE & ZIP: PORT ST. JOE, FLORIDA 32456

MORTGAGE LENDER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: CITY OF APALACHICOLA SEWER SYSTEM PROVIDER: CITY OF APALACHICOLA

PRIVATE WATER BILL: N/A SEPTIC TANK PERMIT NUMBER: N/A

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to cityofapalachicola@gmail.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:

Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Storage Sign Pole Barn
 Temp Pole Demolition Other _____
 Addition, Alteration or Renovation to building. _____

Distance from property lines: Front 15.2' Rear 25.2' L. Side 29.31 (FRONT CORNER)
 R. Side 13.6'
 Cost of Construction \$ _____ Square Footage 4001 SF TOTAL
 BPI ATTACHED Flood Zone X Lowest Floor Elevation 21.0'
 Area Heated/Cooled 3857 SF # Of Stories 1 # Of Units 1
 Type of Roof METAL ROOF Type of Walls STEEL FRAME Type of Floor CONCRETE
 Extreme Dimensions of: Length 81'-2" Height 38'-6" Width 62'-0"

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Shirley Terforter 2/19/21
 Signature of Owner or Agent Date

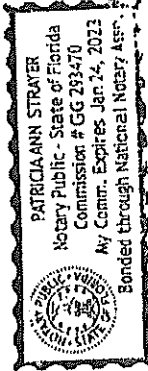
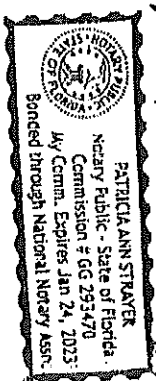
[Signature] 2-19-21
 Signature of Contractor Date

Patricia A Strayer
 Notary as to Owner or Agent
 Date: 2-19-21

Patricia A Strayer
 Notary as to Contractor
 Date: 2-19-21

My Commission expires: 01/24/2023

My Commission expires: 01/24/2023



APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: cityofapalachicola@gmail.com or drop off in City drop box)
 (make checks payable to EPCI - 192 Canoe Wagoner Blvd, Apalachicola, FL 32320)



Parcel Summary

Parcel ID 01-09S-08W-8330-0072-0060
 Location Address 120 AVE I
 32320
 Brief Tax Description* BL 72 LOTS 6 7 OR 137/501 150/415 155/284 237/204
 *The Description above is not to be used on legal documents.
 Property Use Code CHURCHES (007100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Holiness Church Of The Living
 God Inc.
 PO Box 237
 Apalachicola, FL 32320

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000801	THE HILL - APALACH	30.00	FF	0	0
000100	SFR	30.00	UT	0	0
000100	SFR	60.00	UT	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	09/01/1986	\$1,200	WD	237	204	Qualified (Q)	Vacant		

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$66,000	\$66,000	\$48,000	\$60,000	\$42,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$66,000	\$66,000	\$48,000	\$60,000	\$42,000
Assessed Value	\$58,080	\$52,800	\$48,000	\$46,200	\$42,000
Exempt Value	\$58,080	\$52,800	\$48,000	\$46,200	\$42,000
Taxable Value	\$0	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$7,920	\$13,200	\$0	\$13,800	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, TRIM Notice 2020, TRIM Notice 2019, Sketches.

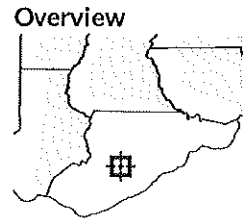
Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.




[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Developed by

Last Data Upload: 3/1/2021, 7:53:52 AM

Version 2.3.108



- Legend
-  Parcels
 -  Roads
 -  City Labels

Date created: 3/1/2021
Last Data Uploaded: 3/1/2021 7:53:52 AM

Developed by  **Schneider**
GEOSPATIAL

EPCI
Apalachicola Building Department
MECHANICAL ELECTRICAL PLUMBING

<u>Office Use Only</u>	
PERMIT #: _____	PERMIT FEE: \$ _____

DATE: 2-18-21 FBC # _____

OWNER'S NAME: HOLINESS CHURCH OF THE LIVING GOD, LLC. EMAIL: SLIWII@AOL.COM

ADDRESS: P.O. BOX 237

CITY, STATE & ZIP CODE: APALACHICOLA, FL. 32320 PHONE # _____

CONTRACTOR'S NAME: JERRY FRAMING CREWS, INC. EMAIL: JERRYWRRN1@AOL.COM

ADDRESS: 1930 HIGHWAY 98

CITY, STATE & ZIP CODE: PORT ST. JOE, FLORIDA 32456 PHONE # 850.481.6579

STATE LICENSE NUMBER: RG291103680 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 120 AVE. | APALACHICOLA, FL. 32320

PROPOSED USE OF SITE: CHURCH

PROPERTY PARCEL ID # 01-09S-08W-8330-0072-0060

LEGAL DESCRIPTION OF PROPERTY: LOTS 6 & 7, BLOCK 72, CITY OF APALACHICOLA

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

PURPOSE OF BUILDING: Single Family Multi-Family Commercial Storage Sign
 Other Addition, Alteration or Renovation to building.

Cost of Construction \$ _____ Total Square Footage 4001

Flood Zone Lowest Floor Elevation: 21.0'

Area Heated/Cooled 3857 # Of Stories 1 # Of Units 1

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

Thil W. Carter
Signature of Owner or Agent

Date: 2/19/21

[Signature]
Signature of Contractor

Date: 2-18-2021

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL

(cityofapalachicola@gmail.com / 850.653.1522)

FLOOD PLAIN MANAGEMENT
PERMIT APPLICATION REVIEW

DATE: 2-18-21

PERMIT # _____

NAME: HOLINESS CHURCH OF THE LIVING GOD, LLC.

MAILING ADDRESS: P.O. BOX 237 CITY/STATE/ZIP: APALACHICOLA, FL. 32320

PHONE: _____

STREET ADDRESS: 120 AVE. I

LEGAL DESCRIPTION: LOTS 6 & 7, BLOCK 72, CITY OF APALACHICOLA

PARCEL I.D.#: 01-09S-08W-8330-0072-0060

DESCRIBE DEVELOPMENT: CHURCH REBUILD PROJECT TO REPLACE STRUCTURE DAMAGED
BY HURRICANE MICHAEL

RESIDENTIAL _____ COMMERCIAL: NEW STRUCTURE: _____ SUBSTANTIAL IMPROVEMENT: _____

FLOOD ZONE INFORMATION:

PANEL NO.: 12037C0526F FIRM ZONE: FEMA: N/A GRADE ELEVATION: 18.0'

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE:
AND/OR TOP OF THE BOTTOM FLOOR: 21.0' FINISHED FLOOR (PER PLANS)

SQUARE FEET OF ENCLOSURE BELOW FFE: N/A (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, JERRY WARREN, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014, my/our property may be adversely affected by these changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums.

STREET ADDRESS: 120 AVE. I PARCEL I.D.#: 01-09S-08W-8330-0072-0060
EFFECTIVE FLOOD ZONE: PRELIMINARY FLOOD ZONE:

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel.

Jerry Warren

Signature of owner or developer

021821

Date

Residential System Sizing Calculation

Summary

HOLINESS CHURCH OF THE LIVING GOD LLC Project Title:
 120 AVE I HOLINESS CHURCH OF THE LIVING GOD LLC
 APALACHICOLA, FL 32320

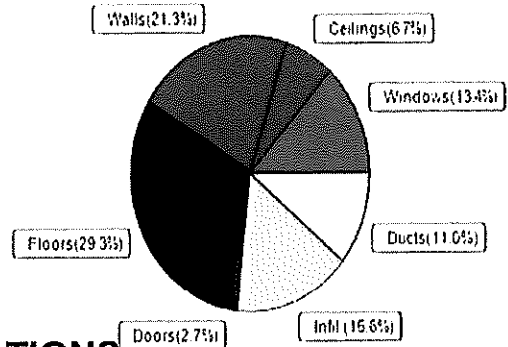
2/19/2021

Location for weather data: Apalachicola, FL - Defaults: Latitude(29) Altitude(20 ft.) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (78F) Humidity difference(64gr.)			
Winter design temperature(TMY3 99%)	24 F	Summer design temperature(TMY3 99%)	89 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	46 F	Summer temperature difference	14 F
Total heating load calculation	47022 Btuh	Total cooling load calculation	101317 Btuh
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	229.7 108000	Sensible (SHR = 0.75)	140.9 81000
Heat Pump + Auxillary(0.0kW)	229.7 108000	Latent	61.6 27000
		Total (Electric Heat Pump)	106.6 108000

WINTER CALCULATIONS

Winter Heating Load (for 3858 sqft)

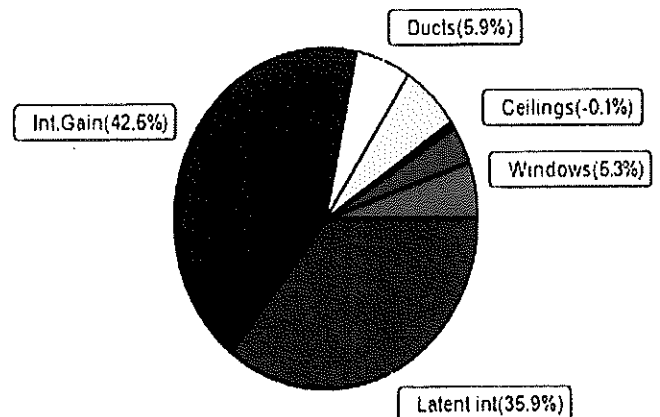
Load component		Load	
Window total	249 sqft	6300	Btuh
Wall total	2168 sqft	10011	Btuh
Door total	60 sqft	1270	Btuh
Ceiling total	3858 sqft	3141	Btuh
Floor total	3858 sqft	13801	Btuh
Infiltration	145 cfm	7336	Btuh
Duct loss		5163	Btuh
Subtotal		47022	Btuh
Ventilation	0 cfm	0	Btuh
TOTAL HEAT LOSS		47022	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 3858 sqft)

Load component		Load	
Window total	249 sqft	5325	Btuh
Wall total	2168 sqft	3569	Btuh
Door total	60 sqft	690	Btuh
Ceiling total	3858 sqft	-68	Btuh
Floor total		0	Btuh
Infiltration	109 cfm	1674	Btuh
Internal gain		43060	Btuh
Duct gain		3240	Btuh
Sens. Ventilation	0 cfm	0	Btuh
Blower Load		0	Btuh
Total sensible gain		57491	Btuh
Latent gain(ducts)		2695	Btuh
Latent gain(infiltration)		4732	Btuh
Latent gain(ventilation)		0	Btuh
Latent gain(internal/occupants/other)		36400	Btuh
Total latent gain		43827	Btuh
TOTAL HEAT GAIN		101317	Btuh

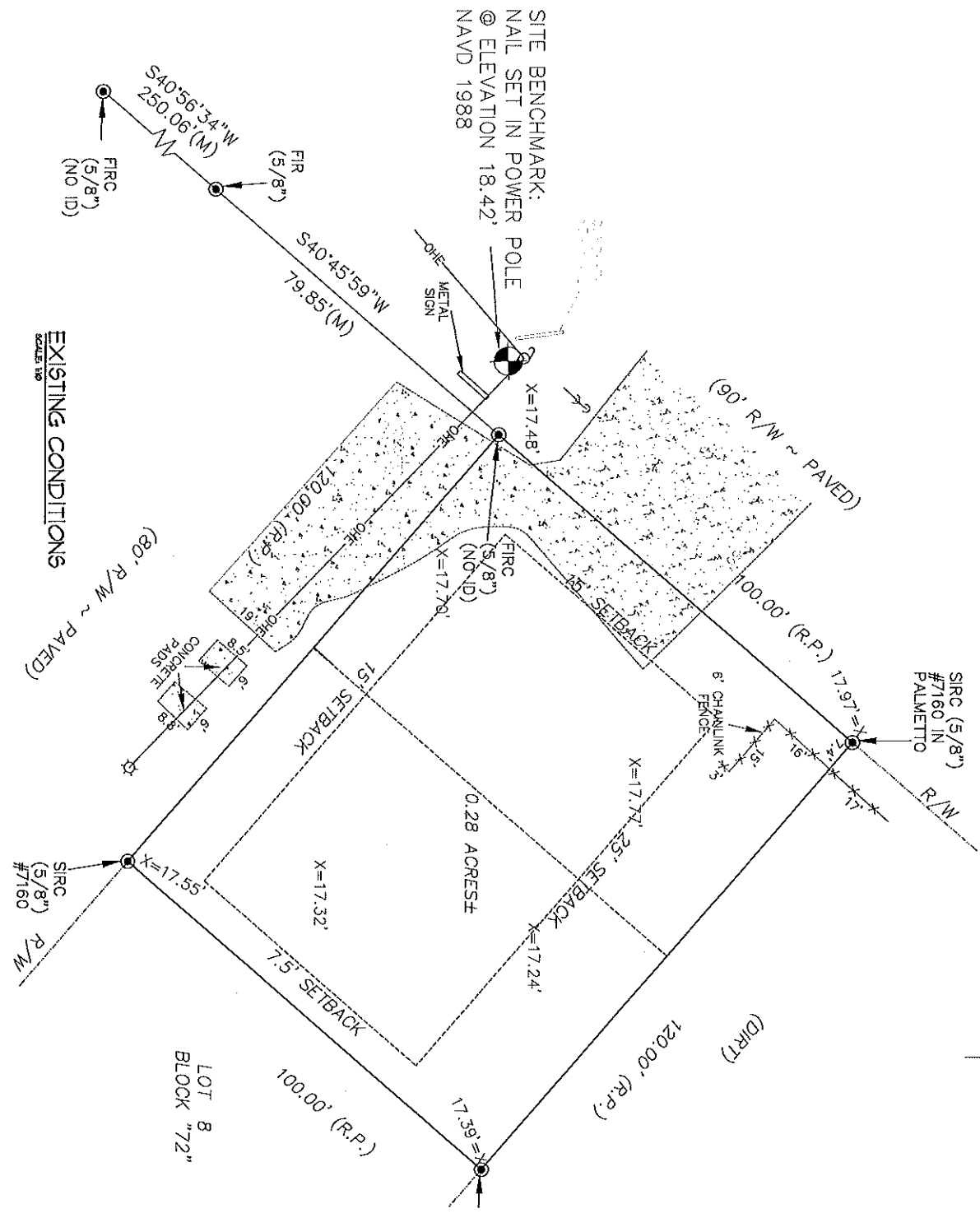


8th Edition

EnergyGauge® System Sizing
 PREPARED BY: *[Signature]*
 DATE: 2-19-21

LEGAL DESCRIPTION

EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
 122 AVENUE I
 APALACHICOLA, FLORIDA

Sheet Number
CO1

Rev.	Date	Description

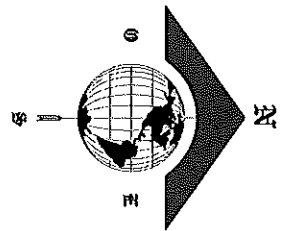
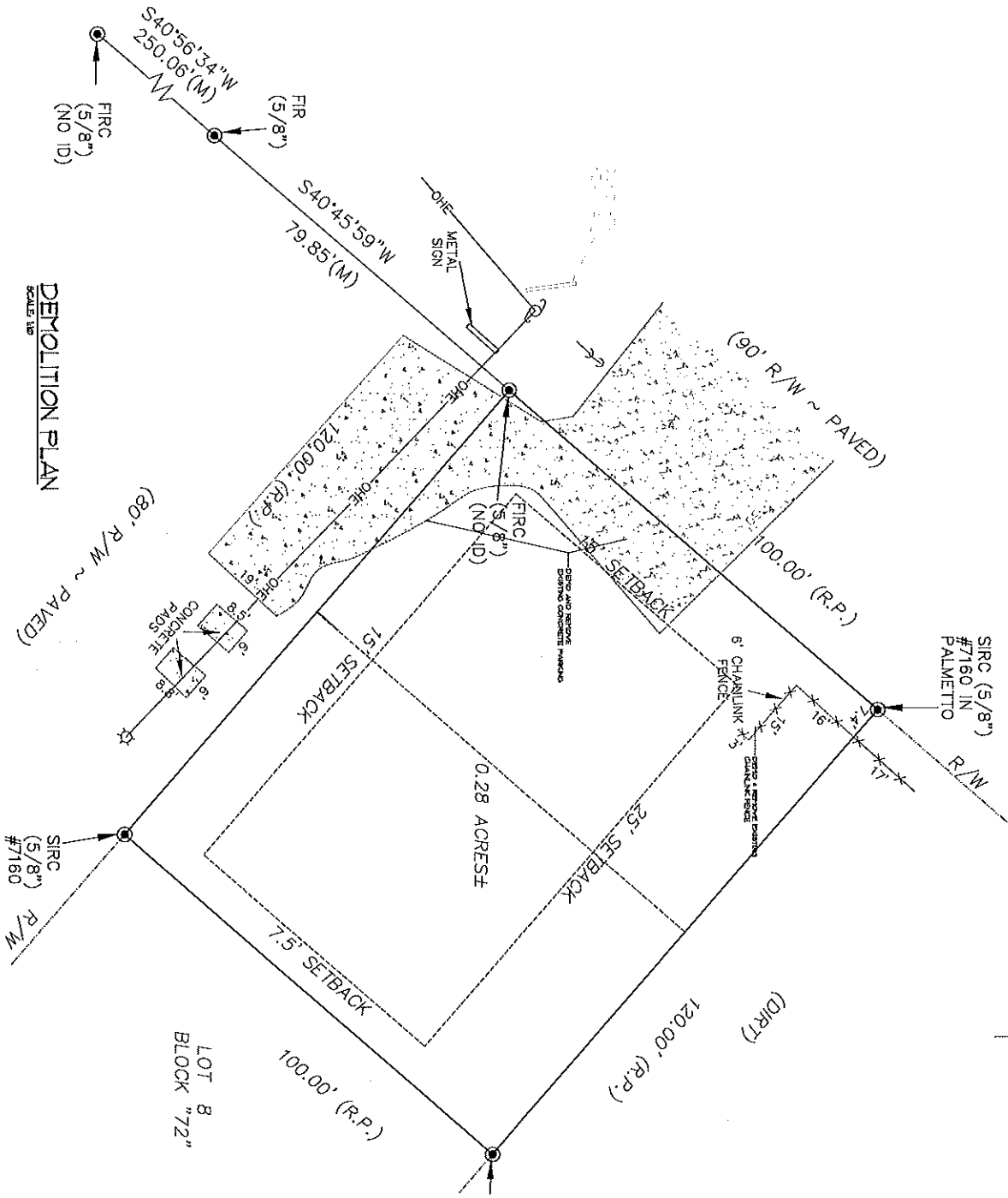
Drawn By: **JB**
 Checked By: **MB**
 Date of Plot: **2/1/21**
 Project Number: **1820 - 51**

MB
 ENGINEERING
 10000 W. UNIVERSITY BLVD.
 SUITE 100
 PALM BEACH, FLORIDA 33411
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LEGAL DESCRIPTION:

DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



CONSTRUCTION DOCUMENTS:

CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
120 AVENUE I
APALACHICOLA, FLORIDA

Sheet Number:
C02

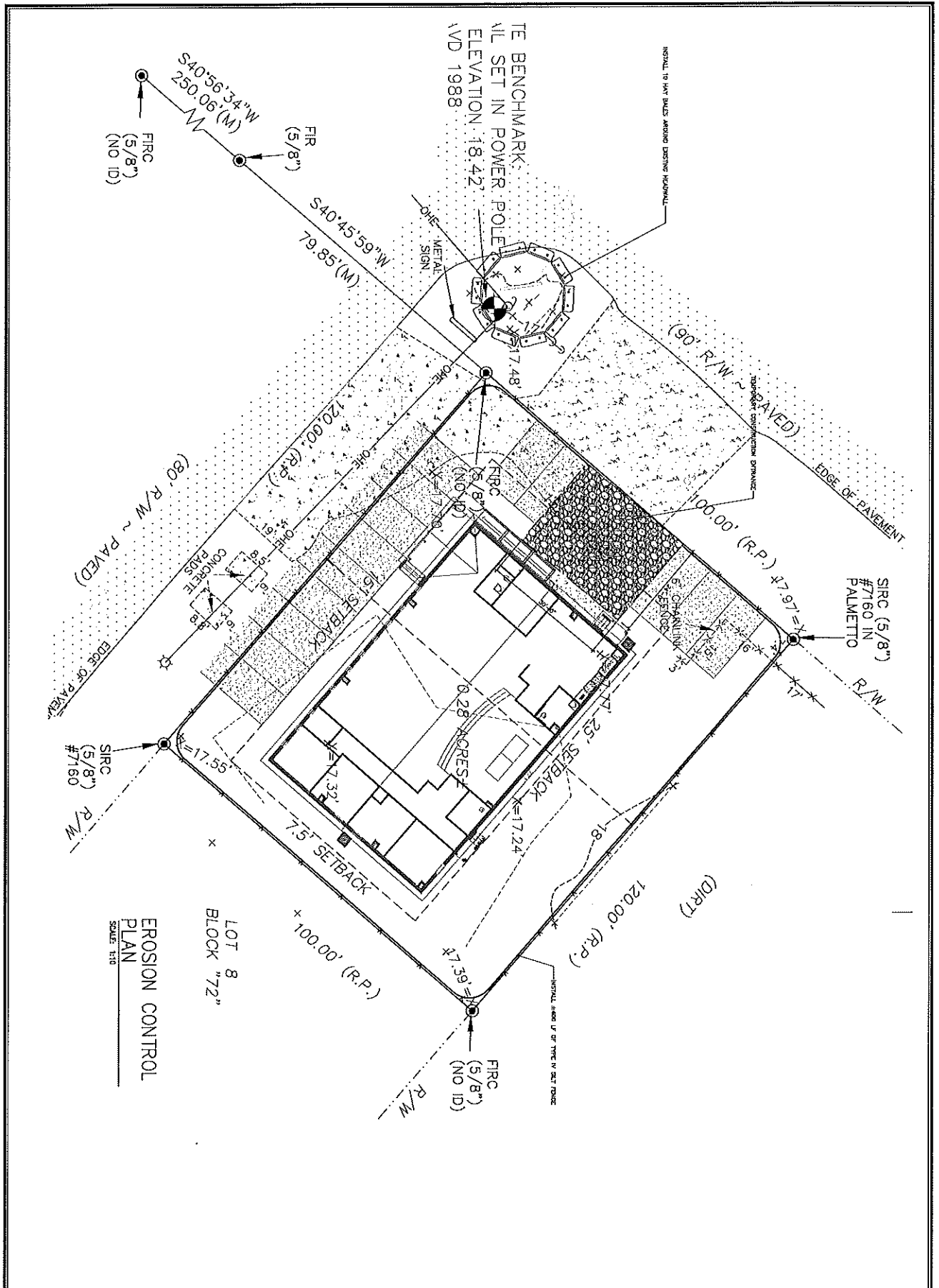
Rev.	Date	Description

Drawn By: JB
Checked By: MB
Date of Plot: 2/11/21

10000 - 51
Date of Plot: 2/11/21

The State of Florida
Professional Engineer
No. 12000 - 51
Date of Plot: 2/11/21





LOT 8
BLOCK "72"
EROSION CONTROL
PLAN
SCALE: 1/8" = 1'-0"

S40°56'34"W
250.06'(M)
FIRC (5/8")
(NO ID)

S40°45'59"W
79.85'(M)
FIRC (5/8")

TE BENCHMARK
NAIL SET IN POWER POLE
ELEVATION: 18.42'
VD 1988

SIRC (5/8")
#7160 IN
PALMETTO

SIRC (5/8")
#7160

FIRC (5/8")
(NO ID)

CONSTRUCTION DOCUMENTS
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
120 AVENUE
APALACHICOLA, FLORIDA

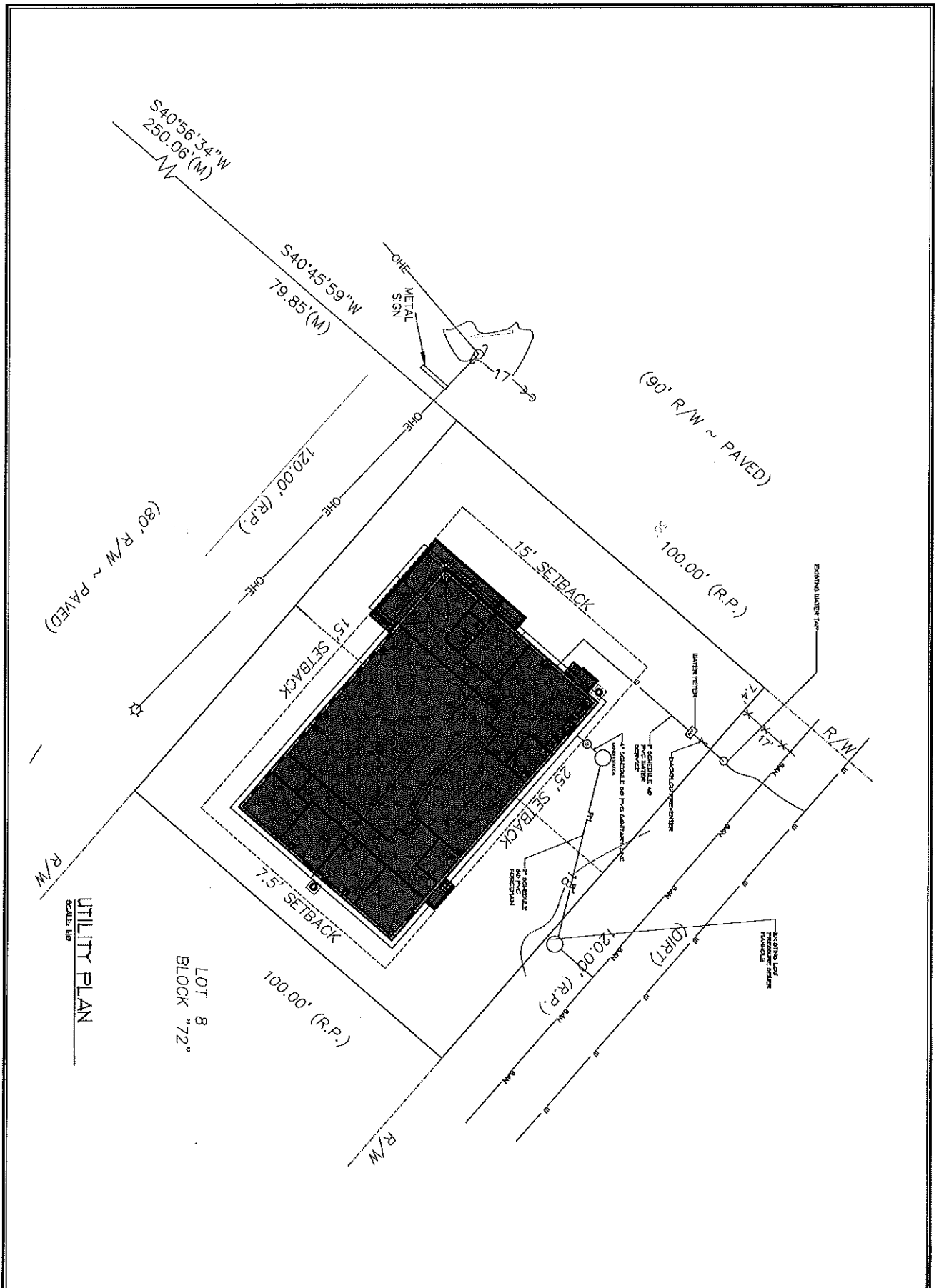
Rev.	Date	Description

Checked By: HB
Drawn By: JS
Date of Plot: 2/11/21
Project Number: 2020-51

MB
ENGINEERS
INCORPORATED
120 AVENUE
APALACHICOLA, FLORIDA 32324
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www.mbe-engineers.com

The above plans are prepared to the best of the knowledge and belief of the undersigned, and are not intended to constitute a contract. The undersigned shall not be held responsible for any errors or omissions in the above plans, or for any consequences arising therefrom, unless it is shown that the undersigned acted with gross negligence.

CI1



MB ENGINEERING	PROJECT NO. 2020-51 DATE OF PLAN 2/1/21 DRAWN BY J.B. CHECKED BY H.B.	THE PLANS HEREBY ARE OFFERED TO BE THE WORK OF THE ENGINEER AND ARCHITECT AND SHALL BE USED BY THE OWNER OR HIS AGENT WITHOUT LIABILITY TO THE ENGINEER OR ARCHITECT UNLESS OTHERWISE SPECIFIED IN WRITING. PROJECT NUMBER:	CONSTRUCTION DOCUMENTS: CHURCH CONSTRUCTION FLANS HOLINESS CHURCH OF THE LIVING GOD, INC. 120 AVENUE APALACHICOLA, FLORIDA	Rev. Date Description _____ _____ _____	C4.1 Sheet Number
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WATER AND SEWER NOTES

1. ALL UTILITY CONSTRUCTION SHALL MEET THE CITY OF APALACHICOLA WATER AND WASTEWATER UTILITY STANDARDS 2002 EDITION (AVAILABLE AT CITY HALL OR FROM PUBLIC WORKS).
2. THE CONTRACTOR SHALL MAINTAIN EXISTING WATER MAINS IN SERVICE DURING CONSTRUCTION. IN THE EVENT INTERRUPTIONS TO SERVICE ARE REQUIRED DURING CONSTRUCTION, SUCH INSTANCES SHALL BE MINIMIZED.
3. ALL NEW OR RELOCATED WATER MAINS THAT CROSS HIGHWAYS AND DRAINAGE ADJUNCTARY VALVES SHALL BE PROVIDED ON ALL HORIZONTAL LEADS.
4. SUFFICIENT VALVES SHALL BE PROVIDED IN NEW AND RELOCATED WATER MAINS SO THAT INCONVENIENCE AND SANITARY HAZARDS WILL BE MINIMIZED DURING CONSTRUCTION. VALVES SHALL BE PROVIDED IN 100-FOOT INTERVALS IN CONCRETE OR DISTRICTS AND AT 10' SPACES IN OTHER BLOCK OR 800-FOOT INTERVALS IN OTHER DISTRICTS.
5. IF THERE ARE ANY NEW OR RELOCATED WATER MAINS THAT CROSS UNDER ANY SURFACE WATER, A MINIMUM COVER OF TWO FEET SHALL BE PROVIDED UNDER THE WATER MAINS. THE COVER SHALL BE CONCRETE OR ASPHALT. THE COVER SHALL BE AT LEAST SIX INCHES THICK. THE COVER SHALL BE PROVIDED AT THE WATER MAIN CROSSINGS. THE COVER SHALL BE PROVIDED AT THE CROSSINGS, (A) FLEXIBLE WATER TIGHT JOINTS FOR THE WATER MAIN PIPE AT THE CROSSING, (B) EASILY ACCESSIBLE VALVES LOCATED IN A MANHOLE AND (C) PERMANENT TAPS ON EACH SIDE OF THE VALVE WITHIN THE MANHOLE TO ALLOW FOR SAMPLING AND INSERTION OF A SMALL TUBER TO DETERMINE LEAKAGE.
6. PROPER BACKFLOW PREVENTION ASSEMBLIES/DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH RULE 62-585.360, FAC, AND THE AWWA MANUAL #14, RECOMMENDED PRACTICE FOR BACKFLOW PREVENTION AND CROSS-CONNECTION CONTROL.
7. THIS PROJECT SHALL NOT INCLUDE ANY INTERCONNECTION BETWEEN PREVIOUSLY SEPARATE PUBLIC WATER SYSTEMS THAT HAVE SEPARATE WATER SUPPLY SOURCES. (A SPECIFIC CONSTRUCTION PERMIT IS REQUIRED FOR SUCH AN INTERCONNECTION.)
8. ALL NEW OR RELOCATED WATER MAINS THAT CROSS ANY SANITARY SEWER, STORM SEWER, FORCE MAIN, OR RELOCATED WATER LINES SHALL CROSS ABOVE SUCH PIPELINES.
9. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 610 FAC FOR THE PORTABLE WATER MAIN AND SANITARY SEWER MAINS. THE SURVEY SHALL BE CONDUCTED AT THE END OF EACH LATERAL. EACH STAKE SHALL INDICATE EITHER HORIZONTAL OR VERTICAL DIMENSIONAL DATA SO THAT THE POSITION, TYPE AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. SUBMIT THE SURVEY TO THE ENGINEER ON REPRODUCIBLE 20x8, YELLOW OR IN DIGITAL AUTOCAD FORMAT.
10. COPPER TRACER WIRE SHALL BE PLACED ON ALL PORTABLE WATER LINES AND WATER MAINS. TRACER WIRE SHALL BE CONTINUOUS WITH NO INTERRUPTIONS.
11. LOCATIONS SHALL BE PROVIDED AT END OF ALL WATER AND SANITARY SEWER MAINS. LOCATIONS SHALL BE SECURED TO THE LATERALS WITH A PLASTIC TIE STRAP.
12. WATER AND SANITARY SEWER MAINS SHALL BE LEFT UNCOVERED UNTIL INSPECTED BY THE ENGINEER OR THE ENGINEER'S INSPECTOR.
13. CONTRACTOR SHALL PROVIDE TEMPORARY STAKES (7" BY 7" WOODEN STAKES) AT THE END OF EACH LATERAL. EACH STAKE SHALL INDICATE EITHER WATER OR SANITARY SEWER LATERAL. CONTRACTOR SHALL MAINTAIN THE STAKES UNTIL AN AS-BUILT SURVEY OF WATER AND SANITARY SEWER MAINS AND LATERALS ARE COMPLETE AND APPROVED BY THE ENGINEER.
14. FOR SANITARY SEWER PRESSURE HYDROSTATIC TEST, ALLOWABLE LEAKAGE IS 1.5 GALLONS PER HOUR PER INCH OF NOMINAL PIPE SIZE PER MILE OF PIPE DURING A 24-HOUR PERIOD. OPTION: TEST DIGITAL-IRON PIPING ACCORDING TO AWWA C600, SECTION "HYDROSTATIC TESTING". USE TEST PRESSURE OF AT LEAST 120 PSI. FOR SANITARY SEWERAGE, PERFORM AIR TEST ACCORDING TO IN-5-B.
15. FOR SANITARY SEWERAGE ALIGNMENT, EACH SECTION OF THE COVERED SEWER SYSTEM SHALL BE INSPECTED FOR PROPER ALIGNMENT. INSPECTION

SHALL CONSIST OF "TAPPING" FROM MANHOLE TO MANHOLE. ANY SECTION OF THE SEWER SYSTEM WHICH DOES NOT DISPLAY THE CONCERNING ALIGNMENT, SHALL BE INSTALLED AT NO ADDITIONAL EXPENSE TO THE OWNER.

16. CLEAN AND DISINFECT WATER DISTRIBUTION PIPING SYSTEMS AND PARTS OF EXISTING SYSTEMS THAT HAVE BEEN ALTERED, EXTENDED OR REPAIRED BEFORE USE. USE PIPING AND DISINFECTING PROCEDURE PRESCRIBED BY AUTHORITIES HAVING JURISDICTION OR USE PROCEDURE PRESCRIBED BY APPROVED MANUFACTURERS. (SEE PROCEDURE DESCRIBED IN AWWA C651).
17. ALL PIPE FITTINGS, JOINT PACKINGS AND JOINTING MATERIALS, VALVES, FLEX JOINTS, AND FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE APPROVED BY THE APALACHICOLA REGIONAL WATER WORKS ASSOCIATION (AWWA 9740000).
18. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - a. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE COLOR CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-585.300(2)(b) 3, FAC, USING BLUE AS A PREDOMINANT COLOR. UNDERGROUND ALUMINUM PIPE SHALL BE SOLID BLUE. BLUE PIPE WILL HAVE A BLUE STRIPES INCORPORATED INTO OR APPLIED TO THE PIPE WALL AND UNDERGROUND PERAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPES DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE. PIPE AND FITTINGS SHALL BE MARKED WITH 30'-DEGREE INTERVALS AROUND THE PIPE. IF TAPE OR PAINT IS USED TO STRIKE PIPE DURING PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE FOR PIPE WITH AN INTERVAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. UNDERGROUND PIPE SHALL BE PAINTED BLUE OR WILL BE COLOR-CODED OR MARKED LIKE UNDERGROUND PIPE.
19. SUFFICIENT VALVES SHALL BE PROVIDED ON NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SO THAT INCONVENIENCE AND SANITARY HAZARDS WILL BE MINIMIZED DURING REPAIRS.

20. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET FROM THE CENTERLINE OF THE WATER MAIN TO THE CENTERLINE OF ANY EXISTING UNDERGROUND WATER MAIN. THE WATER MAIN SHALL BE REGULATED UNDER PART III OF CHAPTER 62-610, FAC. A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER OR A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER. IF THE BOTTOM OF THE WATER MAIN WILL BE LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IS REQUIRED. IF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER WILL BE LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM".


21. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT. BEDDING SHALL BE PROVIDED UNDER THE ENTIRE LENGTH OF THE PIPE. THE BEDDING SHALL BE LAID TO ADEQUATELY SUPPORT AND PROTECT THE PIPES AND INSUFFICIENTLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS) OR MANUFACTURERS' RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES WILL BE REMOVED FOR A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT.

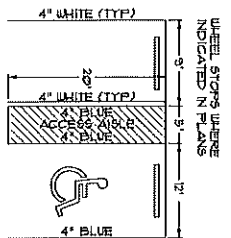
22. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET FROM THE CENTERLINE OF THE WATER MAIN TO THE CENTERLINE OF ANY EXISTING UNDERGROUND WATER MAIN. THE WATER MAIN SHALL BE REGULATED UNDER PART III OF CHAPTER 62-610, FAC. A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER OR A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER. IF THE BOTTOM OF THE WATER MAIN WILL BE LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IS REQUIRED. IF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER WILL BE LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM".

23. NEW OR RELOCATED UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY-

OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE AND THAT THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE. UNDERGROUND WATER MAINS SHALL BE REGULATED UNDER PART III OF CHAPTER 62-610, FAC. A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER OR STORM WATER FORCE MAIN OR PIPELINE. IF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER WILL BE LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM".

24. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWER OR STORM WATER FORCE MAIN OR PIPELINE. UNDERGROUND WATER MAINS SHALL BE REGULATED UNDER PART III OF CHAPTER 62-610, FAC. A HORIZONTAL DISTANCE OF AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CROSSING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, FAC.

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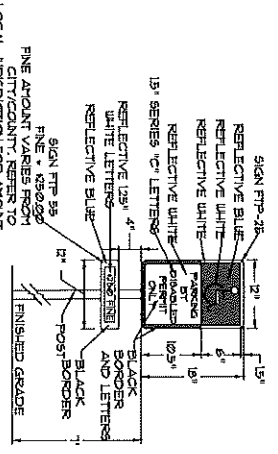
WHEEL STOPS WHERE INDICATED IN PLANS

SCALE N7A

1. SIGN CONSTRUCTION DESIGN TO BE IN ACCORDANCE WITH STATE AND LOCAL STATUTES.

PARKING DETAIL

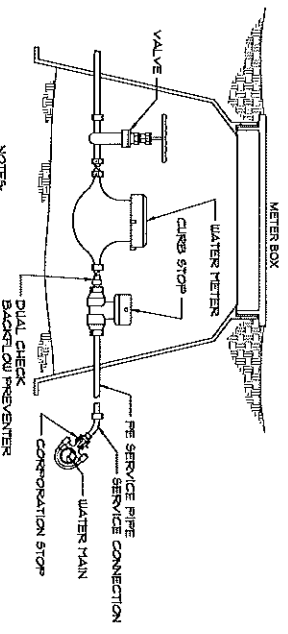
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1. SIGN CONSTRUCTION DESIGN TO BE IN ACCORDANCE WITH STATE AND LOCAL STATUTES.

H.C. SIGN DETAIL

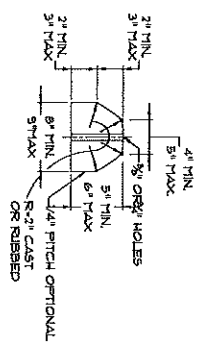
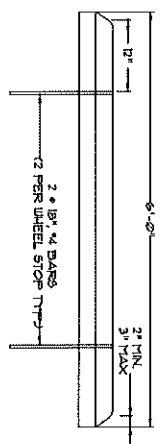
SCALE N7A



NOTES:
1. PE TUBING IS TO BE BACKFILLED BY HAND UP TO THE TOP OF THE SERVICE.

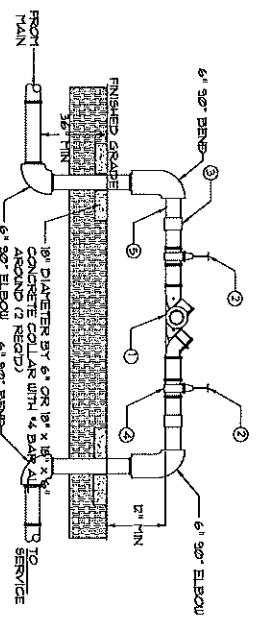
WATER METER DETAIL

SCALE N7A



CONC. WHEEL STOP

SCALE N7A



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4	6\"/> <tr> <td>5</td> <td>6\"/> </td></tr>	5	6\"/>				
5	6\"/>						

NOTES:
1. UNDER NO CONDITION SHALL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE PIPER AND A BACKFLOW PREVENTER USED FOR STREET CONTAMINANT. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED DOWNSTREAM OF METER.
2. IF A PRESSURE MONITOR IS TO BE INSTALLED, ADD A TEE VALVE FITTING. NO CONNECTIONS SHALL BE MADE PRIOR TO BACKFLOW PREVENTION DEVICE UNDER ANY OTHER APPLICATION OTHER THAN BACKFLOW DEVICE TESTING. A CONCRETE SERIES 40-000 FREEZE PROTECTION VALVE SHALL BE INCLUDED, PROVIDED AND INSTALLED OVER BACKFLOW PREVENTER AS READ BY LOCAL AUTHORITIES.

BACKFLOW PREVENTER

SCALE N7A

CONSTRUCTION DOCUMENTS:

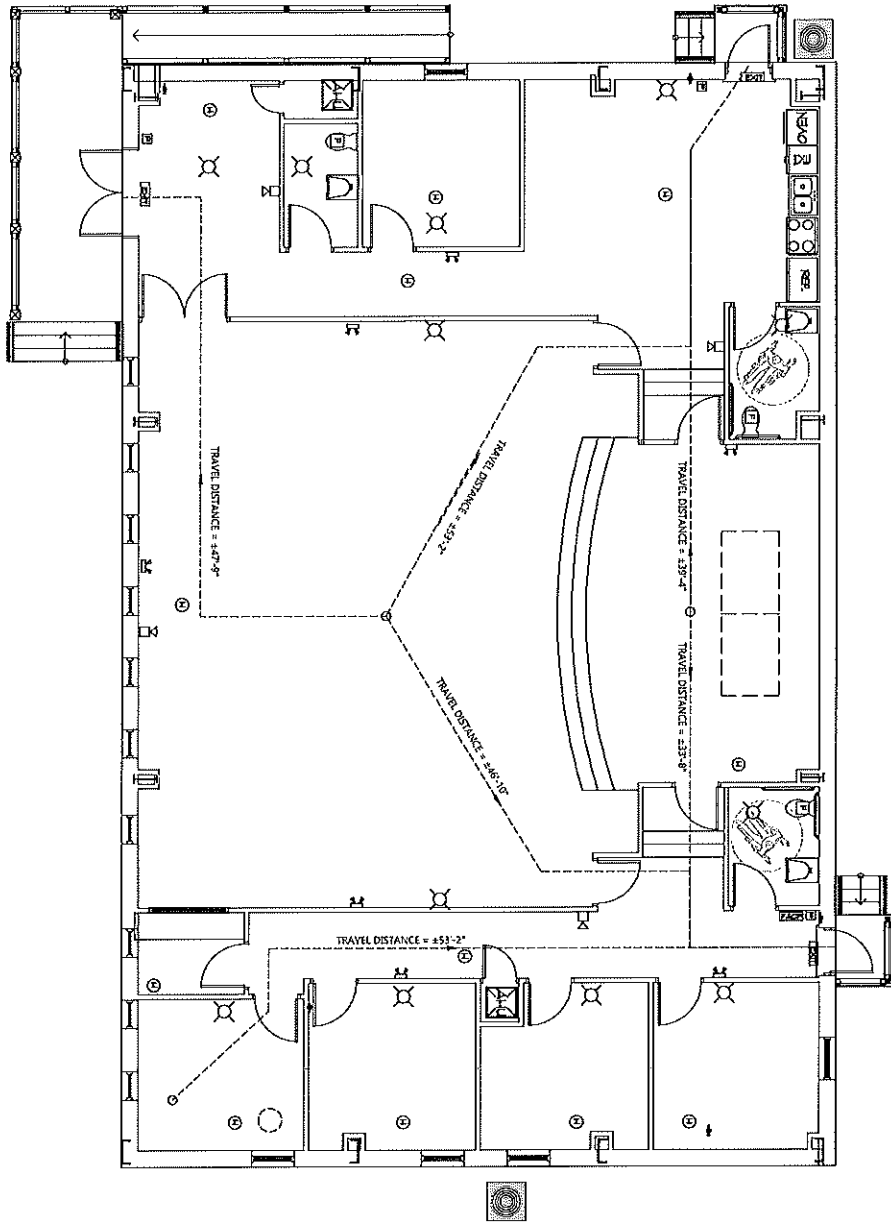
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
180 AVENUE
APALACHICOLA, FLORIDA

Rev.	Date	Description

Drawn By: MB
Checked By: MB
Date of Plot: 2/11/21
Project Number: 2020-51

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LIFE
SAFETY PLAN
SCALE: 1/4" = 1'-0"

LIFE SAFETY LEGEND

- EXIT DOOR LIGHT
- EXIT DOOR
- SMALL VENTILATED ROOF PENETRATION
- STAIRWELL WALL PLACED FIRE BATTERY BACKUP
- FULL EXIT
- EXIT ENTRANCE
- STAIR
- LOBBY AND STAIRS

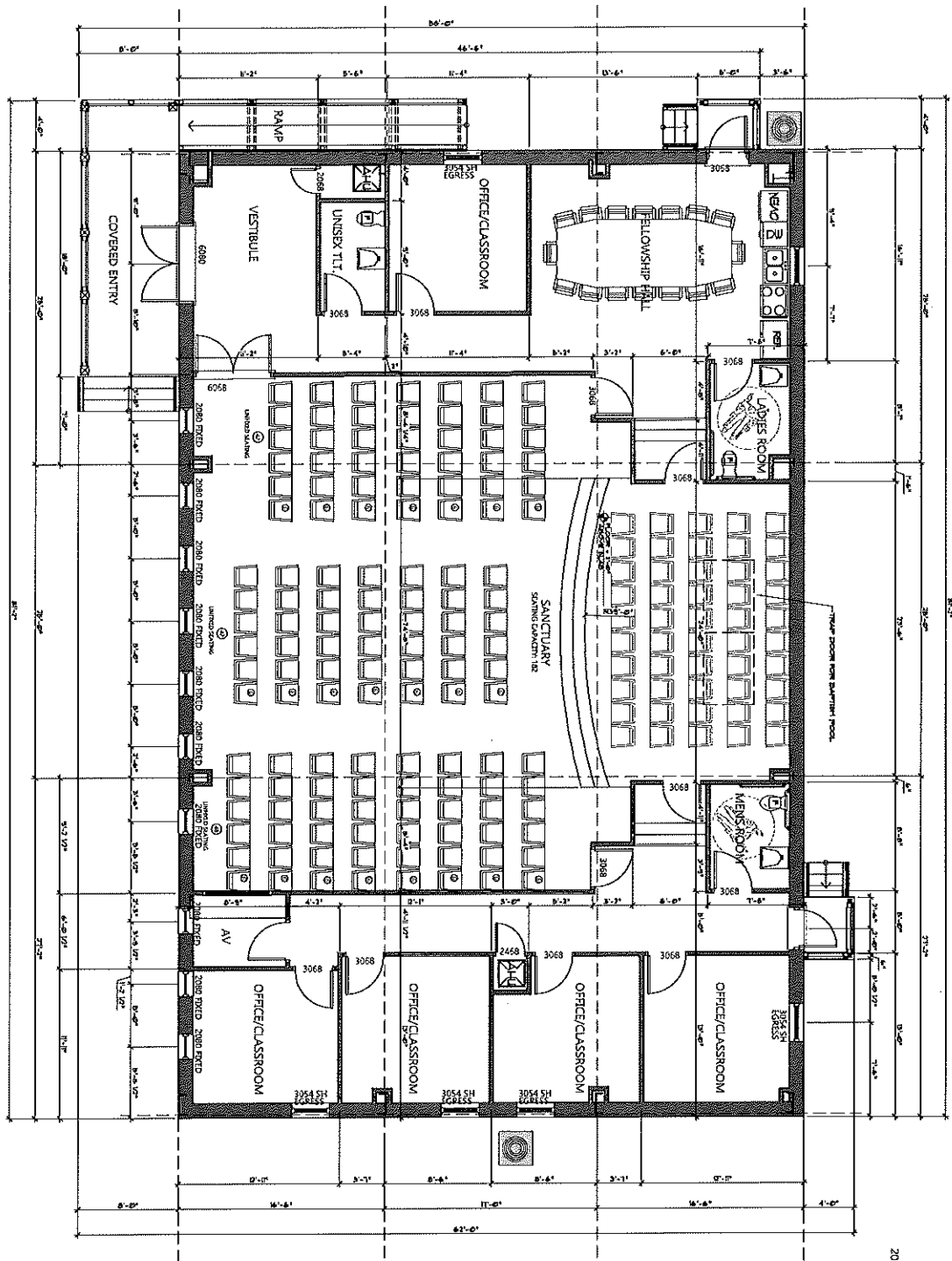
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 CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE I
 APALACHICOLA, FLORIDA

Rev.	Date	Description

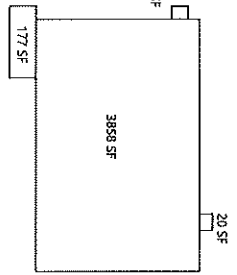
Drawn By: JB
 Checked By: MB
 Date of Plot: 2/11/21
 Project Number: 2020-57

MB
 CONSULTING ENGINEERS
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 TAMPA, FL 33606
 TEL: 813.288.1111
 WWW.MBENGINEERS.COM

The State of Florida has
 conditioned its approval to be the
 official record of this project to the
 State of Florida Department of
 Building, Industry & Consumer
 Affairs, Division of Building
 Inspection, for the
 issuance of a building permit.
 Project Number: 2020-57

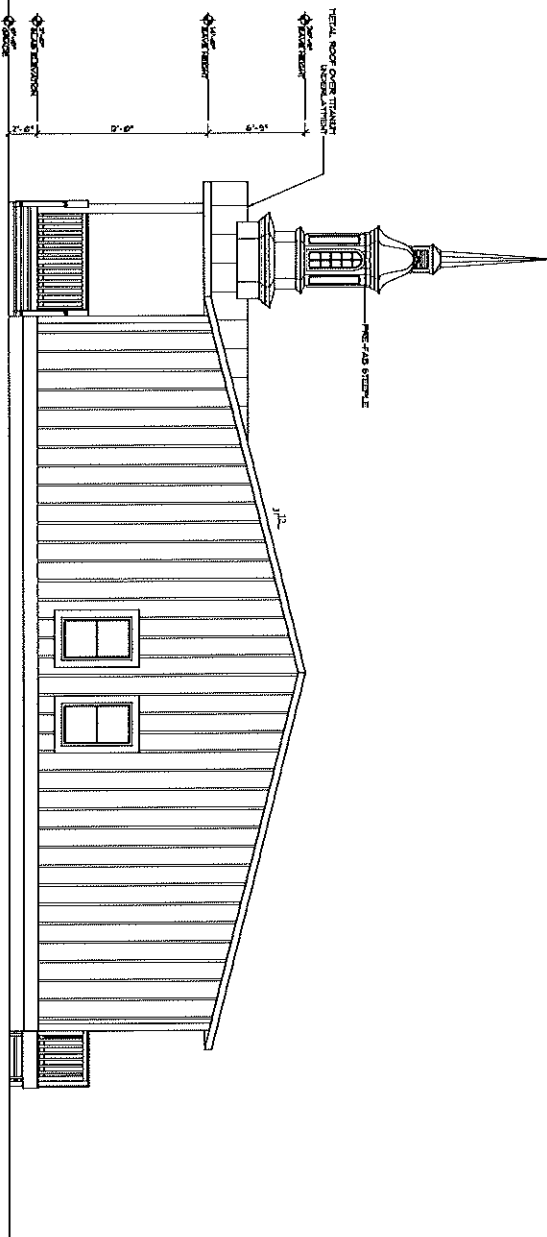


FLOOR PLAN
SCALE: 1/4" = 1'-0"

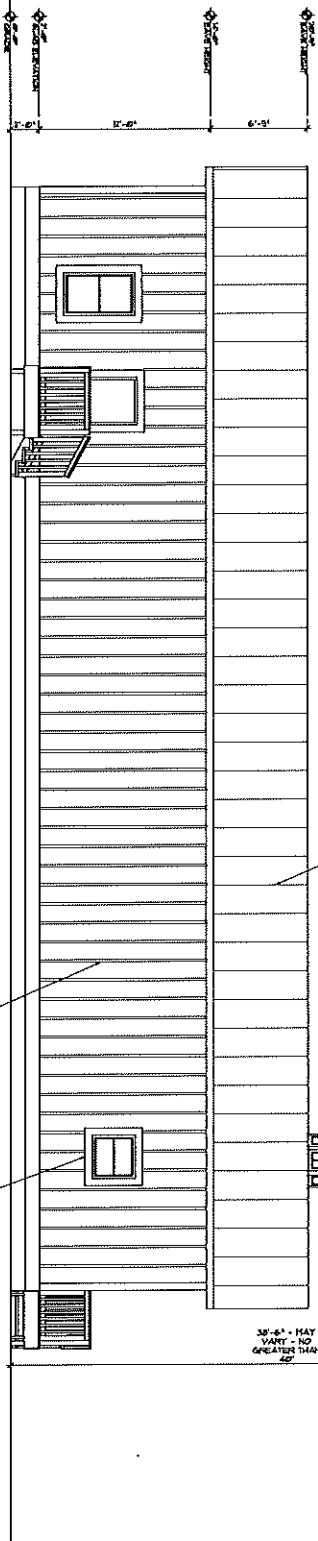


<p>MB MAY 11, 2014</p> <p>PROFESSOR/ARCHITECT 1000 UNIVERSITY AVENUE SUITE 100 GAINESVILLE, FL 32601 TEL: 352-336-1111 WWW.MBARCHITECTS.COM</p>	<p>CONSTRUCTION DOCUMENTS:</p> <p>CHURCH CONSTRUCTION PLANS HOLINESS CHURCH OF THE LIVING GOD, INC. 120 AVENUE I APALACHICOLA, FLORIDA</p>		
	<p>2010 - 51 Date of Print 2/11/21</p>	<p>Checked By: MB</p>	<p>Drawn By: JB</p>

All



**RIGHT
ELEVATION VIEW**
SCALE: 1/8" = 1'-0"



**REAR
ELEVATION VIEW**
SCALE: 1/8" = 1'-0"



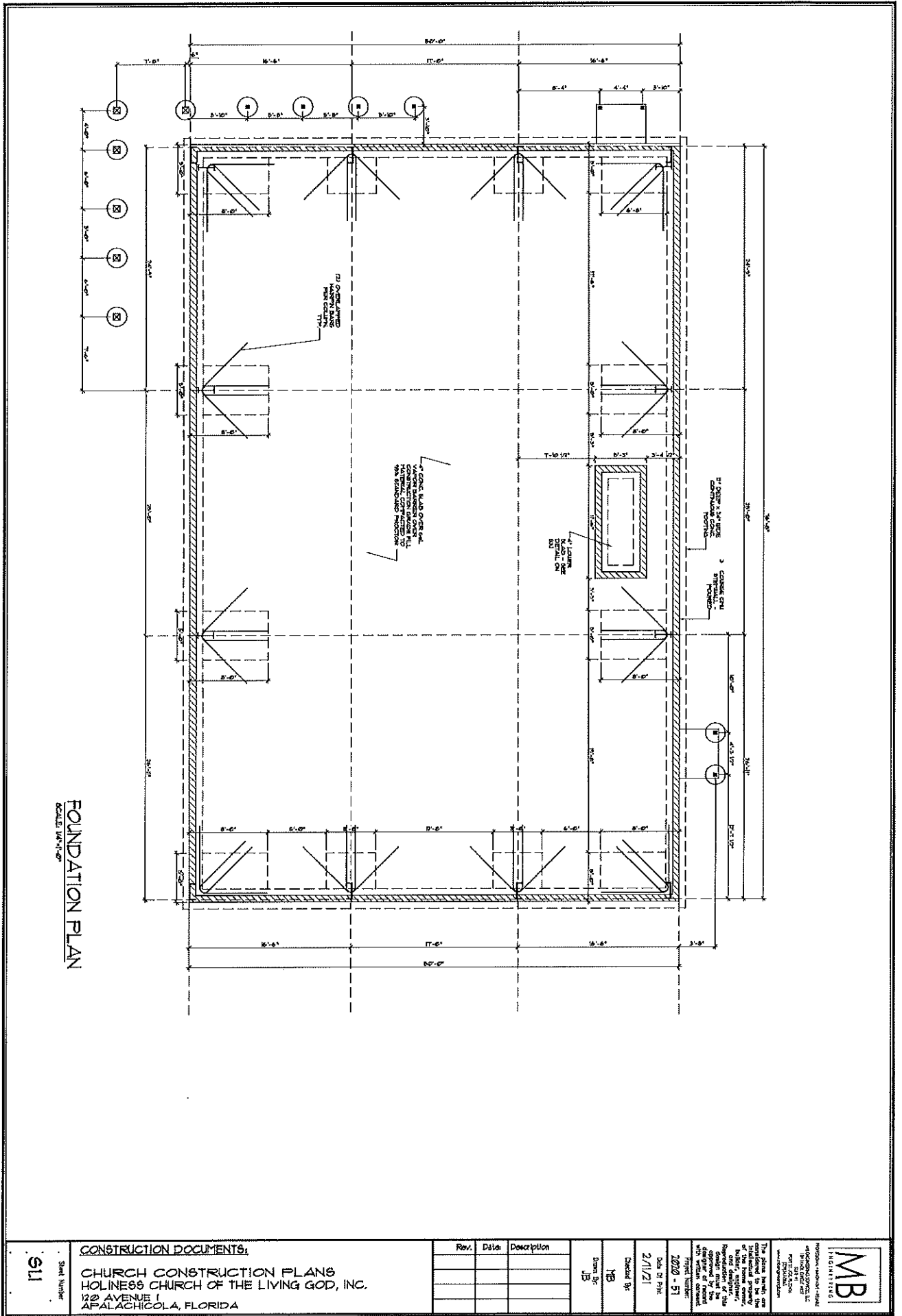
ARCHITECT - LANDSCAPE ARCHITECT
MB CONSULTING, INC.
1212 N. W. 10th St.
Fort Lauderdale, FL 33304
www.mbcconsulting.com

The client hereby certifies that the information provided to the architect is true and correct. The architect's representation of the project is based on the information provided by the client and is not to be construed as a warranty of any kind.

Project Number: 2020 - 51
Date of Print: 2/11/21
Checked by: MB
Drawn by: JB

Rev.	Date	Description

CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
1212 AVENUE I
APALACHICOLA, FLORIDA



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS:

CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE I
 APALACHICOLA, FLORIDA

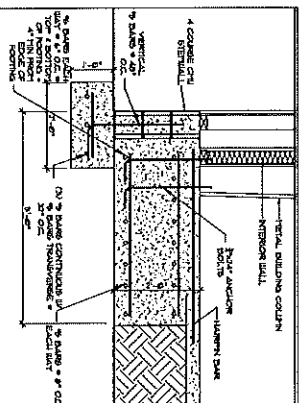
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Rev.	Date	Description

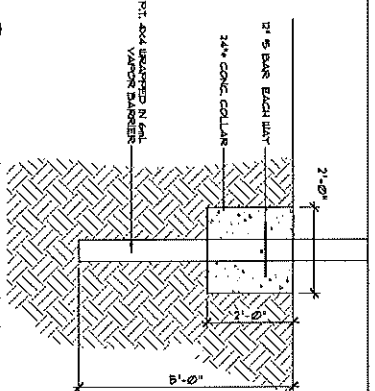
Drawn By: JLB
 Checked By: MB
 Date of Print: 2/11/21
 Project Number: 2020 - 51

MB
 ARCHITECTS
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 APALACHICOLA, FLORIDA 32320
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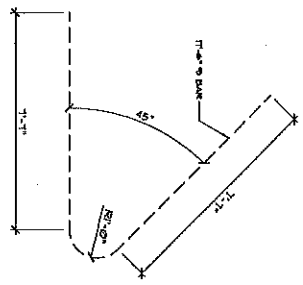
1 FOOTINGS DETAIL
SCALE: 1/4" = 1'-0"



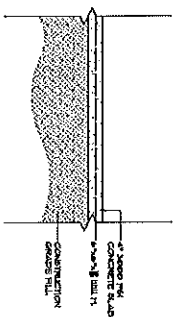
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GENERAL STRUCTURAL NOTES:

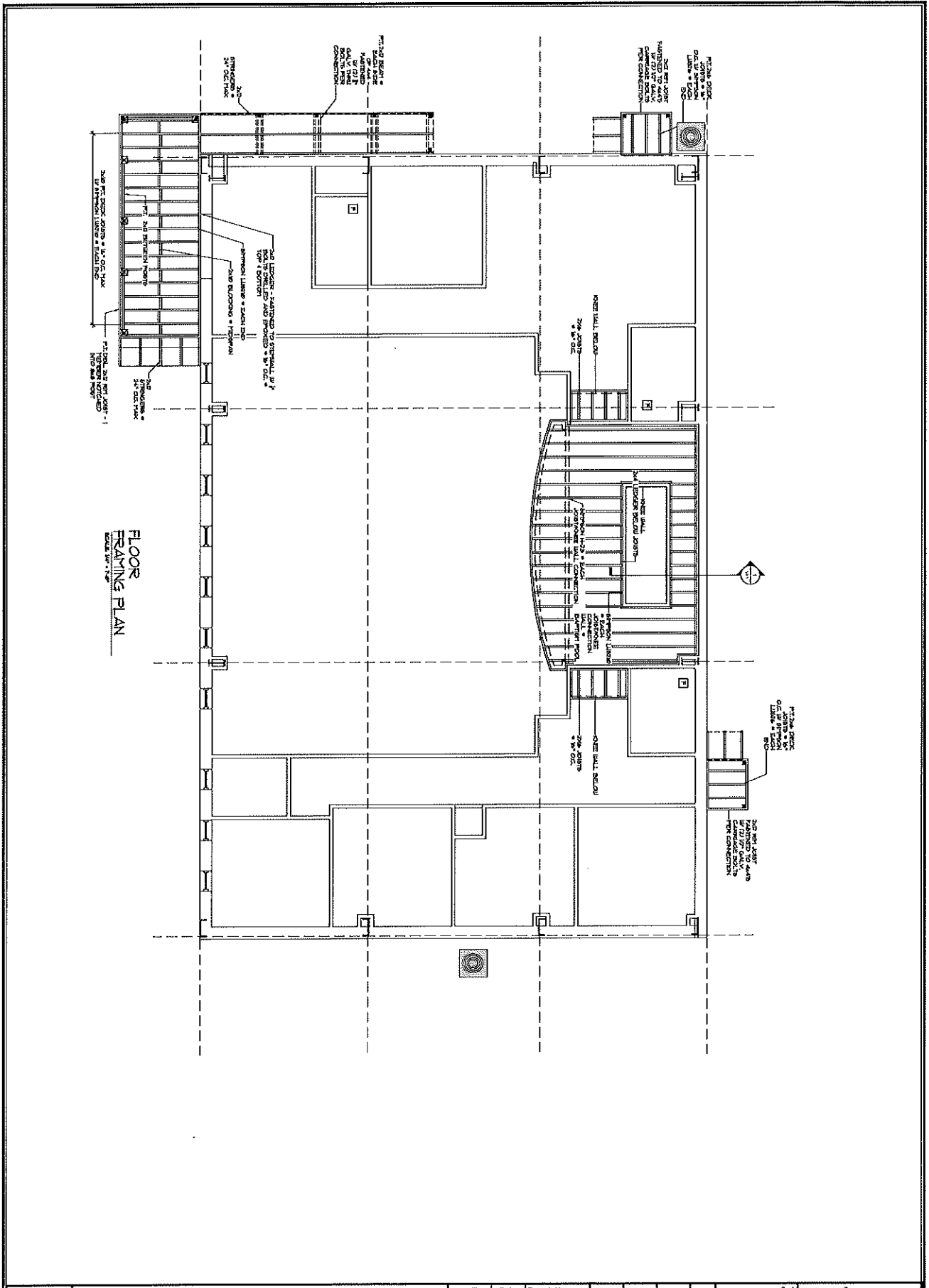
- 1) FOUNDATION DESIGN IS BASED UPON AN ASSUMED SOIL BEARING CAPACITY OF 3000 PSF. COMPACTION SHALL BE TO THE FULL DEPTH OF THE FOOTING. TEST BY A STANDARD LIQUID LIMIT TEST. PROVIDE TEST RESULTS TO ARCHITECT FOR REVIEW.
- 2) REMOVE ALL DEBRIS, WELD WIRE, ORGANIC MATERIALS AND ANY OTHER HAZARDOUS MATERIALS PRIOR TO THE PLACEMENT OF SOIL FILL. REMOVE TO A DISTANCE OF 5 FEET BEYOND THE FOUNDATION AND ANY HORIZONTAL SLAB WORK.
- 3) ALL SOIL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 6" LAYS. VIBRATOR AFTER FILL IS BROUGHT TO FULL GRADE, PERFORM SOIL COMPACTION TESTS AT A RATE OF 3000 SQ. FT. OF FOUNDATION AREA PER TEST. COMPACTION SHALL BE 98% HOMOGENEOUS. WATER CAN BE ADDED TO THE SOIL TO OBTAIN COMPACTION. FIELD TESTS SHOULD BE PERFORMED AT THE SOIL TESTING COMPANY. PERFORM SOIL COMPACTION TEST UNDER SUPERVISOR SUPERVISOR. PERFORM SOIL COMPACTION TEST UNDER SUPERVISOR. TEST THE NEXT ADJACENT FOOTING UNTIL COMPACTION IS AS SPECIFIED.
- 4) CONCRETE SHALL BE 3000 PSF DESIGN MIX AS COMPARED FROM BATCH PLANT SLIP. SHALL BE IN THE RANGE OF 47 TO 49 IN MIN. BATCH PLANT. ADJUST BATCHES AND CAN VERIFY THAT CONCRETE WILL TEST ABOVE 3000 PSF AT 28 DAYS. TAKE SLUMP TEST ON FIRST CONCRETE TRUCK AND BATCH 3 ADDITIONAL. TRACKS TO TRACK 1, TRACK 6, TRACK 11 ETC. TAKE 4 CONCRETE TEST CHANGES FROM THE SAME TRACKS AND PERFORM CONCRETE TESTING AT 7 DAYS, 14 DAYS AND 28 DAYS TO VERIFY CONCRETE STRENGTH.
- 5) CONCRETE SHALL BE PLACED PER ALL BRACKETS AND ALL ELECTRIC VIBRATOR SHALL BE INCLUDED TO CONSOLIDATE CONCRETE. CONCRETE REINFORCING MATERIALS SURFACE PLAINERS SHALL BE 3/8" OR LESS REMAINED IN ANY 9' FOOT DIRECTION AND OVERALL SLAB SHALL BE MINIMUM 1/2" OF LEVEL AT THE CORNERS OF THE BUILDING. CONCRETE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO MAKE THE SLAB FLAT AND LEVEL. VERIFY WITH THESE REQUIREMENTS.
- 6) ALL REINFORCING STEEL WITH DEVIATIONS SHALL BE GRADE 40 AND SHALL CONFORM TO ASTM A635. ALL CONTINUOUS STEEL SHALL BE LAPPED PER ACI 308 OR TYPICAL OF 2' UNLESS OTHERWISE SPECIFIED. ALL STEEL FABRICATION AND PLACEMENT SHALL TEST ACI 308 AND MINIMUM STEEL COVER SHALL CONFORM WITH ACI 308. BELTED WIRE REIN SHALL CONFORM TO ASTM A635 AND TEST SHALL PERFORM ONE FULL TEST WITH TYPICAL TO ALL CONCRETE SHALL BE FINISHED AS FOLLOWS: RUBBER FLOOR SLAB - MACHINE FINISH. BROOCH FINISH. SMOOTH - BROOCH FINISH. MACHINE FINISH. BROOCH FINISH. SMOOTH FINISH.
- 7) CONCRETE FLOOR FINISHES BY CONTRACTOR. CONCRETE SLABS TO ACCOMMODATE FLOOR FINISHES. FINISHES.



2 HAIRPIN BAR DETAIL
SCALE: 1/4" = 1'-0"



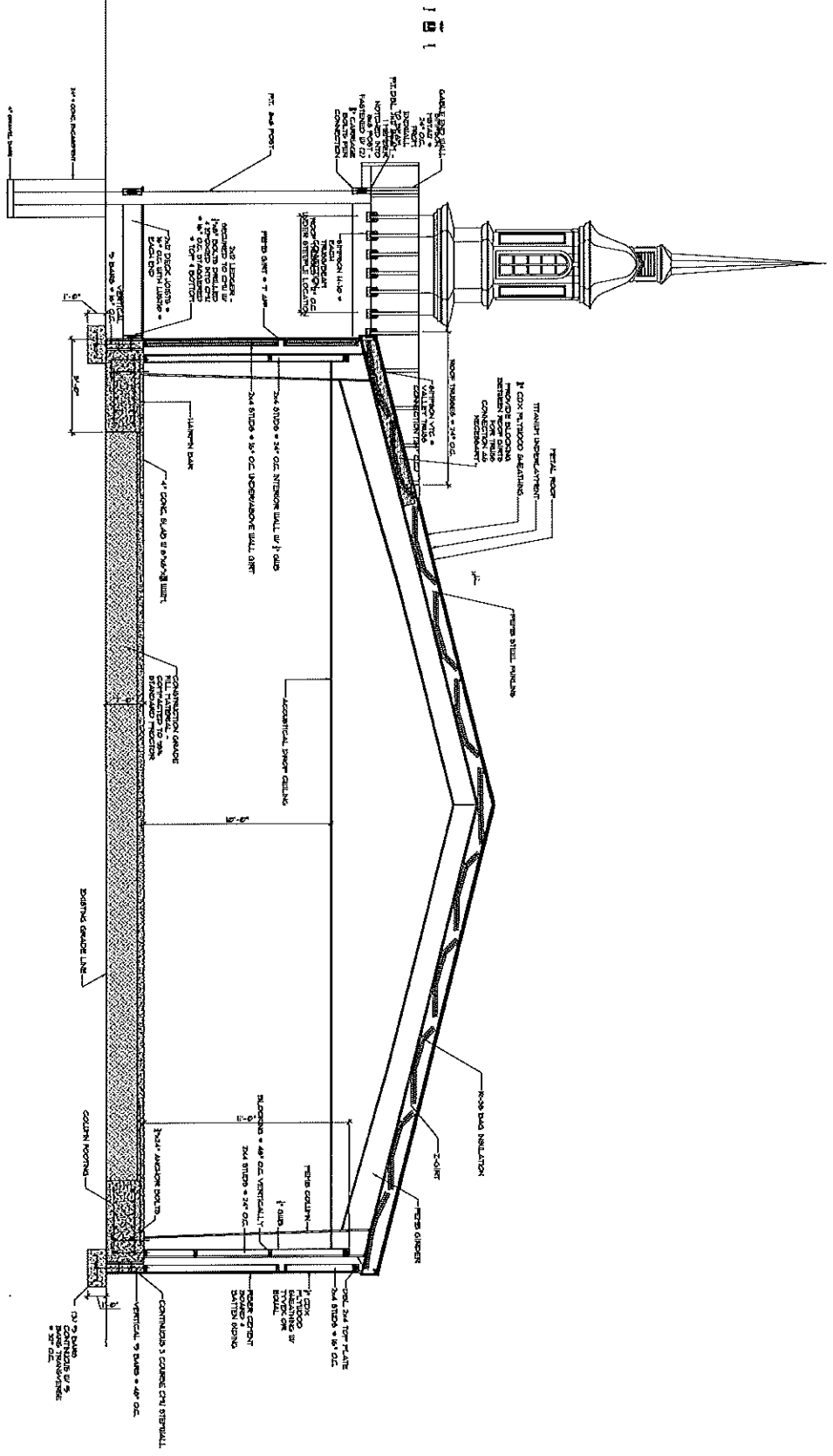
3 TYPICAL SLAB DETAIL
SCALE: 1/4" = 1'-0"



**FLOOR
FRAMING PLAN**

<p>CONSTRUCTION DOCUMENTS: CHURCH CONSTRUCTION PLANS HOLINESS CHURCH OF THE LIVING GOD, INC. 120 AVENUE APALACHICOLA, FLORIDA</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">Rev.</th> <th style="width: 10%;">Date</th> <th style="width: 80%;">Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev.	Date	Description										<p>2020 - 51 Date of Print 2/11/21 Checked By: MB Drawn By: JB</p>	<p style="text-align: center;">MB ENGINEERS</p> <p style="font-size: small;">MEMBER AMERICAN INSTITUTE OF ARCHITECTS 1000 AVENUE OF THE ARTS SUITE 1000 FT. LAUDERDALE, FLORIDA 33304 WWW.MBENGINEERS.COM</p> <p style="font-size: x-small;">This drawing shall not be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the engineer of record.</p>
Rev.	Date	Description													

Sheet Number
521



BUILDING SECTION
SCALE 3/8" = 1'-0"

CONSTRUCTION DOCUMENTS:

CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE
 APALACHICOLA, FLORIDA

Sheet Number
 541

Rev.	Date	Description

Drawn By
 JB

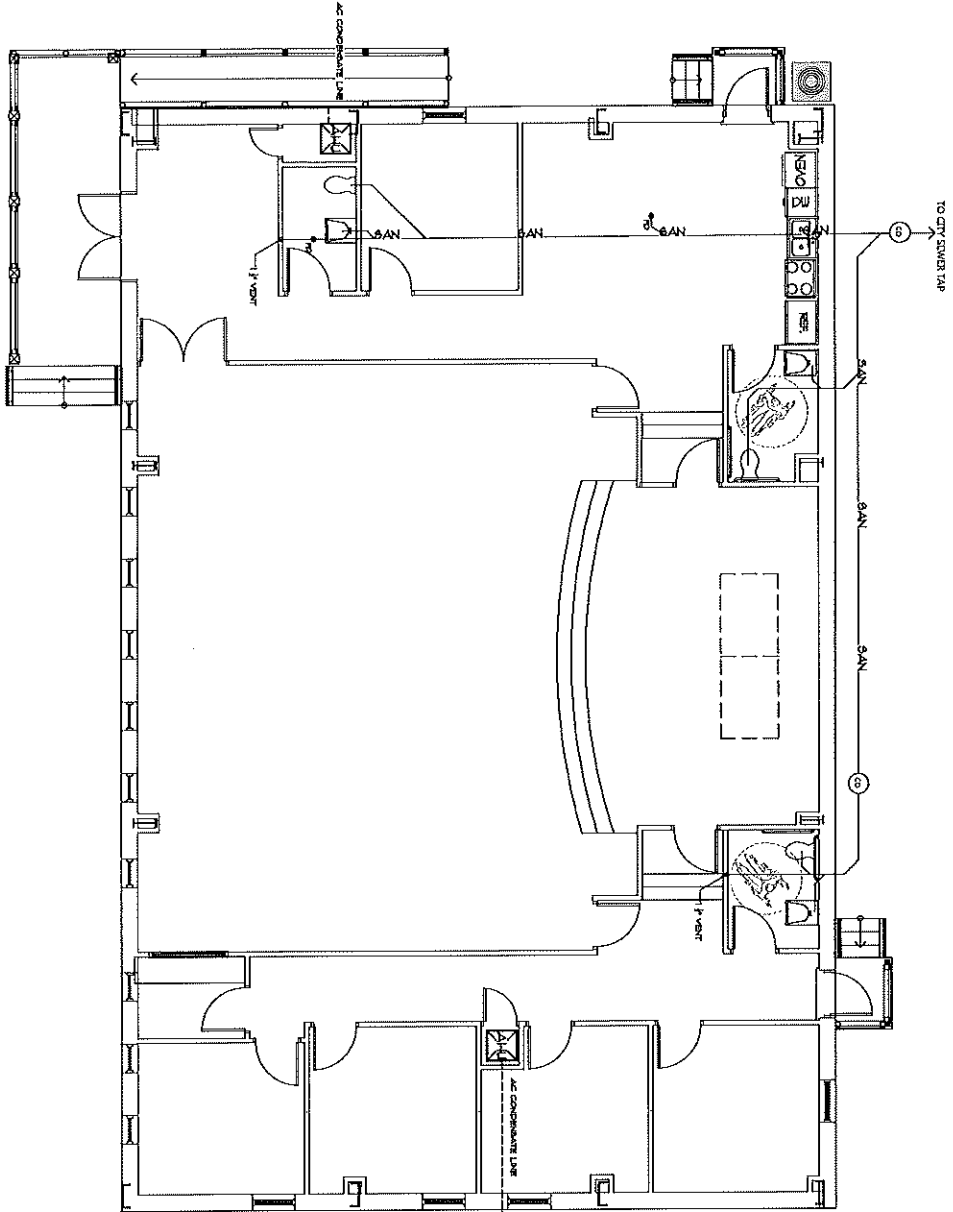
Checked By
 MB

Date of Plot
 2/1/21

Project Number
 2020-51

MB
 ENGINEERING

This plan must be conditioned to be the official record of the work shown. The contractor is responsible for the accuracy of the work shown. The contractor is responsible for the accuracy of the work shown.



TO CITY SEWER TAP

- ⊕ CLEAN-OUT
- ⊙ WALL CLEAN-OUT
- ⊙ FLOOR FINISH

SIZE (INCHES)	MIN. SLOPE (INCHES PER FOOT)
2 1/2" OR LESS	1/4"
3" - 6"	1/8"
8" OR LARGER	1/16"

FBC 1041

SANITARY PLUMBING PLAN
SCALE 1/4" = 1'-0"

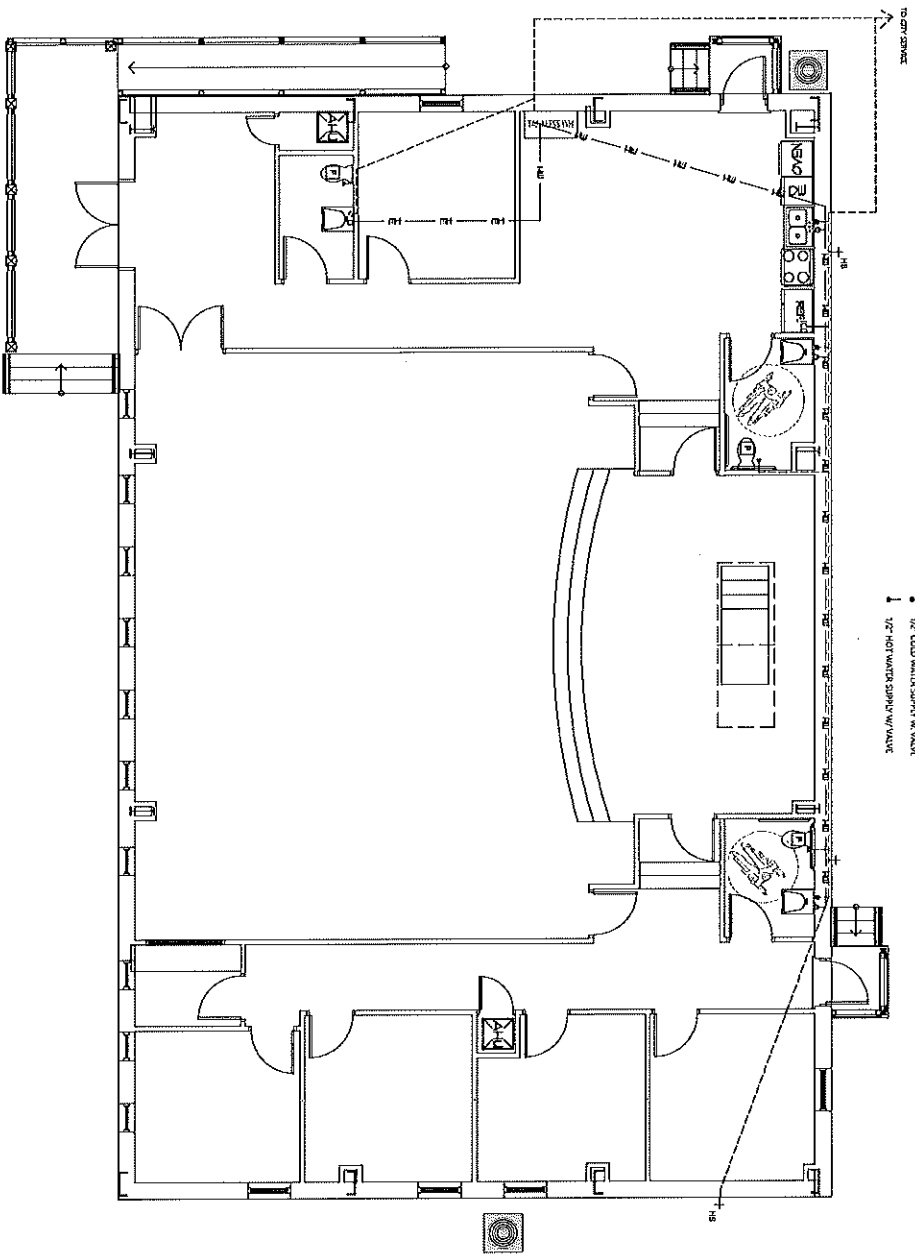
CONSTRUCTION DOCUMENTS:

CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE 1
 APALACHICOLA, FLORIDA


Rev.	Date	Description

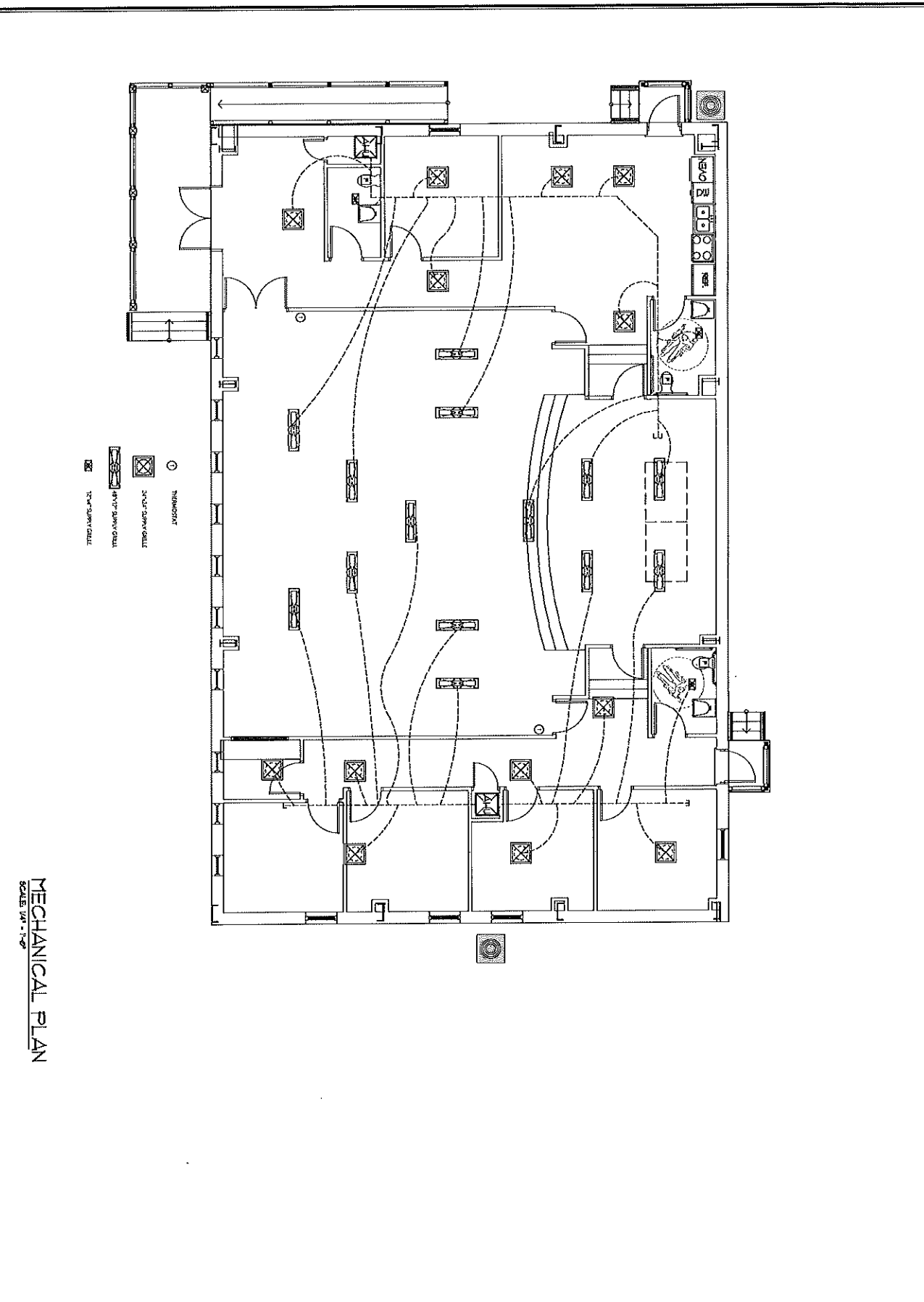
Project Number	2020 - 51
Date of Print	2/11/21
Checked By:	MB
Drawn By:	JB

IMB ENGINEERING
 PROFESSIONAL ENGINEER - CIVIL
 4000 W. STATE ROAD 120
 P.O. BOX 1210
 APALACHICOLA, FL 32320
 www.imb-engineering.com



**DOMESTIC WATER SUPPLY
PLUMBING PLAN**
SCALE: 1/4" = 1'-0"

	PROJECT NO. 20700-51 DATE OF FIELD 2/11/21 DRAWN BY HB CHECKED BY JB	THE SCALE SHOWN FOR THIS PLAN IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.	CONSTRUCTION DOCUMENTS: CHURCH CONSTRUCTION PLANS HOLINESS CHURCH OF THE LIVING GOD, INC. 120 AVENUE I APALACHICOLA, FLORIDA	SHEET NUMBER P21	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">REV.</th> <th style="width: 10%;">DATE</th> <th style="width: 80%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV.	DATE	DESCRIPTION									
REV.	DATE	DESCRIPTION															



MECHANICAL PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION DOCUMENTS:

CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 120 AVENUE J
 APALACHICOLA, FLORIDA

Sheet Number
 M11

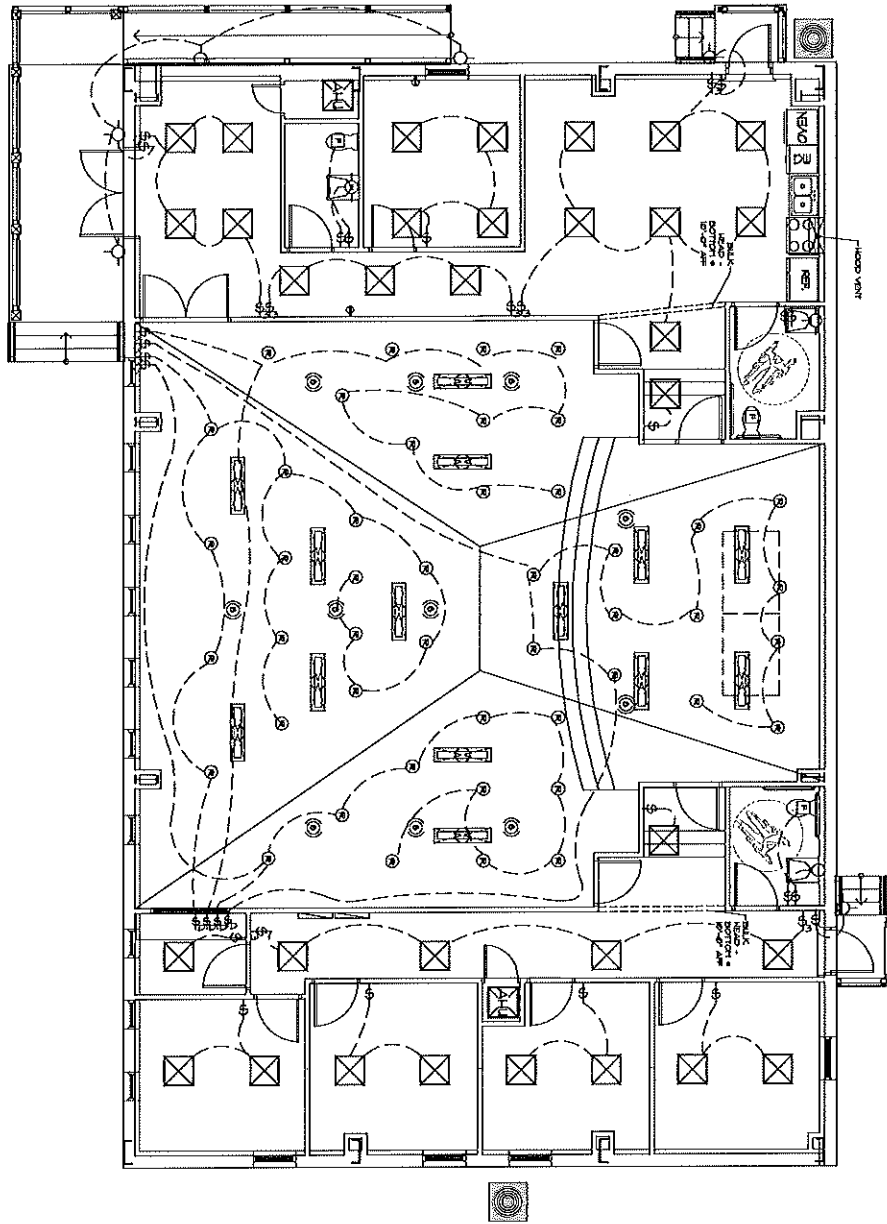
Rev.	Date	Description

Project Number	2020 - 57
Date of Print	2/1/21
Checked By	MB
Drawn By	JB

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PROFESSIONAL ENGINEER
 M. B. BROWN, INC.
 10712 E. 12th Ave.
 Jacksonville, Florida 32210
 www.mbbrown.com

MB
 ENGINEERING



**ELECTRICAL
LIGHTING PLAN**
SCALE: 1/8" = 1'-0"

- ☒ 2x4 FLUORESCENT LIGHT
- LIGHT/SHOULDER FIXTURE
- BALL MOUNTED LANTERN FIXTURE
- ⊗ RECESSED CEILING FIXTURE

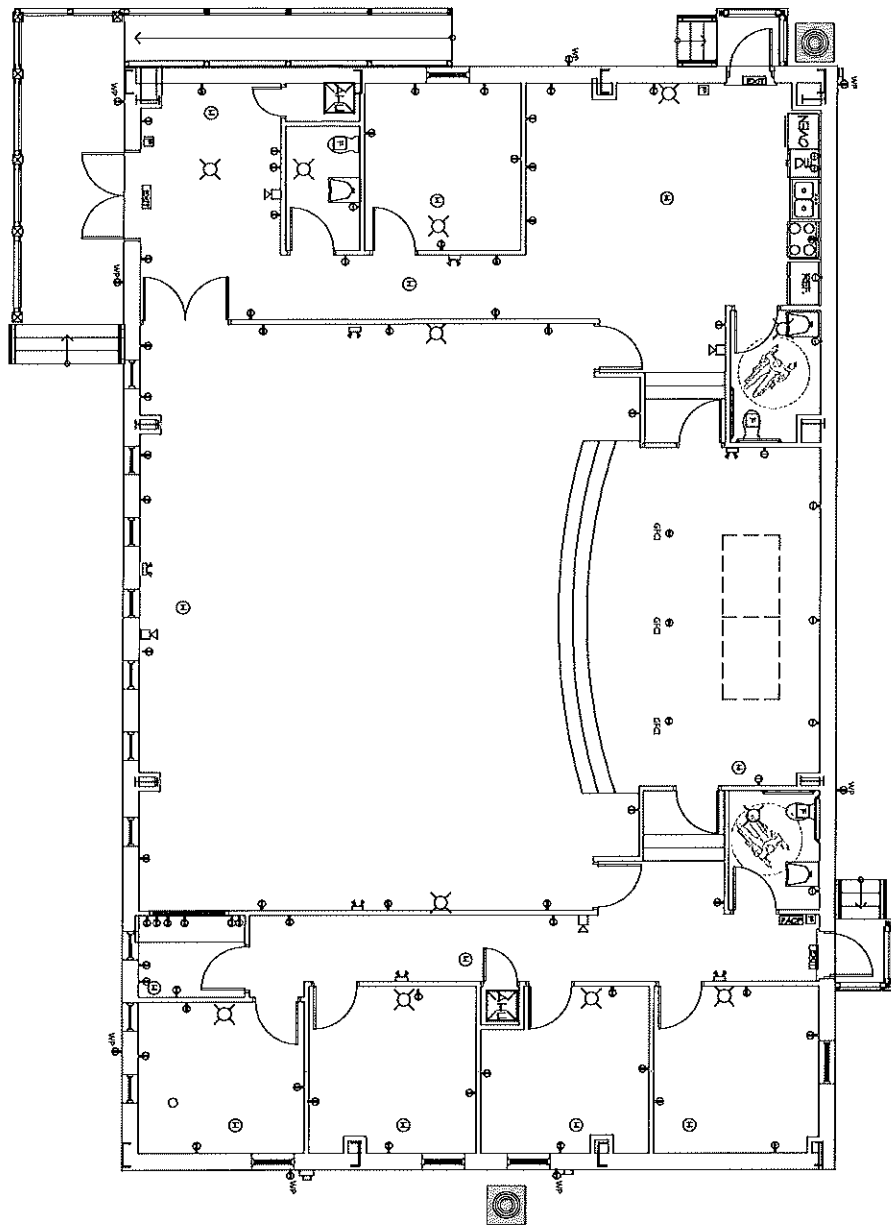
CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
 122 AVENUE 1
 APALACHICOLA, FLORIDA

Rev.	Date	Description

Drawn By: JB
 Checked By: MB
 Date of Field: 2/11/21
 2020 - 51

MB
 ARCHITECTS
 1000 N. W. 10th St.
 Ft. Lauderdale, FL 33304
 Phone: 954.521.1100
 Fax: 954.521.1101
 www.mbaa.com

The Client hereby authorizes MB Architects to provide professional services for the project described herein. MB Architects shall be the architect of record for the project. MB Architects shall be responsible for the design and construction of the project. MB Architects shall be responsible for the design and construction of the project.



**ELECTRICAL
POWER PLAN**
SCALE: 1/4" = 1'-0"

- 1. ALL WIRING, ELECTRICAL DEVICES AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
 - 2. ALL SPACE HEATING SHALL BE WIRING BACK TO THE ELECTRICAL PANEL AND HAVE A GROUNDING CONNECTION TO THE ELECTRICAL PANEL.
 - 3. ALL ELECTRICAL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
 - 4. ALL ELECTRICAL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
 - 5. ALL ELECTRICAL PANELS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
- 1. NEW FLOOR HT. OUTLET
 - 2. NEW AIR AC DISCONNECT
 - 3. NEW CONDUIT RUN ON WOOD PLATFORM - TOP OF PLATFORM 18" IN. x 2" DIA.
 - 4. BREAKER BOX
 - 5. WETTER CAN
- 1. NEW ALARM CONTROL PANEL
 - 2. EXIT LIGHT
 - 3. APPROXIMATE WALL MOUNTED BATTERY BACK UP
 - 4. FULL SWITCH
 - 5. LIGHT DIMMER
 - 6. DIMMER
 - 7. LIGHT AND DIMMER
 - 8. 200V OUTLET
 - 9. 150V OUTLET - WALL MOUNTED 1/2" AIR, 1/2" DIA.
 - 10. 150V GFCI PROTECTED OUTLET - 110V 4" AIR ON CABINET TOP.

CONSTRUCTION DOCUMENTS:
CHURCH CONSTRUCTION PLANS
HOLINESS CHURCH OF THE LIVING GOD, INC.
 122 AVENUE I
 APALACHICOLA, FLORIDA

Rev.	Date	Description

Checked By: MB
 Date of Print: 2/11/21
 Drawn By: JB

MB
 CONSULTING ENGINEERS
 4100 W. UNIVERSITY BLVD.
 SUITE 100
 JACKSONVILLE, FL 32217
 (904) 731-1111
 www.mbc-engineers.com

The client hereby certifies that the information furnished to the engineer is true and correct. The engineer is not responsible for the design of any structure or equipment not shown on these plans.

GENERAL NOTES

1. SHOW ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE 2011 EDITION OF THE NATIONAL ELECTRICAL CODE.
2. EXISTING REMAINS AND DEMOLITION LOCATIONS SHOWN ARE DISCREPANCY ONLY. CONTRACTOR SHALL FIELD VERIFY AND LOCATE AS REQUIRED. EXISTING REMAINS SHALL BE IDENTIFIED BY TAGS.
3. ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS.
4. PERmits FROM LOCAL JURISDICTIONS, COUNTY, STATE AND MUNICIPALITIES SHALL BE TO SECURE PERMITS, OBTAIN FROM THE APPLICABLE AGENCIES AND SUBMITTALS OF THE PERMITS SHALL BE PROVIDED FOR THE PERMITS FROM THE CITY.
5. THE CONDUIT MATERIAL SHALL BE AS FOLLOWS (SEE SPECIFICATION SECTION 16100 FOR DESCRIPTION AND APPROVAL):
 - A. RIGID PVC - RIGID NON-METALLIC TUBES & FITTINGS ONLY.
 - B. RIGID PVC - RIGID PVC CONDUIT - RIGID PVC CONDUIT SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS.
 - C. ABOVE GROUND SHALL BE APPROX. 18" ABOVE GROUND UNLESS OTHERWISE SPECIFIED.
 - D. ALL UNLESS OTHERWISE SPECIFIED SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS.
 - E. ALL UNLESS OTHERWISE SPECIFIED SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS.
6. THE CONDUIT SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS. THE CONDUIT SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS. THE CONDUIT SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS. THE CONDUIT SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS.
7. EQUIPMENT LOCATIONS OF ELECTRICAL EQUIPMENT SHALL BE IDENTIFIED BY TAGS. CONTRACTOR SHALL FIELD VERIFY AND LOCATE AS REQUIRED.
8. WALL OUTLETS SHALL NOT BE RELOCATED BACK TO BACK.
9. CONTRACTOR SHALL VERIFY ALL EXISTING ELECTRICAL DEVICES IN THE CHURCH, INCLUDING BUT NOT LIMITED TO RECEPTACLES, SWITCHES, JUNCTION BOXES, CONDUIT, DEVICE PLATES.
10. PROVIDE A 6"-0" MINIMUM CLEARANCE CONNECTION FROM EACH RECESSED LIGHTING FIXTURE TO JUNCTION BOX ABOVE EACH.
11. VERIFY FLOOR RECEPTACLE LOCATIONS WITH ARCHITECT FROM TO RELOCATE.
12. ALL THE LIGHT FIXTURES SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS. THE LIGHT FIXTURES SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS. THE LIGHT FIXTURES SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS.
13. VERIFY ALL POWER/TELEPHONE/COAXIAL RECEPTACLE LOCATIONS LOCATED 7" CENTER LINE OVER CORNER WITH ARCHITECTURAL DEVICES FROM TO RELOCATE. LOCATE LINE AND IDENTIFY.
14. ALL CONDUITS NOT LOCATED UNDER SLAB SHALL HAVE A MINIMUM BEND RADIUS OF 3" UNLESS NOTED OTHERWISE.
15. ALL SWITCH SWITCHES LOCATIONS IN MECHANICAL ROOMS SHALL HAVE 3"-0" MIN. OF WORKING SPACE IN FRONT OF DEVICES. CONDUITS WITH MECHANICAL CONTRACTOR AND ELECTRICAL LOCATIONS.
16. FINAL CONDUIT CONNECTIONS TO NEW PLUMBING AND MECHANICAL CONTRACTOR SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS. THE CONDUIT SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS.
17. CONTRACTOR SHALL PROVIDE ALL NEW PERMITS FROM THE APPLICABLE AGENCIES AND SUBMITTALS OF THE PERMITS SHALL BE PROVIDED FOR THE PERMITS FROM THE CITY.
18. RECEPTACLES, SWITCHES SHALL BE PROVIDED BY THE CONTRACTING OFFICE.
19. VERIFY ALL WORK SHALL WITH ARCHITECTURAL DEVICES FROM TO RELOCATE IN FOR SWITCHES.
20. CONDUIT TRAYS OR CHANNEL TRAYS SHALL BE SOLID PER N.E.C. TO PROVIDE PROTECTION OF WORKING.
21. ALL EXHAUST FAN DEVICES AND OUTLETS ARE SCHEDULED TO BE PROVIDED UNDER DIVISION 13.
22. ALL DIMENSIONS TO DEVICES ARE SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE.
23. WORKING SPACE OF 30" FROM 120/208 SYSTEMS AND 48" FROM 277/480 SYSTEMS SHALL BE MAINTAINED IN FRONT OF ALL ELECTRICAL PANELS AND DEVICES.
24. ALL WORK SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS. THE WORK SHALL BE PROVIDED WITH STRAPLESS MOUNTING HANGERS.
25. FINAL CONNECTIONS TO ALL EQUIPMENT IS SHOWN DISCREPANCY. PROVIDE FINAL CONNECTION AS REQUIRED FOR THE EQUIPMENT IS SHOWN.

CONSTRUCTION DOCUMENTS:

CHURCH CONSTRUCTION PLANS
 HOLINESS CHURCH OF THE LIVING GOD, INC.
 122 AVENUE 1
 APALACHICOLA, FLORIDA

Sheet Number
E31

Rev.	Date	Description

Drawn By: **JB**
 Checked By: **MB**
 Date of Plot: **2/11/21**
 Project Number: **22720 - 51**

MB
 ENGINEERING
 PROFESSIONAL SERVICES & DESIGN
 1000 UNIVERSITY BLVD
 SUITE 100
 GAITHERSBURG, MD 20878
 (301) 251-1100
 WWW.MBENGINEERING.COM

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#6

127 AVE B

New Residence

WilKerson

Wilkerson
 127 Avenue B, Apalachicola
 2-18-21
 Page 1 of 3

CITY OF APALACHICOLA
 COMMISSION OF APPLICANT INTEREST APPLICATION

HISTORIC DISTRICT ONLY

Official Use Only

Application # _____
 City Representative _____
 Date Received _____

APPLICANT INFORMATION

Name George & Gmie Wilkerson
 Address 127 Avenue B
 City Apalachicola State FL Zip 32320
 Phone (501) 993.0901

CONTRACTOR INFORMATION

Contractor Name Erin Rodriguez Const., LLC
 State License # CGC1521107 City License # 07-031
 Email Address erin@erconstructionllc.com
 Phone (850) 323.1601

Architect Name _____
 Staff Architect Name _____

Board Approval # _____
 Board Member Name _____
 Date _____

Reason for Appeal _____

Reason for Appeal _____

PROJECT TYPE

- New Construction
- Addition
- Renovation/Restoration
- Replacement
- Demolition

- Fence
- Private Retention
- Variance
- Other _____

PROPERTY INFORMATION

Street Address 127 Avenue B City/State Apalachicola, FL Zip 32320
 Historic District / Non-Historic District Zoning District R-1
 Parcel # 01-095-08W-0330-0044-0010 Block # 14 Lot # 1, 2, SE 1/2 3
 Zoning, Flood Zone/Flood # X
 (For AZ, AD, AH or TH please complete attached Flood Application)

OFFICIAL USE ONLY

Minimum requirement of Zoning Ordinance:
 Front 15' Rear 25' Side 15' Total Lot Coverage Max. 6,000 sq. ft.
 Not Less Than 5'
 Water Available Sewer Available Taps Field

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approved

 Director, Apalachicola Planning & Zoning Board

NOTE: This is a concept approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola's Building Permits, BPCB.

Tracy Owens
 Permitting and Development Coordinator
 (850) 655-1528
 city@apalachicolafl.com

FLOOD PLAIN MANAGEMENT
PERMIT APPLICATION REVIEW

DATE: 2.18.21

PERMIT #: _____

NAME: Enri Rodriguez Construction, LLC on behalf of George & Conie Wilkerson
MAILING ADDRESS: 88 Avenue G CITY/STATE/ZIP: Apalachicola, FL, 32320
PHONE: 850. 323. 1601

STREET ADDRESS: 127 Avenue B, Apalachicola, FL, 32320
LEGAL DESCRIPTION: Block 44 Lots 1, 2, SE 1/2 3
PARCEL I.D.#: 01-095-08W-8330-0044-0010

DESCRIBE DEVELOPMENT: Remove existing rear addition and pool. Build new rear/side addition. Build new garage. Build new pool and surrounding patio.

RESIDENTIAL: COMMERCIAL: _____ NEW STRUCTURE: _____ SUBSTANTIAL IMPROVEMENT: _____

FLOOD ZONE INFORMATION:

PANEL NO.: _____ FIRM ZONE: X IPI: _____ GRADE ELEVATION: _____

ELEVATION OF THE LOWEST HORIZONTAL SUPPORTING MEMBER OF STRUCTURE:
AND/OR TOP OF THE BOTTOM FLOOR _____ (PER PLANS)

SQUARE FEET OF ENCLOSURE BELOW IPI: N/A (PER PLANS)

FLOOD ZONE DISCLOSURE NOTICE

I/We, _____, have been made aware by the City of Apalachicola Building Department that my/our property is currently located in a 100 year flood zone based on FEMA Maps dated June 17, 2002. I/We have also been made aware that due to the proposed changes to the FIRM Maps, which took effect in 2014; my/our property may be adversely affected by these changes and could result in higher Base Flood Elevation Requirements and/or higher insurance premiums. N/A

STREET ADDRESS: _____ PARCEL I.D.#: _____
EFFECTIVE FLOOD ZONE: _____ PRELIMINARY FLOOD ZONE: _____

The attached information sheet on this parcel indicates both the effective and preliminary flood zones for this parcel. N/A

Signature of owner or developer

Date

- Wilkerson
- 127 Avenue B, Apalachicola, FL
- 2.16.21
- Pg. 2 of 3

Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Remove existing rear addition and pool. Build new rear and side addition.
Build new garage. Build new pool and surrounding patio

New rear and side addition will be roughly 700 sq. ft in heated and cooled space, and will have wood siding and be architecturally consistent with main house.
New garage will be roughly 575 sq. ft and have wood siding

Element Type	Manufacturer	Product Description	PL Product Approval #
Siding Wood		Consistent with existing wood siding on house.	
Doors Wood / Glass			
Windows Wood clad		One-over-one wood clad windows	
Roofing Metal			
Trim Wood			
Foundation Pier			
Structural N/A			
Porch / Deck Wood			
Pooling N/A			
Drainage / Retention N/A			
Other N/A			

O Wilkeson
O 127 Avenue B, Apalachicola
O 2.18.21
O Page 3 of 3

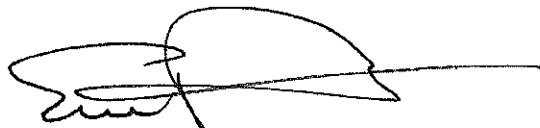
CERTIFICATION

By signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) reflect the true and proper identification of the use of this position.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permitment file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submitted may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the FEZB before work commences on these changes. There will be no change for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional responsibilities.
7. I/We understand that any decision of the FEZB may be appealed to the City Commission. Petitions to appeal shall be processed within thirty (30) days after the decision of the FEZB; otherwise the decision of the FEZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Fireproofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the FEZB Meeting and/or before the beginning of any work and in no way authorize work that is in violation of any association rules or regulations.

2.18.21

DATE



SIGNATURE OF APPLICANT

EPCI
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: _____ Permit # _____ Permit Fee _____

OWNER'S NAME: George & Connie Wilkerson

ADDRESS: 127 Avenue B

CITY, STATE & ZIP CODE: Apalachicola, FL, 32320 PHONE # 501.993.0901

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): N/A

ADDRESS: N/A

CITY, STATE & ZIP CODE: N/A PHONE # N/A

CONTRACTOR'S NAME: Erin Rodriguez Construction, LLC

ADDRESS: 88 Avenue G

CITY, STATE & ZIP CODE: Apalachicola, FL, 32320 PHONE # 850.323.1601

STATE LICENSE NUMBER: CGC1521107 COMPETENCY CARD # N/A

ADDRESS OF PROJECT: 127 Avenue B, Apalachicola, FL, 32320

PROPOSED USE OF SITE: Residence

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? YES
 NO

PROPERTY PARCEL ID # 01-095-08W-8350-0044-0010

LEGAL DESCRIPTION OF PROPERTY: Block 4A, Lots 1, 2, SE 1/2 3

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: N/A

ADDRESS: N/A CITY, STATE & ZIP: N/A

ARCHITECT'S/ENGINEER'S NAME: N/A

ADDRESS: N/A CITY, STATE & ZIP: N/A

MORTGAGE LENDER'S NAME: N/A

ADDRESS: N/A CITY, STATE & ZIP: N/A

WATER SYSTEM PROVIDER: City of Apalachicola SEWER SYSTEM PROVIDER: City of Apalachicola

PRIVATE WATER WELL: N/A SEPTIC TANK PERMIT NUMBER: N/A

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:


Single Family Townhouse Commercial Industrial
 Duplex Swimming Pool Storage Sign
 Multi-Family Demolition Other

Addition, Alteration or Renovation to building. *Remove existing rear addition & pool. Build new rear/side addition, Build new garage. Build new pool and surrounding patio.*
 Distance from property lines: Front 15' ± Rear Addition: 30' ± L. Side Addition: 22' ±
 R. Side Addition: 18' ± ; Garage: 16' ± Garage: 6' ± Pool: 6' ±
 Cost of Construction \$ 200,000 ± Square Footage Addition: 770 sq. ft. ± ; Garage: 575 sq. ft. ± ; Pool and Patio: 700 sq. ft. ±
 EPI --- Flood Zone X Lowest Floor Elevation ---
 Area Heated/Cooled 700 sq. ft. ± # Of Stories 1 # Of Units 1
 Type of Roof Metal Type of Walls Wood Type of Floor Wood
 Extreme Dimensions of: Length 55' ± Height 12' ± Width 14' ±

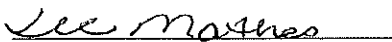
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.


 Signature of Owner or Agent

Date: 2-17-2021


 Notary as to Owner or Agent

My Commission expires: _____


 Signature of Contractor

Date: 2.16.21

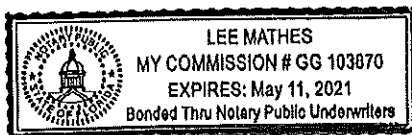


 Notary as to Contractor

My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

FL Drivers License W426-107-63-918-0





Parcel Summary

Parcel ID 01-09S-08W-8330-0044-0010
 Location Address 127 AVE B
 (CORNER OF B & 10TH) 32320
 Brief Tax Description* BL 44 LOTS 1,2 & SE 1/2 LOT 3 OR/180/447 199/632 613/765 1262/619 1277/726 1286/93
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Wilkerson George & Connie
 2128 Sea Fern Way
 St. George Island, FL 32328

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	150.00	FF	0	0

Residential Buildings

Building 1
 Type HISTORICAL
 Total Area 4,937
 Heated Area 3,382
 Exterior Walls AVERAGE
 Roof Cover MODULAR MT
 Interior Walls WALL BD/WD
 Frame Type WOOD FRAME
 Floor Cover PINE WOOD
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 0
 Stories 2
 Effective Year Built 1956

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0070	CARPORT UF	1	10 x 12 x 0	120	SF	1992
0730	UN HSE STRGE	1	8 x 10 x 0	80	SF	1992
0320	CONCRETE	1	0 x 0 x 0	140	SF	1992
0410	WD FENCE	1	0 x 0 x 0	150	LF	1992

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	12/28/2020	\$600,000	WD	1286	93	Qualified (Q)	Improved	ALLEN	WILKERSON
N	09/15/2020	\$100	WD	1277	726	Unqualified (U)	Improved	ALLEN/ALLEN	ALLEN
N	04/05/2020	\$760,000	WD	1262	619	Qualified (Q)	Improved	SPOHRER B F & LYNN W	ALLEN/ALLEN
N	03/17/1999	\$400,000	WD	613	765	Qualified (Q)	Improved	MERCER LOISE	SPOHRER B F & LYNN W

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$170,923	\$170,923	\$170,923	\$170,923	\$170,923
Extra Features Value	\$1,915	\$1,915	\$1,915	\$1,915	\$1,915
Land Value	\$210,000	\$210,000	\$180,000	\$180,000	\$180,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$382,838	\$382,838	\$352,838	\$352,838	\$352,838
Assessed Value	\$306,702	\$278,820	\$253,473	\$230,430	\$209,482
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$306,702	\$278,820	\$253,473	\$230,430	\$209,482
Maximum Save Our Homes Portability	\$76,136	\$104,018	\$99,365	\$122,408	\$143,356

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

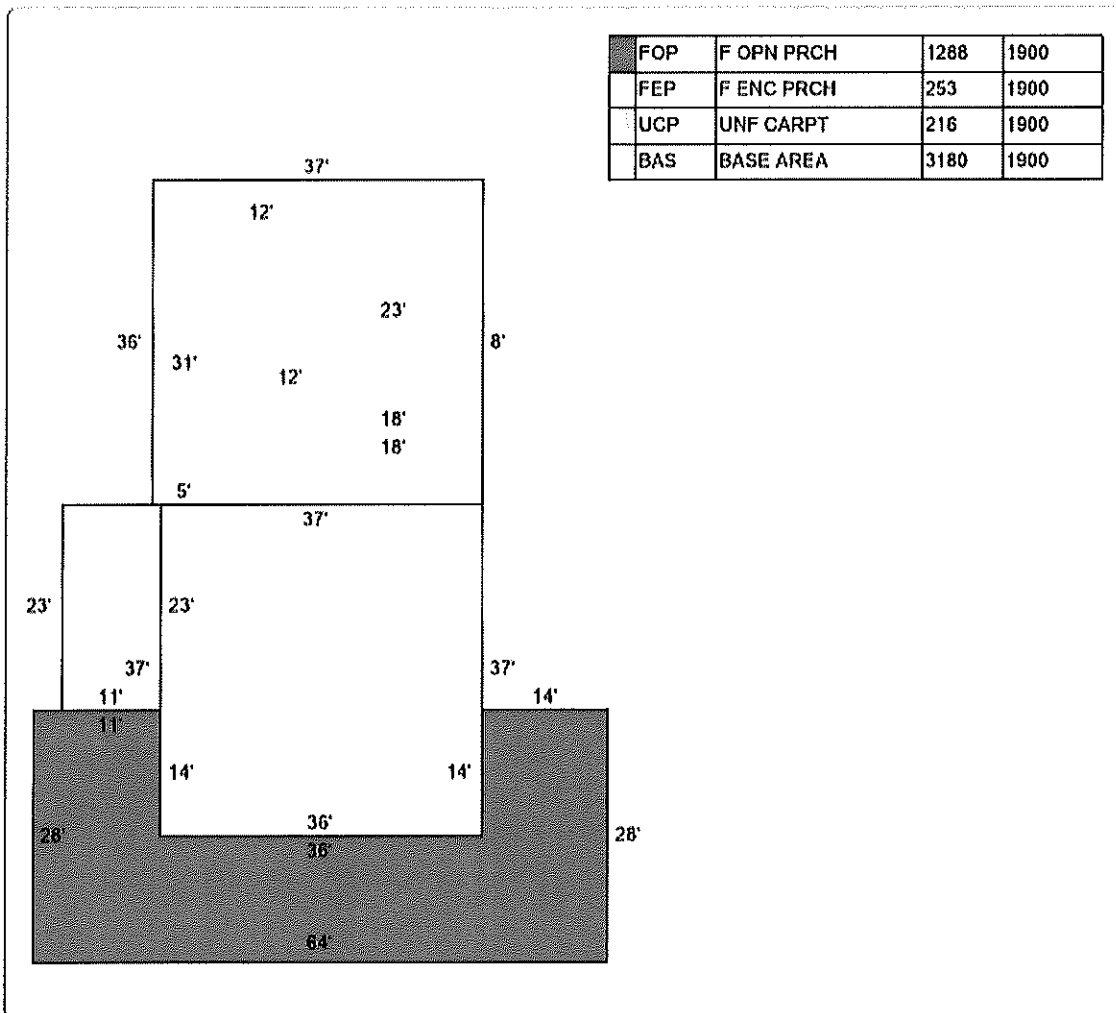
TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

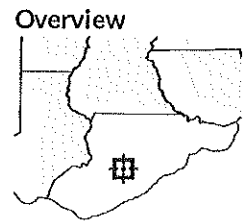
TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)




Sketches



No data available for the following modules: Commercial Buildings.



Legend

-  Parcels
-  Roads
-  City Labels

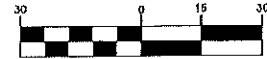
Parcel ID	01-09S-08W-8330-0044-0010	Alternate ID	08W09S01833000440010	Owner Address	WILKERSON GEORGE & CONNIE
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		2128 SEA FERN WAY
Property Address	127 AVE B (CORNER OF B & 10TH)	Acreage	n/a		ST.GEORGE ISLAND, FL 32328
District	3				
Brief Tax Description	BL 44 LOTS 1,2 & SE 1/2 (Note: Not to be used on legal documents)				

Date created: 3/1/2021
 Last Data Uploaded: 3/1/2021 7:53:52 AM

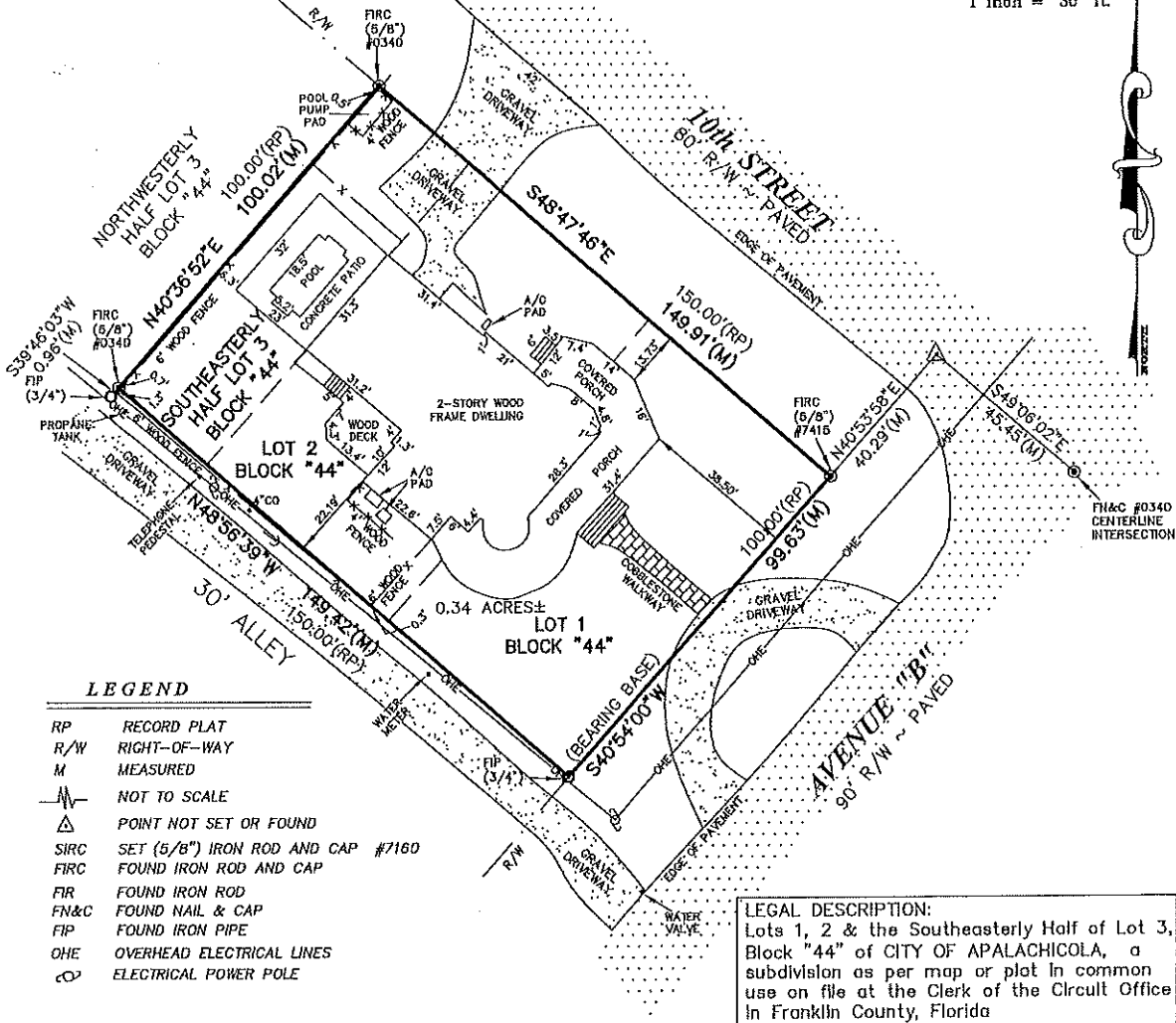
Developed by  **Schneider**
 GEOSPATIAL

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
 ALEXANDER ALLEN and ANDREA ALLEN,
 SANDERS & DUNCAN, P.A.,
 CHICAGO TITLE INSURANCE COMPANY.

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.



LEGEND

- RP RECORD PLAT
- R/W RIGHT-OF-WAY
- M MEASURED
- NOT TO SCALE
- △ POINT NOT SET OR FOUND
- SIRC SET (5/8") IRON ROD AND CAP #7160
- FIRC FOUND IRON ROD AND CAP
- FIR FOUND IRON ROD
- FN&C FOUND NAIL & CAP
- FIP FOUND IRON PIPE
- OHE OVERHEAD ELECTRICAL LINES
- ⊙ ELECTRICAL POWER POLE

LEGAL DESCRIPTION:
 Lots 1, 2 & the Southeastery Half of Lot 3,
 Block "44" of CITY OF APALACHICOLA, a
 subdivision as per map or plat in common
 use on file at the Clerk of the Circuit Office
 in Franklin County, Florida

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northwestery right of way boundary of Avenue "B" having an assumed bearing of South 40 degrees 54 minutes 00 seconds West.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. FLOOD ZONES and SETBACKS depicted hereon are not to be used for construction permitting purposes. All FLOOD ZONES and SETBACKS should be verified by the appropriate County Departments.

FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel No: 120089 0526F
 Index date: February 5, 2014, Franklin County, Florida.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.O. 6J-17.051/.052).

The undersigned surveyor has not been provided to, current title opinion or abstract of matters affecting title of, or boundary to the subject property. It is possible that there are unrecorded interests, unrecorded easements, or other matters which could affect the boundaries.

JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No: 42611

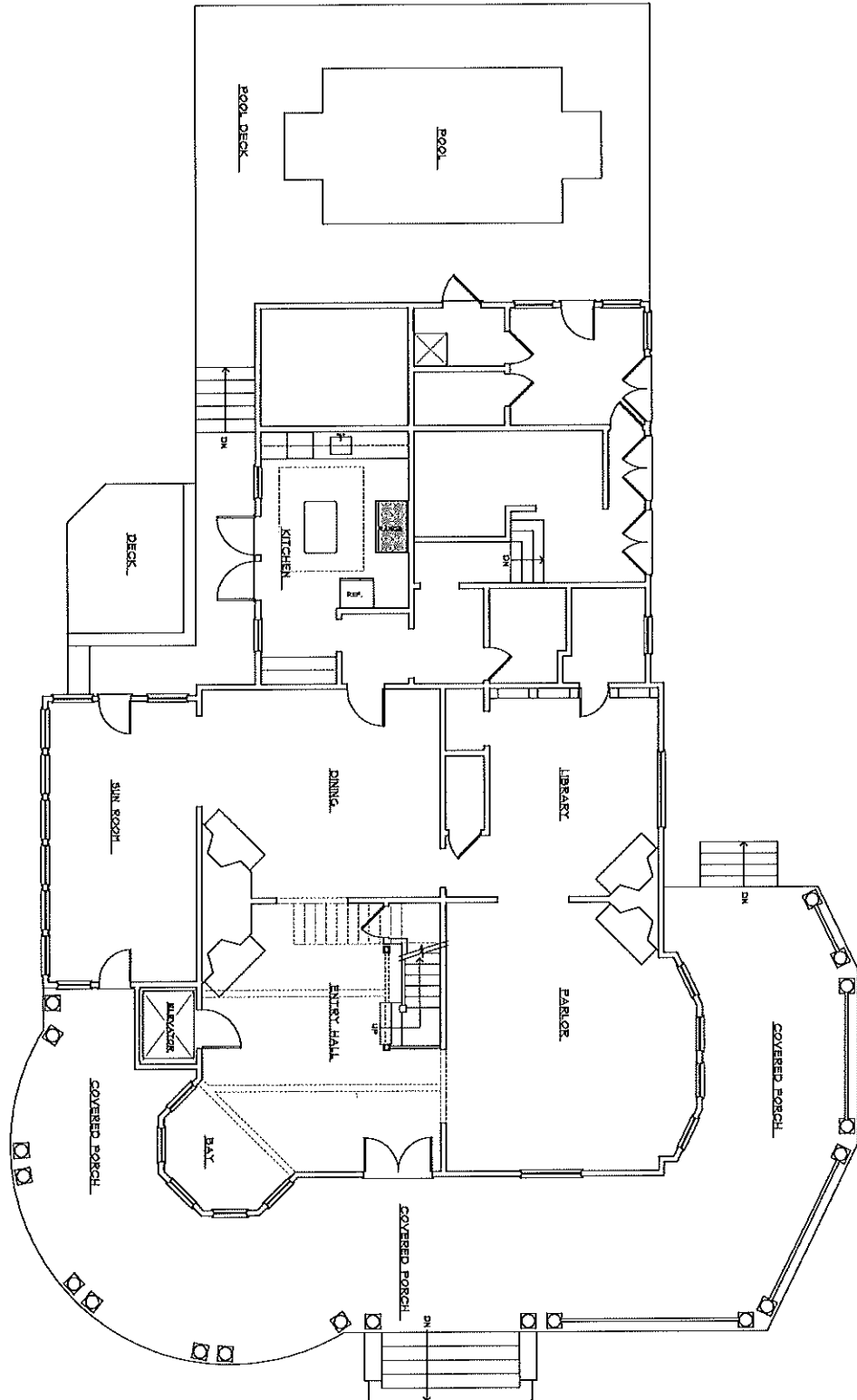


Thurman Roddenberry & Associates, Inc.

PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32318
 PHONE NUMBER: 910-542-2334 FAX NUMBER: 910-542-1103
 LB # 7140

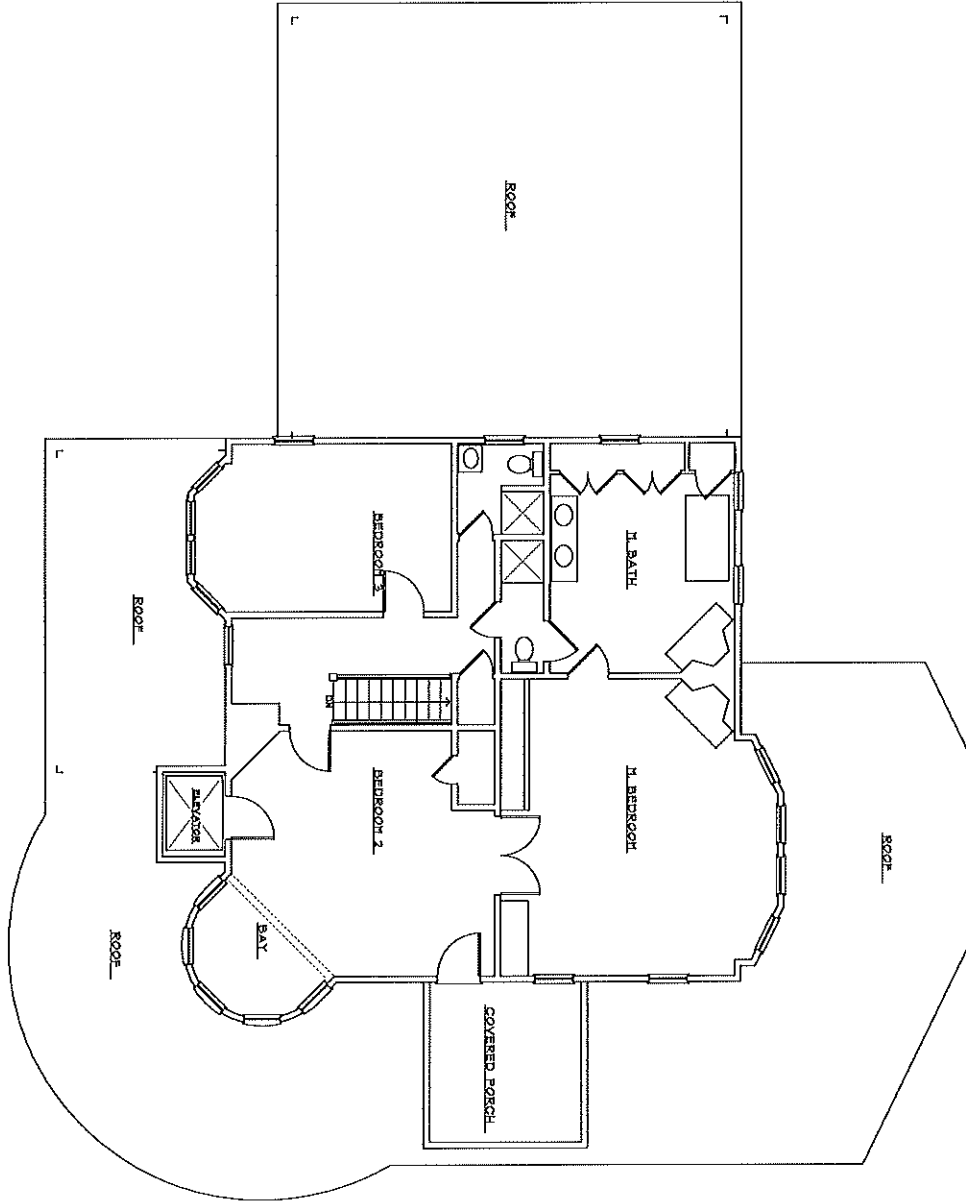
DATE: 03/17/20	DRAWN BY: BB	N.B. 825 PG. 63	COUNTY: Franklin
FILE: 00421.DWG	DATE OF LAST FIELD WORK: 03/16/20	CHECKED BY: S.D.	JOB NUMBER: 00-421

FIRST FLOOR PLAN - Existing Conditions
1/4" = 1'-0"



<p>DRAWING EX1</p>	<p>TITLE EXISTING CONDITIONS FIRST FLOOR PLAN</p>	<p>PROPOSED ALTERATIONS to the WILKERSON RESIDENCE 127 AVENUE B, APALACHICOLA, FLORIDA</p>	<p>ARCHITECT BATTLE ASSOCIATES Inc. TWO INDEPENDENCE COURT DORCHESTER, MA 01942</p>	<p>DATE: FEB. 14, 2001 REVISED</p>
-------------------------------	-----------------------------------------------------------	-----------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------	----------------------------------------

SECOND FLOOR PLAN - Existing Conditions
 1/4" = 1'-0" NOTE: DIMENSIONS ARE APPROXIMATE



DRAWING:

EX2

TITLE:

EXISTING CONDITIONS
 SECOND FLOOR PLAN

PROPOSED ALTERATIONS to the
WILKERSON RESIDENCE
 127 AVENUE B, APALACHICOLA, FLORIDA

ARCHITECT:

BATTLE ASSOCIATES Inc.

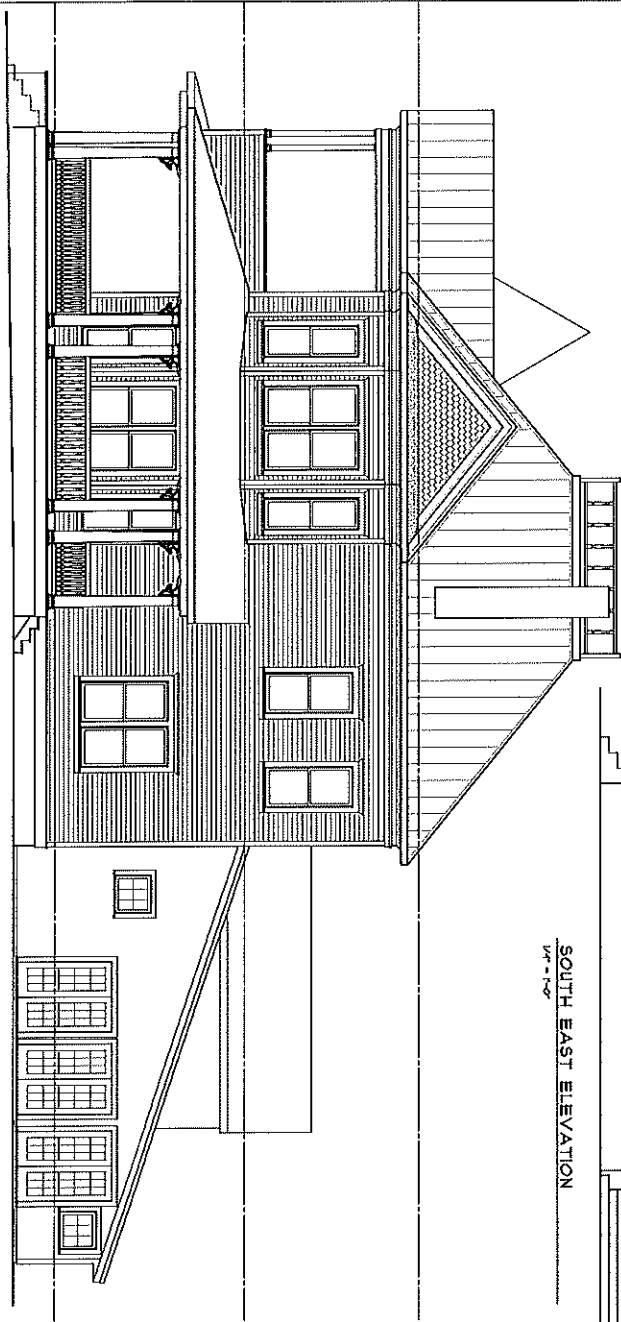
TWO DEPENDENCE COURT
 CONCORD, MA. 01742

978-309-1400

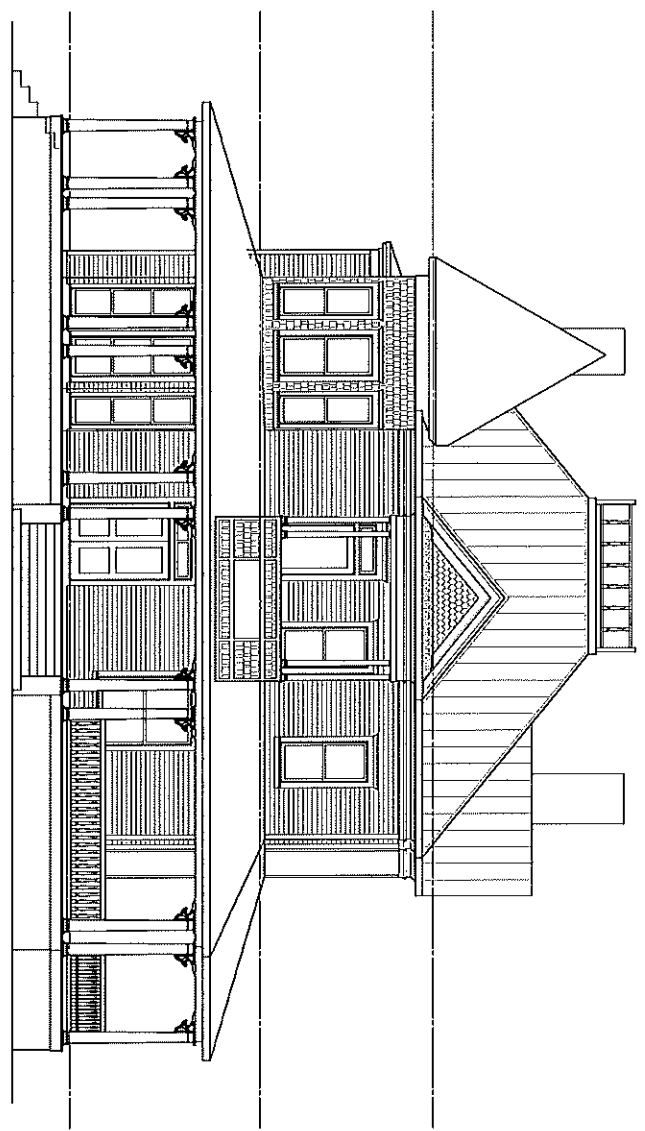
DATE: FEB. 11, 2021

REVISED

NORTH EAST ELEVATION
1/4" = 1'-0"



SOUTH EAST ELEVATION
1/4" = 1'-0"

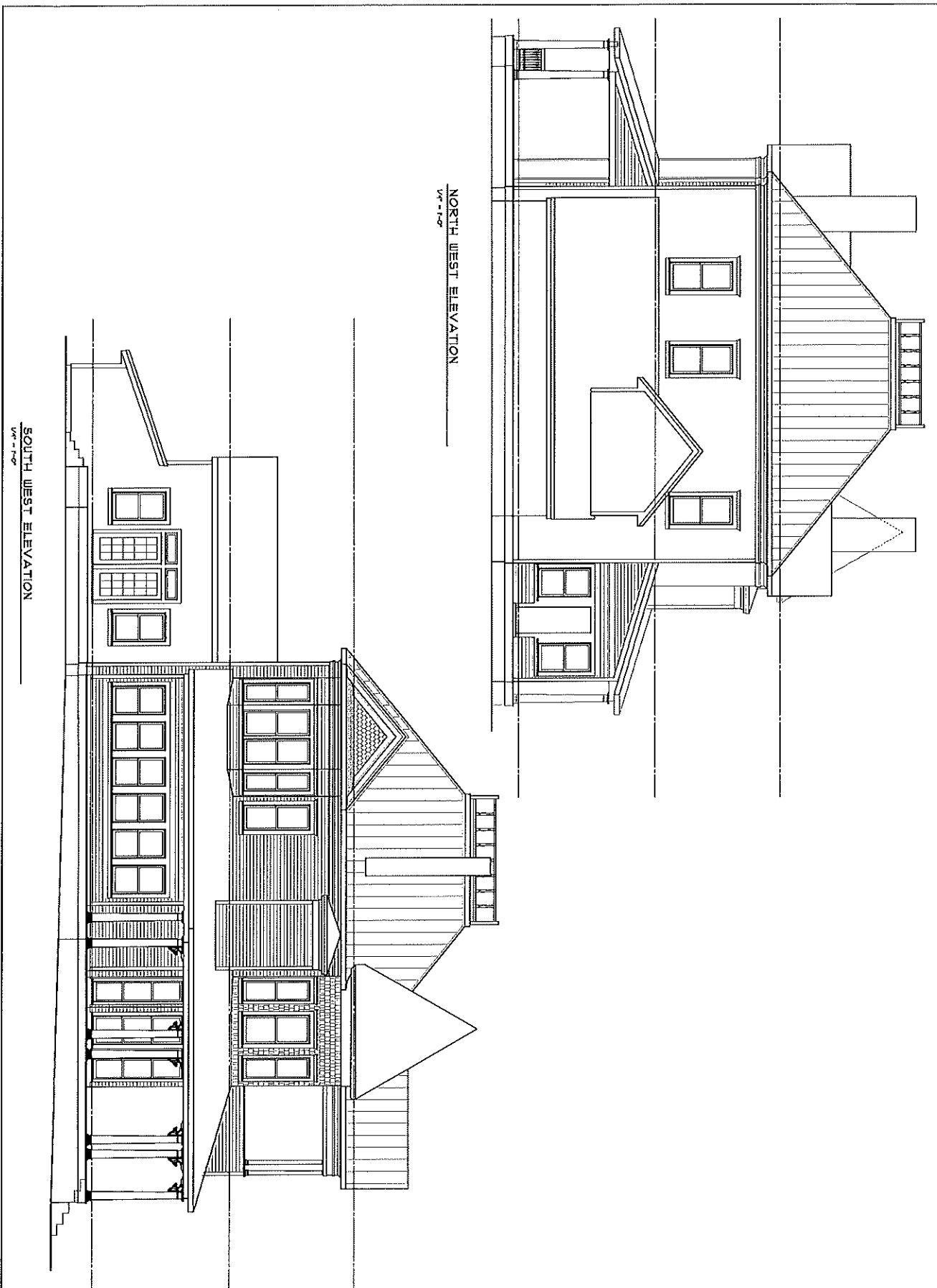


DRAWING: **EX3**
TITLE: **EXISTING CONDITIONS ELEVATIONS**

PROPOSED ALTERATIONS to the
WILKERSON RESIDENCE
127 AVENUE B, APALACHICOLA, FLORIDA

ARCHITECT:
BATTLE ASSOCIATES Inc.
170 INDEPENDENCE COURT
DUNEDIN, FL 34628
978-569-1806

DATE: **Feb. 17, 2023**
REVISED



SCALE:

TITLE:
EXISTING CONDITIONS
ELEVATIONS

EX4

PROPOSED ALTERATIONS to the
WILKERSON RESIDENCE
127 AVENUE B, APALACHICOLA, FLORIDA

ARCHITECT:

**BATTLE
ASSOCIATES Inc.**

TWO INDEPENDENCE COURT
DORCHESTER, MA 01948

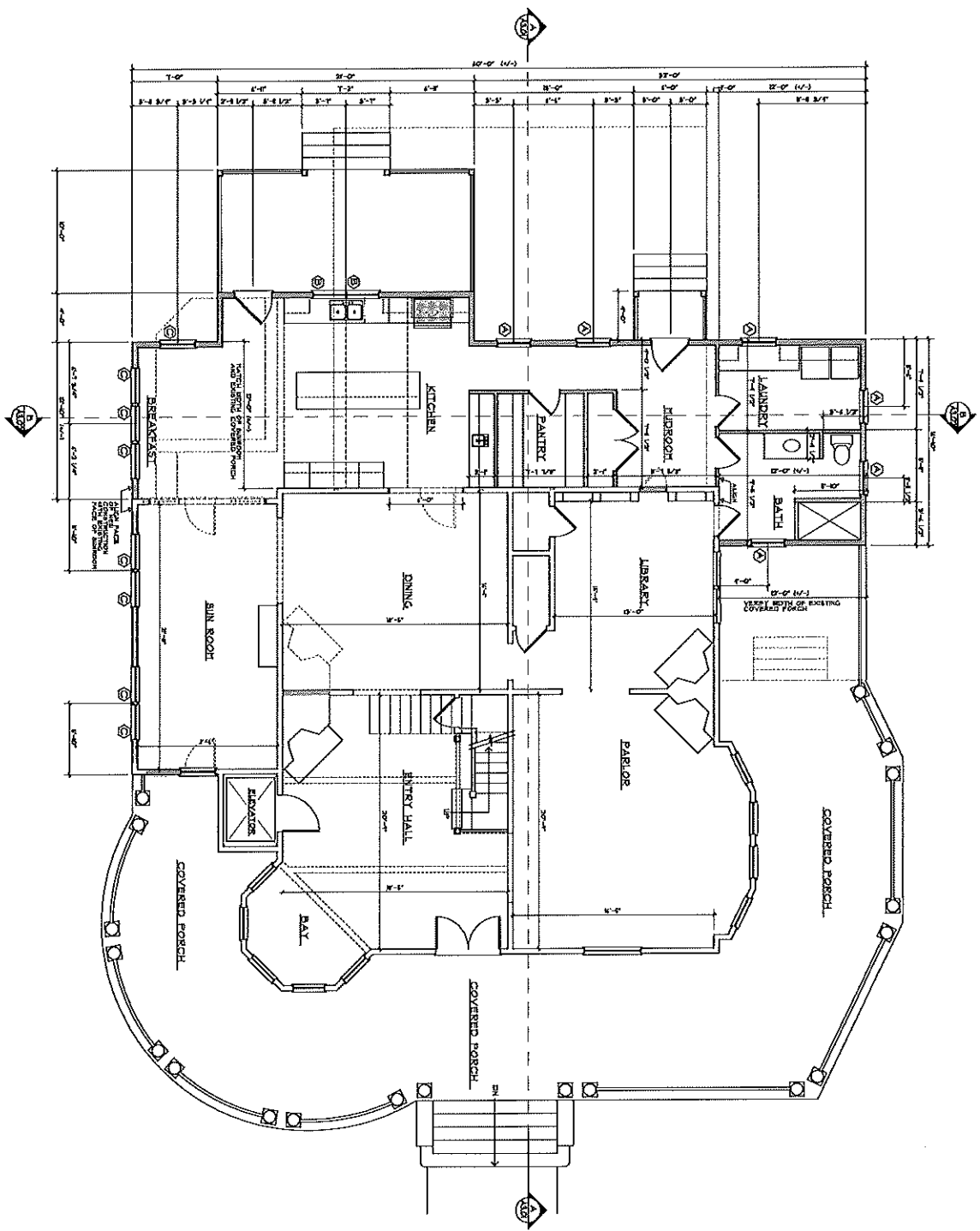
978-686-1806

DATE: FEB. 11, 2024

REVISED

1ST FLOOR PLAN
 1/4" = 1'-0"

ROOFING CONSTRUCTION
 DEMOLITION
 NEW CONSTRUCTION



DRAWING
A1.01

TITLE
FIRST FLOOR PLAN

PROPOSED ALTERATIONS to the
WILKERSON RESIDENCE
 127 AVENUE B, APALACHICOLA, FLORIDA

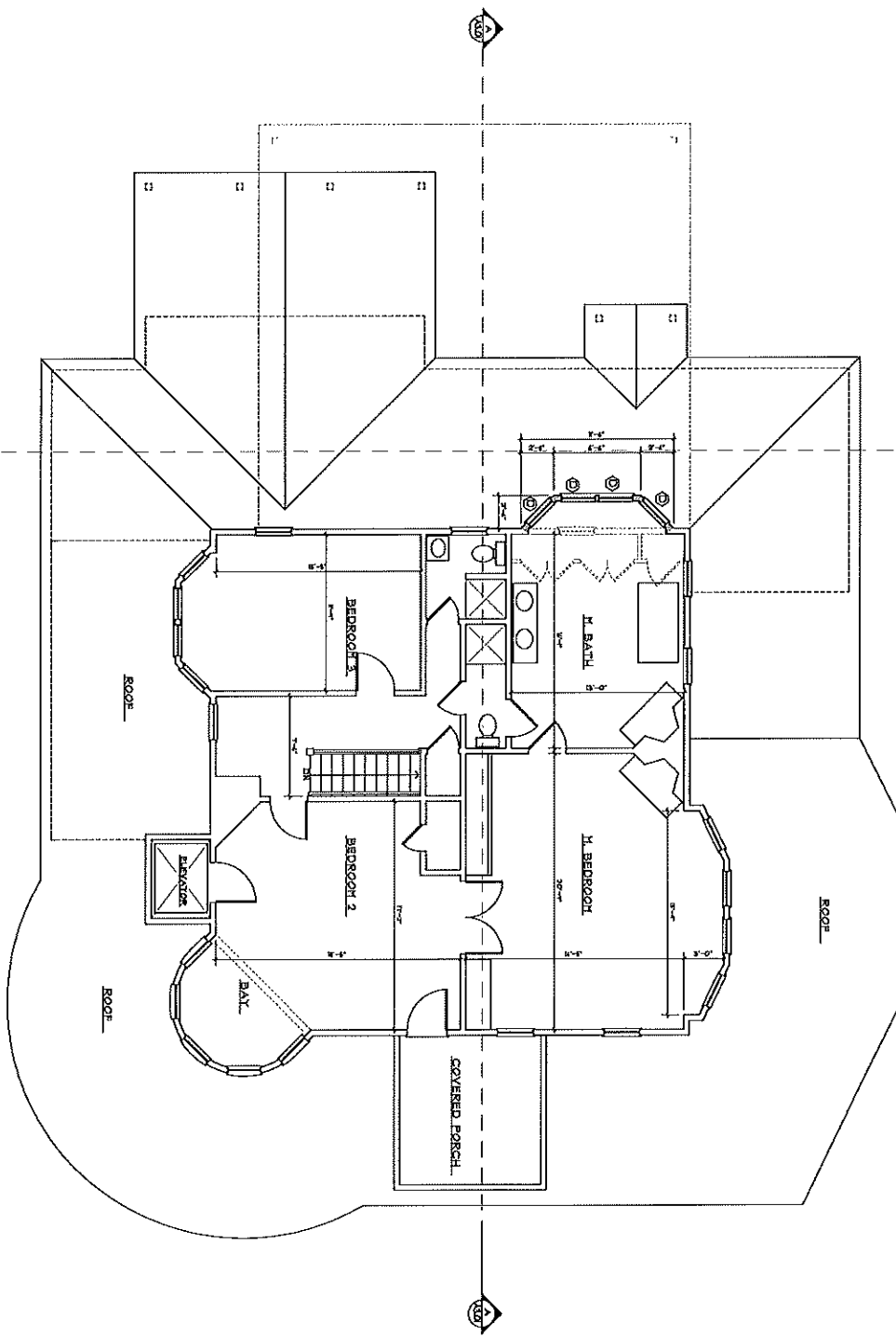
ARCHITECT
BATTLE ASSOCIATES Inc.
 TWO INDEPENDENCE COURT
 OCOBEE, FL. 32942 978-208-1506

DATE
 FLOOR PLAN - 11.92

DATE
 11.92

2ND FLOOR PLAN
 1/4" = 1'-0"

EXISTING CONSTRUCTION
 DEMOLITION
 NEW CONSTRUCTION



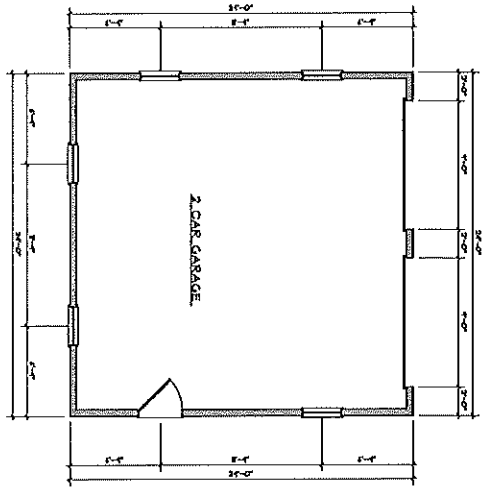
NO. A1.02

2ND FLOOR PLAN

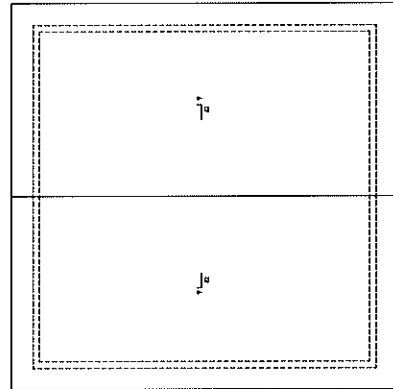
PROPOSED ALTERATIONS to the
WILKERSON RESIDENCE
 127 AVENUE B, APALACHICOLA, FLORIDA

ARCHITECT
BATTLE ASSOCIATES Inc.
 170 INDEPENDENCE COURT
 CORCORAN, MA 01742 978-266-1205

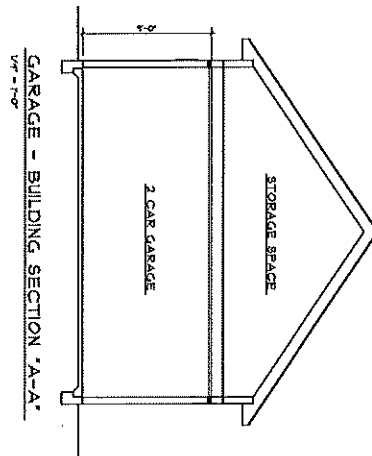
DATE
 PROJECT NO. 14-022
 REVISED



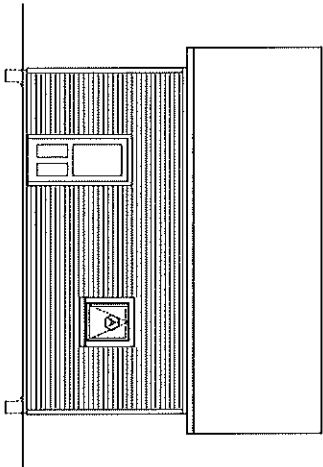
GARAGE PLAN
1/4" = 1'-0"



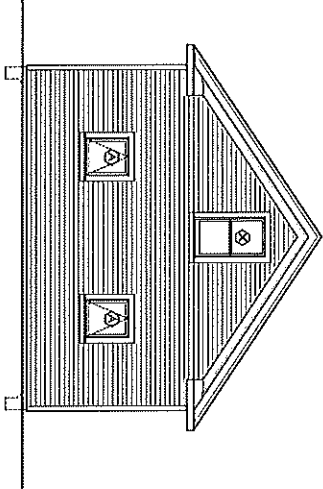
GARAGE PLAN
1/4" = 1'-0"



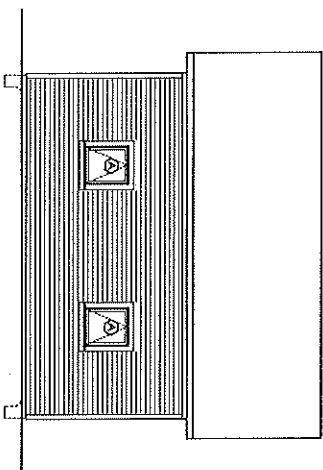
GARAGE - BUILDING SECTION "A-A"
1/4" = 1'-0"



GARAGE - SE ELEVATION
1/4" = 1'-0"



GARAGE - NE ELEVATION
1/4" = 1'-0"



GARAGE - NW ELEVATION
1/4" = 1'-0"

DRAWING

A1.03

TITLE
GARAGE PLAN AND
ELEVATIONS

PROPOSED ALTERATIONS to the
WILKERSON RESIDENCE
127 AVENUE B, APALACHICOLA, FLORIDA

ARCHITECT

**BATTLE
ASSOCIATES Inc.**

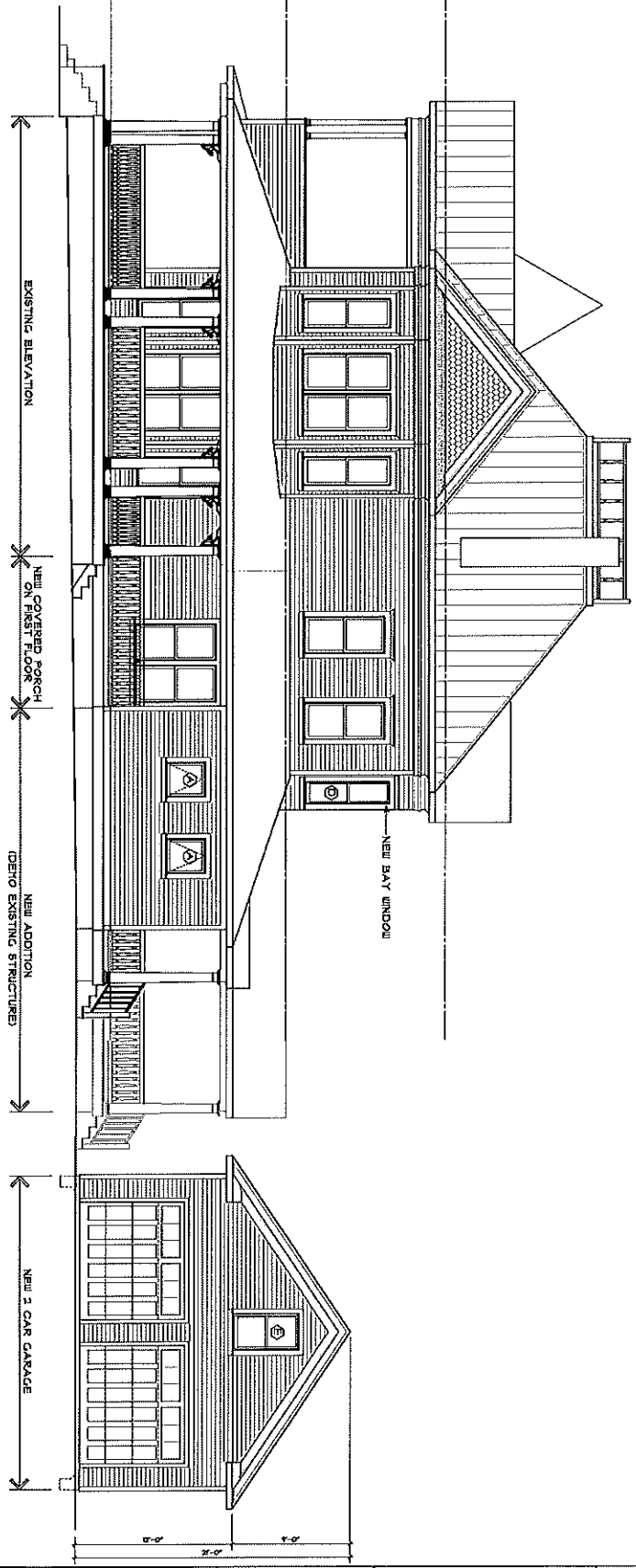
TWO INDEPENDENCE COURT
CORCORAN, VA. 22112

DATE
PACKAGE SET - 1-4-02

978-266-1806

KEYWORD

NORTH EAST ELEVATION
1/8" = 1'-0"



REV	DESCRIPTION	DATE	BY	CHECKED
A	ADD-ARCH	02-24-10	AMSD	
B	ADD-ARCH	02-24-10	AMSD	
C	ADD-ARCH	02-24-10	AMSD	
D	ADD-ARCH	02-24-10	AMSD	
E	ADD-ARCH	02-24-10	AMSD	
F	ADD-ARCH	02-24-10	AMSD	
G	ADD-ARCH	02-24-10	AMSD	
H	ADD-ARCH	02-24-10	AMSD	
I	ADD-ARCH	02-24-10	AMSD	
J	ADD-ARCH	02-24-10	AMSD	
K	ADD-ARCH	02-24-10	AMSD	
L	ADD-ARCH	02-24-10	AMSD	
M	ADD-ARCH	02-24-10	AMSD	
N	ADD-ARCH	02-24-10	AMSD	
O	ADD-ARCH	02-24-10	AMSD	
P	ADD-ARCH	02-24-10	AMSD	
Q	ADD-ARCH	02-24-10	AMSD	
R	ADD-ARCH	02-24-10	AMSD	
S	ADD-ARCH	02-24-10	AMSD	
T	ADD-ARCH	02-24-10	AMSD	
U	ADD-ARCH	02-24-10	AMSD	
V	ADD-ARCH	02-24-10	AMSD	
W	ADD-ARCH	02-24-10	AMSD	
X	ADD-ARCH	02-24-10	AMSD	
Y	ADD-ARCH	02-24-10	AMSD	
Z	ADD-ARCH	02-24-10	AMSD	

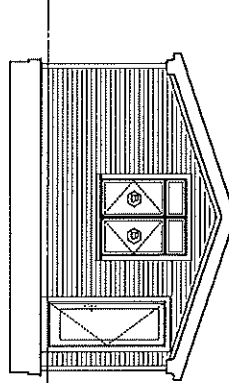
CREATING: A2.01
TITLE: NORTH EAST ELEVATION

PROPOSED ALTERATIONS to the
WILKERSON RESIDENCE
127 AVENUE B, APALACHICOLA, FLORIDA

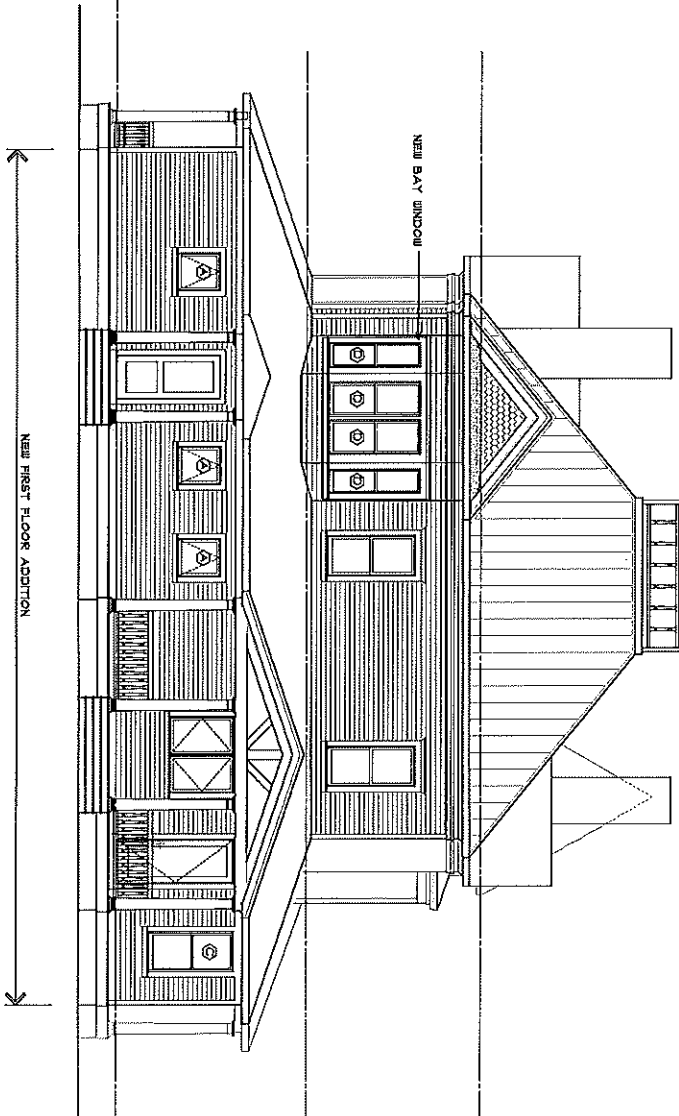
ARCHITECT:
BATTLE ASSOCIATES Inc.
170 INDEPENDENCE COURT
CONCORD, MA 01742
978-366-1808

DATE:
PROJECT: 01-14-2010
KEYWORD:

PORCH ELEVATION
1/4" = 1'-0"



NORTH WEST ELEVATION
1/4" = 1'-0"



DRAWING:

A2.02

TITLE:

NORTH WEST
ELEVATION

PROPOSED ALTERATIONS to the
WILKERSON RESIDENCE
127 AVENUE B, APALACHICOLA, FLORIDA

ARCHITECT:

**BATTLE
ASSOCIATES Inc.**

170 INDEPENDENCE COURT
CONCORD, MA 01742

978-366-1505

DATE:

PROGRAM 017 - 04-202

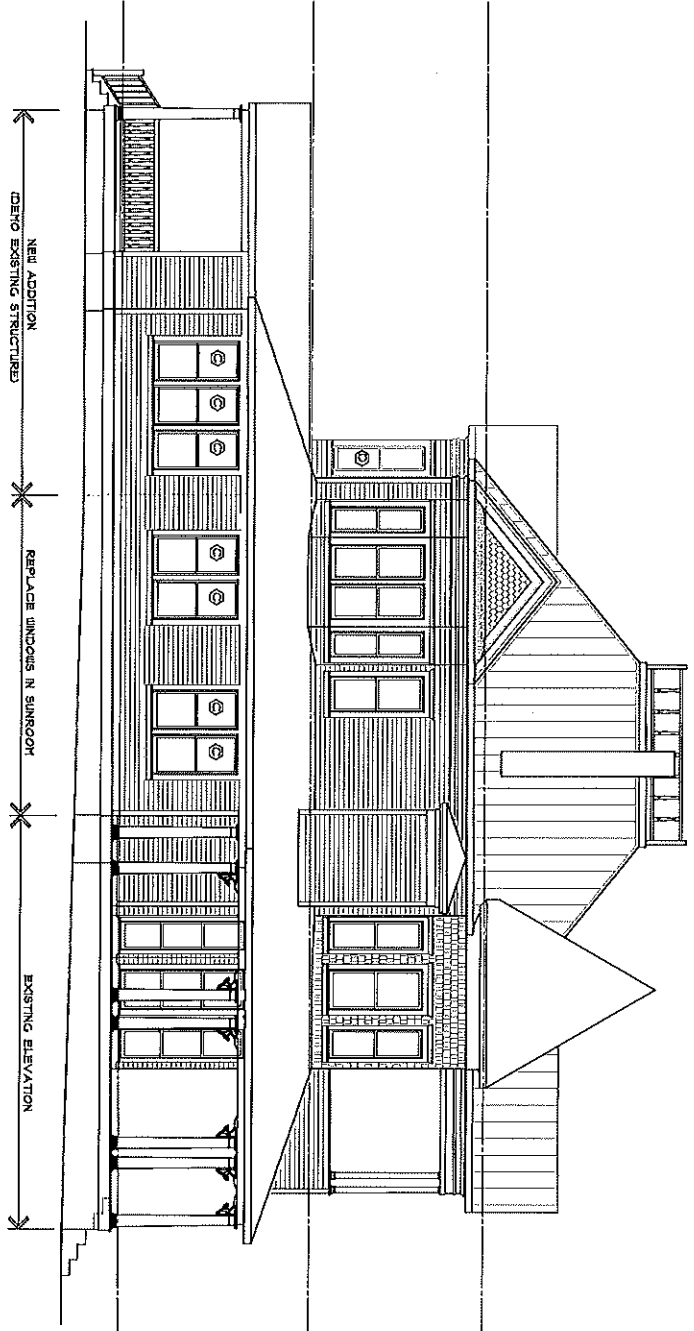
REVISED

SOUTH WEST ELEVATION
1/4" = 1'-0"

NEW ADDITION
DEMOLISH EXISTING STRUCTURE

REPLACE WINDOWS IN SUNROOM

EXISTING ELEVATION



DRAWING:
A2.03

TITLE:
SOUTH WEST
ELEVATION

PROPOSED ALTERATIONS to the
WILKERSON RESIDENCE
127 AVENUE B, APALACHICOLA, FLORIDA

ARCHITECT:
**BATTLE
ASSOCIATES Inc.**
TWO INDEPENDENCE COURT
CONCORD, MA. 01742

DATE:
PROGRAM SET - 10-01

KEYSET

EPCI
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only		
DATE: _____	Permit # _____	Permit Fee _____

OWNER'S NAME: George & Connie Wilkerson

ADDRESS: 177 Avenue B

CITY, STATE & ZIP CODE: Apalachicola, FL, 32320 PHONE # 501.993.0901

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): N/A

ADDRESS: N/A

CITY, STATE & ZIP CODE: N/A PHONE # N/A

CONTRACTOR'S NAME: Erin Rodriguez Construction, LLC

ADDRESS: 88 Avenue G

CITY, STATE & ZIP CODE: Apalachicola, FL, 32320 PHONE # 850.323.1601

STATE LICENSE NUMBER: CGC1521107 COMPETENCY CARD # N/A

ADDRESS OF PROJECT: 177 Avenue B, Apalachicola, FL, 32320

PROPOSED USE OF SITE: Residence

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? YES
 NO

PROPERTY PARCEL ID # 01-093-08W-8330-0044-0010

LEGAL DESCRIPTION OF PROPERTY: Block 44, Lots 1, 2, SE 1/2 3

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: N/A

ADDRESS: N/A CITY, STATE & ZIP: N/A

ARCHITECT'S/ENGINEER'S NAME: N/A

ADDRESS: N/A CITY, STATE & ZIP: N/A

MORTGAGE LENDER'S NAME: N/A

ADDRESS: N/A CITY, STATE & ZIP: N/A

WATER SYSTEM PROVIDER: City of Apalachicola SEWER SYSTEM PROVIDER: City of Apalachicola

PRIVATE WATER WELL: N/A SEPTIC TANK PERMIT NUMBER: N/A

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

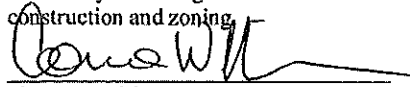
Single Family Townhouse Commercial Industrial
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 R. Side Addition: 18' ±; Garage: 16' ± Garage: 6' ± Pool: 6' ±
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 Area Heated/Cooled 700 sq. ft. ± # Of Stories 1 # Of Units 1
 Type of Roof Metal Type of Walls Wood Type of Floor Wood
 Extreme Dimensions of: Length 55' ± Height 12' ± Width 14' ±

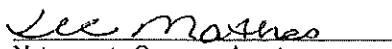
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.


 Signature of Owner or Agent

Date: 2-17-2021


 Notary as to Owner or Agent

My Commission expires:


 Signature of Contractor

Date: 2.16.21

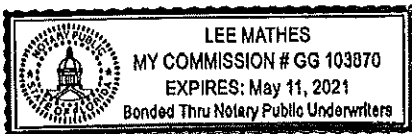


 Notary as to Contractor

My Commission expires:

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

FL Drivers License W0426-107-63-918-0



#7

7th St./Ave J

New Residence

K. Winberg

EPCI
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: _____ Permit # _____ Permit Fee _____

OWNER'S NAME: KATHLEEN WINBERG

ADDRESS: 1400 VILLAGE SQUARE BLVD #3-80447

CITY, STATE & ZIP CODE: TALLAHASSEE, FL 32312 PHONE # 207-217-4175

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: LOT 5 BLOCK 169 Corner MLK & HUMPHRIES

PROPOSED USE OF SITE: SINGLE FAMILY RESIDENCE

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? YES
 NO

PROPERTY PARCEL ID # 01-095-08W-8330-0169-0050

LEGAL DESCRIPTION OF PROPERTY: LOT 5 BLOCK 169

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: RICHARD DAGENHART

ADDRESS: 1745 FREDERICKS, HUMPHRIES CITY, STATE & ZIP: APALACHICOLA, FL

MORTGAGE LENDER'S NAME: _____ CITY, STATE & ZIP: 32320

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

Single Family ___ Townhouse ___ Commercial ___ Industrial
___ Duplex ___ Swimming Pool ___ Storage ___ Sign
___ Multi-Family ___ Demolition ___ Other
___ Addition, Alteration or Renovation to building, _____

Distance from property lines: Front 15 Rear 37 L. Side 21
R. Side 15
Cost of Construction \$ N.A. Square Footage 960
BPI _____ Flood Zone X Lowest Floor Elevation 20" ABOVE GRADE
Area Heated/Cooled 960 # Of Stories 1 # Of Units 1
Type of Roof GALVALUME Type of Walls WOOD FRAME Type of Floor WOOD FRAME
Extreme Dimensions of: Length 48' Height 19'-6" Width 24'

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Kathleen Winberg
Signature of Owner or Agent

Signature of Contractor

Date: 1/26/21

Date: _____

Notary as to Owner or Agent

Notary as to Contractor

My Commission expires: _____

My Commission expires: _____

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION -HISTORIC DISTRICT-	Official Use Only Application # _____ City Representative _____ Date Received _____
--------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner <u>KATHLEEN WINBERG</u> Address <u>1400 VILLAGES DR, BLVD</u> City <u>TALLAHASSEE</u> State <u>FL</u> Zip <u>32312</u> Phone <u>(207) 217-4175</u>	State License # <u>NOT SELECTED</u> City License # _____ County License # _____ Email Address _____ Phone (_____) _____

Approval Type: | | Staff Approval Date: _____ | | Board Approval | | Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variance <input type="checkbox"/> Other: _____
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------

PROPERTY INFORMATION:

Street Address: SW corner MLK & Humphreys City & State APALACHICOLA, FL Zip 32320

| | Historic District | | Non-Historic District Zoning District _____

Parcel #: 01-095-08W-8330-0169-0050 Block(s) 169 Lot(s) 05

FEMA Flood Zone/Panel #: X
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property: Front: _____ Rear: _____ Side: _____ Lot Coverage: _____ Water Available: _____ Sewer Available: _____ Taps Paid _____	This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued. Certificate of Appropriateness Approval: _____ Chairperson, Apalachicola Planning & Zoning Board
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

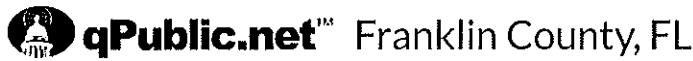
NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Cortni Bankston
 Permitting and Development Coordinator
 (850) 658-1522 (ext 205) Phone
 (850)658-5028 Cell
cortnibankston@cityofapalachicola.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

SINGLE FAMILY RESIDENCE - 960 SF, 2 BR, 1 BATH, OFFICE
 SCREEN PORCH / WOOD FRAME ON CMU PIER W/ 8/12
 GABLE ROOF / GALVALUME STANDING SEAM ROOF /
 LAP SIDING W/ 1X4 & 1X6 TRIM

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	OR CRANE	INS. VINYL - LAP	
	HARDIE	FIBER-CEMENT / LAP	
Doors	ANDERSON	400 STRAIGHTLINE 102	
		OR EQUAL	
Windows	ANDERSON	COASTAL 400 IMPACT	
		OR EQUAL	
Roofing		GALVALUME - MILL	
		STANDING SEAM	
Trim	HARDIE	FIBER CEMENT	
Foundation		CMU PIER	
		2X6 PT BETWEEN PIERS	
Shutters			
Porch/Deck	HARDIE	FIBER-CEMENT + WOOD	
	TREX	COMPOSITE BOARD	
Fencing		WOOD	
		1X4 W/ 1" SPACE	
Driveways/Sidewalks		#57 LIMESTONE	
Other			



Parcel Summary

Parcel ID 01-09S-08W-8330-0169-0050
 Location Address 32320
 Brief Tax Description* BL 169 LOT 5 OR/163/69 590/549 594/360 776/590 1234/743
*The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Winberg Kathleen
 1400 Village Square Blvd
 #3-80447
 Tallahassee, FL 32312

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000801	THE HILL - APALACH	60.00	FF	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	02/07/2019	\$37,000	WD	1234	743	Qualified (Q)	Vacant	BURLEY	WINBERG
N	02/13/2004	\$100	WD	776	590	Unqualified (U)	Vacant	SMITH MICHAEL	BURLEY
N	04/20/1998	\$21,000	WD	594	360	Qualified (Q)	Improved	LARSON DONNA	SMITH MICHAEL & SUSAN
N	02/09/1998	\$55,000	WD	590	549	Unqualified (U)	Vacant	WILLIAM ZEIGLER PROP INC	LARSON DONNA

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$33,000	\$33,000	\$24,000	\$30,000	\$18,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$33,000	\$33,000	\$24,000	\$30,000	\$18,000
Assessed Value	\$33,000	\$23,958	\$21,780	\$19,800	\$18,000
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$33,000	\$23,958	\$21,780	\$19,800	\$18,000
Maximum Save Our Homes Portability	\$0	\$9,042	\$2,220	\$10,200	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

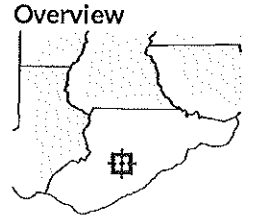
TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)




TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0169-0050	Alternate ID	08W09S01833001690050	Owner Address	WINBERG KATHLEEN
Sec/Twp/Rng	1-9S-8W	Class	VACANT		1400 VILLAGE SQUARE BLVD
Property Address		Acreage	n/a		#3-80447
					TALLAHASSEE, FL 32312
District	3				
Brief Tax Description	BL 169 LOT 5 (Note: Not to be used on legal documents)				

Date created: 3/1/2021
 Last Data Uploaded: 3/1/2021 7:53:52 AM

Developed by  **Schneider**
 GEOSPATIAL

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

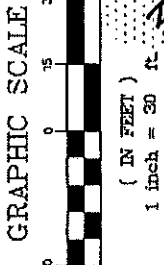
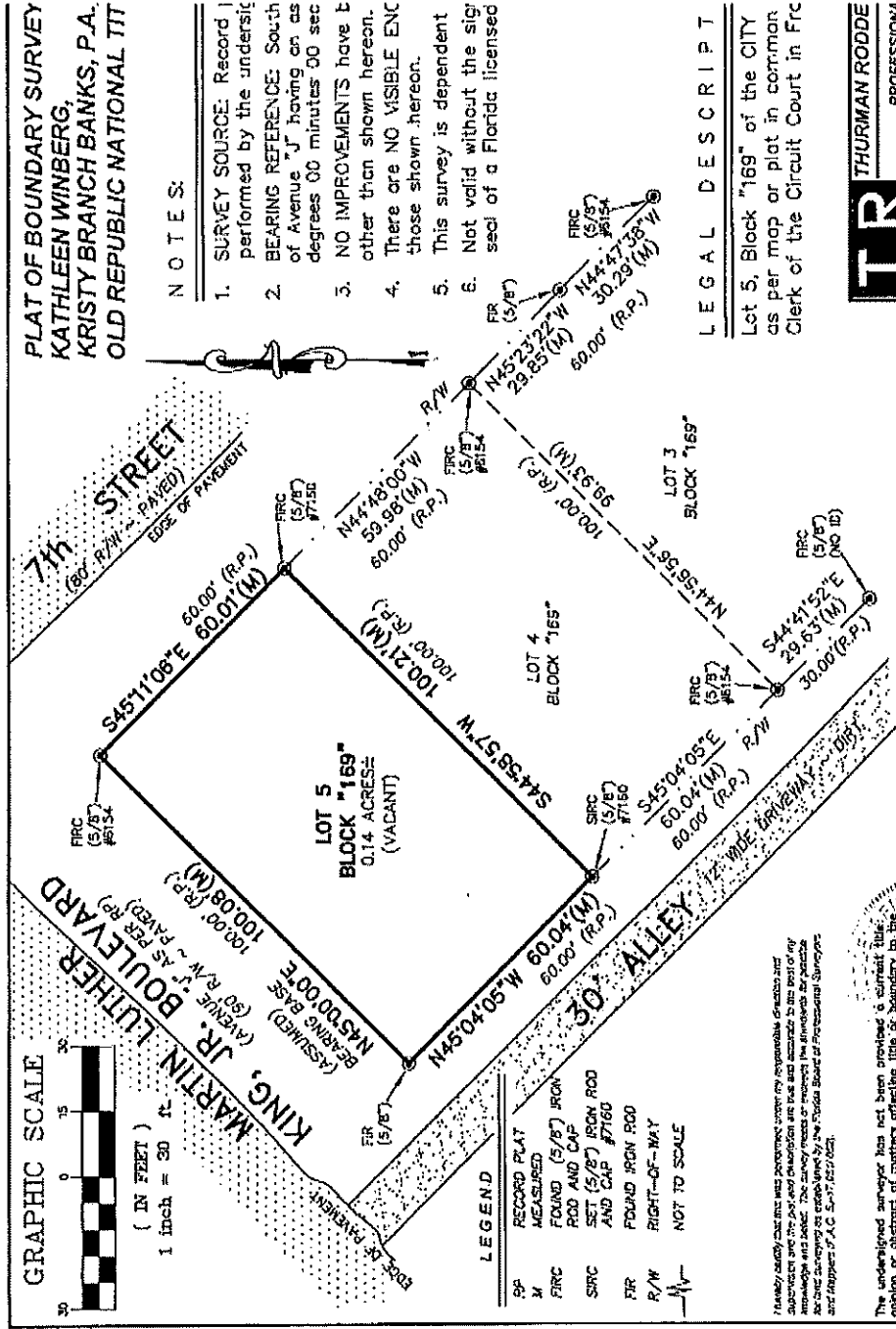
1/26/21
DATE

Kathleen Winberg
SIGNATURE OF APPLICANT

**PLAT OF BOUNDARY SURVEY
KATHLEEN WINBERG,
KRISTY BRANCH BANKS, P.A.
OLD REPUBLIC NATIONAL TIT**

NOTES:

1. SURVEY SOURCE: Record 1 performed by the undersig
2. BEARING REFERENCE: South of Avenue "J" having an as degrees 00 minutes 00 sec
3. NO IMPROVEMENTS have t other than shown hereon.
4. There are NO VISIBLE ENC those shown hereon.
5. This survey is dependent
6. Not valid without the sig secl of a Florida licensed



LEGEND

SP	RECORDED PLAT
M	MEASURED
FIRC	FOUND (S/8') IRON ROD AND CAP
SIRC	SET (S/8') IRON ROD AND CAP #7160
FIR	FOUND IRON ROD
R/W	RIGHT-OF-WAY
-	NOT TO SCALE

I hereby certify that this was prepared under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. I am a duly Licensed Professional Surveyor in the State of Florida and my license is No. 12527. I am a member of the Florida Board of Professional Surveyors and Engineers (F.A.C.S.) No. 12527/021.

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

Kathleen Winberg
KATHLEEN WINBERG
Surveyor and Mapper
Florida Certificate No. 4281

LEGAL DESCRIPTION

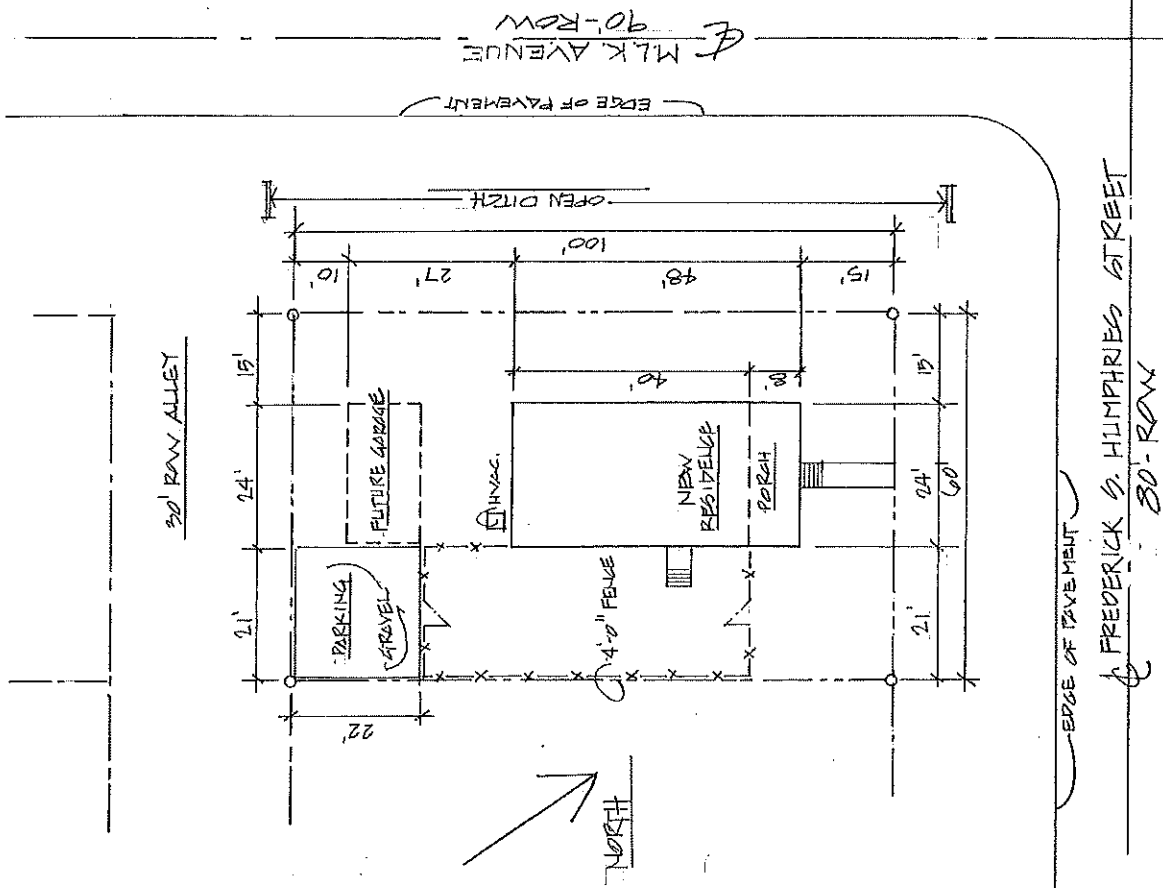
Lot 5, Block "169" of the CITY as per map or plat in common Clerk of the Circuit Court in Frc

TR & A
THURMAN RODDE
PROFESSIONAL SURVEYOR
P.O. BOX 100 • 725 S.W. 11th Avenue
MIAMI, FLORIDA 33135
DATE: 01/13/19
DRAWN BY: BR
FILE: '9027.DWG
DATE OF LAST FIELD DIARY: 01/17/15

FLOOD ZONE INFORMATION:

Subject property is located in Zone "X" as per Flood Insurance Rate Map Community Panel Number: 120069 0526F, Index Date: February 05, 2014, Franklin County, Florida.

WINBERG RESIDENCE APALACHICOLA, FL



Site Plan	
Lot Area	6000 sf
Building Coverage	1152
Front Porch Steps (5x6)	30
Side Porch Steps (4x8)	32
HVAC (4x5 approx)	20
Front Path (6x10)	60
Parking (21x22)	<u>462</u>
Total Phase 1	1756 sf -- 29% coverage
Garage (12x24)	288 sf
Total Phase 2	2044 sf -- 34% coverage

Owner:
 Kathleen Winberg
 1400 Village Square Blvd.
 #3-80447
 Tallahassee, FL 32312
 207-217-4175

Architect:
 Richard Dagenhart, Architect
 Florida - AR93314
 174.5 Frederick S. Humphries St.
 Apalachicola, FL 32320
 404-277-1837

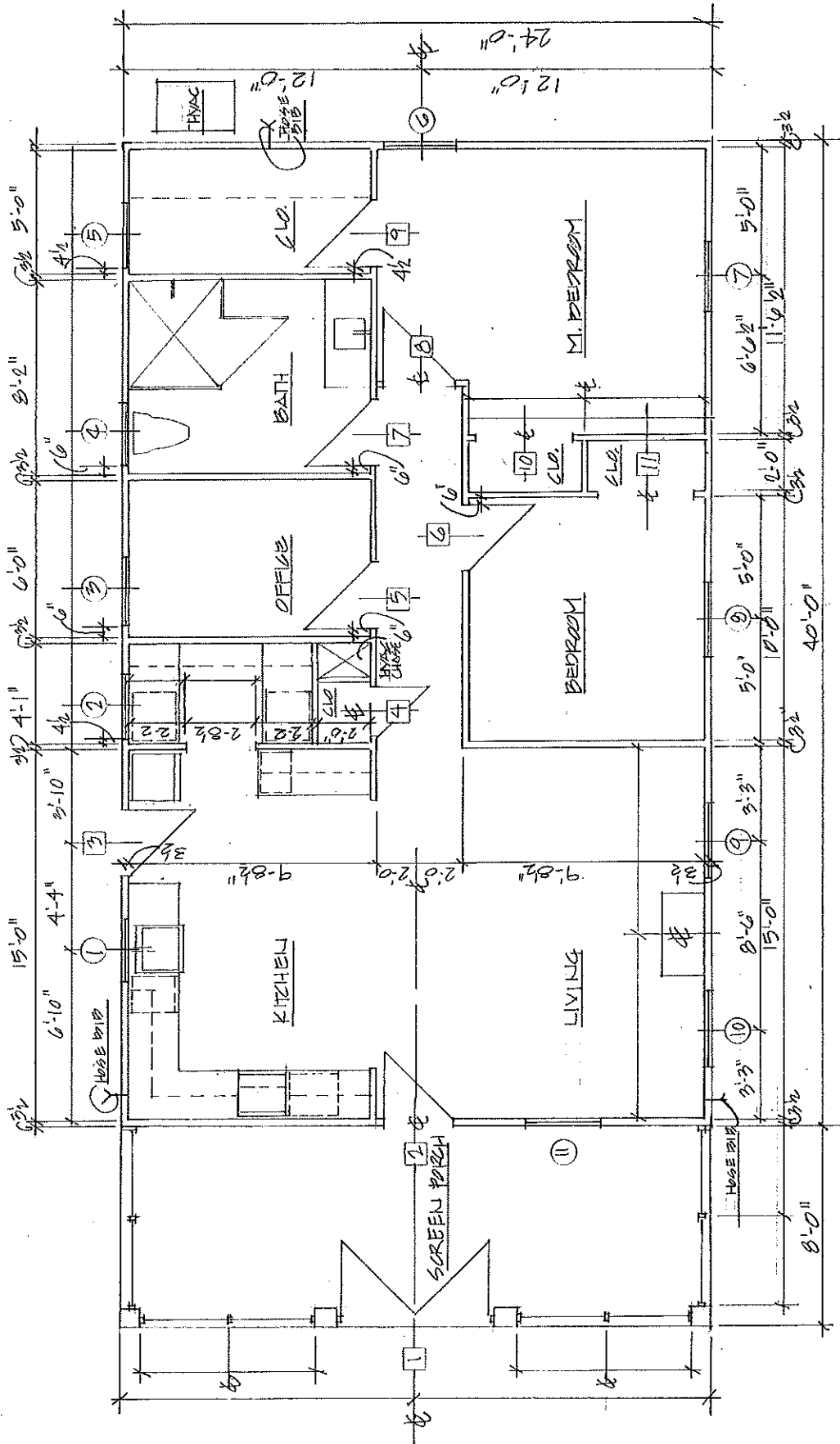
Lot 5 - Block 169

Parcel ID - 01-09S-08W-8330-0169-0050

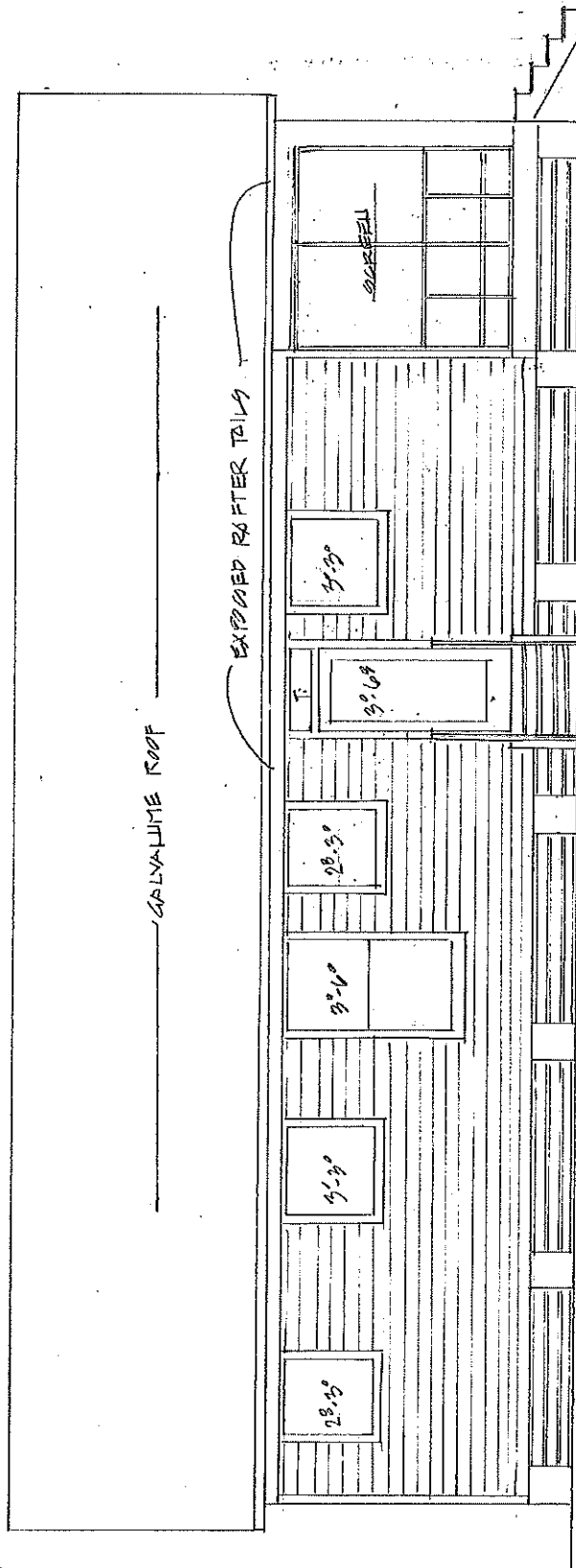
Flood Zone - "X"
 Zoning District - C-2 Neighborhood Commercial

1"=20'

Site Plan

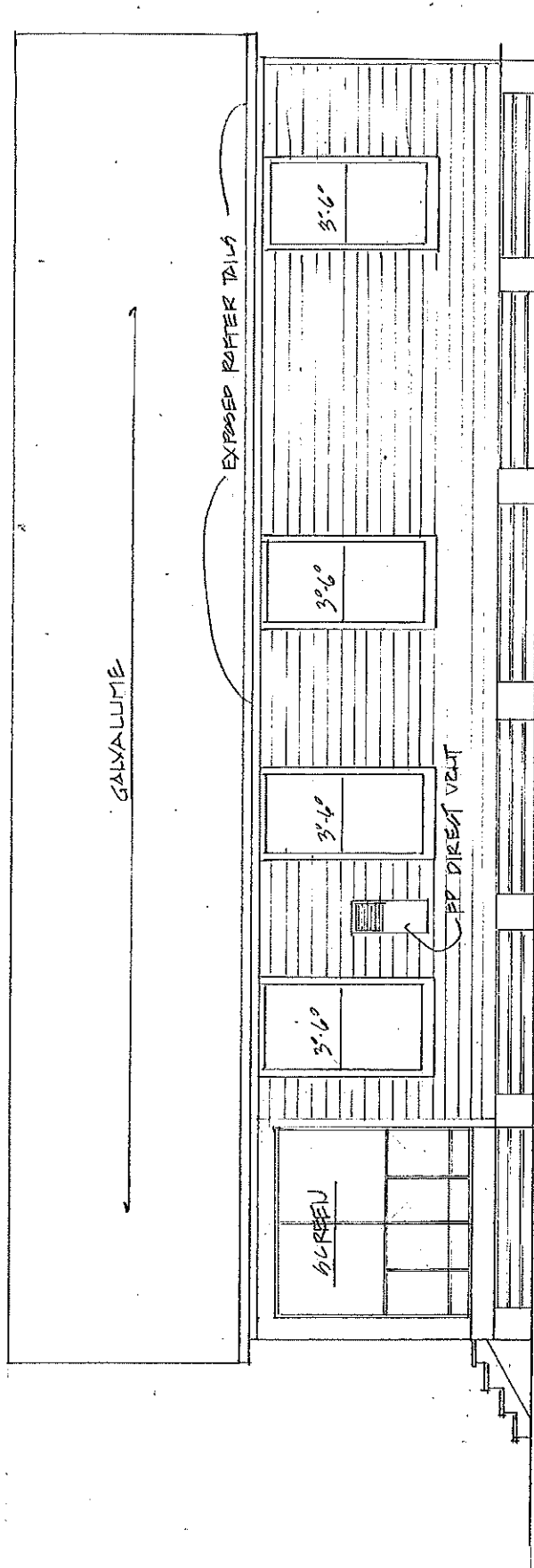


First Floor Plan
 1/4" = 1'-0"



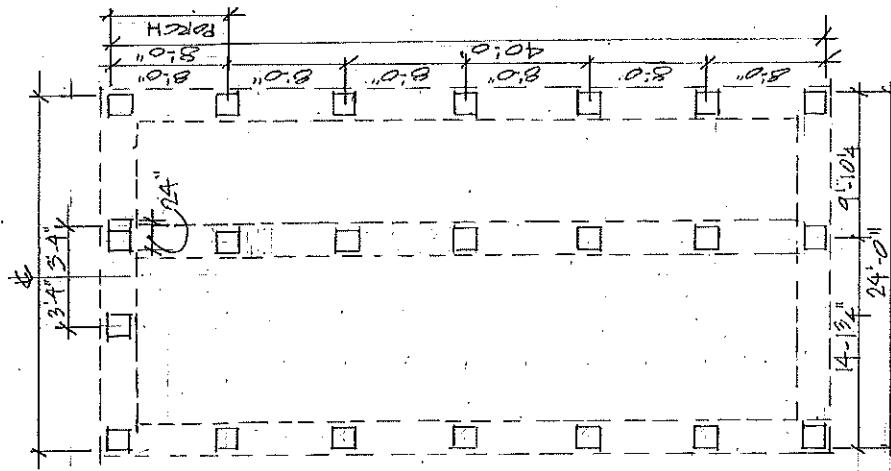
Northwest Elevation

1/4" = 1'-0"



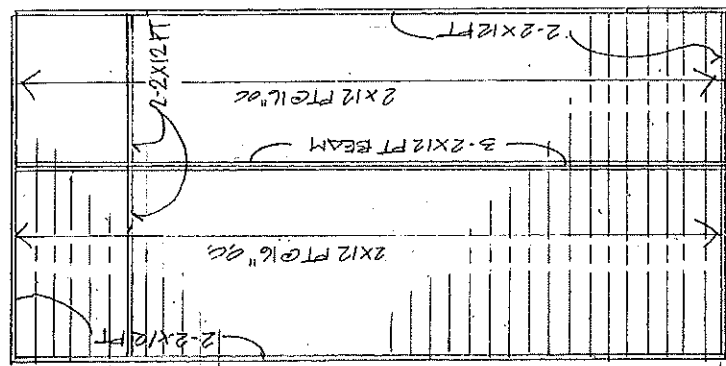
1/4" = 1'-0"

Southeast Elevation



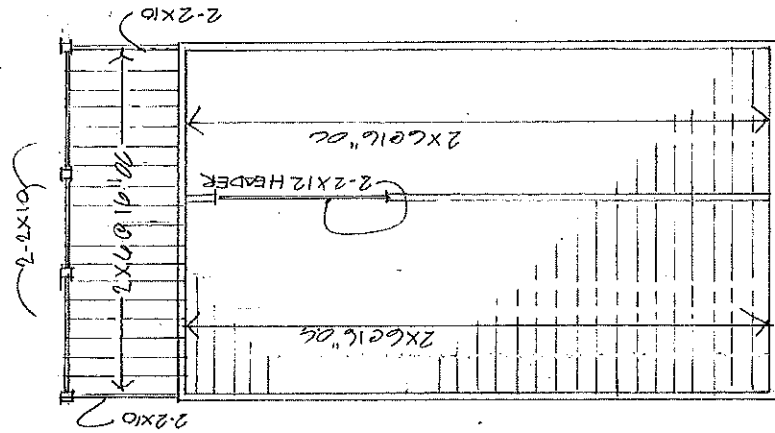
6" X 16" CMU PIERS ON 10" X 24" CONG. FOOTING OUT.

FOUNDATION PLAN



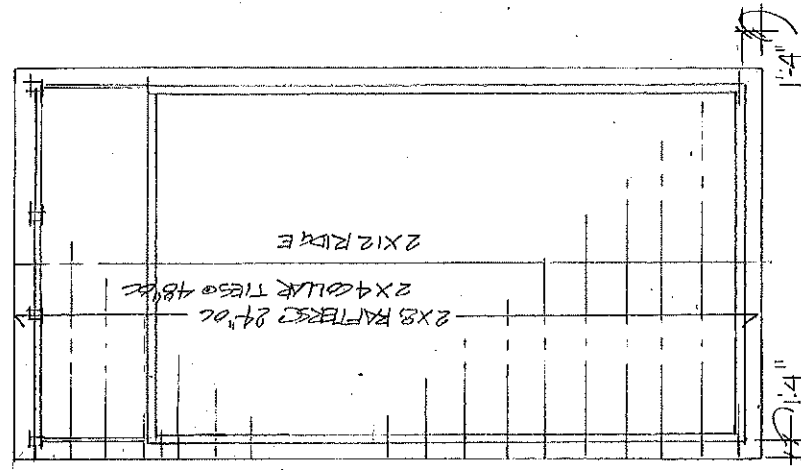
2X12 PT @ 16" OC FLOOR FRAME

FLOOR FRAMING PLAN



2X6 @ 16" OC CEILING JOISTS

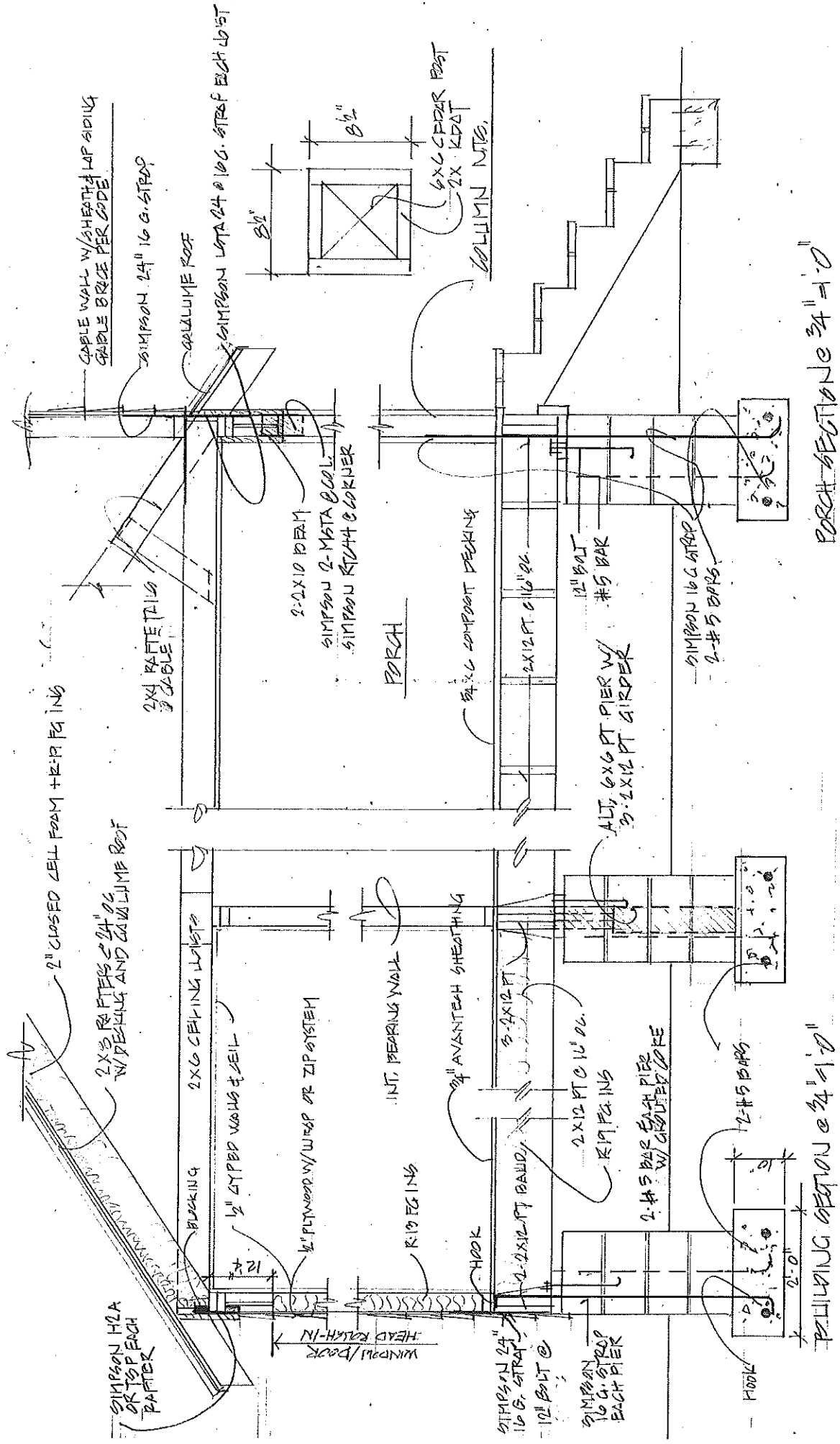
CEILING FRAMING PLAN



2X8 RAFTERS @ 24" OC

ROOF FRAMING PLAN

Foundation and Framing Plans 1/8" = 1'-0"



3/4" = 1'-0"

Building Sections

POUCH SECTION @ 24" = 1'-0"

#8

5th St. / BIK 7 Lot 7

New Residence

Carlton

**CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION**

HISTORIC DISTRICT ONLY

Official Use Only

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Neil & Catherine Carlton
Address 12814 Saddle Club Circle
City Tampa State FL Zip 33635
Phone (813) 378-3975

Contractors Name: Construct Group SE Inc
State License # CGC1513032 City License # _____
Email Address Constructgroupse@yahoo.com
Phone (813) 694-5555

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial _____

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other _____

PROPERTY INFORMATION:

Street Address: _____ City & State Apalachicola FL Zip 32520

Historic District Non-Historic District Zoning District _____

Parcel #: 01-095-08W-8330-0007-0070 Block(s) 7 Lot(s) 7

FEMA Flood Zone/Panel #: _____
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25 Sides: 75 Lot Coverage: _____

Water Available: _____ Sewer Available: _____ Taps Paid: _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval

Chairperson, Apalachicola Planning & Zoning Board

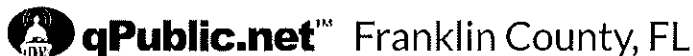
NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCO.

Tammy Owens
Permitting and Development Coordinator
(850) 658-1522
cityofapalachicola@gmail.com

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

New Residential Home

Project Scope	Manufacturer	Product Description	EL Product Approval #
Siding	Michie	Cementitious Siding	
Doors	Therma-Tru	Fiberglass	
Windows	Magnolia	Vinyl	
Roofing	Bobby Jones	Metal Standing Seam	
Trim	Michie	Cementitious	
Foundation	Block Slab		
Shutters	—		
Porch/Deck	Concrete		
Fencing	—		
Driveways/Sidewalks	Gravel		
Other			



Parcel Summary

Parcel ID 01-09S-08W-8330-0007-0070
 Location Address CITY OF APALACH
 Brief Tax Description* BLOCK 7 LOT 7 OR/88/58 243/308 636/585 639/628 1168/28 1213/644 1273/48
 *The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Carlton Neil Barry & Catherine
 12814 Saddle Club Circle
 #101
 Tampa, FL 33635

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	60.00	UT	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	08/06/2020	\$99,000	WD	1273	48	Qualified (Q)	Vacant	MCLAREN	CARLTON
N	03/06/2018	\$100,000	WD	1213	644	Qualified (Q)	Vacant	FELTUS INCLUDES PARCEL 6	MCLAREN
N	05/18/2000	\$75,000	WD	639	628	Unqualified (U)	Vacant	LOGAN	FELTUS INCLUDES PARCEL 6
N	03/31/2000	\$10,000	WD	636	585	Unqualified (U)	Vacant	RHODES	LOGAN

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$38,100	\$38,100	\$38,100	\$42,000	\$31,500
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$38,100	\$38,100	\$38,100	\$42,000	\$31,500
Assessed Value	\$38,100	\$38,100	\$38,100	\$34,650	\$31,500
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$38,100	\$38,100	\$38,100	\$34,650	\$31,500
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$7,350	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

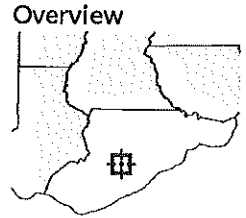
TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)




TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0007-0070	Alternate ID	08W09S01833000070070	Owner Address	CARLTON NEIL BARRY & CATHERINE
Sec/Twp/Rng	1-9S-8W	Class	VACANT		12814 SADDLE CLUB CIRCLE
Property Address	CITY OF APALACH	Acreage	n/a		#101
					TAMPA, FL 33635

District 3
 Brief Tax Description BLOCK 7 LOT 7 OR/88/58
 (Note: Not to be used on legal documents)

Date created: 3/1/2021
 Last Data Uploaded: 3/1/2021 7:53:52 AM

Developed by  Schneider
 GEOSPATIAL

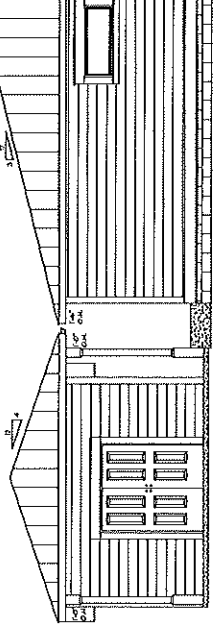
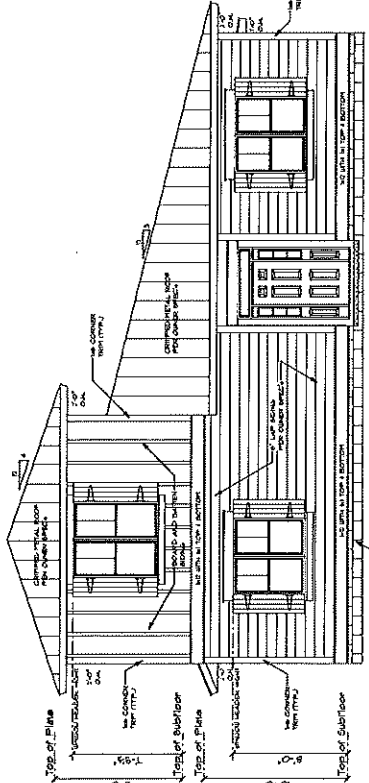
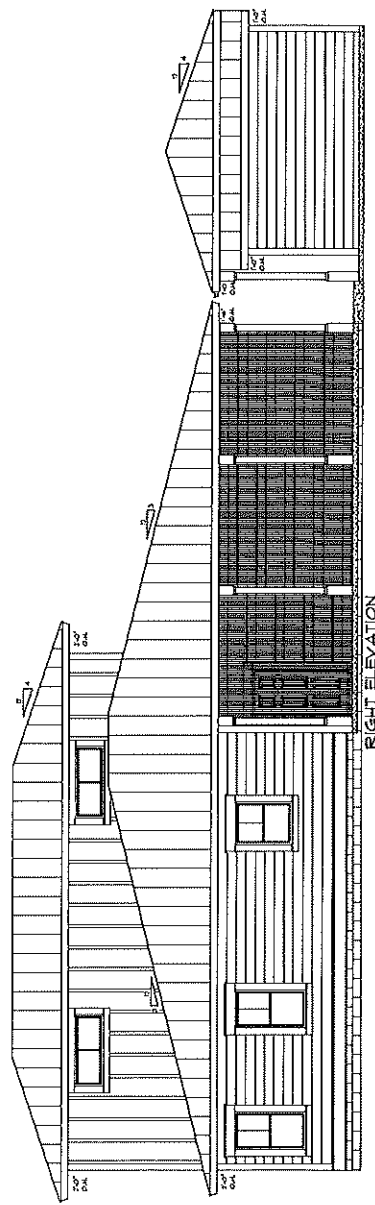
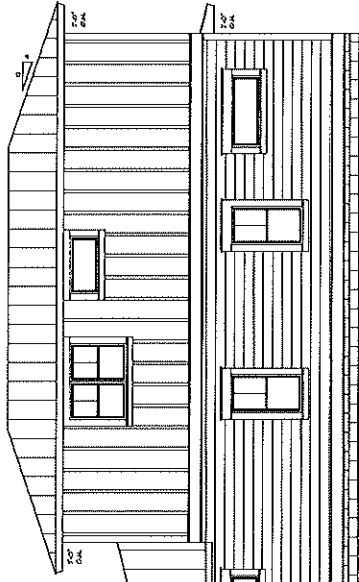
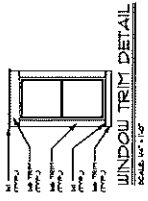
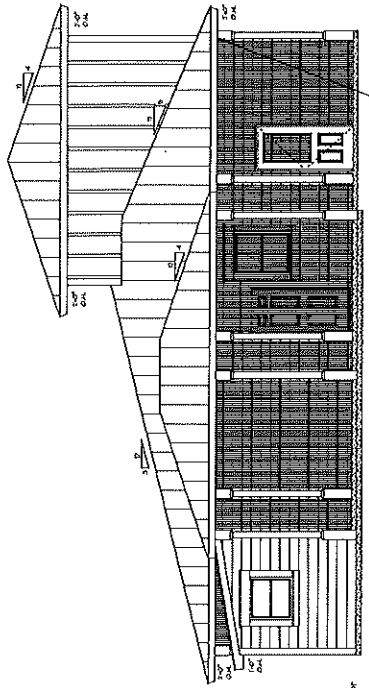
DATE	REVISION

BRAH
RESIDENTIAL
DESIGN
10000 UNIVERSITY BLVD
SUITE 100
FORT LAUDERDALE, FL 33304
TEL: 954.473.1111
WWW.BRAH.COM

CARLTON FAMILY RESIDENCE
LOT #1 BLOCK "A"
814 STREET & AVE
APALACHICOLA, FLORIDA

DATE: 1/25/2020
PROJECT NO: 2000000000
DRAWN BY: TEB
CHECKED BY: TEB
DATE: 1/25/2020

A-1
ELEVATIONS



#9

67 AVE D

Swimming Pool + Gym

Etchen

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

The project consists of reducing the quantity of impervious surfaces and building a new 14X40 foot swimming pool along with an adjacent 14X30 foot work-out gym.
 The project reduces the impervious surface from 55% to 44.9% (approximately).
 All setbacks adhere to requirements for corner lots.

Project Scope	Manufacturer	Product Description	EL Product Approval #
Siding		HARDI LAP	
Doors		FIBER WITH GLASS	
Windows		VINYL	
Roofing		GALVALUME STANDING SEAM	
Trim		HARDI 2x	
Foundation		CONCRETE SLAB	
Shutters		NA	
Porch/Deck		NA	
Fencing		WOOD SLATS AROUND POOL	
Driveways/Sidewalks		PERVIOUS PAVERS	
Other			

EPCI
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: _____ Permit # _____ Permit Fee _____

OWNER'S NAME: Steven Etchen

ADDRESS: 67 Ave "D"

CITY, STATE & ZIP CODE: Apalach., FL. 32320 PHONE # (850)227-6898 (agent)

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): NA

ADDRESS: NA

CITY, STATE & ZIP CODE: NA PHONE # NA

CONTRACTOR'S NAME: To Be Determined

ADDRESS: To Be Determined

CITY, STATE & ZIP CODE: To Be Determined PHONE # To Be Determined

STATE LICENSE NUMBER: To Be Determined COMPETENCY CARD # To Be Determined

ADDRESS OF PROJECT: 67 Ave "D", Apalachicola

PROPOSED USE OF SITE: Residential

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? YES
 NO

PROPERTY PARCEL ID # 01-095-08W-8330-0016-0010

LEGAL DESCRIPTION OF PROPERTY: BL 16 LOT 1 & E 1/2 LOT 2, CITY OF APALACHICOLA

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: NA

ADDRESS: NA CITY, STATE & ZIP: NA

ARCHITECT'S/ENGINEER'S NAME: George Coon, Designer/SCE Engineers, Wewahitchka

ADDRESS: 120 FL-71 CITY, STATE & ZIP: Wewahitchka, FL 32465

MORTGAGE LENDER'S NAME: NA

ADDRESS: NA CITY, STATE & ZIP: NA

WATER SYSTEM PROVIDER: Apalachicola. SEWER SYSTEM PROVIDER: Apalachicola

PRIVATE WATER WELL: NA SEPTIC TANK PERMIT NUMBER: NA

CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:


1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of my association rule or regulation.

18 Feb 2021

DATE

SIGNATURE OF APPLICANT



FILE: 19282.DWG	DATE OF LAST FIELD WORK: 08/03/19	JAMES T. RODDENBERG Surveyor and Mapper Florida Certificate No. 4281
DATE: 05/06/19	DRAWN BY: BB	
N.B.616 P.20	COUNTY: FRANKLIN	
		
THURMAN RODDENBERG & ASSOCIATES, INC. PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 25 SHELDON STREET • SORCHOPPY, FLORIDA 32588 PHONE NUMBER: 918-515-2518 FAX NUMBER: 918-515-2119		

Subject property is located in Zone "X-0.2%" as per Flood Insurance Rate Map Community Panel No: 120089 0526F index date: February 05, 2014, Franklin County, Florida.

- FLOOD ZONE INFORMATION:
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
 2. BEARING REFERENCE: Southwesterly right-of-way boundary of 5th Street having an assumed bearing of North 48 degrees 54 minutes 40 seconds East.
 3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
 4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
 5. This survey is dependent upon EXISTING MONUMENTATION.
 6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.

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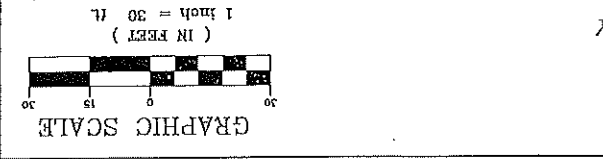
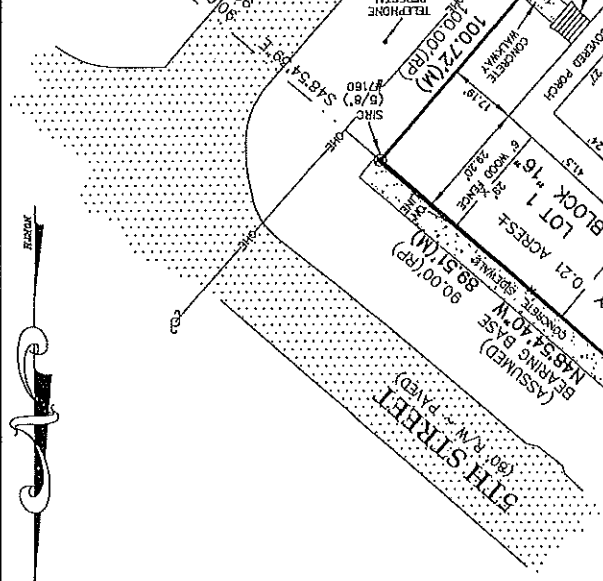
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.

5. This survey is dependent upon EXISTING MONUMENTATION.

6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

LEGAL DESCRIPTION:

Lot 1 and the Eastern Half of Lot 2, Block "16" and Lot 3, Block "16" of the CITY OF APALACHICOLA, a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.



I hereby certify that this map was prepared under my responsible direction and inspection and the title and description are true and correct to the best of my knowledge and belief. This survey, map or record is intended for public use and is not to be used for any other purpose. The undersigned surveyor and mapper, James T. Roddenberg, is duly licensed and qualified to perform the duties of a surveyor and mapper in the State of Florida. His Florida Certificate No. 4281 is hereby certified.

MEASURED
M
RECORDED PLAT
R/P
FOUND IRON ROD AND CAP
R/R
RIGHT-OF-WAY
POINT NOT SET
OR FOUND
FR
FOUND IRON ROD
NOT TO SCALE
S/R
SET 5/8" RE-ROD #7180
FOUND IRON PIPE
O/E
OVERHEAD ELECTRIC LINE
POWER POLE

LEGEND

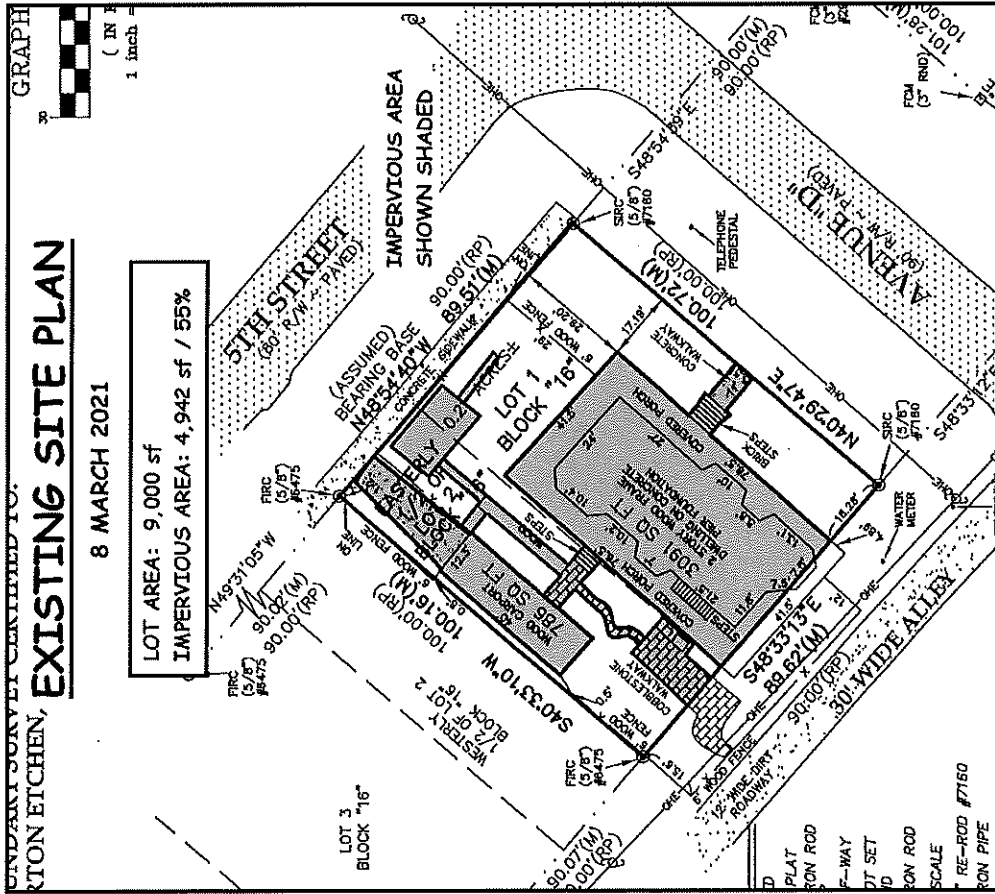
LEGEND

M MEASURED
R/P RECORDED PLAT
R/R RIGHT-OF-WAY
POINT NOT SET
OR FOUND
FR FOUND IRON ROD
NOT TO SCALE
S/R SET 5/8" RE-ROD #7180
FOUND IRON PIPE
O/E OVERHEAD ELECTRIC LINE
POWER POLE

LEGEND

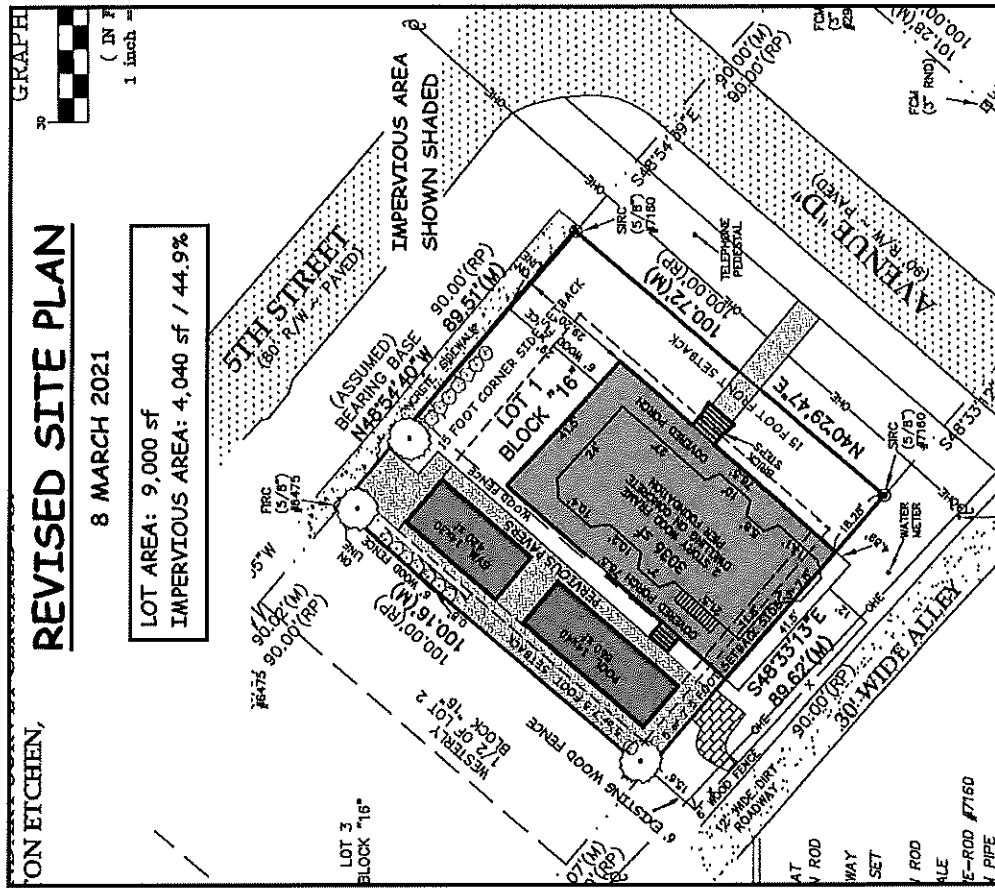
M MEASURED
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R/R RIGHT-OF-WAY
POINT NOT SET
OR FOUND
FR FOUND IRON ROD
NOT TO SCALE
S/R SET 5/8" RE-ROD #7180
FOUND IRON PIPE
O/E OVERHEAD ELECTRIC LINE
POWER POLE

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
STEVEN BARTON ETCHON,
DODD TITLE COMPANY, INC.,
FIRST AMERICAN TITLE INSURANCE COMPANY



EXISTING IMPERVIOUS LOT COVERAGE
SCALE: 1/30"

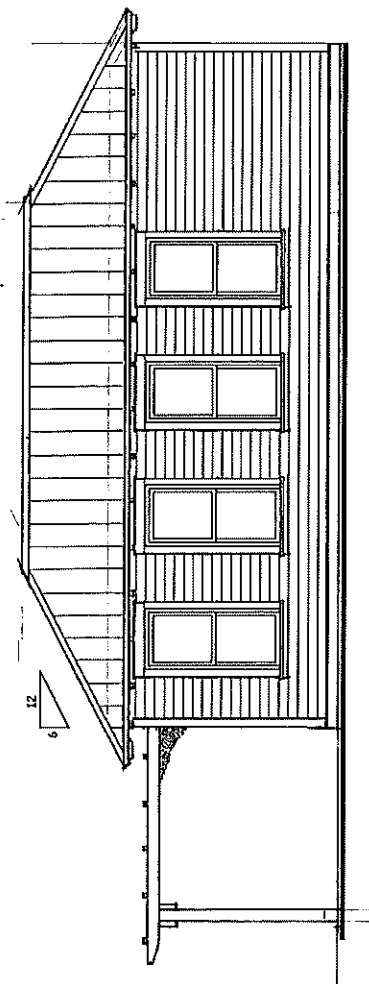
67 AVE D STEAMBOAT HOUSE / POOLHOUSE
SCALE: AS SHOWN
DATE: MARCH 2021



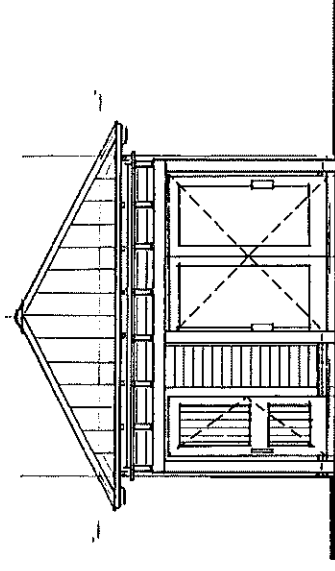
REVISED IMPERVIOUS LOT COVERAGE
SCALE: 1/30"

AS.1

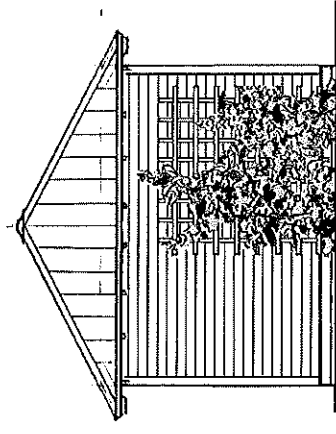
SOURCE: [Logo]
DATE: MARCH 2021



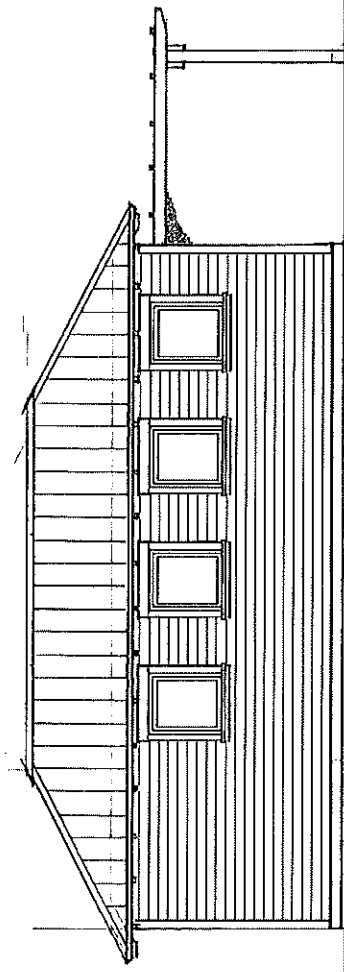
GYMNASIUM SOUTH
SCALE: 3/16"



GYMNASIUM WEST
SCALE: 3/16"



GYMNASIUM EAST
SCALE: 3/16"



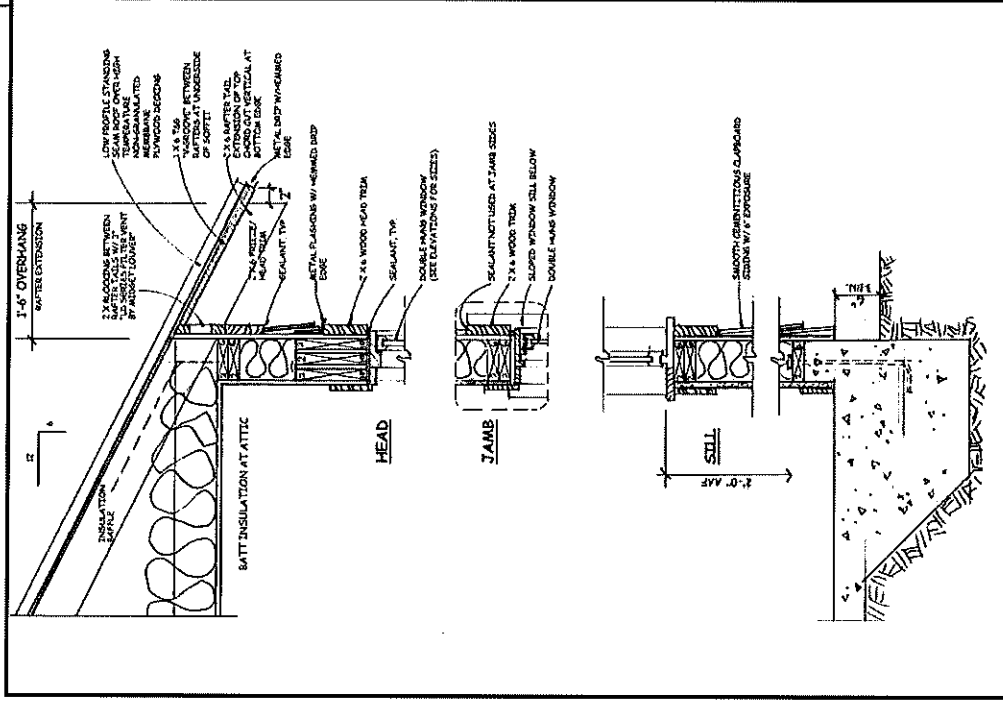
GYMNASIUM NORTH
SCALE: 3/16"

67 AVE D STEAMBOAT HOUSE / POOLHOUSE
SCALE: AS SHOWN

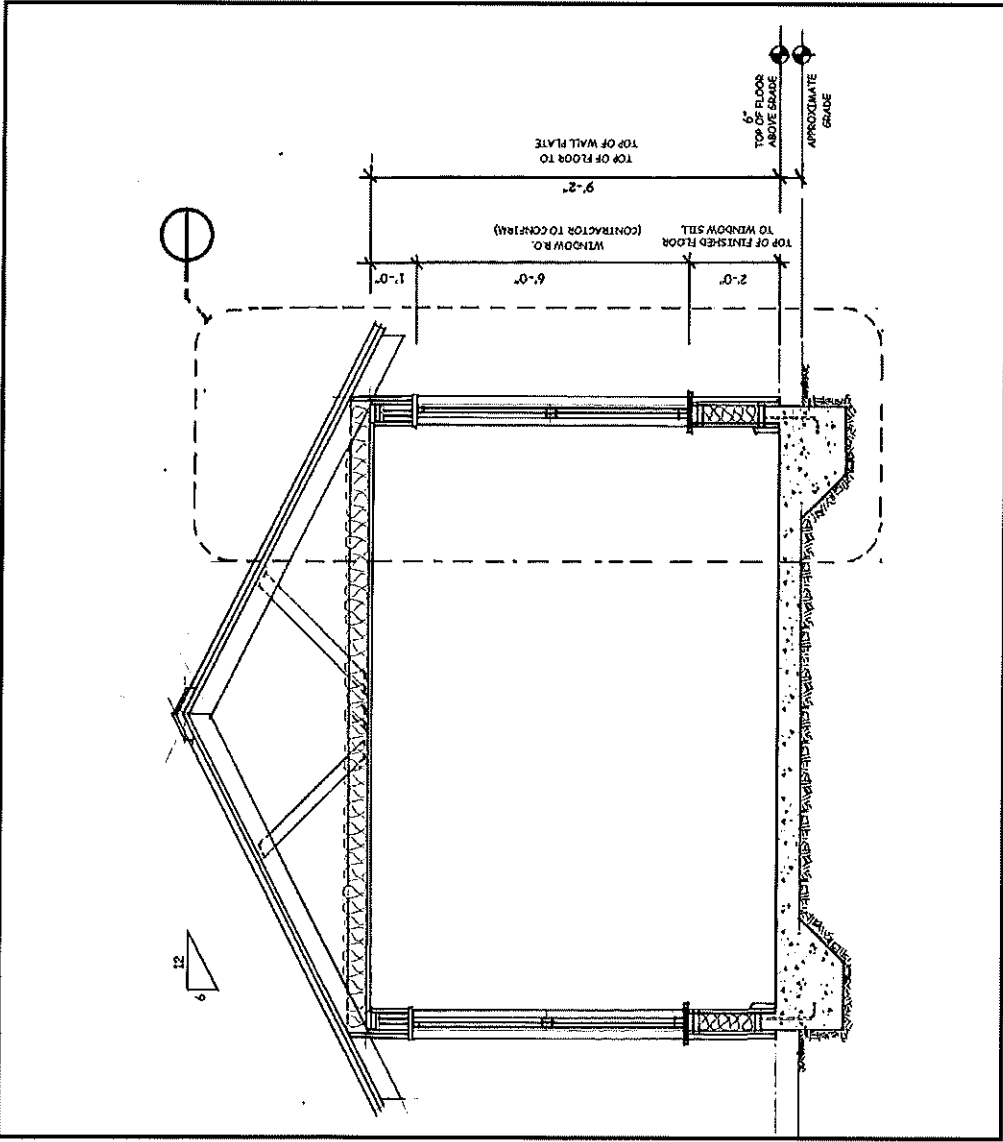
DATE: MARCH 2021

SCOTT
C. H. II
ARCHITECTS
SERVICES CORP., LLC
1200 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
PH: 303.733.8888
WWW.SCHOTTCHII.COM

A2.1



1. WALL SECTION
SCALE: 3/4"



BUILDING SECTION AA
SCALE: 3/8"

67 AVE D STEAMBOAT HOUSE / POOLHOUSE
SCALE: AS SHOWN

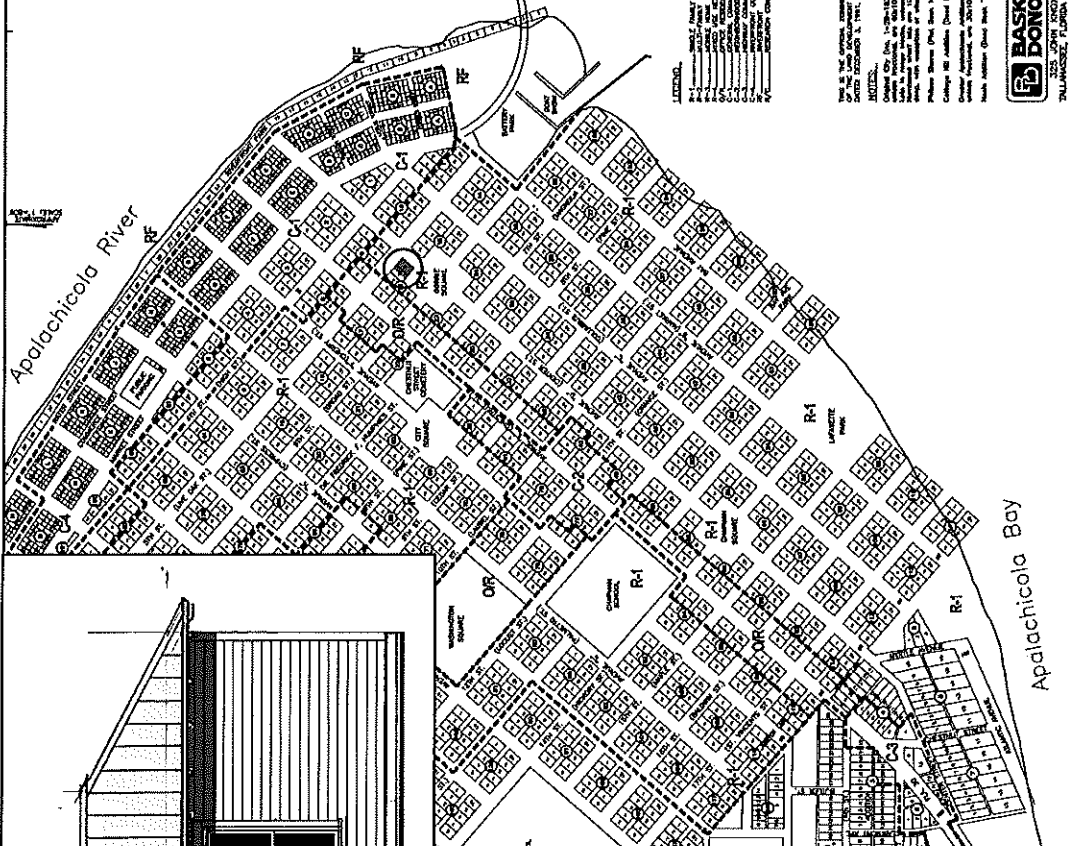
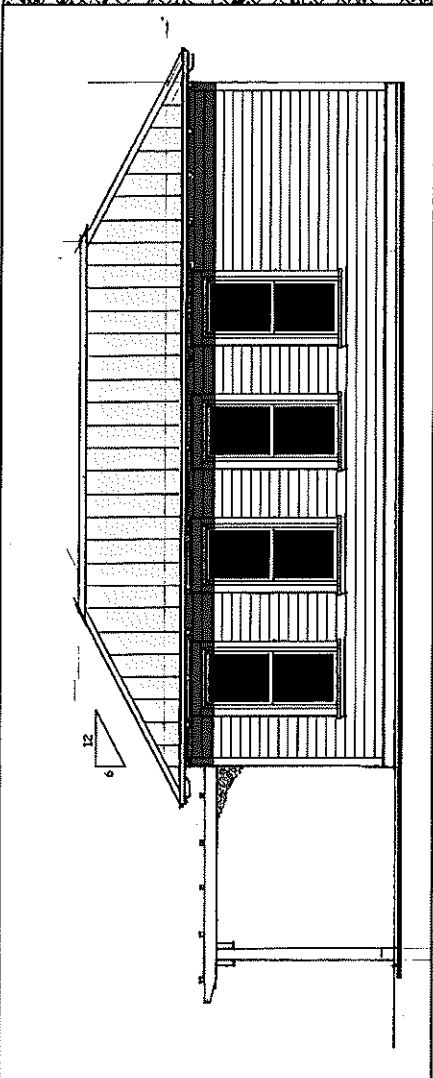
DATE: MARCH 2021



A3.1

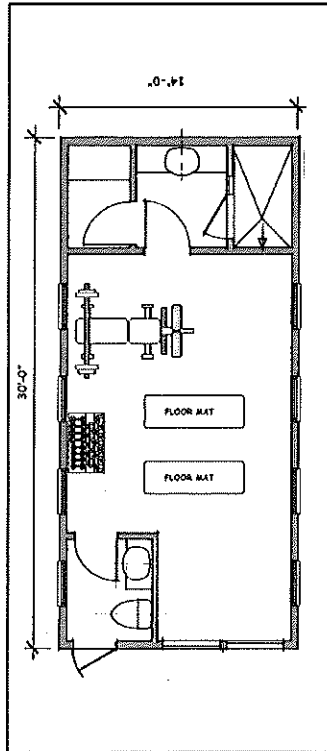
Florida

Apalachicola River



- LEGEND**
- 1. EXISTING BUILDING
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 - 99. EXISTING DRIVE
 - 100. EXISTING DRIVE

FOR ALL THE ABOVE, REFER TO THE CITY OF APALACHICOLA, FLORIDA, ZONING ORDINANCE, CHAPTER 178.00, ARTICLE 178.01, SECTION 178.01.01, 178.01.02, 178.01.03, 178.01.04, 178.01.05, 178.01.06, 178.01.07, 178.01.08, 178.01.09, 178.01.10, 178.01.11, 178.01.12, 178.01.13, 178.01.14, 178.01.15, 178.01.16, 178.01.17, 178.01.18, 178.01.19, 178.01.20, 178.01.21, 178.01.22, 178.01.23, 178.01.24, 178.01.25, 178.01.26, 178.01.27, 178.01.28, 178.01.29, 178.01.30, 178.01.31, 178.01.32, 178.01.33, 178.01.34, 178.01.35, 178.01.36, 178.01.37, 178.01.38, 178.01.39, 178.01.40, 178.01.41, 178.01.42, 178.01.43, 178.01.44, 178.01.45, 178.01.46, 178.01.47, 178.01.48, 178.01.49, 178.01.50, 178.01.51, 178.01.52, 178.01.53, 178.01.54, 178.01.55, 178.01.56, 178.01.57, 178.01.58, 178.01.59, 178.01.60, 178.01.61, 178.01.62, 178.01.63, 178.01.64, 178.01.65, 178.01.66, 178.01.67, 178.01.68, 178.01.69, 178.01.70, 178.01.71, 178.01.72, 178.01.73, 178.01.74, 178.01.75, 178.01.76, 178.01.77, 178.01.78, 178.01.79, 178.01.80, 178.01.81, 178.01.82, 178.01.83, 178.01.84, 178.01.85, 178.01.86, 178.01.87, 178.01.88, 178.01.89, 178.01.90, 178.01.91, 178.01.92, 178.01.93, 178.01.94, 178.01.95, 178.01.96, 178.01.97, 178.01.98, 178.01.99, 178.01.100.



GYMNASIUM FLOOR PLAN

- DRAWING INDEX**
- A1.0 COVER
 - S SURVEY
 - AS.1 EXISTING & REVISED SITES
 - A2.1 GYM ELEVATIONS
 - A3.1 DETAILS

67 AVE D STEAMBOAT HOUSE / POOLHOUSE

SCALE: AS SHOWN

DATE: MARCH 2021



APACHE COUNTY, ARIZONA
 APALACHICOLA, FLORIDA
 6777 Avenue Performance Center

A1.0

1/24/21

FILE: 19282DWC	DATE OF LAST FIELD WORK: 09/03/19	JOB NUMBER: 19-292
DATE: 05/08/19	DRAWN BY: BB	N.B.16 PG.20
COUNTY: FRANKLIN		

T&R
THURMAN RODDENBERRY & ASSOCIATES, INC.
 PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 100 • 125 SHELDON STREET • SORCHOPY, FLORIDA 32358
 PHONE NUMBER: 904-943-3313 FAX NUMBER: 904-943-1100
 LN # 710

Subject property is located in Zone "X-0.2%" as per Flood Insurance Rate Map Community Panel No: 120089 0526F
 Index date: February 05, 2014, Franklin County, Florida.

FLOOD ZONE INFORMATION:

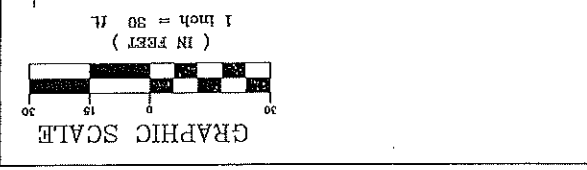
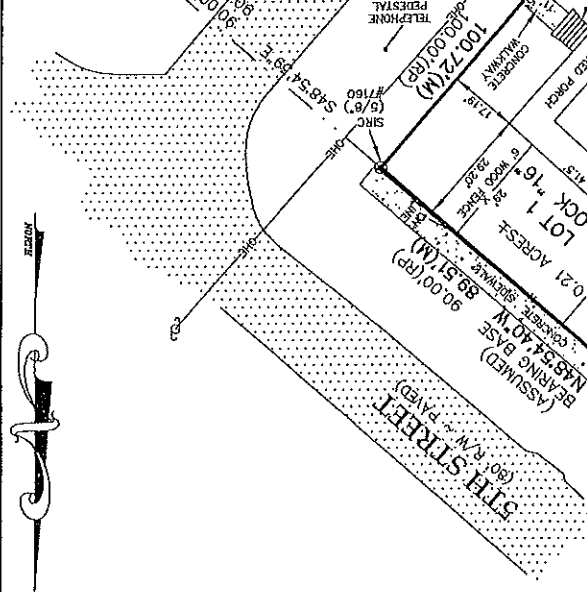
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwesterly right-of-way boundary of 5th Street having an assumed bearing of North 48 degrees 54 minutes 40 seconds East.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
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LEGAL DESCRIPTION:

Lot 1 and the Eastern Half of Lot 2, Block "16" and Lot 3, Block "16" of the City of Apalachicola, a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.



DODD TITLE COMPANY, INC.
 STEVEN BARTON ETCHON,
 PLAT OF BOUNDARY SURVEY CERTIFIED TO:

FIRST AMERICAN TITLE INSURANCE COMPANY

I hereby certify that this survey was performed under my responsible direction and supervision and that the plat and description are true and correct to the best of my knowledge and belief. The survey, in whole or in part, was made in accordance with the standards for precision for Professional Surveyors and Mappers, Florida Statute 475.05(1)(a) and (b), Florida Board of Professional Surveyors and Mappers, Florida Statute 475.05(1)(c), Florida Statute 475.05(1)(d), Florida Statute 475.05(1)(e), Florida Statute 475.05(1)(f), Florida Statute 475.05(1)(g), Florida Statute 475.05(1)(h), Florida Statute 475.05(1)(i), Florida Statute 475.05(1)(j), Florida Statute 475.05(1)(k), Florida Statute 475.05(1)(l), Florida Statute 475.05(1)(m), Florida Statute 475.05(1)(n), Florida Statute 475.05(1)(o), Florida Statute 475.05(1)(p), Florida Statute 475.05(1)(q), Florida Statute 475.05(1)(r), Florida Statute 475.05(1)(s), Florida Statute 475.05(1)(t), Florida Statute 475.05(1)(u), Florida Statute 475.05(1)(v), Florida Statute 475.05(1)(w), Florida Statute 475.05(1)(x), Florida Statute 475.05(1)(y), Florida Statute 475.05(1)(z).

LEGEND
 M MEASURED
 RP RECORD PLAT
 FRC FOUND IRON ROD AND CAP
 R/W RIGHT-OF-WAY
 PNT POINT NOT SET
 OR FOUND
 FR FOUND IRON ROD
 NOT TO SCALE
 SRC SET 5/8" RE-ROD #7160
 FP FOUND IRON PIPE
 OHE OVERHEAD ELECTRIC LINE
 POWER POLE

LEGAL DESCRIPTION:
 Lot 1 and the Eastern Half of Lot 2, Block "16" and Lot 3, Block "16" of the City of Apalachicola, a subdivision as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

NOTES:
 1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
 2. BEARING REFERENCE: Southwesterly right-of-way boundary of 5th Street having an assumed bearing of North 48 degrees 54 minutes 40 seconds East.
 3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
 4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
 5. This survey is dependent upon EXISTING MONUMENTATION.
 6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

FLOOD ZONE INFORMATION:
 Subject property is located in Zone "X-0.2%" as per Flood Insurance Rate Map Community Panel No: 120089 0526F
 Index date: February 05, 2014, Franklin County, Florida.

T&R
THURMAN RODDENBERRY & ASSOCIATES, INC.
 PROFESSIONAL SURVEYORS AND MAPPERS
 P.O. BOX 100 • 125 SHELDON STREET • SORCHOPY, FLORIDA 32358
 PHONE NUMBER: 904-943-3313 FAX NUMBER: 904-943-1100
 LN # 710

DATE: 05/08/19
 DRAWN BY: BB
 N.B.16 PG.20
 COUNTY: FRANKLIN
 FILE: 19282DWC
 DATE OF LAST FIELD WORK: 09/03/19
 JOB NUMBER: 19-292

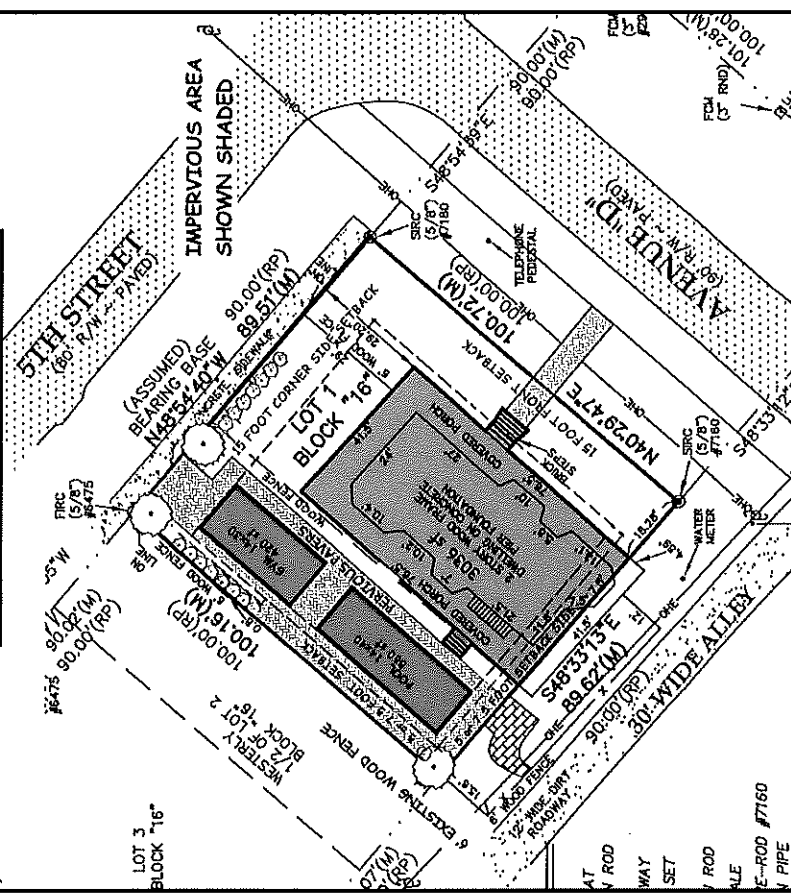
DODD TITLE COMPANY, INC.
 STEVEN BARTON ETCHON,
 PLAT OF BOUNDARY SURVEY CERTIFIED TO:
FIRST AMERICAN TITLE INSURANCE COMPANY

GRAPH
(IN 2
1 inch =

REVISED SITE PLAN

8 MARCH 2021

LOT AREA: 9,000 sf
IMPERVIOUS AREA: 4,040 sf / 44.9%



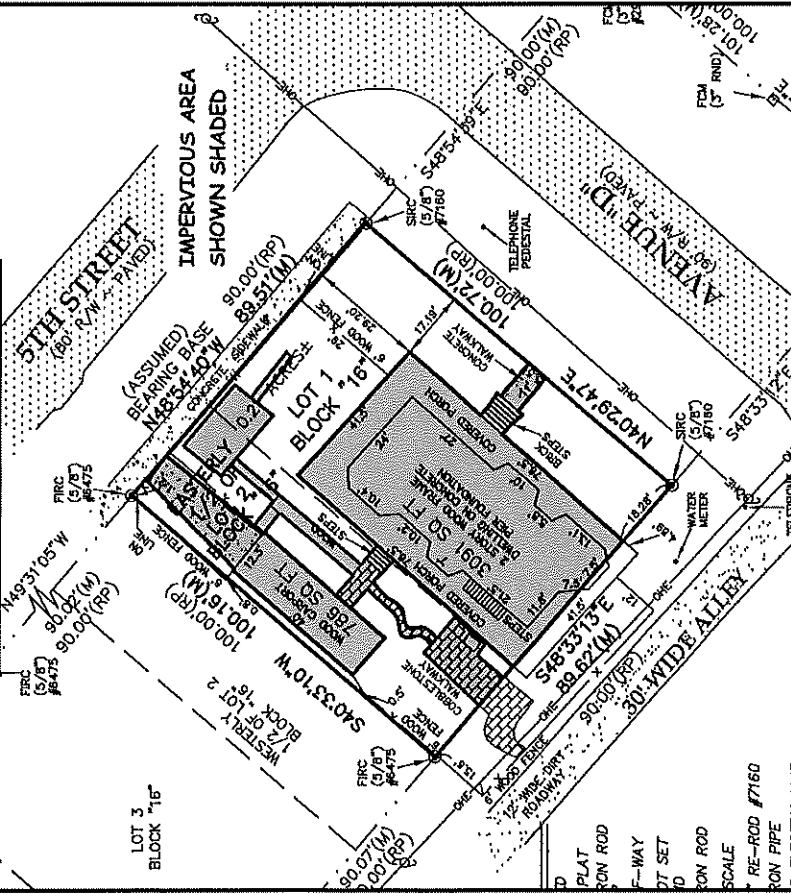
REVISED IMPERVIOUS LOT COVERAGE
SCALE: 1/30"

GRAPH
(IN 2
1 inch =

EXISTING SITE PLAN

8 MARCH 2021

LOT AREA: 9,000 sf
IMPERVIOUS AREA: 4,942 sf / 55%



EXISTING IMPERVIOUS LOT COVERAGE
SCALE: 1/30"

67 AVE D STEAMBOAT HOUSE / POOLHOUSE

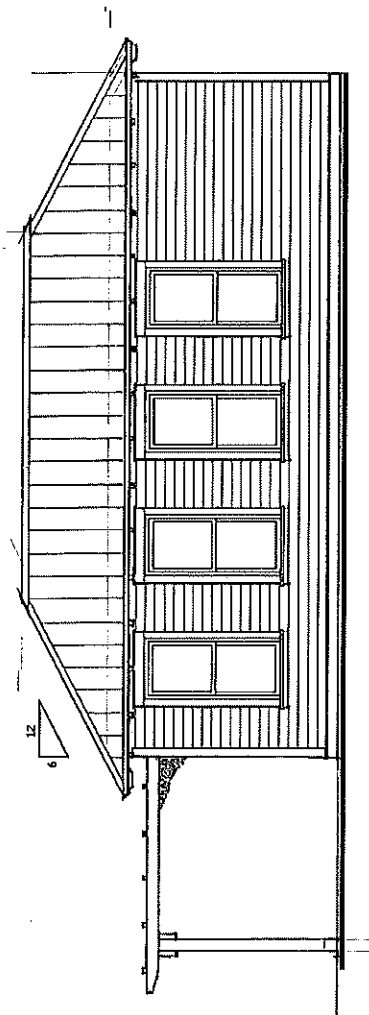
SCALE: AS SHOWN

DATE: MARCH 2021

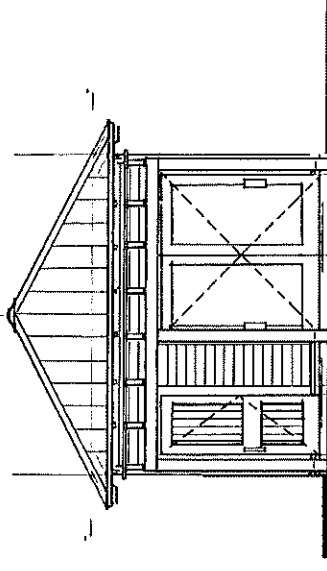


SCOTT'S
CIVIL ENGINEERS & ARCHITECTS
10000 101ST AVE NE
SUITE 1000
REDMOND, WA 98073
PH: 206.881.1111
WWW.SCOTTSCEA.COM

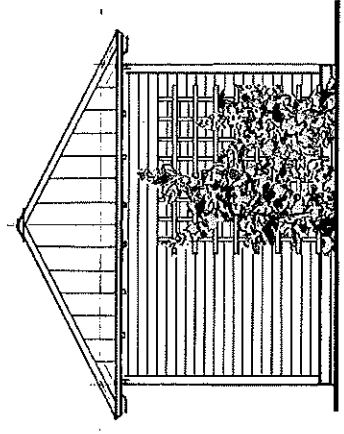
AS.1



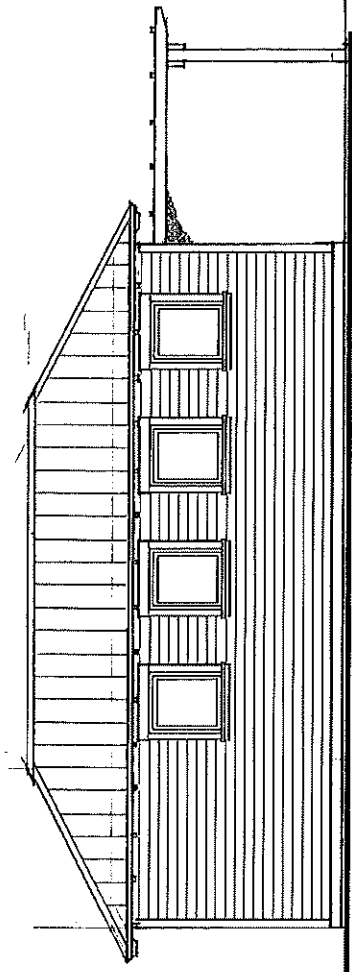
GYMNASIUM SOUTH
SCALE: 3/16"



GYMNASIUM WEST
SCALE: 3/16"



GYMNASIUM EAST
SCALE: 3/16"



GYMNASIUM NORTH
SCALE: 3/16"

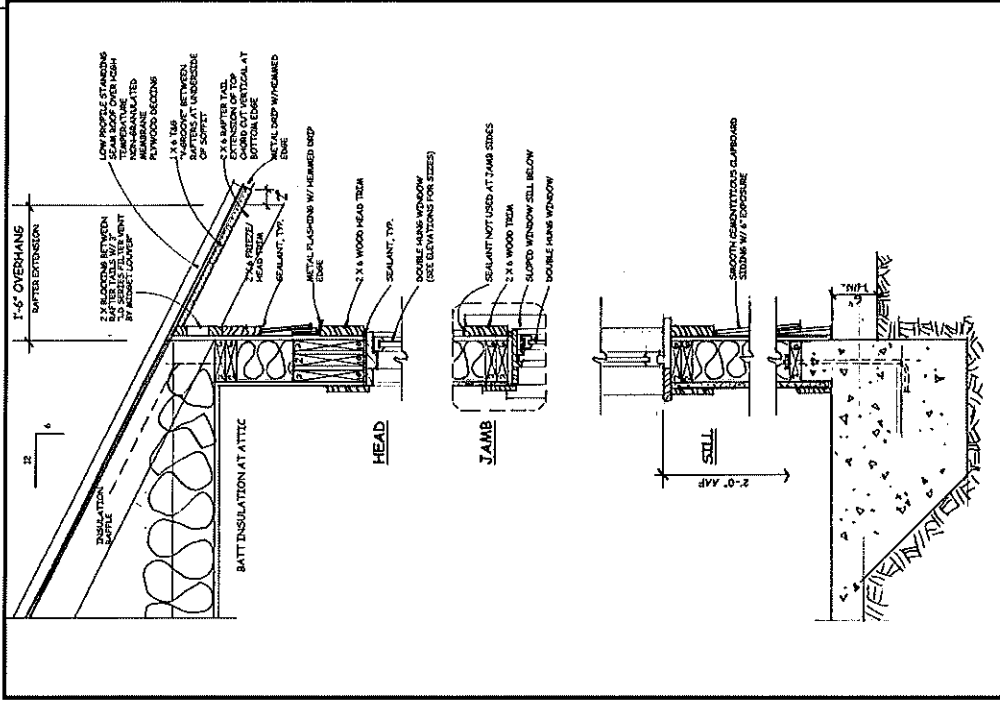
67 AVE D STEAMBOAT HOUSE / POOLHOUSE

SCALE: AS SHOWN

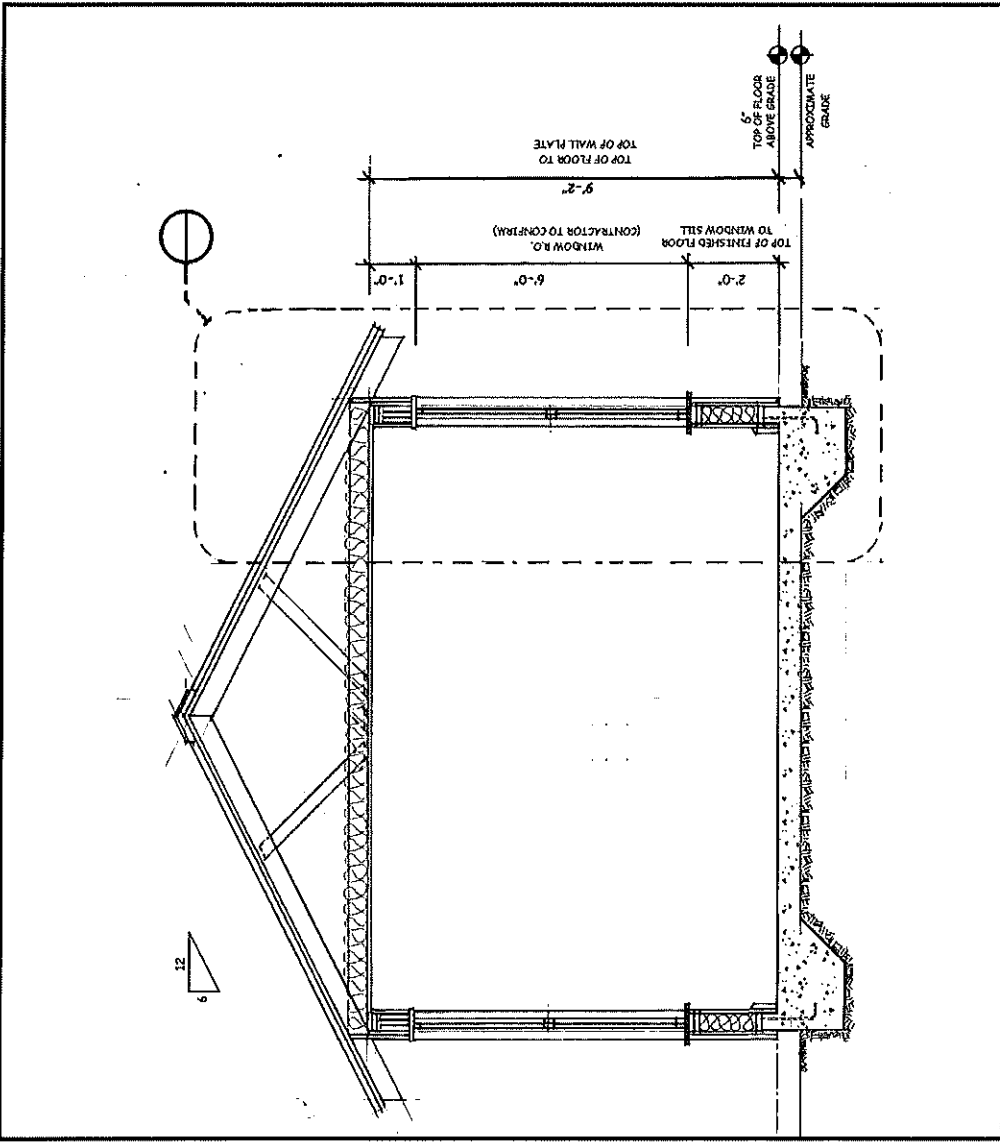
DATE: MARCH 2021



A2.1



1. WALL SECTION
SCALE: 3/4"



BUILDING SECTION AA
SCALE: 3/8"

A3.1

PROJECT: 67 AVE D STEAMBOAT HOUSE / POOLHOUSE
DATE: MARCH 2021

67 AVE D STEAMBOAT HOUSE / POOLHOUSE
SCALE: AS SHOWN

#10

51 AVEC

MOVE Bldg. + Construct New Storage

Etchen

EPCI
CITY OF APALACHICOLA
BUILDING DEPT.
192 Coach Wagoner Blvd.
APPLICATION FOR BUILDING PERMIT

DATE: FEB 3RD 2021 Permit # _____ Permit Fee _____ (payable to EPCI)

OWNER'S NAME: GIBSON INN LLC Email: _____

ADDRESS: GIBSON INN ST AVOC

CITY, STATE & ZIP CODE: APALACHICOLA FL PHONE # 850-312-8330

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

ADDRESS: P.O. BOX 221

CITY, STATE & ZIP CODE: APALACHICOLA FL PHONE # 850-312-8330

CONTRACTOR'S NAME: COASTAL ICF CONSTRUCTION Email: DOCK@COASTALICFCONSTRUCTION.COM

ADDRESS: P.O. BOX 484

CITY, STATE & ZIP CODE: PORT ST. JOE PHONE # 850-340-1890

STATE LICENSE NUMBER: 0BC 1255797 COMPETENCY CARD # _____

ADDRESS OF PROJECT: 51 AVOC

PURPOSE OF PERMIT: MOVE OUT BUILDING 20' TO THE SOUTH + CONSTRUCT NEW STORAGE BLDG

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
 YES NO

PROPERTY PARCEL ID # 01-095-08W-8330-0001-0010

LEGAL DESCRIPTION OF PROPERTY: _____

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: NONE

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: SCÉ

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: NONE

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: _____ SEWER SYSTEM PROVIDER: _____

PRIVATE WATER WELL: _____ SEPTIC TANK PERMIT NUMBER: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc. (applications may be emailed to cityofapalachicola@gmail.com or dropped off at City Hall mailbox)

PURPOSE OF BUILDING:


Single Family Townhouse Commercial Industrial Shed
 Multi-Family Swimming Pool Storage Sign Pole Barn
 Temp Pole Demolition Other _____
 Addition, Alteration or Renovation to building. _____

Distance from property lines: Front _____ Rear _____ L. Side _____
 R. Side _____
 Cost of Construction \$ 60,000.00 Square Footage _____
 EPI _____ Flood Zone _____ Lowest Floor Elevation _____
 Area Heated/Cooled _____ # Of Stories _____ # Of Units _____
 Type of Roof _____ Type of Walls _____ Type of Floor _____
 Extreme Dimensions of: Length _____ Height _____ Width _____

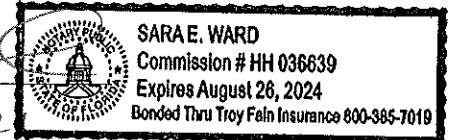
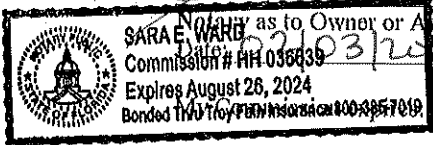
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

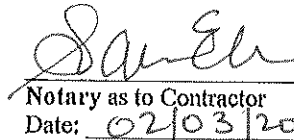
NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

 2/3/21
 Signature of Owner or Agent Date

 3 FEB 21
 Signature of Contractor Date

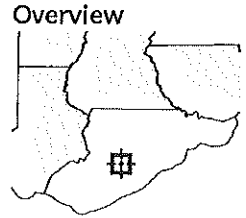






 Notary as to Contractor
 Date: 02/03/2021

My Commission expires: 08/26/2024

APPLICATION APPROVED BY: _____ BUILDING OFFICIAL.

(email to: cityofapalachicola@gmail.com or drop off in City drop box)
 (make checks payable to EPCI – 192 Coach Wagoner Blvd. Apalachicola, FL 32320)



- Legend**
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	01-09S-08W-8330-0001-0031	Alternate ID	08W09S01833000010031	Owner Address	BUCK HOUSE,LLC
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		C/O GIBSON INN LLC
Property Address		Acreage	n/a		APALACHICOLA, FL 32329
District	3				
Brief Tax Description	BL 1 NW 1/2 LOT 3 & A PORTION (Note: Not to be used on legal documents)				

Date created: 3/3/2021
 Last Data Uploaded: 3/3/2021 7:41:34 AM

Developed by  **Schneider**
 GEOSPATIAL



Parcel Summary

Parcel ID 01-09S-08W-8330-0001-0031
 Location Address 32320
 Brief BL 1 NW 1/2 LOT 3 & A PORTION OF LOT 4 M/L CITY OF APALACH HH/135 77/43 146/70 163/629 207/401 431/66 550/49 550/52 550/54 561/575
 Tax Description* 1066/743 1240/339
 *The Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 1-9S-8W
 Tax District Apalachicola (District 3)
 Millage Rate 20.2323
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
Buck House, LLC
 C/O Gibson Inn LLC
 Apalachicola, FL 32329

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
001000	COMMERCIAL	60.00	UT	0	0

Residential Buildings

Building 1
 Type SF APALACH
 Total Area 1,494
 Heated Area 360
 Exterior Walls HARDIE SID
 Roof Cover TIN ROOF
 Interior Walls DRYWALL
 Frame Type N/A
 Floor Cover PINE WOOD
 Heat FORCED AIR
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 1
 Stories 0
 Effective Year Built 1970

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0665	STEPS W/RAILS	1	0x0x0	36	SF	2000
1016	WOOD FENCE 6'	1	0x0x0	36	SF	1970
0310	WD WALK	1	0x0x0	276	SF	1970

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/30/2019	\$310,000	WD	1240	339	Unqualified (U)	Improved	HOKKER	BUCK HOUSE, LLC
N	06/28/2012	\$145,000	WD	1066	743	Qualified (Q)	Improved	GARLICK	HOKKER

(Previous Pt 2^s-Gibson Inn) 1

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING

MONDAY, January 11th, 2021

Community Center/ City Hall -1 Bay Avenue

Agenda

7. Review, Discussion and Decision for Private Dock. (R-2) @ 309 Hwy 98. Block 270, Lots 16 and 17. For William/Elizabeth Trawick-Owners; Contractor: David Keith.

Motion to Approve by Bobby Miller; 2nd by Jim Bachrach. Motion carries.

8. Review, Discussion and Decision for New Construction & Renovation. (Historic District) (C-1) @ 48 Ave D. Block 1, Lots 2 & 3. For Steven Etchen-Owner; Contractor: TBD.

Motion to require 9'4" fence reduced down to 6' within 2 weeks; and new existing picket fence to have P&Z Application submitted – by Jim Bachrach; 2nd by Joe Taylor.

Other/New Business:

still portion remaining

Proposal by Anita Grove to add statement to Building Permits for Homeowners to sign that if they add vegetation/gravel/etc. to the city right of way/easement that they understand the risk of removal.

Outstanding/Unresolved Issues:

2019 House Demolition without permit – has fine been imposed?

Motion to Adjourn by Jim Bachrach; 2nd by Joe Taylor.

Al Ingle, Chairman

48 AVED

1/11/21
Tabled
16
until Fence Issue Resolved

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

THE PROJECT IS TO RENOVATE THE EXISTING A LA CARTE BUILDING "AS IS" WHILE ATTACHING TO A NEW BUILDING 5 FEET TO THE SOUTH. THE ORIGINAL BUILDING WILL REMAIN ESSENTIALLY THE SAME WITH IMPROVEMENTS TO THE STRUCTURE AND INTERIORS TO ALLOW A ROOM OVER AN EXISTING STORAGE AREA. THE BUILDING WILL BE ATTACHED TO ANOTHER STRUCTURE NEXT TO IT.

THE SECOND BUILDING COMPRISES 2 SEPARATE OFFICE SPACES ENTERED FROM 4th St. A MIDDLE AREA WILL BE OPEN TO THE GIBSON LANDSCAPED LAWNS AS A SHELTER.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		LAP CEMENTITIOUS	
Doors		VINYL OR VINYL COATED STEEL	
Windows		SAME	
Roofing		LOW PROFILE STANDING SEAM, NATURAL GALVALUME	
Trim		CEMENTITIOUS 2X6 AT CORNERS	
Foundation		STRUCTURE DESIGNED CONCRETE	
Shutters		NA	
Porch/Deck		OPEN SPACED 2X8 PRESSURE TREATED WOOD	
Fencing			
Driveways/Sidewalks		NA GRAVEL OR PERVIOUS TO BE AGREED	
Other			

1/11/21

lc

CITY OF APALACHICOLA
CERTIFICATE OF APPROPRIATENESS APPLICATION

Official Use Only

-HISTORIC DISTRICT-

Application # _____
City Representative _____
Date Received _____

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Steven Etchen
Address 433 Cape San Blas Rd.
City Port St. Joe State FL Zip 32456
Phone (850) 312-8330

State License # No contractor chosen yet
City License # _____ County License # _____
Email Address _____
Phone (_____) _____

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date _____

*Reason for Denial

PROJECT TYPE

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other _____

PROPERTY INFORMATION:

Street Address: 48 Ave "D" City & State: Apalachicola, FL Zip 32320

Historic District Non-Historic District Zoning District: C1

Parcel #: 01-095-08wW8330-0001-0031 Block(s) 1 Lot(s) 2&3

FEMA Flood Zone/Panel #: X / 0.2
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:
Front _____ Rear _____ Side _____ Lot Coverage: _____
Water Available: _____ Sewer Available: _____ Taps Paid: _____

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCL.

Cortni Banksston
Permitting and Development Coordinator
(850) 658-1522 (ext 205) Phone
(850) 658-5028 Cell
cortnibanksston@cityofapalachicola.com

JAN 11, 2021
P+Z

1d

8

48 AVE D

Etchen

New Construction
+
Renovation

fabled ponds
fence
ISSUE
Resolved
NOT completely
resolved 3/3/21

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY **November 9th, 2020**
Community Center/ City Hall -1 Bay Avenue
Agenda

Workshop: Fences: 5:00 pm

In Attendance: Al Ingle, Elizabeth Milliken, Jim Bachrach, Kristy Banks, Dennis Winterringer.

Discussion of proposed changes and deletions; municode.

Regular Meeting: 6:00 pm

In Attendance: Al Ingle, Elizabeth Milliken, Jim Bachrach, Joe Taylor, Kristy Banks.

- ✓ 1. Approval of October 12th, 2020 regular meeting minutes.

Motion to approve by Jim Bachrach; 2nd by Elizabeth Milliken. Motion carries.

✓ 2. Review Discussion and Decision for Temporary Fence and Trees Removal. **(Historic District) (C-1) @ 48 Ave D/51 Ave C.** Block 1, Lots 2,3,6&7. For Steven Etchen-Owner; Contractor: TBD.
Temporary Construction Fence approval for one year and must be in compliance with Florida Building Code requirements & Trees removal by Code Enforcement Permitting. Motion to approve by Joe Taylor; 2nd Jim Bachrach. Motion carries

- ✓ 3. Review, Discussion and Decision for Storage Shed. **(Historic District) (R-1) @ 145 5th St.** Block 6, Lot 7. For Hillary Brigham-Owner; Contractor: Southern Storage Solutions.

Motion to approve by Joe Taylor; 2nd by Jim Bachrach. Motion carries.

- ✓ 4. Review, Discussion and Decision for Storage Shed and Deck expansion. **(Historic District) (R-1) @ 132 Sawyer Ln.** Block 117, Lot 9. For Nick/Carol Avossa-Owners; Contractor: Tuff Sheds.

Motion to approve contingent upon 15' total side setbacks with minimum 5' by Jim Bachrach; 2nd by Joe Taylor. Motion carries.

- ✓ 5. Review, Discussion and Decision for Storage Shed. **(Historic District) (R-1) @ 184 8th St.** Block 167, Lot 1. For Willie/Barbara McNair-Owner; Contractor: Box Portable Buildings.

Motion to approve by Jim Bachrach; 2nd by Joe Taylor. Motion carries.

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, November 9th, 2020 (cont'd)
Community Center/ City Hall -1 Bay Avenue
Agenda

6. Review, Discussion and Decision for Storage Shed. (R-3) @ 304 24th St. Block 229, Lots 1-4. For Barbara Mathis-Owner; Contractor: N/A.
Motion to approve by Jim Bachrach; 2nd by Joe Taylor. Motion carries.

7. Review, Discussion and Decision for New Residence and Garage. (R-2) @ 14th St. Block 140 Lot 8. For Harold Knowles-Owner; Contractor: Open Ventures Group.
Motion to approve by Jim Bachrach; 2nd by Joe Taylor. Motion carries.

8. Review Discussion and Decision for Renovation/Remodel, (Historic District) (C-2) @ 87 MLK Blvd. Block 177, Lot 10. For – Marc Johnson-Owner; Contractor: Byrd Construction.
Motion to approve by Jim Bachrach; 2nd by Elizabeth Milliken. Motion carries.

9. Review, Discussion and Decision for new Garage. (Historic District) (R-1) @ 127 Ave B. Block 44 Lots 1,2 & ½ SE 3. For Alexander/Andrea Allen-Owners; Contractor: Heath Galloway.
Motion to approve by Jim Bachrach; 2nd by Joe Taylor. Motion carries.

10. Review, Discussion and Decision for new Garage. (Historic District) (R-1) @ 144 4th St. Block 7, Lot 2. For James Harrelson/Janine Sheffield-Owners; Contractor: TBD.
Motion to approve by Joe Taylor; 2nd by Jim Bachrach. Motion carries.

Other/New Business: Uta Hardy Resignation/P&Z Board Co-Chair vacancy.
Motion to approve Joe Taylor as P&Z Board Co-Chair by Jim Bachrach; 2nd by Elizabeth Milliken; All in favor. Motion carries.

Outstanding/Unresolved Issues: **Schedule another Fence Workshop.**

Code Enforcement to impose Fines for Gibson Inn Fence &

Demolished Ave D house.

Meeting Adjourned

A. H/c 11/23/20

Chairman

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, October 12th, 2020
Community Center/ City Hall -1 Bay Avenue
Agenda

- 5. Review Discussion and Decision for Demo, Trees Removal/Alteration, New Construction. (Historic District) (C-1) @ 48 Ave D. Block 1, Lots 2&3. For – Steven Etchen – Owner; Contractor: TBD.

Motion to approve by Jim Bachrach; 2nd by Heath Galloway. Motion carries.

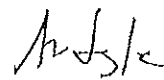
- 6. Review Discussion and Decision for Demo, Trees Removal/Alteration, New Construction, Fence & Swimming Pool, (Historic District) (C-1) @ 51 Ave C. Block 1, Lots 6&7. For – Steven Etchen – Owner; Contractor: TBD.

Motion to approve (fence per Florida commercial swimming pool & fence laws/trees omitted)- by Jim Bachrach; 2nd by Joe Taylor. Motion carries.

Other/New Business: November 9th Workshop planned: Fences

Outstanding/Unresolved Issues: Lighted Signs Need to be Addressed

Motion to adjourn: Jim Bachrach; 2nd by Constance Peck. Meeting Adjourned.



Chairman

10/12/20

48 AVE D
Approved

5

Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

THE PROJECT IS THE REMOVAL OF THE AH LA CARTE STRUCTURE REPLACING IT WITH A NEW GIBSON OFFICE ON TWO LEVELS WITH EXTERIOR ACCESSABILITY. ATTACHED TO THE INTERIOR SPACES WILL BE AN EXTENSIVE GROUND LEVEL PORCH. BOTH THE NEW OFFICE AREA AND PORCH WILL BE DIRECTLY CONNECTED TO THE NEW GIBSON GARDENS LANDSCAPED AREA. ALL PARTS OF ANY STRUCTURE WILL MEET OFFICE FIRE & LIFE SAFETY CODES.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Sliding		LAP CEMENTITIOUS	
Doors		VINYL OR VINYL COATED STEEL	
Windows		SAME	
Roofing		LOW PROFILE STANDING SEAM, NATURAL GALVALUME	
Trim		CEMENTITIOUS 2X6 AT CORNERS	
Foundation		STRUCTURE DESIGNED CONCRETE	
Shutters		NA	
Porch/Deck		OPEN SPACED 2X8 PRESSURE TREATED WOOD	
Fencing			
Driveways/Sidewalks		NA GRAVEL OR PERVIOUS TO BE AGREED	
Other			

10/12/20

6

CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION HISTORIC DISTRICT	Official Use Only Application # _____ City Representative _____ Date Received _____
------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------

OWNER INFORMATION	CONTRACTOR INFORMATION
Owner <u>Steven Etchen</u> Address <u>433 Cape San Blas Rd.</u> City <u>Port St. Joe</u> State <u>FL</u> Zip <u>32456</u> Phone <u>(850) 312-8330</u>	State License # <u>No contractor chosen yet</u> City License # _____ County License # _____ Email Address _____ Phone <u>()</u>

Approval Type: Staff Approval Date: _____ Board Approval Board Denial Date: _____

*Reason for Denial _____

PROJECT TYPE	
<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/Restoration <input type="checkbox"/> Relocation <input checked="" type="checkbox"/> Demolition	<input type="checkbox"/> Rencove <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Vandalism <input checked="" type="checkbox"/> New Construction replacing "Ah La Carte"

PROPERTY INFORMATION			
Street Address	<u>48 Ave "D"</u>	City & State	<u>Apalachicola, FL</u> Zip <u>32320</u>
<input checked="" type="checkbox"/> Historic District	<input type="checkbox"/> Non-Historic District	Zoning District	<u>C1</u>
Parcel #	<u>01-09S-08W/8330-0001-0031</u>	Block(s)	<u>1</u> Lot(s) <u>2&3</u>
FEMA Flood Zone/Panel # <u>X / 0.2</u> <small>(For AH, AO, AH or VE Please complete attached Flood Application)</small>			

OFFICIAL USE ONLY	
Setback requirement of Property: Front _____ Rear _____ Side _____ Lot Coverage _____ Water Available _____ Sewer Available _____ Taps Paid _____	<p>This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.</p> <p>Certificate of Appropriateness Approval</p> <p>_____ Chairperson, Apalachicola Planning & Zoning Board</p>

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Coryl Banks
 Permitting and Development Coordinator
 (850) 853-1722 (ext 206) Phone
 (850) 853-7023 Cell
 corylbanks@cityofapalachicola.com

10/2/20

51 AVE C

Approved

Describe The Proposed Project and Materials, Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

The project consists of the removal of the 1 story building at the corner of Ave "D" and Market Street, the erection of a fence with planting along the top, and the addition of a swimming pool for the use of the Gibson Inn.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

10/12/20 (P42) Item #6

Approved ⁸
per comment swimming Pools

CITY OF APALACHICOLA CERTIFICATE OF APPROPRIATENESS APPLICATION -HISTORIC DISTRICT-		Official Use Only Application # _____ City Representative _____ Date Received _____
OWNER INFORMATION		CONTRACTOR INFORMATION
Owner <u>Steven Etchen</u> Address <u>433 Cape San Blas Rd.</u> City <u>Port St. Joe</u> State <u>FL</u> Zip <u>32456</u> Phone <u>(850) 312-8330</u>		State License # <u>No contractor chosen yet</u> City License # _____ County License # _____ Email Address _____ Phone # (____) _____
Approval Type: <input type="checkbox"/> Staff Approval Date: _____ <input type="checkbox"/> Board Approval <input type="checkbox"/> Board Denial Date: _____ *Reason for Denial _____		
PROJECT TYPE		
<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Addition <input type="checkbox"/> Alteration/renovation <input type="checkbox"/> Relocation <input type="checkbox"/> Demolition	<input type="checkbox"/> Fence <input type="checkbox"/> Repair (Extensive) <input type="checkbox"/> Variances <input type="checkbox"/> <u>Other</u> <u>New Construction</u> <u>Swimming pool, lawn, and trees</u>	
PROPERTY INFORMATION:		
Street Address: <u>.51 Ave "C"</u> City & State <u>Apalachicola, FL</u> Zip <u>32320</u> <input checked="" type="checkbox"/> Historic District <input type="checkbox"/> Non-Historic District Zoning District <u>C1</u> Parcel #: <u>01-09S-08wW8330-0001-0031</u> Block(s) <u>"1"</u> Lot(s) <u>6 & 7</u> FEMA Flood Zone/Panel #: <u>X / 0.2</u> <small>(For AE, AO, AH or VE Please complete attached Flood Application)</small>		
OFFICIAL USE ONLY		
Setback requirements of Property: Front: _____ Rear: _____ Side: _____ Lot Coverage: _____ Water Available: _____ Sewer Available: _____ Taps Paid: _____		This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued. Certificate of Appropriateness Approval _____ Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Coryal Bunkston
 Permitting and Development Coordinator
 (850) 658-1522 (ext 206) Phone
 (850) 658-4028 Cell
coryalbunkston@cityofapalachicola.com

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY September 14th, 2020
Community Center/ City Hall -1 Bay Avenue
Agenda

- 7. Review, Discussion and Decision for Construction of New Single Family Residence, (Historic District) (R-1) @ 115 10th St. Block 70, Lot 7. For Mike/Cathy Roseberry-Owners; Contractor: 1st Choice Builders, Bryce Ford.

Motion to approve: Jim Bachrach; 2nd by Elizabeth Milliken. Motion carries.

- 8. Review Discussion and Decision for Demo, Trees Removal/Alteration, New Construction & Swimming Pool, (Historic District) (C-1) @ 58 Market St. Block 1, Lots 6&7; (Historic District) (C-1) @ 58 5th St. & 48 Ave D. Block 1, Lots 2&3. For - Steven Etchen - Owner; Contractor: TBD...

No representation present. Motion to table: Constance Peck; 2nd by Jim Bachrach.

Al Ingle: many questions regarding this application, ex.-What are the structures on the drawings? Impermeable availability calculated per lot? Trees affected? Changes?

Motion for workshop to be scheduled: Jim Bachrach; 2nd by Joe Taylor.

14. Other/New Business:

Anfta Grove: Workshop regarding Downtown "Achieving Resilience Through Hazard Mitigation". - October 12th.

Dennis Winterringer: request for workshop regarding changing regulations pertaining to fences and walls.

Workshop scheduled for November 9th.

15. Outstanding/Unresolved Issues:

P&Z board members to email outstanding issues to Tammy for presentation and resolution at upcoming meetings.

Motion to adjourn: Constance Peck; 2nd by Jim Bachrach. Meeting Adjourned.

Al Ingle 9/18/2020

Chairman

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY August 10th, 2020
Community Center/ City Hall -1 Bay Avenue
Agenda

Uta Hardy/Seller Representative: "Asking for Exception" to build single-family residence in C-1 zone.

Kristy Banks: Reads C-1 requirements; Nothing in C-1 ordinance allows for C-1 exception for Single-family use.

Jim Bachrach: "We do not have the authority to grant this special exception."

12. Review Discussion and Decision for Demo, Tree Removal & New Construction, (Historic District) (C-1) @ 48 Ave. D. Block 1, Lots 2&3; and Demo, Tree Removal, New Construction & Swimming Pool. (Historic District) (C-1) @ 51 Ave C. Block 1, Lots 6&7. For – Steven Etchen – Owner; Contractor: TBD.

Steven Etchen/George Coon: present plan.
Al Ingle: "Existing fence illegal, no permission from P&Z."
Owner to have drawings revised to comply with code requirements and return at a later date.

13. Review, Discussion and Decision for 70" Privacy Fence (in progress), (R-2) @ 242 Prado. Block 3, Lot 5. For- Cutler Edwards – Owner; Contractor: Owner. (color photo provided)

Motion to approve: Jim Bachrach; 2nd by Constance Peck. Motion carries.

14. Review, Discussion and Decision for Formal Complaint Regarding Fence, (Historic District) (R-1) @ 45 8th St. Block 29, Lot 8. For – Dr. Judith Rice-Owner.

Al Ingle: This matter is beyond P&Z criteria; will be referred to City Administration.

15. Other/New Business:

16. Outstanding/Unresolved Issues:

Al Ingle: P&Z members will send outstanding issues to Tammy Owens to generate chronological list of items to be addressed.

Motion to Adjourn: Jim Bachrach; 2nd by Constance Peck. Meeting Adjourned.

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CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, July 13th, 2020
Community Center/ City Hall -1 Bay Avenue
Agenda

**Discussion: Constance Peck states chain link fence not attractive; Heath Galloway states will hang "crab traps" etc. on fence.
Motion rescinded.**

**Motion to approve awning and not chain link fence: Uta Hardy;
2nd by Constance Peck. Motion carries.**

9. Review, Discussion and Decision for Construction of New Garage (**Historic District**) (R1) @ 147 5th St. Block 61, Lot 8. For Thomas Grant-Owner; Contractor: Self.
Motion to approve: Jim Bachrach; 2nd by Heath Galloway. Motion carries.

10. Review, Discussion and Decision for Screen Swimming Pool, Pavers & Fence, (**Historic District**) (R-1) @ 53 17th St. Block 108, Lot 9&10. For -Jim Brown & Karen Ventimiglia - Owners; Contractor: TBD.
Motion to approve: Jim Bachrach; 2nd by Uta Hardy. Motion carries.

11. Review, Discussion and Decision for Construction of New Single Family Residence, (R-1) @ 27 Myrtle Ave. Block 8, Lot 16 Neels Addition. For-Al & Donna Ingle-Owners; Contractor: Owners.
**Al Ingle recuses himself from this item.
Motion to approve: Heath Galloway; 2nd by Jim Bachrach. Motion carries.**

Other/New Business:

**#1 Fence at Gibson Inn property: 6-7' tall; no one knows who authorized fence; P&Z did not approve; Consequences?
Kristy Banks: recalls tall chain link fence-possibly replaced.
Al Ingle: Should have gone through P&Z and should investigate.
City to review matter.**

**#2 Extension of instances such as above: Need to find out resolution of P&Z items. Fines imposed?
Al will start list of ongoing issues to begin finding out outcomes.
Tammy to follow up list.**

#3 Maggie Anderson on phone: Her item not on agenda. Tammy will get packet out to P&Z members this week for review; board can reconvene Monday, July 20 for discussion and decision on this item.

Motion to Adjourn: Jim Bachrach; 2nd by Heath Galloway

There being no further business, Meeting Adjourned.

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY June 8TH, 2020
Community Center/ City Hall -1 Bay Avenue
MINUTES

Meeting Attendance at Community Center for Workshop and Regular Meeting:

Al Ingle-Chair; Uta Hardy-Vice Chair; Jim Bachrach; Elizabeth Milliken; Constance Peck; Joe Taylor; Kristy Banks-City Council; Revena Ramsey-Code Enforcement & Permitting; David Meyer-Audio

Sign Workshop – 5:00 P.M.

Discussion was held in regards to the existing sign regulations the City has in our Land Development Code. Discussion also took place on how the current sign regulations affect two pending sign projects one being CVS and the other being ABC School.

Workshop was adjourned.

Regular Meeting – 6:00 P.M.

1. Approval of May 11th, 2020 regular meeting minutes.
Motion to Approve: Jim Bachrach; Second by Constance Peck. Motion carries.

2. Review, Discussion and Decision on Sign Regulation changes.

3. Review, Discussion and Decision for 20' x 24' Detached Garage, Gate, 4 Ft. Screened fence around HVAC units and new walkways **(Historic District) (O/R) @ 189 Ave. E** Block 99, Lot 1 and 2. For – Phillip Fuerschbach – Owner; Contractor: Self.
(Tabled 5/11/20 for revisions to site plan due to required setbacks)
Motion to Approve: Jim Bachrach; Second by Constance Peck. Motion carries.

4. Review, Discussion and Decision for Tree Removal of 4 Sabal Palms and 5 Slash Pines **(R-2) @ 169 21st Ave.** Block 246, Lot(s) 28-30. For – Traci and Ralph Yoder – Owner; Contractor: To be determined.
Motion to Approve: Constance Peck; Second by Jim Bachrach. Motion carries.

5. Review, Discussion and Decision for Tree Removal of 2 Slash Pines **(R-3) @ 454 23rd Ave.** Block 215, Lot(s) 1-3. For – Alma Pugh – Owner; Contractor: Trent Wheeler (possibly).
Motion to Approve: Joe Taylor; Second by Constance Peck. Motion carries.

6. Review, Discussion and Decision for Tree Removal of 1 Southern Magnolia, 2 Water Oaks and Trim Live Oak **(Historic District) (C-1) @ 51 Ave. C** all of Block 1. For – Cutler Edwards – Owner; Contractor: Tree Help LLC.
Motion to Approve: Jim Bachrach; Second by Elizabeth Milliken. Uta Hardy opposed. Motion carries.

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, May 11TH, 2020
Community Center/ City Hall -1 Bay Avenue
Minutes

Meeting Attendance via Zoom: Kevin Begos-Mayor – operating Zoom

Meeting Attendance at Community Center: Al Ingle-Chair, Uta Hardy-Vice Chair, Jim Bachrach, Joe Taylor, Constance Peck, Elizabeth Milliken, Kristy Banks-City Council, Revena Ramsey-Code Enforcement & Permitting, David Meyer-Sound/Audio

Regular Meeting – 6:00 P.M.

1. Approval of April 13, 2020 workshop minutes & regular meeting minutes.
Motion to Approve: Jim Bachrach; Second by Constance Peck. Motion Carries.

2. Review, Discussion and Decision for a 12’x12’ Storage Shed **(Historic District) (R-4) @ 208 12th St.** Block 151, Lots 7 & 8 For – Peyton Morton - Owner; Contractor: Self. **(Tabled April 13, 2020 for no representation)**
Motion to Approve: Uta Hardy; Second by Constance Peck. Motion Carries.

3. Review, Discussion and Decision for After the Fact gravel driveway **(Historic District) (R-1) @ 76 Ave. G** Block 18 NW ½ of Lot 6 and 7. For – George McChesney – Owner; Contractor: Self. **(Tabled March 9, 2020 pending engineered stormwater analysis brought back to P&Z)**
Motion to Table due to lack of representation: Uta Hardy; Second by Constance Peck. Motion Carries.

4. Review, Discussion and Decision for tear down and rebuild of ADA Ramp –**(Historic District) (R-1) @ 98 12th Street**, Block 83, 84, 87, 88 and Lots thereof. For— Apalachicola Bay Charter School – Owner; Contractor: Self.
Motion to Approve: Jim Bachrach; Second by Constance Peck. Motion Carries.

5. Review, Discussion and Decision for Demo of Pool - **(C-3) @ 240 Hwy 98** Block 6, Lot 9, NE 26’ of Lot 10 & Lots 11-13. For – Apalachicola Bay Inn – Owner; Contractor: Douglas Clearing & Land Development.
Motion to Approve: Jim Bachrach; Second by Constance Peck. Motion Carries.

6. Review, Discussion and Decision for In Ground Pool - **(Historic District) (R-1) @ 67 Ave. D Block 16**, Lot 1 & E ½ Lot 2. For – Steven Etchen – Owner; Contractor: To be determined.
Applicant called and requested to be tabled.

CITY OF APALACHICOLA
 PLANNING & ZONING BOARD
 REGULAR MEETING
 MONDAY, April 13TH, 2020
 Community Center/ City Hall -1 Bay Avenue
Minutes

- 4. Review, Discussion and Decision for Tree Removal – Long leaf Pines & Water Oaks **(R-2) @ 60 23rd Ave.** Block 266, Lots 12 & 13 For – Michael Friedman- Owner; Contractor: Bartlett Tree Service.
Motion to approve: Jim Bachrach; Second by Constance Peck. Motion carries.

- 5. Review, Discussion and Decision for a 12'x12' Storage Shed **(Historic District) (R-4) @ 208 12th St.** Block 151, Lots 7 & 8 For – Peyton Morton - Owner; Contractor: Self.
Motion to table due to lack of representation and need of survey or site plan: Constance Peck, Second by Uta Hardy.

- 6. Review, Discussion and Decision for a 20'x21' Garage **(Historic District) (R-1) @ 85 Bay Ave.** Block 26, SW ½ Lot 9 and all of Lot 10 For – James Elias & Kathleen Kelley – Owner; Contractor: Carolina Carports, Inc. **(Flood Zone – AE)**
Motion to approve: Jim Bachrach; Second by Constance Peck. Uta Hardy opposed. Motion carries.

- 7. Review, Discussion and Decision for Tree Removal – Longleaf Pine **(R-2) @ Entrance of Bay Colony Subdivision, Bay Colony Way & Hwy 98,** Bay Colony Subdivision For— Wayne Gleasman – Bay Colony Owners' Association; Contractor: Tree Help, LLC.
Motion to approve: Heath Galloway; Second by Constance Peck. Motion carries.

8. Review, Discussion and Decision for New Construction with Tree Removal **(Historic district) (C-1) @ 48 Ave. D.** Block 1, Lot 2 & 3. For—Gibson Inn; Steven Etchen—Owner; Contractor: To Be Determined. **(Decision to approve should be contingent upon approval by City Commission due to Lease Agreement)**
 Discussion held.

Boards concerns: It's C-1 and should be commercial down with residential up and nothing in the plans for such. Use for short term rentals, not in compliance with code. Morgan Quarters use questioned long term vs short term for overflow as well as owner converting downstairs stores into apartments. Commercial use not being met. Uta would like to see real good set of plans and strategy as the applicant keeps changing his plans. Provisions for Hotel/Motel in C-1. Flood zone was questioned. Primary use was questioned. Questioned whether it's a hotel if it's new construction and not connected to hotel. Question raised if it's attached by the means of covered walk way would it become part of the hotel. If it's located on the lot of the hotel and running under the offices of hotel is it allowed? Question for city council, is this use allowable with this property? Other concerns are that the entire block is getting away from commercial downstairs and upper short term rental. Goes back to code, is this allowed and if so then we have to allow it.

George Coon – Ah La Carte building ground floor is to low, ceiling height is only 7' and that's why they can't do anything downstairs of Ah La Carte. Shared possibilities of making downstairs an office but have to get rid of the bath leaving toilet only and he'd

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, April 13TH, 2020
Community Center/ City Hall -1 Bay Avenue
Minutes

have to guarantee it wouldn't be used as a room. Flood zone X. Primary use is part of the Gibson.

Kristy Banks – Read sections of Transient Lodging Ordinance

Motion to ask Kristy-City Attorney two questions: Is this a separate lot that needs to look at new building and old building and what it could be? Second question-If it's a separate lot, does C1 regulations apply with down stairs business and upstairs rentals? Motion made by: Uta Hardy; Second by: Constance Peck. Motion carries.

9. Review, Discussion and Decision for Change in roof pitch **(R-1) @ 231 Atlantic Ave.** Block 8, All of Lots 4, 13, 14 and portions of Lots 5 & 6 Neels Addition. For – Ginger Nelson a.k.a. Virginia Madewell – Owner; Contractor: William Ross Development. **Motion to approve: Jim Bachrach; Second by Constance Peck. Motion carries.**

10. Review, Discussion and Decision for Lime stone parking space in front and rear of property **(Historic District) (Part O/R & R-1)@92 Coach Wagoner Blvd.** Block 94, NW ½ of Lot 2 and Lot 3. For – George Martin – Owner; Contractor – Jason White Construction. **(Tabled at March 9th, 2020 meeting due to lack of representation)** **Discussion held. Board concerns with use of lime rock.** **Kristy-City Attorney read portion of proposed Fill Ordinance.** **Motion for Mr. Martin to get engineer opinion on a way to handle his water problem and get back with the board was made by: Constance Peck; Second by Heath Galloway. Motion carries.**

Other/New Business

Uta Hardy shared concerns with operation of Morgan Quarters in that it's operating as short term but is supposed to be long term. Originally it was an apartment building that according to our standards, planning guide it allowed 3 apartments and one storage unit. It was used as 4 apartment's long term and sold as such. Now it's used as 4 unit's short term usage would like it checked out.

Board asked Revena to look into Morgan Quarters and whether it's operating as long term or short term as it's supposed to be long term.

Motion to adjourn: Jim Bachrach; Second by Constance Peck.

Al Ingle, Chair

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, JANUARY 13TH 2020
Community Center/ City Hall -1 Bay Avenue
Minutes

Regular Meeting - 6:00 P.M.

- 1. Approval of December 9th, 2019 Regular Meeting Minutes. **Motion to approve: Constance Peck, second by Al Ingle. Motion carried.**
- 2. **Discussion introduced by Al Ingle: Implementation of procedure, permitting, and enforcement of structure demolition applications and repercussions for lack of permitting.**
- 3. Review, Discussion and Decision for a New 12' x 48' 6" Porch **(Historic District)(R-1) @ 74 Avenue K** Block 180, Lot 6 For—Andy Stivers—Owner; Contractor: Hutchinson Design & Construction, Inc. **Motion to approve: Uta Hardy, Second by Constance Peck. Motion carried.**
- 4. Review, Discussion and Decision for a New Single Family Residence with tree removal **(R-2) @ 270 Acola Avenue** Block 5, Lots 7 & 8 For—Doug Lawrence—Owner; Contractor: Gulf Coast Field Services, LLC. **Motion to approve: Joe Taylor, Second by Constance Peck. Motion carried.**
- 5. Review, Discussion and Decision for a New Single Family residence with a shed **(Historic District)(R-1) @ 59 15th St.** Block 96, Lot 6. For—Thomas & Rennie Edwards—Owner; Contractor: Gary Ulrich. **Motion to Approve- Uta Hardy; Second by Constance Peck. Motion Carried**

6. Review, Discussion and Decision for remodeling & relocating an accessory structure from 48 4th St. to 49 Ave. D & tree removal. **(Historic district)(R-1) @ 49 Avenue D** Block 9, ½ of Lot 10 & ½ of Lot 9. For—Steven Etchen—Owner; Contractor: Ducky Johnson. **Motion to Approve- Uta Hardy; Second by Constance Peck. Motion Carried** *TARANTO HOUSE*

7. Review, Discussion and Decision for a New Single Family residence with tree removal **(Historic District)(R-2) @232 6th St.** Block 175, Lot 3 For—Pete Wingate—Owner; Contractor: Owner. **Motion to Approve with Conditions: Tree removal approved for Water Oak only: Uta Hardy. Second by Constance Peck. Motion Carried.**

CITY OF APALACHICOLA
PLANNING & ZONING BOARD
REGULAR MEETING
MONDAY, DECEMBER 10th, 2018
Community Center/City Hall – 1 Bay Avenue
AGENDA MINUTES

Present: Chairperson, Tom Hardy, Uta Hardy, Jim Bachrach, Geoff Hewell. City Planner, Cindy Clark, Permitting and Development Coordinator, Cortni Bankston.

Regular Meeting – 6p.m.

- 1) Approval of November 19th, 2018 Regular Meeting Minutes. Motion to Approve: Jim Bachrach, 2nd; Geoff Hewell. Motion Carried.
- 2) Review, Discussion and Decision for Fence Permit @ 317 Earl King Street, Block 207, Lot(s) 14 through 16, For – Elinor Mount-Simmons, Contractor – Owner/Self. Motion to Approve: Geoff Hewell, 2nd; Jim Bachrach. Motion Carried.
- 3) Review, Discussion and Decision for Relocation of the Taranto House (Historic District) (C-1) @ Corner of 4th and B, Block 11, Lot(s) 1 & 2, For – Gibson Inn, LLC, Contractor – TBD Comments: Uta wanted to ensure there was in face sufficient room to move the structure safely to the new location. Motion to approve: Jim Bachrach, 2nd; Geoff Hewell. Motion Carried.

4) Review, Discussion and Decision for the New Construction of Hotel, Pool, & Spa (Historic District) (C-1) @ 53 Avenue C, Block 10, Lot(s) 1 & 2, For – Gibson Inn, LLC, Contractor – TBD Motion to Table until revisions on fence height requirements are considered for Commercial fencing; Jim Bachrach, 2nd; Geoff Hewell. Motion Carried.

- 5) Review and Discussion of Rezoning City Hall Parcel to O/R (Office Residential) Board members vote to workshop item.
- 6) Item was not placed on Agenda for review but was discussed and determined that item will need to be placed on next month's agenda to be voted upon.

Motion to Adjourn: Jim Bachrach, 2nd; Geoff Hewell. Motion Carried.

Chairperson