

**CITY OF APALACHICOLA**  
**PLANNING & ZONING BOARD**  
**REGULAR MEETING**  
**MONDAY, September 17, 2018**  
**Community Center/City Hall – 1 Bay Avenue**  
**AGENDA**

**Regular Meeting – 6p.m.**

- 1) Approval of July 9<sup>th</sup>, 2018 Regular Meeting Minutes.
- 2) Review, Discussion and Decision for new construction for new single family residence (**Historic District**) @ 233 10<sup>th</sup> Street, Block 162, Lot(s) 6, For – Margarete Rochelle, Contractor – America’s Home Place
- 3) Review, Discussion and Decision for New Construction of 16x10 Open Wood Deck (**Historic District**) @ 114 6<sup>th</sup> Street, Block(s) 21, Lot(s) 4, For – Anthony (AJ) Smith, Contractor – Owner/Self
- 4) Review, Discussion and Decision for New Construction of New Single Family Residence @ 127 Bay Colony Way, Block(s) Bay Colony, Lot(s) 22, For – Gary Settle, Contractor – 1<sup>st</sup> Choice Builders

Other Discussions

- 5) Gibson Inn @ 53 Ave. C – (Historic District) (C-1 Zone)

In our continuing effort to keep the citizens of Apalachicola informed, this agenda is posted on our website at [www.cityofapalachicola.com](http://www.cityofapalachicola.com) prior to the scheduled meeting for public review. Additional information such as the City’s Land Development Code and zoning related maps, along with other development information is also available on the site for your convenience. Please direct any questions concerning items on this agenda or the Apalachicola Building Department to Cortni Bankston, (850)653-1522, [cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com).

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**CITY OF APALACHICOLA**  
**PLANNING & ZONING BOARD**  
**REGULAR MEETING**  
**MONDAY, AUGUST 13<sup>th</sup>, 2018**  
**Community Center/City Hall – 1 Bay Avenue**  
**AGENDA MINUTES**

Present: Chairperson – Tom Daly, Uta Hardy, Lynn Wilson-Sporhrer, Jim Bachrach, Joe Taylor.  
City Planner – Cindy Clark. City Administrator – Lee Mathes. City Manager – Ron Nalley.  
Permitting and Development Coordinator – Cortni Bankston

**Workshop – 5p.m.**

Proposed Tree Ordinance Revisions – **Discussion held by Dennis Winterringer**

**Regular Meeting – 6p.m.**

- 1) Approval of July 9<sup>th</sup>, 2018 Regular Meeting Minutes. **Motion to Approve: Jim Bachrach. 2<sup>nd</sup>: Joe Taylor. All in favor. Motion Carried**
  
- 1) Review, Discussion and Decision for new construction for new single family residence (**Historic District**) @ 108 Bay Avenue, Block 194, Lot(s) 6 through 10, For – Glen/Curtis G Moon, Contractor – Owner/Self. **Motion to Approve: Jim Bachrach. 2<sup>nd</sup>: Joe Taylor. All in favor. Motion Carried**
  
- 2) Review, Discussion and Decision for New Construction of 10x12 Storage Shed (**Historic District**) @ 67 Avenue G, Block(s) 19, Lot(s) 1, For – Keith & Uta Hardy, Contractor – Owner/Self. **Motion to Approve: Jim Bachrach. 2<sup>nd</sup>: Joe Taylor. All in favor. Motion Carried**

**Motion to Adjourn: Jim Bachrach. 2<sup>nd</sup>: Joe Taylor. Motion Carried.**

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Chairperson

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CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

OWNER INFORMATION

Owner Margarette Rochelle  
Address 233 10<sup>th</sup> St.  
City Apalachicola State FL Zip 32320  
Phone (850) 567-4671

CONTRACTOR INFORMATION

State License # CR057203  
City License 17-027 County License # 16-2059  
Email Address sbrette1@AHPHomes.com  
Phone (850) 309-0800

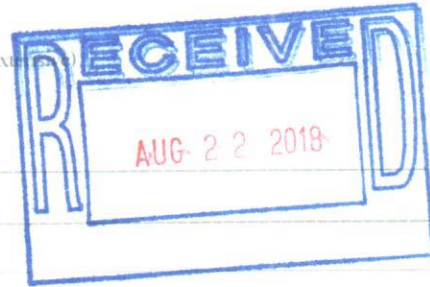
Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- New Construction  
 Addition  
 Alteration/Renovation  
 Relocation  
 Demolition

- Fence  
 Repair (Exterior)  
 Variance  
 Other: \_\_\_\_\_



PROPERTY INFORMATION:

Street Address: 233 10<sup>th</sup> ST City & State Apalach, FL Zip 32320  
 Historic District  Non-Historic District Zoning District R-1  
Parcel #: 01-095-08W-8330-0162-0060 Block(s) 162 Lot(s) 6

FEMA Flood Zone/Panel #: X  
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCL.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850) 653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

**Describe The Proposed Project and Materials.** Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

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Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		Vinyl D6	
Doors		140 mph wind rating steel 6 panel	
Windows		Vinyl double pane	
Roofing	Certainteed	Low-E + Argon gas, SH 30 year architectural	
Trim		Vinyl corner PVC trim coil, soffit	
Foundation		Cement	
Shutters		Vinyl - raised panel	
Porch/Deck		Cement	
Fencing		N/A	
Driveways/Sidewalks		N/A	
Other			



**Parcel Summary**

Parcel ID 01-09S-08W-8330-0162-0060  
 Location Address 233 CORNER OF 10TH & AVE M  
 32320  
 Brief Tax Description\* BL 162 LOT 6 OR II/416 612/673 1161/797  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 22.1988  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Rochelle Margarette  
 P.O. Box 42  
 Apalachicola, FL 32320

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000801	THE HILL - APALACH	60.00	FF	0	0

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	02/09/2016	\$27,000	WD	1161	797	Qualified (Q)	Vacant	CROOM JOHN Q	ROCHELLE MARGARETTE
N	03/01/1999	\$4,600	TD	612	673	Qualified (Q)	Improved	BRITT CHARLIE ET AL	CROOM JOHN

**Valuation**

	2018 Preliminary Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0
Land Value	\$22,320	\$27,900	\$21,000	\$15,300
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0
<b>Just (Market) Value</b>	<b>\$22,320</b>	<b>\$27,900</b>	<b>\$21,000</b>	<b>\$15,300</b>
Assessed Value	\$20,364	\$18,513	\$16,830	\$15,300
Exempt Value	\$0	\$0	\$0	\$0
Taxable Value	\$20,364	\$18,513	\$16,830	\$15,300
Maximum Save Our Homes Portability	\$0	\$9,387	\$4,170	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.



Last Data Upload: 9/13/2018 8:47:39 AM





- Legend**
-  Parcels
  -  Roads
  -  City Labels

<b>Parcel ID</b>	01-09S-08W-8330-0162-0060	<b>Alternate ID</b>	08W09S01833001620060	<b>Owner Address</b>	ROCHELLE MARGARETTE
<b>Sec/Twp/Rng</b>	1-9S-8W	<b>Class</b>	SINGLE FAM		P.O. BOX 42
<b>Property Address</b>	233 CORNER OF 10TH & AVE M	<b>Acreage</b>	n/a		APALACHICOLA, FL 32320
<b>District</b>	3				
<b>Brief Tax Description</b>	BL 162 LOT 6				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 9/13/2018  
 Last Data Uploaded: 9/13/2018 8:47:39 AM

Developed by  **Schneider**  
 GEOSPATIAL

# NWFWMD Report

## Geographical Information

Latitude/Longitude: 29.72887,-84.99634  
 Address: 233 10th St, Apalachicola, FL, 32320, USA  
 Parcel ID: 01-09S-08W-8330-012-0060  
 Firm Panel (Preliminary): N/A  
 Firm Panel (Effective): 12037C0526F

Effective SFHA Flood Map (Effective Issue Date: 2/5/2014)



## Flood Information

### Flood Zone Information

Preliminary Flood Zone  
 Location of Interest: N/A  
 Parcel: N/A  
 Base Flood Information\*: N/A  
 Effective Flood Zone  
 Location of Interest: X  
 Parcel: X:100%  
 Base Flood Information\*: N/A

\*The computed elevation to which floodwater is anticipated to rise during the base flood (100 Year Flood). Base Flood Elevations (BFEs) are shown on Flood Insurance Rate Maps (FIRMs) and on the flood profiles. The BFE is the regulatory requirement for the elevation or floodproofing of structures. The relationship between the BFE and a structure's elevation determines the flood insurance premium. Datum of measurement is NAVD1988.

**Zone VE:** A coastal area inundated by 100-year flooding and subject to a velocity hazard (wave action) where BFEs have been determined. **Zone AO/AH:** An area inundated by 100-year flooding. (AO) Sheet flow, ponding or shallow flooding where Base Flood Depths are provided. (AH) Shallow flooding base floodplain where BFE's have been determined. **Zone AE:** An area inundated by 100-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile or an area protected by levees from 100-year flooding. **Zone X:** An area of minimal flood hazard.

**Disclaimer:**

Although derived directly from a variety of sources, including the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Maps (FIRMs), the District's digital elevation model, the counties' digital parcel maps and data from other governmental sources, the data provided through this portal is for informational purposes only. The user is advised to be aware that for flood insurance or regulatory determinations or for supporting an application for a Letter of Map Change (LOMC), only the official and latest FEMA FIRM and Flood Insurance Study (FIS) report should be consulted. Also, all elevation data submitted in support of a LOMC application must be certified by a licensed land surveyor, engineer, or architect. The NWFWMD, FEMA, its agents, and partners shall not be held responsible for the misuse or misinterpretation of the information presented in this portal.





## City of Apalachicola Tree Removal Application

Name: Margarette Rochelle  
 Address: 233 10<sup>th</sup> st Apalachicola, FL 32320  
 Phone #: 850-567-4671  
 Contractor: America's Home place  
 Contractor's Phone #: 850-309-0800  
 Number of Trees: 2  
 Type of Trees: Black Jack oaks

**REQUESTED REASONS FOR REMOVAL; (MARK ONE OR MORE)**

- Trimming Limbs or Maintenance issues
- New Construction House or Building.
- The tree has extensive decay throughout crown & main system.
- Safety Issue, Leaning over house, In power lines, Foundation of house.**
- Insurance company will not cover unless tree is removed, Letter included.
- Interfering with, **Underground utilities, Sidewalks, Driveways, Etc.**
- Don't like tree or location on property, Will pay Mitigation of \$ \_\_\_\_\_ .00

**Applicant will provide all photos of trees and documentation that pertain to this application.**

Applicant Signature: [Signature] Date: 9-12-18 Application Fee \$50.00

I understand a copy of the Ordinance is available on the City's website.

(www.cityofapalachicola.com)

And at City Hall's Office for review WJO initial.

**NOTE: IF YOU ARE ADDRESSING A PROTECTED TREE (LIVE OAK, RED OAK, WHITE OAK, MAGNOLIA, SABLE/CABBAGE PALM, AND SLASH PINE) AN APPLICATION PROCESS AND P & Z APPROVAL ARE REQUIRED. SITE PLAN MUST BE SUBMITTED TO SHOW THE FOLLOWING INFORMATION AT A SCALE SUFFICIENT TO ENABLE THE DETERMINATION OF MATTERS REQUIRED UNDER ORDINANCE:**

- \_\_\_\_\_ 1.) The shape and dimensions of the lot or parcel, together with the existing and/or proposed locations of structures and improvements, if any.
- \_\_\_\_\_ 2.) Location and dimensions of all existing trees which are subject to the protected tree provisions. Trees proposed to remain, to be re-located, or to be removed shall be so identified.
- \_\_\_\_\_ 3.) A statement showing how trees not proposed for removal are to be protected during land clearing and construction; i.e. a statement as to proposed protective barriers
- \_\_\_\_\_ 4.) A statement as to grade changes proposed for the lot or parcel and how such changes will affect the matters regulated by Ordinance.

Date: \_\_\_\_\_

Approved: Yes \_\_\_\_\_ or No \_\_\_\_\_

Reason not approved: \_\_\_\_\_

**Planning and Zoning's**

Recommendation is:

Approved: \_\_\_\_\_ Denied: \_\_\_\_\_

Date: \_\_\_\_\_

Signature: \_\_\_\_\_

**Approved By: City of Apalachicola**

Code Enforcement Officer: \_\_\_\_\_

City Administrator: \_\_\_\_\_

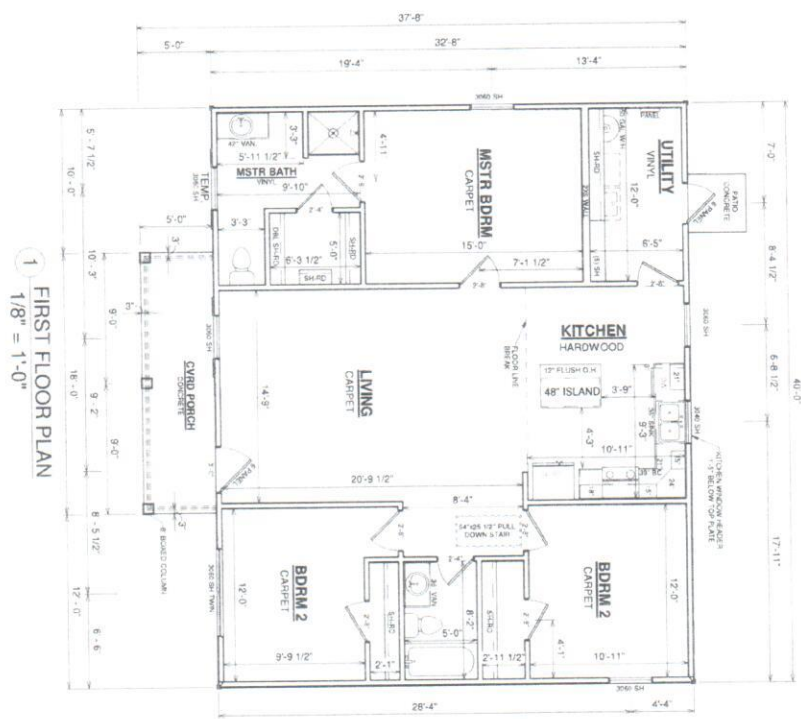
Administrator's/Designee: \_\_\_\_\_

City Commission; Approved: \_\_\_\_\_ or Denied: \_\_\_\_\_

Mayor, Van Johnson: \_\_\_\_\_

Date: \_\_\_\_\_

TO REPORT COPYRIGHT VIOLATIONS CALL (770)832-7128. THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF AMERICA'S HOME PLACE, INC. IS IN VIOLATION OF THE FEDERAL COPYRIGHT VIOLATION ACT. \$100 REWARD FOR RECOVERY OF COPYRIGHTED RIGHTS IS ASSURED. NO LIABILITY OF THE COPYRIGHTOR WILL BE INCURRED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLACE AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION.



1  
FIRST FLOOR PLAN  
1/8" = 1'-0"

**GENERAL NOTES**


- \* MIN 1" x 1" 8' CEILING HEIGHT ON FIRST FLOOR
- \* ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- \* UNLESS OTHERWISE NOTED, ALL WINDOW HEADERS TO BE FRAMED DOWN 2" FROM T.O.P. EXCEPT AS NOTED
- \* 7/8" O.S.B. AND HOIST WHEN REQUIRED
- \* DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING, LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- \* ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN 6" FROM ADJOINING WALL UNLESS OTHERWISE NOTED
- \* ALL INTERIOR DOORS TO BE 2 1/2" MIN. CLEARANCE UNDER DOORS AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- \* CLOSET SHELF HEIGHT OFF FLOOR: SINGLE 48" & 6"
- \* ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- \* ALL DIMENSIONS ARE TO FACE UNLESS AT LEAST ONE IS SPECIFICALLY NOTED OTHERWISE
- \* INSTALL 2" x 4" WIDE WALKWAY FROM ATTIC ACCESS TO FINISH PLATFORM
- \* FRAMER TO INSTALL DRYWALL CLIPS IN LIEU OF DEADWOOD ON ALL WALLS
- \* WALLS, STUCCO & BRICK MASONRY NOT INCLUDED W/ SLAB FOUNDATION
- \* FINISHES ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH
- \* REFRIGERATOR PURCHASE BY OWNER
- \* SEE ENGINEER'S REPORT FOR SLAB REINFORCEMENT DETAILS

**SPECIAL NOTES**

- \* THIS LEGEND TO BE EDITED WITH CUSTOMER REQUESTS PER PREDD
- 1. E.G. APPLIANCES BY OWNER
- 2. E.G. FLOORING BY OWNER

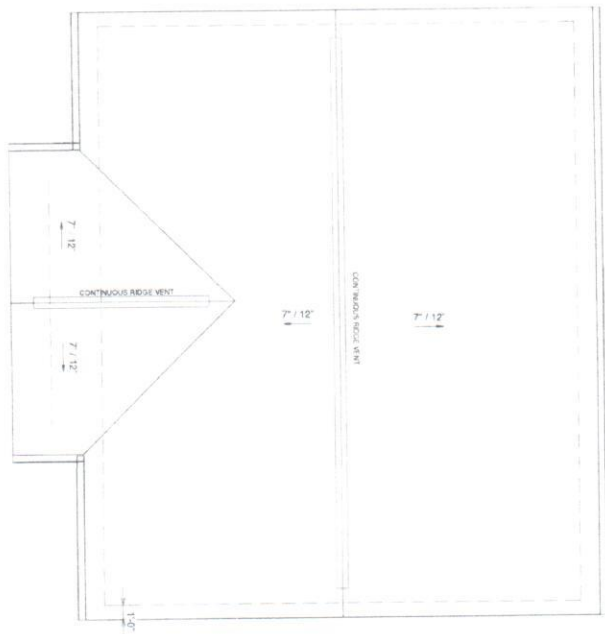
PRELIMINARY DESIGN SET  
PRELIMINARY CONSTRUCTION PLANS

DEF. PAPER SIZE: 16" x 14" = 1'-0" or 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%  
SCALE: 1/8" = 1'-0"

SHEET NUMBER: <b>F-3</b>	PROPERTY OF:  © COPYRIGHT - 2018	DRAWN BY: <b>KRM</b>	JOB# <b>43-18-038</b>	THE <b>FORD B</b>	AREAS: FIRST FLOOR HEATED 1,307 SF COVERED PORCH 190 SF TOTAL UNDER ROOF 1,397 SF	Revision Schedule	
		CHECKED BY: <b>2x4</b>	UNLESS OTHERWISE NOTED FOUNDATION TYPE: <b>MONOSLAB</b>	FOR: <b>Margarette Rochelle &amp; Latasha Baucham</b>		Revision Number	Revision Description
PRINT DATE: 8/30/2018 4:35:52 PM				43 ROCHELLE, Tallahassee, FL			
				OFFICE: SALES OFFICE			
				SOLD BY: BC			



TO REPORT COPYRIGHT VIOLATIONS CALL (770)931-1128 THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF AMERICA'S HOME PLACE, INC. IS IN VIOLATION OF THE FEDERAL COPYRIGHT VIOLATION ACT. \$100 REWARD FOR RECOVERY OF COPYRIGHTED MATERIALS. VIOLATORS OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLACE AND SHALL BE REPRODUCED WITHOUT PERMISSION.



1 ROOF OVERVIEW  
1/8" = 1'-0"

7/12 O.W.H. = 5'5 1/16"

OPTIONAL PAPER SIZE: 1/4" x 1/4" = 1'-0" ON 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%  
PRELIMINARY DESIGN SET  
PRELIMINARY CONSTRUCTION PLANS

SHEET NUMBER	PROPERTY OF	DRAWN BY:	JOB#	THE	AREAS	Revision Schedule
E-3		CHECKED BY:	43-18-038	FOR: FORD B	FIRST FLOOR HEATED 1,307 SF	Revision Number
		PRINT DATE:	UNLESS OTHERWISE NOTED	Margarette Rochelle & Latasha Baucham	COVERED PORCH 90 SF	Revision Date
ROOF OVERVIEW		FOUNDATION TYPE:	MONOSLAB	43 ROCHELLE, Tallahassee, FL	TOTAL UNDER ROOF 1,397 SF	
		OFFICE:	SALES OFFICE	SOLD BY:	PATIO 16 SF	
				BC	TOTAL UNCOVERED: 1 16 SF	



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8/30 2018  
4:35:59 PM

OFFICE:  
SALES OFFICE

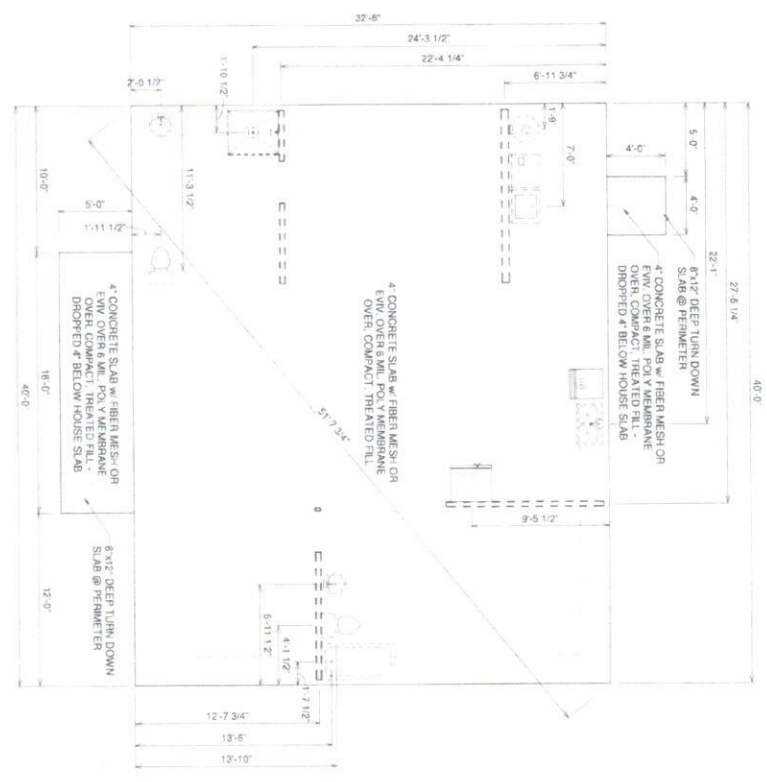
SOLD BY:  
BC

Revision Number	Revision Description	Revision Date

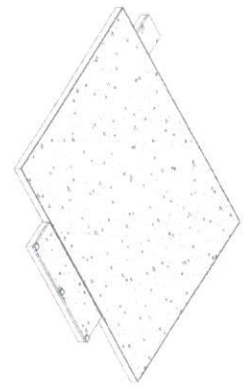
SCALE: 1/8" = 1'-0"

TO REPORT COPYRIGHT VIOLATIONS CALL (770) 833-1128 THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF AMERICA'S HOME PLACE, INC. IS IN VIOLATION OF THE FEDERAL COPYRIGHT VIOLATION ACT. \$100 REWARD FOR RECOVERING AN ACTUAL COPYRIGHT INFRINGEMENT.  
 FOUNDATION RIGHTS RESERVED. NOTE: VIOLATIONS OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLACE AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION.

**1** FIRST FLOOR PLAN  
 1/8" = 1'-0"



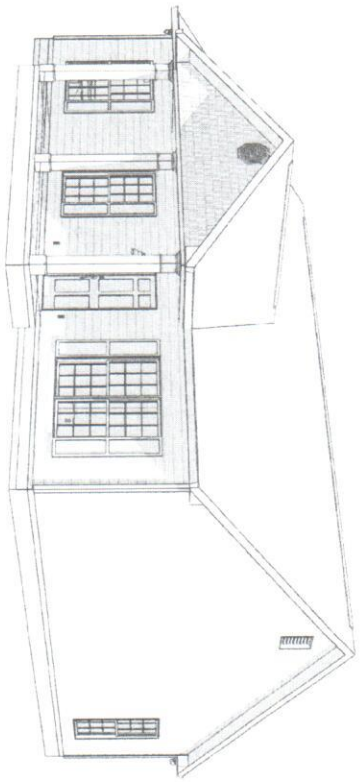
**FOUNDATION NOTE:**  
 - SEE ENGINEER'S REPORT FOR SLAB REINFORCEMENT DETAILS



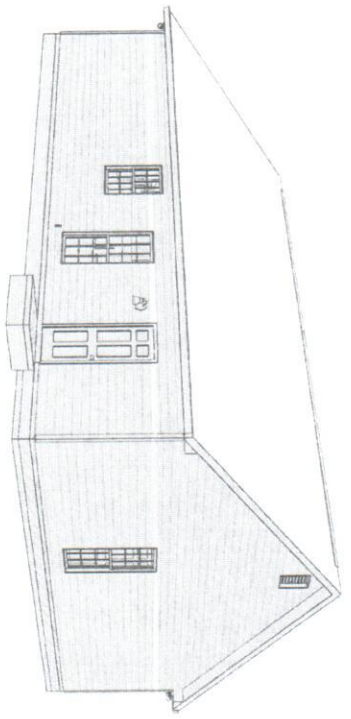
OPT. PAPER SIZE: 1/4" x 11" ON 24x36" PAPER SIZE ENLARGE PRINTS TO 200%  
**PERMIT CONSTRUCTION SET**  
 PAPER SIZE: 11" x 17"  
 SCALE: 1/8" = 1'-0"

SHEET NUMBER <b>F-1</b>	PROPERTY OF  © COPYRIGHT - 2018	DRAWN BY:	JOB#	THE	AREAS	Revision Schedule		
		CHECKED BY:	43-18-038	FORD B		Revision Number	Revision Description	Revision Date
		PRINT DATE:	UNLESS OTHERWISE NOTED	FOR	FIRST FLOOR HEATED	1,307 SF		
		4:35 51 PM	FOUNDATION TYPE:	Margarette Rochelle & Latasha Baucham	COVERED PORCH	90 SF		
			MONOSLAB	43 ROCHELLE, Tallahassee, FL	TOTAL UNDER ROOF	1,397 SF		
				OFFICE:	PATIO	16 SF		
				SALES OFFICE:	TOTAL UNCOVERED	1		
				SOLD BY:		16 SF		
				SC:				

SHEET LIST - CONSTRUCTION	
SHEET NUMBER	SHEET NAME
C-0	COVER SHEET
E-1	FOUNDATION ELEVATIONS
E-2	LEFT A RIGHT ELEVATION
E-3	ROOF OVERVIEW
F-1	FOUNDATION
F-2	FOUNDATION DETAILS
F-3	FIRST FLOOR PLAN
H-1	FIRST FLOOR ELEC & HVAC
S-1	DETAILS



1 FRONT PERSPECTIVE - CONSTRUCTION



2 REAR PERSPECTIVE - CONSTRUCTION

**GENERAL NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS
- ALL EXTERIOR WALLS TO BE 2" MIN. INSULATED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" C.S.B. AND HOUSEWARE REQUIRED
- DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR 6" STAMPED MIN. 0-4" FROM ADJ. TRIM AS NOTED UNLESS OTHERWISE NOTED
- ALL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:
  - SINGLE BR. 4 1/2"
  - DOUBLE BR. 8 1/2"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OWNER'S CHOICE.
- ALL EXTERIOR DOORS ARE TO HAVE MAILERS AT RANGE
- INSTALL 3/4" WIDE WALKWAY FROM ATTIC ACCESS TO FINISHED PLATFORM
- FRAMES TO INSTALL DRYWALL CLIPS IN LIEU OF DEMONOOD ON ALL PORCH, STAIR & DECK HARDHATS NOT INCLUDED W/ SLAB FOUNDATION
- REFER TO OWNER'S SPECIFICATIONS FOR FINISHES
- REFER TO OWNER'S SPECIFICATIONS FOR FINISHES
- SEE ENGINEER'S REPORT FOR SLAB REINFORCEMENT DETAILS

0971 PAPER SIZE 10' 1/4" x 1'-0" or 8 1/2" x 8 1/2" PAPER SIZE ENLARGE PRINTS TO 200%

PERMIT CONSTRUCTION SET

PAPER SIZE: 11" x 17"

SHEET NUMBER: **C-0**

PROPERTY OF:  AMERICA'S HOME

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COVER SHEET

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PRINT DATE: 8/30/2018 4:35:38 PM

JOB#: 43-18-038

UNLESS OTHERWISE NOTED

FOUNDATION TYPE: MONOSLAB

THE: **FORD B**

FOR: **Margarette Rochelle & Latasha Baucham**

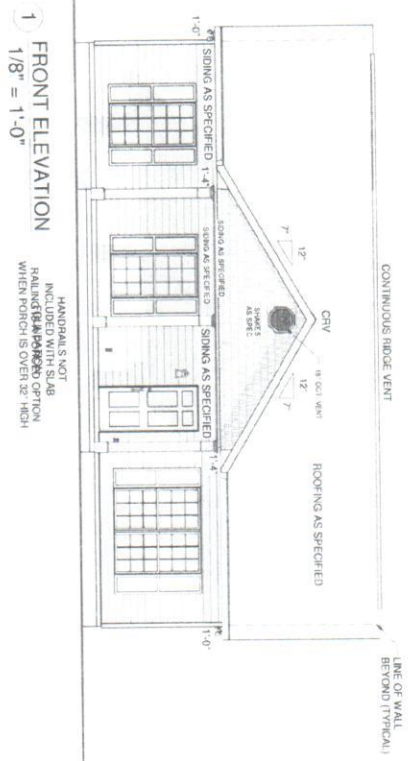
43 ROCHELLE, Tallahassee, FL

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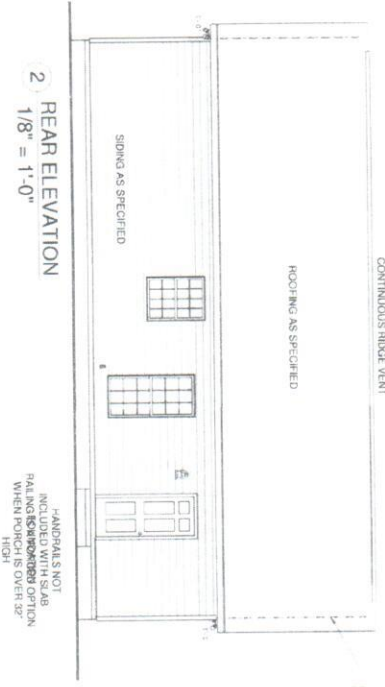
SOLD BY: BC

AREAS		REVISION SCHEDULE
REVISION NUMBER	REVISION DESCRIPTION	REVISION DATE
	FIRST FLOOR HEATED	1,307 SF
	COVERED PORCH	90 SF
	TOTAL UNDER ROOF	1,397 SF
	PATIO	16 SF
	TOTAL UNCOVERED: 1	16 SF

TO REPORT COPYRIGHT VIOLATIONS CALL (770)939-1128. THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF AMERICA'S HOME PLACE, INC., IS IN VIOLATION OF THE FEDERAL COPYRIGHT VIOLATION ACT. \$100 REWARD FOR RECOVERING AN ACTUAL COPYRIGHT INFRINGEMENT. SCOPYRIGHT ALL RIGHTS RESERVED. NOTICE VIOLATORS OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLACE AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION.



1 FRONT ELEVATION  
1/8" = 1'-0"



2 REAR ELEVATION  
1/8" = 1'-0"

TO REPORT COPYRIGHT VIOLATIONS, CALL (770)932-1129. THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF "AMERICA'S HOME PLACE, INC." IS IN VIOLATION OF THE FEDERAL COPYRIGHT VIOLATION ACT. \$100 REWARD FOR RECEIVING AN ACTUAL COPYRIGHT INFRINGEMENT REPORT. LEGAL RIGHTS RESERVED. NOT A VIOLATION OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLACE AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION.

**GENERAL NOTES**

- MIN. 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR.
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.F. EXCEPT AS NOTED.
- 7/8" OSB AND FLOOR JOIST REQUIRED.
- ALL INTERIOR FLOORS ARE EITHER SHEATHING INSTALLATION OR DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING INSTALLATION. ALL INTERIOR FLOORS ARE EITHER SHEATHING OR DIMENSIONED NUMBER OF START TRENDS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE.
- CLOSET SHELF HEIGHT OFF FLOOR.
- DOUBLE 4x7 & 8x4.
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OR FIXTURES MAY VARY PER LOCAL CODES.
- ALL TUBS/SHOWERS ARE TO HAVE WALLS AT FLANGE.
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FLURFACE PLATTER.
- FRAMER TO INSTALL DRYWALL CLIPS IN LIEU OF DECKWOOD ON ALL PORCH, STOOD, & DECK HANDRAILS NOT INCLUDED W/ SLAB FOUNDATION.
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 36" HIGH.
- REFER BACK TO REPORT FOR SLAB REINFORCEMENT DETAILS.
- SEE ENGINEER'S REPORT FOR SLAB REINFORCEMENT DETAILS.

**SPECIAL NOTES**

- THIS LEGEND TO BE EDITED WITH CUSTOMER REQUESTS PER PERM. I.E.G. APPLIANCES BY OWNER.
- E.G. (C) SHOWN BY OWNER.

7/12 O.W.H. = 5 5/16"

OPT. PAPER SIZE: 16" x 14" x 1-5/8" OR 24" x 36" PAPER SIZE ENLARGE PRINTS TO 202%  
**PERMIT CONSTRUCTION SET**  
 PAPER SIZE: 11" x 17" SCALE: 1/8" = 1'-0"

SHEET NUMBER: **E-1**  
 PROPERTY OF:   
 © COPYRIGHT - 2018  
**FRONT & REAR ELEVATIONS**

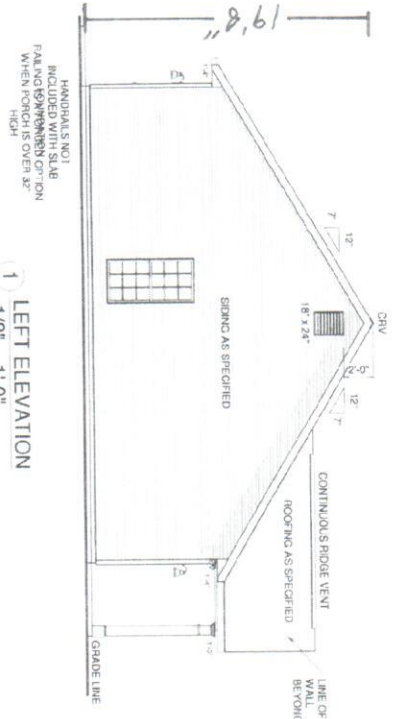
DRAWN BY:	43-18-038
CHECKED BY:	2x4 UNLESS OTHERWISE NOTED
FOUNDATION TYPE:	MONOSLAB
PRINT DATE:	8/30/2018 4:35:42 PM

THE:	<b>FORD B</b>
FOR:	<b>Margarette Rochelle &amp; Latasha Baucham</b>
	43 ROCHELLE, Tallahassee, FL
OFFICE:	SALES OFFICE
SOLD BY:	BC

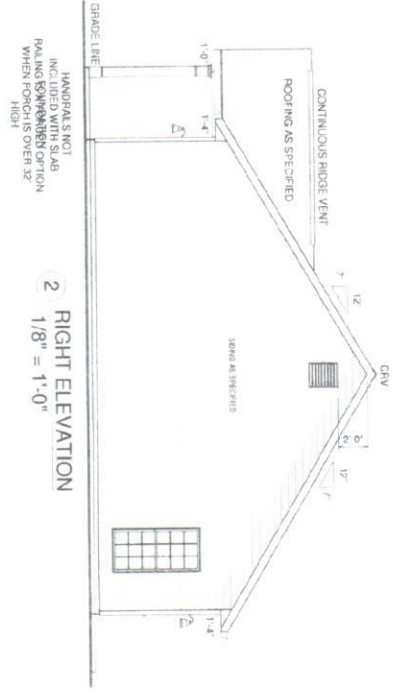
AREAS:		
FIRST FLOOR HEATED	1,307 SF	
COVERED PORCH	80 SF	
TOTAL UNDER ROOF	1,387 SF	
PATIO	16 SF	
TOTAL UNCOVERED	1	16 SF

Revision Schedule		
Revision Number	Revision Description	Revision Date





1 LEFT ELEVATION  
1/8" = 1'-0"



2 RIGHT ELEVATION  
1/8" = 1'-0"

**GENERAL NOTES**

- MIN 2" RISE CEILING HEIGHT ON FIRST FLOOR
- ALL TUBS, SHOWERS AND BATHS TO BE INSTALLED TO MATCH 2" X 2" HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2" FROM TOP EXCEPT AS NOTED
- DIMENSIONS ARE TO SIGHTING EXTERIOR SUBTRACT 1 1/2" FROM OPENINGS ARE FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF MAIN DECK FLOOR JOISTS WALL UNLESS OTHERWISE DIMENSIONED NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- (CONST) SHEET HEIGHT OFF FLOOR
- DOOR 47' & 48'
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY, ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER LOCAL CODES
- ALL TUBS, SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FINISH FLOORING
- DO NOT INSTALL DRYWALL CURBS IN LIEU OF DECKWOOD ON ALL WALLS
- PORCH, STAIR & DECK HANDRAILS NOT INCLUDED W/ SLAB FOUNDATION
- FINISHES ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH
- SEE ENGINEERS REPORT FOR SLAB REINFORCEMENT DETAILS

**SPECIAL NOTES**

- THIS LEGEND TO BE EDITED WITH CUSTOMER REQUESTS PER PERM
- 1. E.G. APPLIANCES BY OWNER
- 2. E.G. FLOORING BY OWNER

7/12 O.W.H. = 5'5/16"

PERMIT CONSTRUCTION SET

TO REPORT COPYRIGHT VIOLATIONS, CALL (770) 924-1234. THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF "AMERICA'S HOME PLANS, INC." IS A VIOLATION OF THE FEDERAL COPYRIGHT VIOLATION ACT. \$100 REWARD FOR RECOVERING AN ACTUAL COPYRIGHT INFRINGEMENT. RESPECTFUL RIGHTS RESERVED. NO. 1. VIOLATORS OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLANS, INC. AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION.

SHEET NUMBER: <b>E-2</b>	PROPERTY OF:  © COPYRIGHT - 2018	DRAWN BY: 2x4	JOB: 43-18-038	THE: <b>FORD B</b>	AREAS: FIRST FLOOR HEATED: 1,207 SF COVERED PORCH: 90 SF TOTAL UNDER ROOF: 1,397 SF PATIO: 16 SF TOTAL UNCOVERED: 16 SF	Revision Schedule	
						Revision Number	Revision Description
CHECKED BY: UNLESS OTHERWISE NOTED				FOR: <b>Margarette Rochelle &amp; Latasha Baucham</b>			
PRINT DATE: 8/30/2018 8:35:48 PM				FOUNDATION TYPE: <b>MONOSLAB</b>			
OFFICE: SALES OFFICE				SOLD BY: BC			
LEFT & RIGHT ELEVATION							

PAPER SIZE: 11" x 17"  
SCALE: 1/8" = 1'-0"

**PAGE BREAK**

CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Anthony Smith (AS)  
Address 114 6<sup>th</sup> St  
City Apalach State FL Zip 32320  
Phone (850) 251 9021

State License # \_\_\_\_\_  
City License # \_\_\_\_\_ County License # \_\_\_\_\_  
Email Address \_\_\_\_\_  
Phone (\_\_\_\_\_) \_\_\_\_\_

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- New Construction  
 Addition  
 Alteration/Renovation  
 Relocation  
 Demolition

- Fence  
 Repair (Exterior)  
 Variance  
 Other: \_\_\_\_\_



PROPERTY INFORMATION:

Street Address: 114 6<sup>th</sup> St City & State Apalachicola, FL Zip 32320  
 Historic District  Non-Historic District Zoning District R-1  
Parcel #: Block 21 Lot 4 Block(s) 21 Lot(s) 4  
FEMA Flood Zone/Panel #: 01-095-08W-8330-0021-0040  
0.2 Pct : 79% - AE: 21%  
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

**Describe The Proposed Project and Materials.** Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

16x10 Deck

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck		WOOD	
Fencing			
Driveways/Sidewalks			
Other			





**Parcel Summary**

Parcel ID 01-095-08W-8330-0021-0040  
 Location Address 114 6TH STREET  
 32320  
 Brief Tax Description\* BL 21 LOT 4 OR 187/186 APALACHICOLA OR 190/99 OR 477/19 627/498 711/291 888/638  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-BW  
 Tax District Apalachicola (District 3)  
 Millage Rate 22.1988  
 Acreage 0.000  
 Homestead Y

[View Map](#)

**Owner Information**

Primary Owner  
 Smith Anthony J  
 114 6th Street  
 Apalachicola, FL 32320

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000188	SFR CHAPMAN/APALACH	60.00	FF	0	0

**Residential Buildings**

Building 1  
 Type SINGLE FAM  
 Total Area 998  
 Heated Area 808  
 Exterior Walls AVERAGE  
 Roof Cover ASB SHINGL  
 Interior Walls DRYWALL  
 Frame Type WOOD FRAME  
 Floor Cover SHT VINYL; CARPET  
 Heat FORCED AIR  
 Air Conditioning CENTRAL  
 Bathrooms 2  
 Bedrooms 2  
 Stories 1  
 Effective Year Built 1999

**Extra Features**

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0610	SHED WD	1	0 x 0 x 0	64	UT	0
0320	CONCRETE	1	0 x 0 x 0	576	UT	0
0200	GARAGE FINISHED	1	0 x 0 x 0	576	SF	2014

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	02/15/2006	\$245,000	WD	888	638	Qualified (Q)	Improved	ROMAIN MOTIER LLC	SMITH ANTHONY J
N	09/10/2002	\$129,600	WD	711	291	Qualified (Q)	Improved	A & E DEVELOPMENT	ROMAIN MOTIER,LLC
N	10/27/1999	\$42,500	WD	627	498	Qualified (Q)	Improved	WILSON	A & E DEVELOPMENT
N	11/17/1994	\$20,000	WD	477	19	Qualified (Q)	Improved	BUTLER	WILSON
N	05/01/1982	\$4,250	WD	187	186	Unqualified (U)	Improved		



Overview



Legend

-  Parcels
-  Roads
-  City Labels

<b>Parcel ID</b>	01-09S-08W-8330-0021-0040	<b>Alternate ID</b>	08W09S01833000210040	<b>Owner Address</b>	SMITH ANTHONY J
<b>Sec/Twp/Rng</b>	1-9S-8W	<b>Class</b>	SINGLE FAM		114 6TH STREET
<b>Property Address</b>	114 6TH STREET	<b>Acreage</b>	n/a		APALACHICOLA, FL 32320
<b>District</b>	3				
<b>Brief Tax Description</b>	BL 21 LOT 4				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 9/13/2018  
 Last Data Uploaded: 9/13/2018 8:47:39 AM

Developed by  **Schneider**  
 GEOSPATIAL

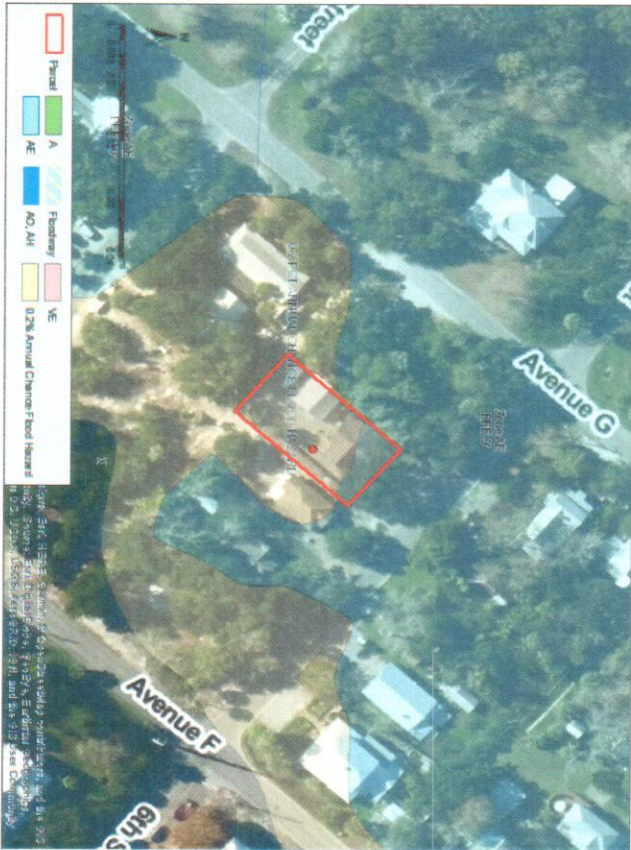


# NWFWMD Report

## Geographical Information

Latitude/Longitude: 29.72673,-84.98838  
 Address: 114 6th St, Apalachicola, FL, 32320, USA  
 Parcel ID: 01-09S-08W-8330-0021-0040  
 Firm Panel (Preliminary): N/A  
 Firm Panel (Effective): 12037C0526F

Effective SFHA Flood Map (Effective Issue Date: 2/5/2014)



## Flood Information

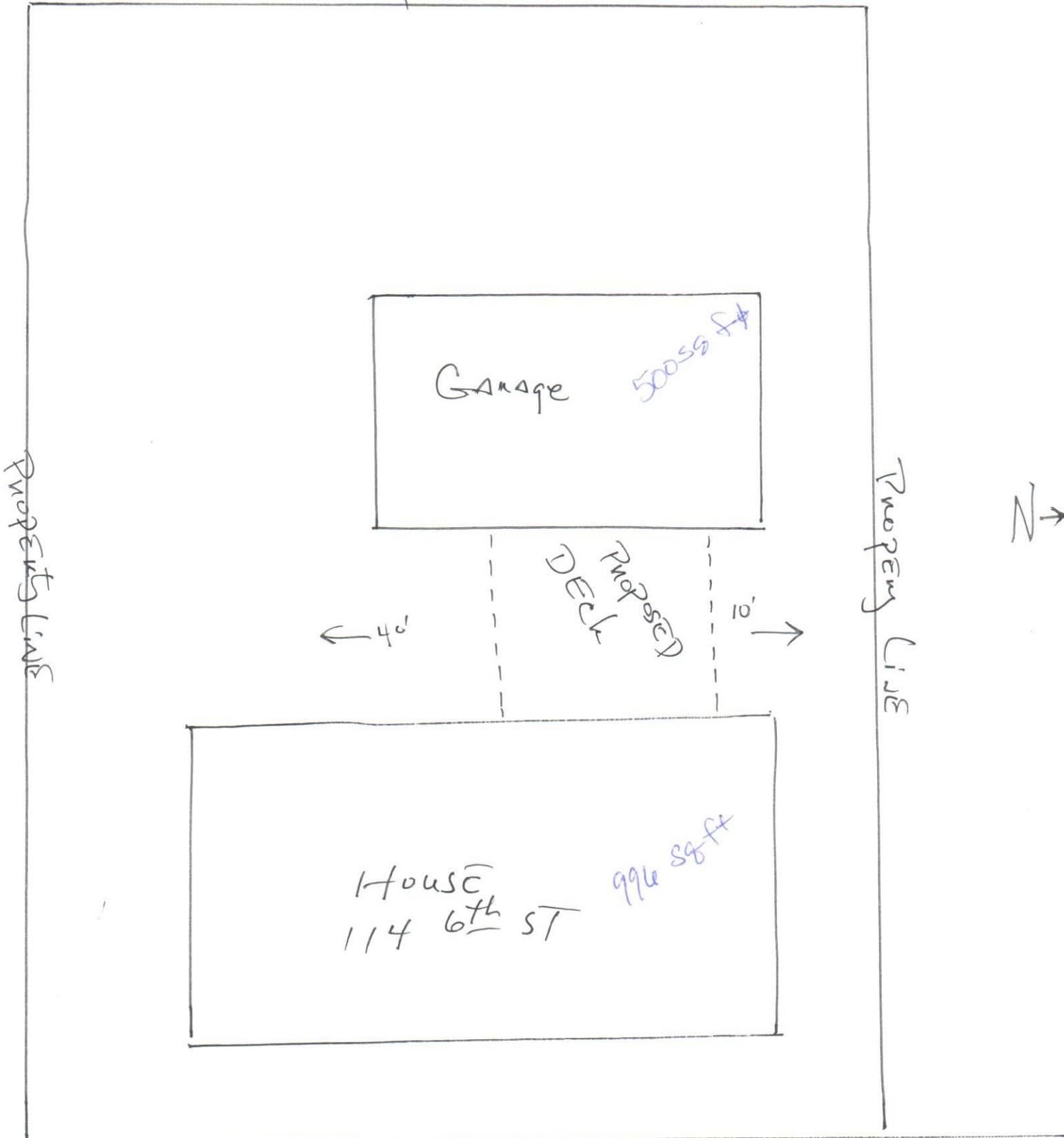
**Flood Zone Information**  
 Preliminary Flood Zone  
 Location of Interest: N/A  
 Parcel: N/A  
 Base Flood Information\*: N/A  
 Effective Flood Zone  
 Location of Interest: 0.2 PCT ANNUAL CHANCE FLOOD HAZARD  
 Parcel: 0.2 PCT ANNUAL CHANCE:79%; AE:21%;  
 Base Flood Information\*: 9.0 ft

\*The computed elevation to which floodwater is anticipated to rise during the base flood (100 Year Flood) Base Flood Elevations (BFEs) are shown on Flood Insurance Rate Maps (FIRMs) and on the flood profiles. The BFE is the regulatory requirement for the elevation or floodproofing of structures. The relationship between the BFE and a structure's elevation determines the flood insurance premium. Datum of measurement is NAVD1988.

**Zone VE:** A coastal area inundated by 100-year flooding and subject to a velocity hazard (wave action) where BFEs have been determined. **Zone AE:** An area inundated by 100-year flooding for which BFEs have been determined. **Zone AO/AH:** An area inundated by 100-year flooding (AO) Sheet flow, ponding, or shallow flooding where Base Flood Depths are provided. **Zone A:** An area inundated by 100-year flooding, for which no BFEs have been determined. **Zone 0.2 PCT ANNUAL CHANCE FLOOD HAZARD(X500):** An area inundated by 500-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile or an area protected by levees from 100-year flooding. **Zone X:** An area of minimal flood hazard.

**Disclaimer:** Although derived directly from a variety of sources, including the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Maps (FIRMs), the District's digital elevation model, the counties' digital parcel maps and data from other governmental sources, the data provided through this portal is for informational purposes only. The user is advised to be aware that for flood insurance or regulatory determinations, or for supporting an application for a Letter of Map Change (LOMC), only the official and latest FEMA FIRM and Flood Insurance Study (FIS) report should be consulted. Also, all elevation data submitted in support of a LOMC application must be certified by a licensed land surveyor, engineer, or architect. The NWFWMD, FEMA, its agents, and partners shall not be held responsible for the misuse or misinterpretation of the information presented in this portal.

ALLEY



6th ST

**PAGE BREAK**

CITY OF APALACHICOLA  
 CERTIFICATE OF APPROPRIATENESS APPLICATION

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
 City Representative \_\_\_\_\_  
 Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner Gary Settle  
 Address 127 Bay Colony way  
 City Apalachicola State FL Zip 32320  
 Phone (\_\_\_\_) 227-4114

State License # RB0066825  
 City License # \_\_\_\_\_ County License # \_\_\_\_\_  
 Email Address WARDBK13@gmail.com  
 Phone (\_\_\_\_) 653-7777

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence              |
| <input type="checkbox"/> Addition                    | <input type="checkbox"/> Repair (Extensive) |
| <input type="checkbox"/> Alteration/Renovation       | <input type="checkbox"/> Variance           |
| <input type="checkbox"/> Relocation                  | <input type="checkbox"/> Other: _____       |
| <input type="checkbox"/> Demolition                  | _____                                       |

PROPERTY INFORMATION:

Street Address: 127 Bay Colony way City & State Apalachicola, FL Zip 32320  
 Historic District  Non-Historic District Zoning District R-1  
 Parcel #: 12-093-08W-1000-0000-0220 Block(s) \_\_\_\_\_ Lot(s) 22  
 FEMA Flood Zone/Panel #: AE11 Bay Colony  
 (For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: 15 Rear: 25 Side: 5'10" Lot Coverage: \_\_\_\_\_  
 Water Available: yes Sewer Available: yes Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
 Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston  
 Permitting and Development Coordinator  
 (850) 653-1522 (ext 205) Phone  
 (850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

**Describe The Proposed Project and Materials.** Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

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Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		HARDI - concrete Siding	
Doors		Fiberglass	
Windows		Vinyl - Plygem or Equivalent	
Roofing		STAND + SEAM galvalume mill Finish	
Trim		1x6 HARDI-	
Foundation		Block PIERS	
Shutters		-	
Porch/Deck		PT- <del>ultra</del> wood ultraWood STAINED	
Fencing		-	
Driveways/Sidewalks		LIME ROCK + gravel	
Other			



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Gary Settles

ADDRESS: 127 Bay colony way

CITY, STATE & ZIP CODE: Apalachicola, FL PHONE # 227-4114

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): —

ADDRESS: —

CITY, STATE & ZIP CODE: — PHONE # —

CONTRACTOR'S NAME: 1st Choice Builders Inc. / Bryce

ADDRESS: 332 Paradise Lane

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # 453-7777

STATE LICENSE NUMBER RB0066825 COMPETENCY CARD # —

ADDRESS OF PROJECT: 127 Bay Colony way - Apalachicola, FL

PROPOSED USE OF SITE: Single Family Residence

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 12-093-08W-1000-0000-0220

LEGAL DESCRIPTION OF PROPERTY: \_\_\_\_\_

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

~~BONDING COMPANY: \_\_\_\_\_~~

~~ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_~~

~~ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_~~

~~ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_~~

~~MORTGAGE LENDER'S NAME: \_\_\_\_\_~~

~~ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_~~

~~WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_~~

~~PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_~~



Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family    \_\_\_ Townhouse    \_\_\_ Commercial    \_\_\_ Industrial  
 \_\_\_ Duplex    \_\_\_ Swimming Pool    \_\_\_ Storage    \_\_\_ Sign  
 \_\_\_ Multi-Family    \_\_\_ Demolition    \_\_\_ Other  
 \_\_\_ Addition, Alteration or Renovation to building.

Distance from property lines: Front 24' xok- Rear 25' xok- L. Side tok- 6'  
 R. Side 15'  
 Cost of Construction \$ 225K Square Footage 11310'  
 EPI \_\_\_\_\_ Flood Zone AE11 Lowest Floor Elevation 13.42 FT.  
 Area Heated/Cooled 1131 # Of Stories 1 # Of Units 1  
 Type of Roof metal Type of Walls WOOD Type of Floor WOOD  
 Extreme Dimensions of: Length 51' Height 21' 6" Width 32'

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge, and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Bryce Ward  
 Signature of Owner or Agent

Date: \_\_\_\_\_

Notary as to Owner or Agent

My Commission expires: \_\_\_\_\_

Bryce Ward  
 Signature of Contractor

Date: 9-13-18

Notary as to Contractor

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.



**Parcel Summary**

Parcel ID 12-09S-08W-1000-0000-0220  
 Location Address 127 BAY COLONY WAY  
 APALACHICOLA 32320  
 Brief Tax Description\* BAY COLONY SUB LOT 22 PB 8/5 771/87 1220/650  
 \*The Description above is not to be used on legal documents.  
 Property Use Code VACANT (000000)  
 Sec/Twp/Rng --  
 Tax District Apalachicola (District 3)  
 Millage Rate 22.1988  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Settle Gary S  
 P.O. Box 596  
 Apalachicola, FL 32329

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	1.00	UT	0	0

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	05/21/2018	\$38,000	WD	1220	650	Qualified (Q)	Vacant	DOOLEY	SETTLE
N	01/13/2004	\$60,000	WD	771	87	Unqualified (U)	Vacant	FIGHTING	DOOLEY

**Valuation**

	2018 Preliminary Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0
Land Value	\$38,000	\$38,000	\$35,000	\$35,000
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0
<b>Just (Market) Value</b>	<b>\$38,000</b>	<b>\$38,000</b>	<b>\$35,000</b>	<b>\$35,000</b>
Assessed Value	\$38,000	\$38,000	\$35,000	\$33,275
Exempt Value	\$0	\$0	\$0	\$0
Taxable Value	\$38,000	\$38,000	\$35,000	\$33,275
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$1,725

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

Last Data Upload: 9/13/2018 8:47:39 AM





- Legend**
- Parcels
  - Roads
  - City Labels

Parcel ID	12-095-08W-1000-0000-0220	Alternate ID	08W09S12100000000220	Owner Address	SETTLE GARY S
Sec/Twp/Rng	--	Class	VACANT		P.O. BOX 596
Property Address	127 BAY COLONY WAY	Acreage	n/a		APALACHICOLA, FL 32329
	APALACHICOLA				
District	3				
Brief Tax Description	BAY COLONY SUB LOT 22 PB 8/5				
	(Note: Not to be used on legal documents)				

Date created: 9/13/2018  
 Last Data Uploaded: 9/13/2018 8:47:39 AM

Developed by  Schneider  
 GEOSPATIAL



# NWFWMD Report

## Geographical Information

Latitude/Longitude: 29.71519,-85.00004  
 Address: 2-48 Dusk Dr, Apalachicola, FL, 32320, USA  
 Parcel ID: 01-09S-08W-8370-0003-0040  
 Firm Panel (Preliminary): N/A  
 Firm Panel (Effective): 12037C0509F

Effective SFHA Flood Map (Effective Issue Date: 2/5/2014)



## Flood Information

### Flood Zone Information

Preliminary Flood Zone: N/A  
 Location of Interest: N/A  
 Parcel: N/A  
 Base Flood Information\*: N/A  
 Effective Flood Zone: AE  
 Location of Interest: AE  
 Parcel: AE: 100%;  
 Base Flood Information\*: 11.0 ft

\*The computed elevation to which floodwater is anticipated to rise during the base flood (100 Year Flood). Base Flood Elevations (BFEs) are shown on Flood Insurance Rate Maps (FIRMs) and on the flood profiles. The BFE is the regulatory requirement for the elevation or floodproofing of structures. The relationship between the BFE and a structure's elevation determines the flood insurance premium. **Datum of measurement is NAVD1988.**

**Zone VE:** A coastal area inundated by 100-year flooding and subject to a velocity hazard (wave action) where BFEs have been determined. **Zone AE:** An area inundated by 100-year flooding, for which BFEs have been determined. **Zone AO/AH:** An area inundated by 100-year flooding (AO) Sheet flow, ponding, or shallow flooding where Base Flood Depths are provided. (AH) Shallow flooding base floodplain where BFEs have been determined. **Zone AH:** An area inundated by 100-year flooding, for which no BFEs have been determined. **Zone X:** An area of minimal flood hazard.

**Disclaimer:** Although derived directly from a variety of sources, including the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Maps (FIRMs), the District's digital elevation model, the counties' digital parcel maps and data from other governmental sources, the data provided through this portal is for informational purposes only. The user is advised to be aware that for flood insurance or regulatory determinations, or for supporting an application for a Letter of Map Change (LOMC), only the official and latest FEMA FIRM and Flood Insurance Study (FIS) report should be consulted. Also, all elevation data submitted in support of a LOMC application must be certified by a licensed land surveyor, engineer, or architect. The NWFWMD, FEMA, its agents, and partners shall not be held responsible for the misuse or misinterpretation of the information presented in this portal.

## City of Apalachicola Tree Removal Application

Name: Gary Settles  
 Address: 127 Bay Colony way Apalachicola, FL  
 Phone #: 227-4114  
 Contractor: 1ST Choice Bldes. Inc. Bryce Ward  
 Contractor's Phone #: 653-7777  
 Number of Trees: 1 pine tree 10" circ.  
 Type of Trees: \_\_\_\_\_

**REQUESTED REASONS FOR REMOVAL; (MARK ONE OR MORE)**

- Trimming Limbs or Maintenance issues
- New Construction House or Building.
- The tree has extensive decay throughout crown & main system
- Safety Issue, Leaning over house, In power lines, Foundation of house.**
- Insurance company will not cover unless tree is removed, Letter included.
- Interfering with, **Underground utilities, Sidewalks, Driveways, Etc.**
- Don't like tree or location on property, Will pay Mitigation of \$ \_\_\_\_\_ 00

**Applicant will provide all photos of trees and documentation that pertain to this application.**

Applicant Signature: Bryce Ward Date: 1-27-18 Application Fee \$50.00

I understand a copy of the Ordinance is available on the City's website.

(www.cityofapalachicola.com)

And at City Hall's Office for review \_\_\_\_\_ initial.

**NOTE: IF YOU ARE ADDRESSING A PROTECTED TREE (LIVE OAK, RED OAK, WHITE OAK, MAGNOLIA, SABLE/CABBAGE PALM, AND SLASH PINE) AN APPLICATION PROCESS AND P & Z APPROVAL ARE REQUIRED. SITE PLAN MUST BE SUBMITTED TO SHOW THE FOLLOWING INFORMATION AT A SCALE SUFFICIENT TO ENABLE THE DETERMINATION OF MATTERS REQUIRED UNDER ORDINANCE:**

- \_\_\_\_\_ 1.) The shape and dimensions of the lot or parcel, together with the existing and/or proposed locations of structures and improvements, if any.
- \_\_\_\_\_ 2.) Location and dimensions of all existing trees which are subject to the protected tree provisions. Trees proposed to remain, to be re-located, or to be removed shall be so identified.
- \_\_\_\_\_ 3.) A statement showing how trees not proposed for removal are to be protected during land clearing and construction; i.e. a statement as to proposed protective barriers.
- \_\_\_\_\_ 4.) A statement as to grade changes proposed for the lot or parcel and how such changes will affect the matters regulated by Ordinance.

Date: _____	Approved: <b>Yes</b> _____ or <b>No</b> _____
Reason not approved: _____	
<p><b>Planning and Zoning's</b>                  Recommendation is:                  Approved: _____ Denied: _____                  Date: _____                  Signature: _____</p>	<p style="text-align: center;"><b>Approved By: City of Apalachicola</b></p> Code Enforcement Officer: _____ City Administrator: _____ Administrator's/Designee: _____ <hr/> City Commission; Approved: _____ or Denied: _____ Mayor, Van Johnson: _____ Date: _____



# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 727 BAY COLONY WAY			Policy Number:
City APALACHICOLA	State Florida	ZIP Code 32320	Company NAIC Number

## SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.  
Benchmark Utilized: 10.70' Vertical Datum: NAVD 88

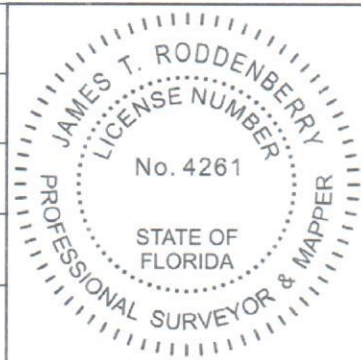
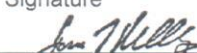
Indicate elevation datum used for the elevations in items a) through h) below.  
 NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_  
Datum used for building elevations must be the same as that used for the BFE.

		Check the measurement used.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>9.50</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
b) Top of the next higher floor	<u>13.42</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters
d) Attached garage (top of slab)	<u>N/A</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>N/A</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	<u>9.16</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	<u>9.50</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>N/A</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters

## SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  Check here if attachments.

Certifier's Name JAMES T. RODDENBERRY	License Number 4261		
Title PRESIDENT			
Company Name THURMAN RODDENBERRY & ASSOCIATES, INC.			
Address P.O. BOX 100			
City SOPCHOPPY	State Florida		ZIP Code 32358
Signature 	Date 08-29-2018	Telephone (850) 962-2538	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

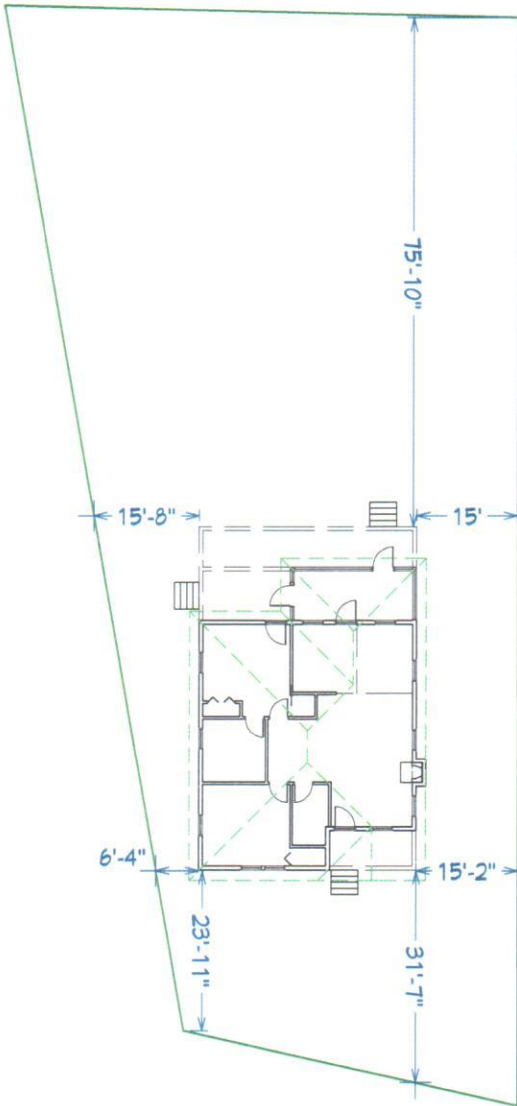
Comments (including type of equipment and location, per C2(e), if applicable)  
JOB NUMBER 02-487 L22 CD  
C2a ESTABLISHED BY CRAWL SPACE. C2b IS THE ELEVATION OF THE FIRST HABITABLE FLOOR

# ELEVATION CERTIFICATE

**Important:** Follow the instructions on pages 1-9.

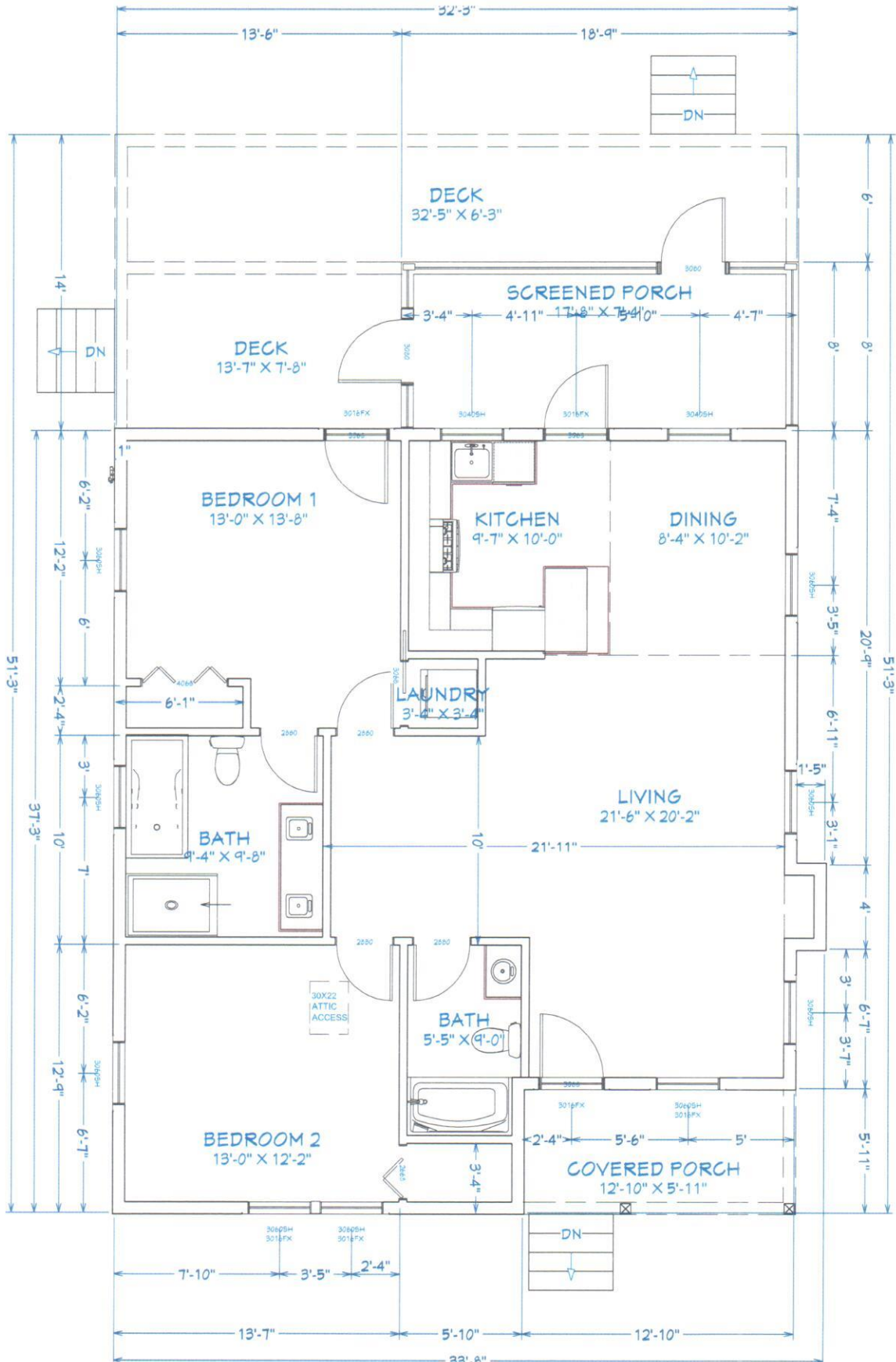
Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION					FOR INSURANCE COMPANY USE	
A1. Building Owner's Name GARY SETTLE					Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 727 BAY COLONY WAY					Company NAIC Number:	
City APALACHICOLA		State Florida		ZIP Code 32320		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 22 BAY COLONY						
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.)					RESIDENTIAL	
A5. Latitude/Longitude: Lat. 29°42'54.57"N Long. 84°59'57.08"W Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983						
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.						
A7. Building Diagram Number <u>8</u>						
A8. For a building with a crawlspace or enclosure(s):						
a) Square footage of crawlspace or enclosure(s) <u>1201.00</u> sq ft						
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>10</u>						
c) Total net area of flood openings in A8.b <u>1280.00</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No						
A9. For a building with an attached garage:						
a) Square footage of attached garage <u>0.00</u> sq ft						
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>						
c) Total net area of flood openings in A9.b <u>0.00</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
B1. NFIP Community Name & Community Number APALACHICOLA 120089				B2. County Name FRANKLIN		B3. State Florida
B4. Map/Panel Number 12037C0509	B5. Suffix F	B6. FIRM Index Date 02-05-2014	B7. FIRM Panel Effective/ Revised Date 02-05-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 11.00'	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____						
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____						
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA						



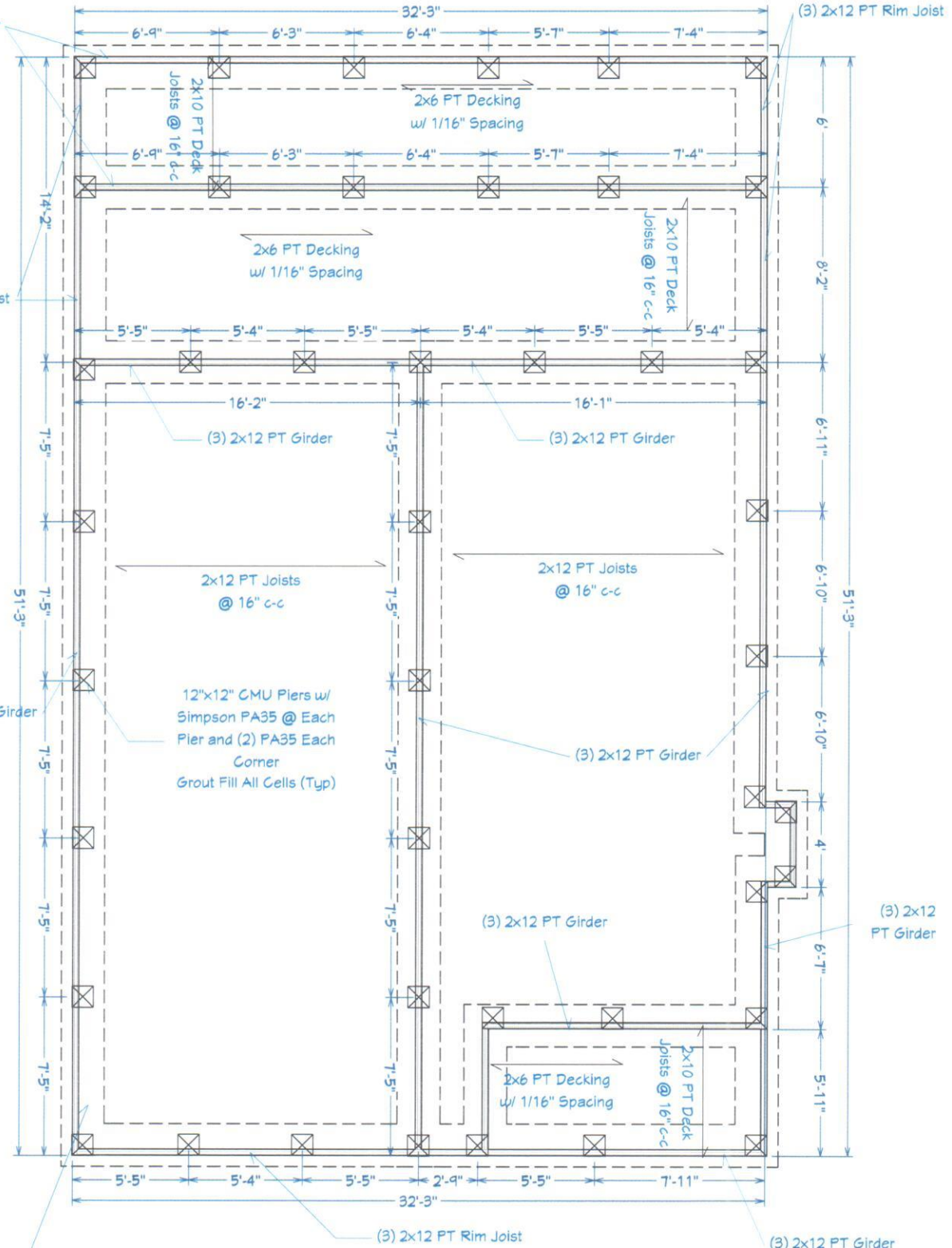
Owner <b>Gary Settle</b>	Address <b>127 Bay Colony Way Apalachicola, FL 32320</b>	Site Plan <b>Refer to Page 2 Site Plan Details for Additional Information</b>	Height and Code <b>115'1" Max</b>	1/16" = 1'	8/19/18
1st Choice Builders, Inc.	1st Choice Builders, Inc.		Covered Footprint: 72,048 sq ft Total Footprint: 141,148 sq ft Net Area: 37,748 sq ft	Z1112	5
					1



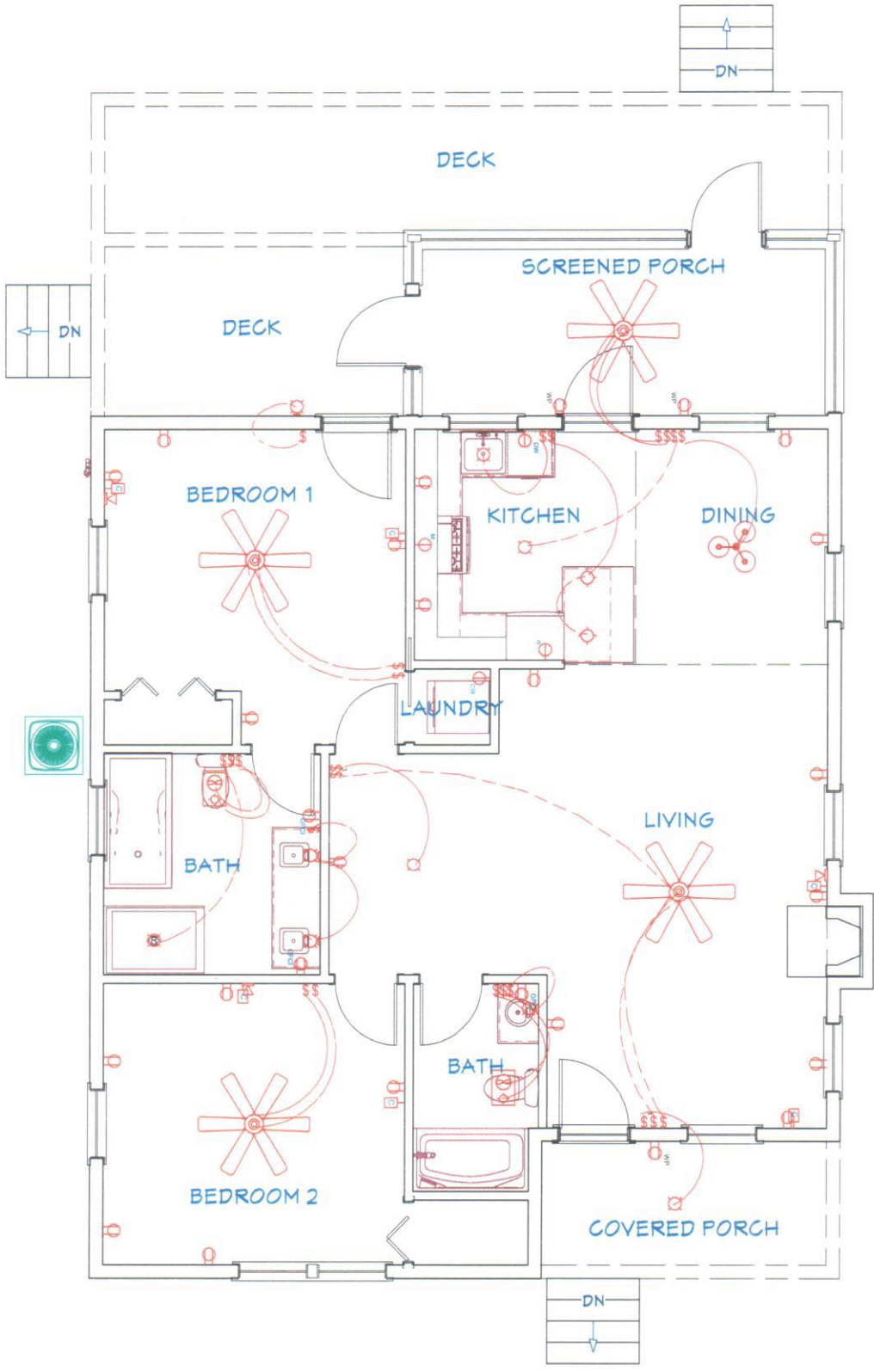


<b>Owner</b> Gang Settle	<b>Address</b> 121 Bay Colony Way Apalachicola, FL 32520	<b>Builder</b> 1st Choice Builders, Inc. Bryce Ward	<b>Project</b> Dimensioned Floor Plan	<b>Notes</b> Refer to Page 2 General Framing Notes for Additional Information	<b>Scale</b> 1/4" = 1'-0"	<b>Date</b> 8/19/10
				<b>Material and Codes</b> Covered floor from 121112 to 121114 Keel Deck 30x22	<b>Revision</b> Z1112	<b>Date</b> 8/5/10

Owner: <b>Gary Settle</b>	Address: 121 Bay Colony Way Apalachicola, FL 32320	Builder: 1st Choice Builders, Inc. 8 Bruce Ward	Notes: Refer to Page 2 General Foundation Notes For Additional Information
<b>Foundation Plan</b>			
Header and Footer: 1/14" = 1' 8/16/18	Scale: Z1112	Sheet: 5	Total: 6

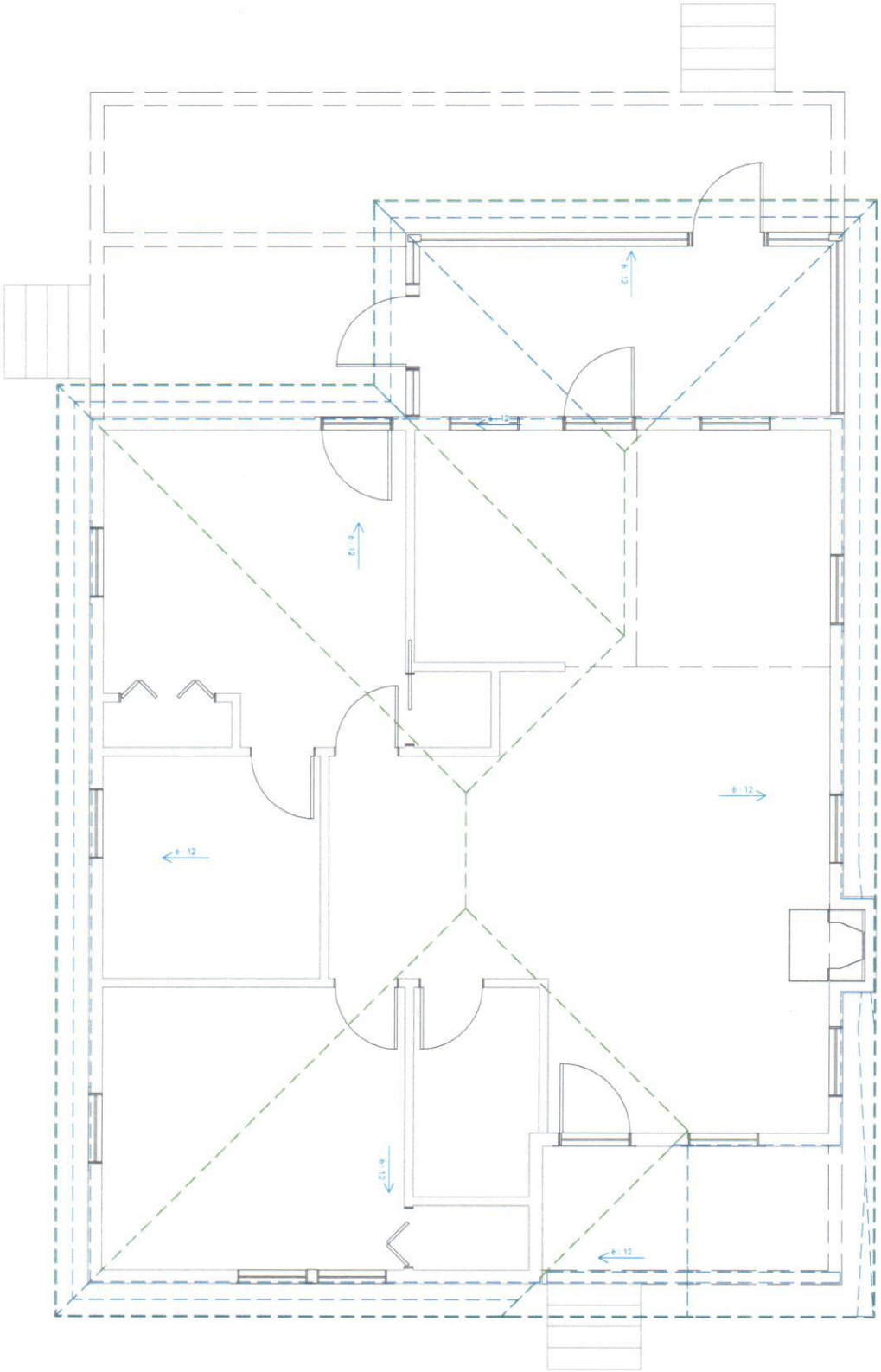


24"x12" Cont. Conc. Footing  
w/ (3) #5 Re-Bar Cont. and  
(2) #4 Crossties @ 32" c-c

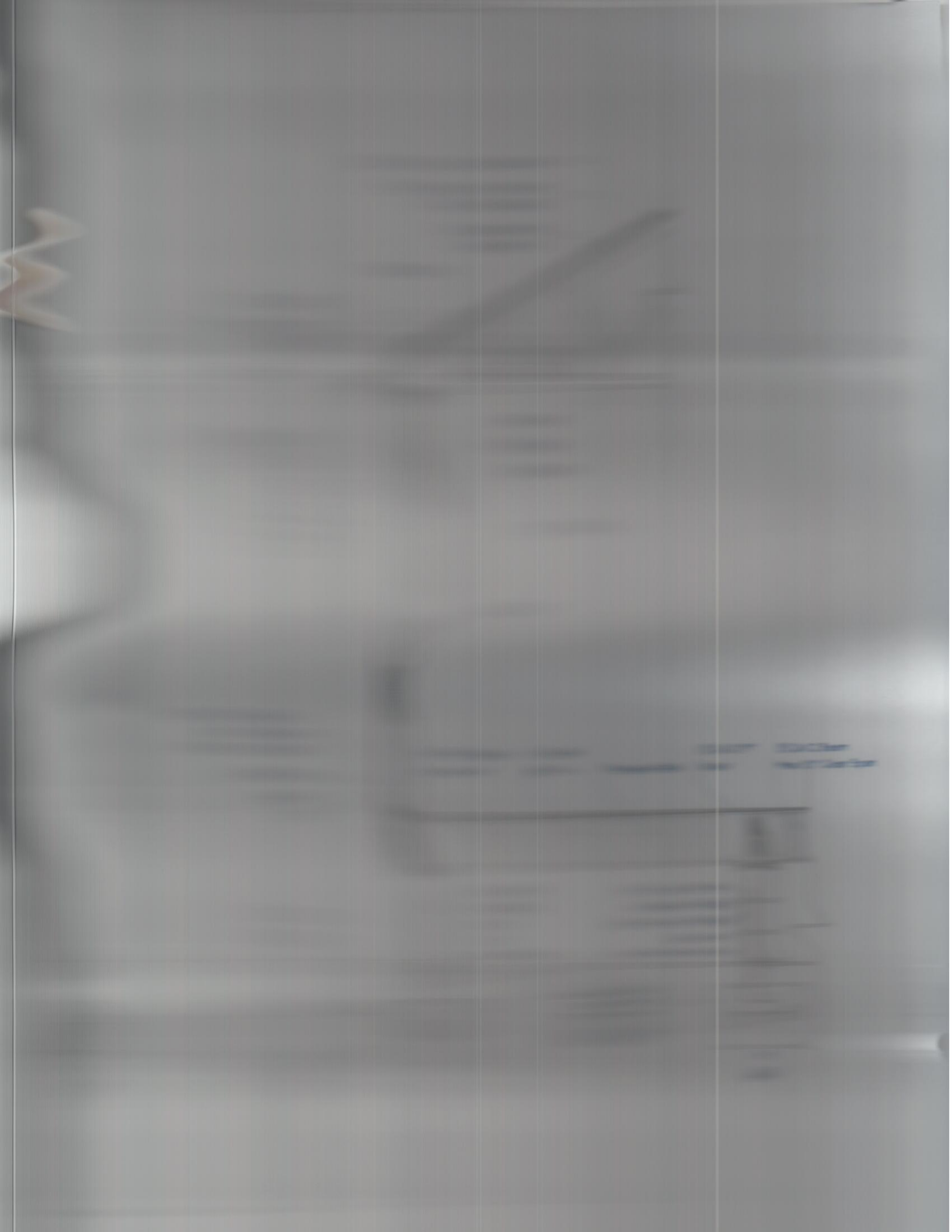


Client <b>Gang Settle</b>	Address 1271 Bay Colony Way Apalachicola, FL 32920	Builder 1st Choice Builders, Inc. Byrge Ward	Project <b>Electrical Plan</b>	Notes Refer to Page 2 General Electrical Notes for additional information.	Dimensions Overall and Ceiling: 1131 sq. ft. Covered Porch: 23 sq. ft. Total: 1154 sq. ft.	Scale 1/4" = 1'-0"	Sheet Z1112	Revisions 5 7	Date 08/19/18
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Owner:	Gary Settle
Address:	127 Bay Colony Way Apalachicola, FL 32520
Builder:	1st Choice Builders, Inc. 8 Bryce Ward
Notes:	Refer to Page 2 General Notes for Additional Information
Material and Product:	Roof Overview
Sheet and Project:	Sheet Title: 51112
Scale:	1/4" = 1'-0"
Revision:	5
Date:	8/19/18



**GENERAL NOTES:**

- OWNER/CONTRACTOR WILL VERIFY CONSTRUCTION TO MEET ALL CURRENT GUIDELINES FOR (1) HURRICANE RESISTANT RESIDENTIAL CONSTRUCTION, (2) WOOD FRAME CONSTRUCTION MANUAL, (3) FLORIDA BUILDING CODE RESIDENTIAL
- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS, FITCHES, OVERHANGS, ETC PRIOR TO START
- FINAL PLACEMENT OF HOUSE (PAGE 1) IS APPROXIMATE
- ARCHITECTURAL FINISHES PER OWNER/CONTRACTOR MAY VARY FROM SHOWN.
- BEAR PORCH TO BE SCREENED REFER TO FLOOR PLAN
- TANK-LESS HOT WATER HEATER (PLACEMENT DETERMINED ON SITE)
- VENTLESS GAS FIREPLACE
- FREE-STANDING GAS RANGE

**GENERAL FRAMING NOTES:**

(See Page 5)

- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS PRIOR TO START
- ARCHITECTURAL FINISHES PER OWNER/CONTRACTOR MAY VARY FROM SHOWN.
- METAL ROOF
- 2X6 STUD @ 16" C-C EXTERIOR & PLUMBING WALLS
- 2X4 STUD @ 16" C-C INTERIOR WALLS
- PRE-ENGINEERED ROOF TRUSSES
- PT EXPOSED RAFTER TAILS
- 10' CEILING HEIGHT
- HARDI PLANK SIDING (EXTERIOR)
- UNDERPINNING ON CEILING OF COVERED PORCHES; HARDI SHEETS
- HVAC IN ATTIC
- BEDROOMS ARE REQUIRED TO HAVE A DOOR OR WINDOW ON AN EXTERIOR WALL TO MEET EMERGENCY EGRESS
- BATHROOM & SHOWER WALLS, BATHTUB & SHOWER SPACES, BATHTUB & SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND INSIDE OF SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6' AFF
- WINDOW CODE FOR EGRESS:
  - LOWER PORTION OF WINDOW MAX. 44" AFF
  - MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20".
  - THE MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQ FT
  - GROUND FLOOR OPENINGS SHALL BE PERMITTED TO HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQ FT.
  - VERIFY MANUFACTURERS SPECIFICATIONS TO ASSURE SIZE
  - IF WINDOWS MORE THAN 12" ABOVE FINISHED GRADE, OR OTHER SURFACE BELOW THE LOWEST PORTION OF CLEAR OPENING SHALL BE 24" ABOVE FINISHED FLOOR.

**GENERAL FOUNDATION NOTES:**

(See Page 6)

- INSPECTIONS AND TERTITE TREATMENT REQUIRED BEFORE POURING
- FINISHED FLOOR ELEVATION TO BE 12"+ ABOVE ADJACENT STREETS, OR COMPLY WITH ENGINEERED DRAINAGE PLANS FOR THE SITE
- ANY HOME IN A FLOOD ZONE MUST BE ELEVATED ABOVE THE BASE FLOOD ELEVATION
- HEIGHT OF PIERS TO BE DETERMINED ON SITE PER CONTRACTOR AND PER APPLICABLE CODE

**GENERAL ELECTRICAL NOTES:**

(See Page 7)

- ELECTRICAL DESIGN & INSTALLATION TO BE BY FLORIDA LICENSED ELECTRICAL CONTRACTOR PER N.E.C. REQUIREMENTS/LOCAL CODES
- HVAC DESIGN & INSTALLATION TO BE BY FLORIDA LICENSED MECHANICAL CONTRACTOR AND BE IN ACCORDANCE WITH DCA ENERGY CODE REQUIREMENTS
- ELECTRICAL CONTRACTOR TO SIZE AND LOCATE ALL ELECTRICAL SERVICE PANELS, BREAKERS, AND/OR DISCONNECTS AS REQUIRED BY THE ELECTRICAL SYSTEM AND IOR CODE
- ELECTRICAL CONTRACTOR TO PROVIDE AND SIZE ELECTRICAL SERVICES FOR ALL EQUIPMENT PER MANUFACTURERS' REQUIREMENTS AND INSTALL IN COMPLIANCE WITH ALL-GOVERNING CODES
- ELECTRICAL FINISHES PER OWNER/CONTRACTOR MAY VARY FROM SHOWN
- ARC-FAULT PROTECTION IS REQUIRED FOR BEDROOMS
- ALL SWITCHES MUST BE GROUNDED
- SMOKE ALARMS ARE REQUIRED IN EACH SLEEPING ROOM & OUTSIDE OF EACH SLEEPING AREA. IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOM. WHEN ONE OR MORE DEVICES ARE REQUIRED, THEY MUST BE INTERCONNECTED (IF ONE IS ACTIVATED, ALL SHALL ACTIVATE)
- CARBON MONOXIDE DETECTORS REQUIRED AS SHOWN IF THERE ARE ANY GAS APPLIANCES, WOOD OR GAS BURNING FIREPLACE, ATTACHED GARAGE. IF ONE OR MORE CARBON MONOXIDE DETECTORS ARE INSTALLED, THEY MUST BE INTERCONNECTED.
- DO NOT LOCATE DETECTORS WITHIN 3' OF AN AIR INTAKE OR EXHAUST.
- AN OUTLET IS REQUIRED WITHIN 25' OF ALL HVAC EQUIPMENT
- DISCONNECTS FOR ELECTRICAL PANELS MUST HAVE WORKING CLEARANCES.
- ALL DAMP AREA ELECTRICAL FIXTURES MUST BE UL WEATHER RELATED
- CEILING FANS MUST HAVE APPROVED SUPPORT
- WALL SWITCHES MOUNTED 48" AFF
- DUPLEX RECEPTACLES MOUNTED 12" AFF
- PRE-WIRE FOR PHONE SERVICE
- FINISH CABLE TV OUTLETS WITH COAXIAL CONNECTION NIPPLE AND CABLE
- MECHANICAL EXHAUSTS MUST DISCHARGE TO EXTERIOR
- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS, FITCH, OVERHANGS, PRIOR TO START
- PRE-ENGINEERED ROOF TRUSSES
- TRUSS SPACING SHALL BE NO MORE THAN 24" ON CENTER
- PT EXPOSED RAFTER TAILS
- SHOWN AS 6" IN 12" PITCH
- OVERHANG: 18"
- METAL ROOF

**GENERAL ROOF NOTES:**

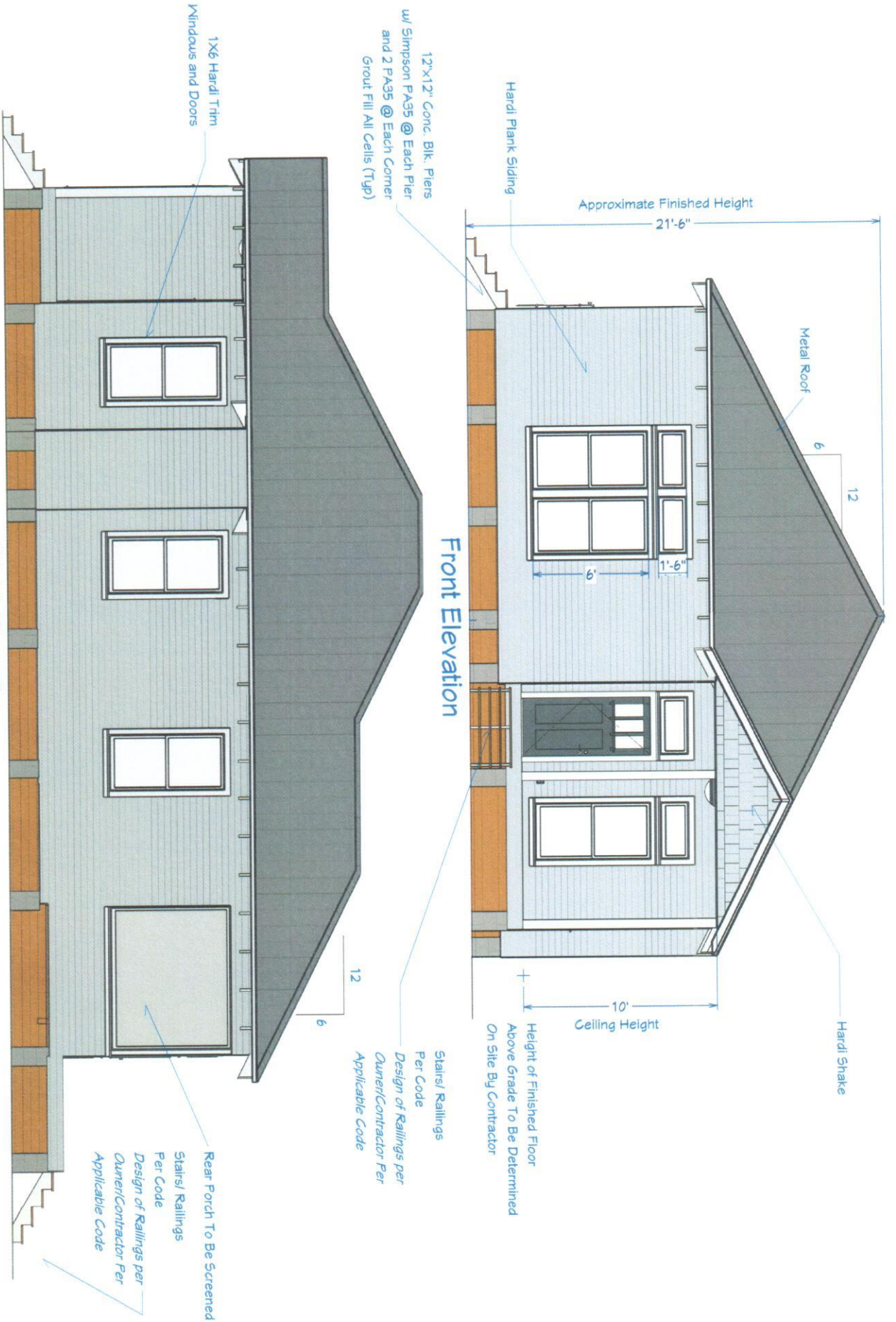
(See Page 8)

- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS, FITCH, OVERHANGS, PRIOR TO START
- PRE-ENGINEERED ROOF TRUSSES
- TRUSS SPACING SHALL BE NO MORE THAN 24" ON CENTER
- PT EXPOSED RAFTER TAILS
- SHOWN AS 6" IN 12" PITCH
- OVERHANG: 18"
- METAL ROOF

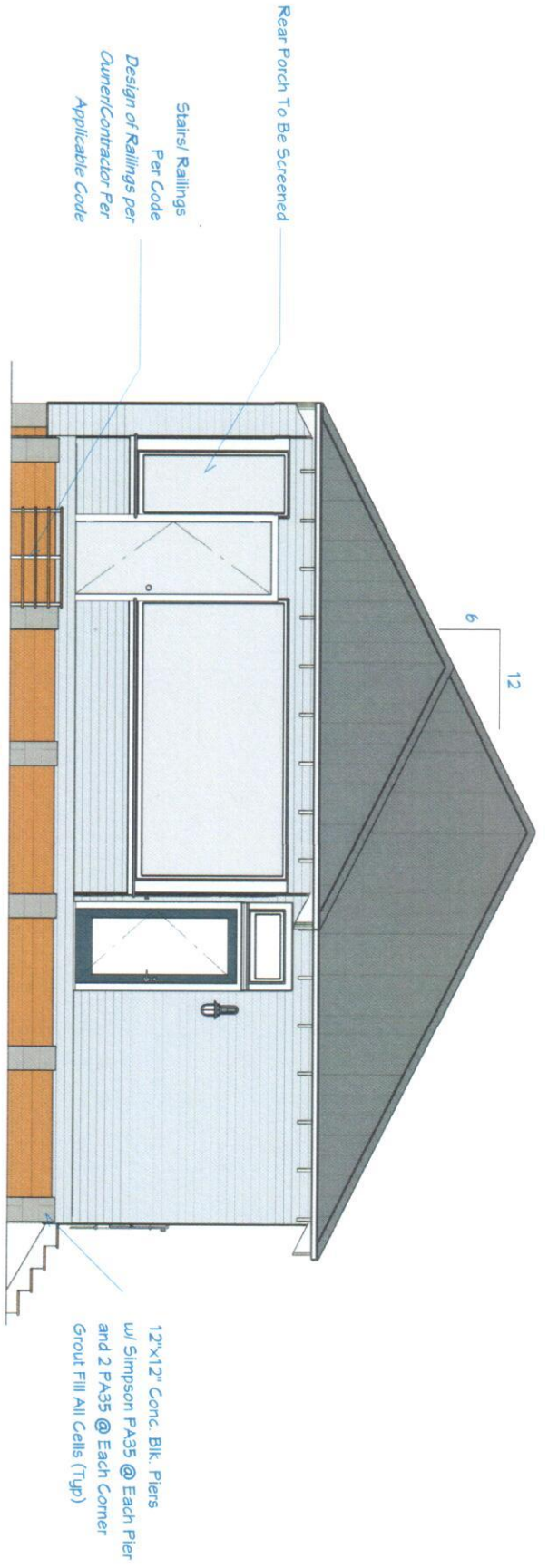
Owner Gang Settle	Address 1271 Bay Colony Way Apalachicola, FL 32320	Builder 1st Choice Builders, Inc. Bryce Ward	General Notes	Insulated and Ceoiled 1331 sq ft Covered Front Porch 72 sq ft Sidered Rear Porch 147 sq ft Rear Deck 374 sq ft	3 N/A	8/19/18
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21112	5	2
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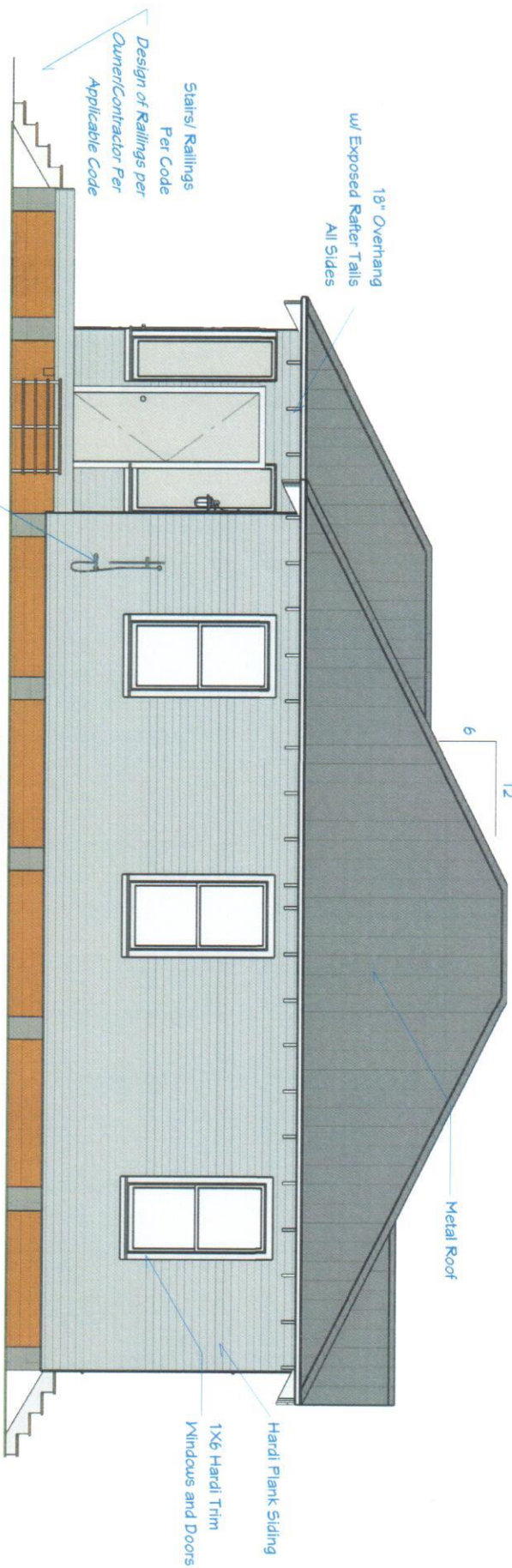




<p>127 Bay Colony Way Apalachicola, FL 32920</p>	<p>131 Choice Builders, Inc. Bruce Ward</p>	<p>Front and Right Elevation</p>	<p>11/13/18 1/14/19 2/11/19 3/5/19 3/3/19</p>
<p>Gary Settle</p>	<p>127 Bay Colony Way Apalachicola, FL 32920</p>	<p>131 Choice Builders, Inc. Bruce Ward</p>	<p>11/13/18 1/14/19 2/11/19 3/5/19 3/3/19</p>



Rear Elevation



Left Elevation

<p>127 Bay Colony Way Apalachicola, FL 32320</p>	<p>1st Choice Builders, Inc. Brice Ward</p>	<p>Left and Rear Elevation</p>	<p>Header and Cover: 1131 sq ft Covered Front Porch: 75 sq ft Semi-Covered Rear Porch: 147 sq ft Net Deck: 29 sq ft</p>	<p>1/4" = 1'</p>	<p>8/19/10</p>
<p>Gary Settle</p>				<p>Z1112</p>	<p>5</p>
					<p>4</p>

**PAGE BREAK**



CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION

Official Use Only

-HISTORIC DISTRICT-

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

OWNER INFORMATION

CONTRACTOR INFORMATION

Owner GIBSON INN LLC  
Address 433 CAPE SAN BLAS RD.  
City PT. ST. JOE State FL Zip 32456  
Phone (850) 312-8330

State License = NOT DETERMINED (ND)  
City License = \_\_\_\_\_ County License = \_\_\_\_\_  
E-mail Address \_\_\_\_\_  
Phone (\_\_\_\_\_) \_\_\_\_\_

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

PROJECT TYPE

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence              |
| <input type="checkbox"/> Addition                    | <input type="checkbox"/> Repair (Extensive) |
| <input type="checkbox"/> Alteration/Renovation       | <input type="checkbox"/> Variance           |
| <input type="checkbox"/> Relocation                  | <input type="checkbox"/> Other: _____       |
| <input type="checkbox"/> Demolition                  |   |

PROPERTY INFORMATION:

Street Address 53 AVE C City & State APALACHICOLA Zip 32320

Historic District  Non-Historic District Zoning District C-1  
Parcel #: 01-095-08W-8330-0010-0010 Block(s) BL 10 Lot(s) 1  
01-095-08W-8330-0010-0020 Block(s) BL 10 Lot(s) 2

FEMA Flood Zone/Panel #: X ZONE  
(For AE, AO, AH or VE Please complete attached Flood Application)

OFFICIAL USE ONLY

Setback requirement of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPC.

Curtis Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850) 653-7023 Cell  
[curtisbankston@cityofapalachicola.com](mailto:curtisbankston@cityofapalachicola.com)

**Describe The Proposed Project and Materials.** Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

THE BUILDING HAS BEEN CALLED THE 'SPA' BLDG. AND WILL HAVE COMMERCIAL FUNCTIONS AT GRADE WITH 12 ROOM ABOVE. ALL CODES WILL BE ADHERED TO, INCLUDING HEIGHTS. THERE WILL BE A POOL FOR BOTH THIS BLDG. AND THE GIBSON INN.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		CEMENTITIOUS LAP $\frac{1}{2}$ " (B+B)	
Doors		ND	
Windows		ND	
Roofing		PRESUMED METAL GALVALUME EITHER LOW PROFILE SEAM OR 5-V CRIMP.	
Trim		CEMENTITIOUS 3/4" (PRESUMED)	
Foundation		SLAB ON GRADE	
Shutters		CUSTOM	
Porch/Deck		KDAT (PRESUMED) OR CONCRETE	
Fencing		KDAT (PRESUMED)	
Driveways/Sidewalks		GRAVEL	
Other		<p><u>Phase 1</u> is to move the Taranto House to the prescribed nearby Lot and remove asbestos siding.</p> <p><u>Phase 2</u> will be the construction of this SPA Building</p> <p><u>Phase 3</u> will be the completion of the renovation (and restoration) of the Taranto House.</p>	

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understood the following:

1. I We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) state the true and proper identification of the area of this petition.
2. I We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deleted to the next posted deadline date.
4. I We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB, otherwise the decision of the PZB will be final.
8. I We understand that a Certificate of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I We understand that the COA is the final guide to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work.**
11. I We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

8-27-2018

DATE

  
SIGNATURE OF APPLICANT

FOR STEVEN ETCHEN  
GIBSON INN LLC

ARCHITECT IS LUCAS ASSOC. ARCHS. P.C.  
L. FRANKLYN LUCAS, JR. MA, LEED AP.



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**  
APPLICATION FOR BUILDING PERMIT

DATE: 8-27-2018 Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: GIBSON INN LLC

ADDRESS: 433 CAPE SAN BLAS RD.

CITY, STATE & ZIP CODE: PORT ST. JOE FL. 32456 PHONE # (850) 312-8330

- FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

- ADDRESS: \_\_\_\_\_

- CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

- CONTRACTOR'S NAME: NOT DETERMINED (ND)

- ADDRESS: \_\_\_\_\_

- CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

- STATE LICENSE NUMBER \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 53 AVE. C., APALACHICOLA, FL. 32320

PROPOSED USE OF SITE: COMMERCIAL and HOTEL

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? NO YES

- PROPERTY PARCEL ID = 01-095-0814-8330-0010-(0010 & 0020)

LEGAL DESCRIPTION OF PROPERTY: \_\_\_\_\_

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY GIBSON INN LLC

ADDRESS: AS ABOVE CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: LUCAS ASSOCIATES ARCHITECTS PC (George Cook)

ADDRESS: 252 6TH ST. CITY, STATE & ZIP: APALACHICOLA, FL. 32320

- MORTGAGE LENDER'S NAME: \_\_\_\_\_

- ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

- WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

- PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_



Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building: **PHASE 2 - TARANTO HOUSE**

Distance from property lines: Front **0**      Rear **60 FT.**      L. Side **15 FT.**  
 R. Side **2 FT.**

Cost of Construction \$ **ND**      Square Footage **3320 FOOT PRINT.**  
 EPI **ND**      Flood Zone       Lowest Floor Elevation **1 FT. ABOVE ST. (11'-0")**  
 Area Heated/Cooled **7,500**      # Of Stories **3**      # Of Units **12**  
 Type of Roof **GAWALU ME**      Type of Walls **2x6 BR CONCL.**      Type of Floor **WOOD.**  
 Extreme Dimensions of: Length **84**      Height **30**      Width **54**

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

*[Handwritten Signature]*  
 Signature of Owner or Agent

**ND**  
 Signature of Contractor

Date: **8-27-2018**

Date:

Notary as to Owner or Agent

Notary as to Contractor

My Commission expires:

My Commission expires:

**APPLICATION APPROVED BY:** \_\_\_\_\_ **BUILDING OFFICIAL.**

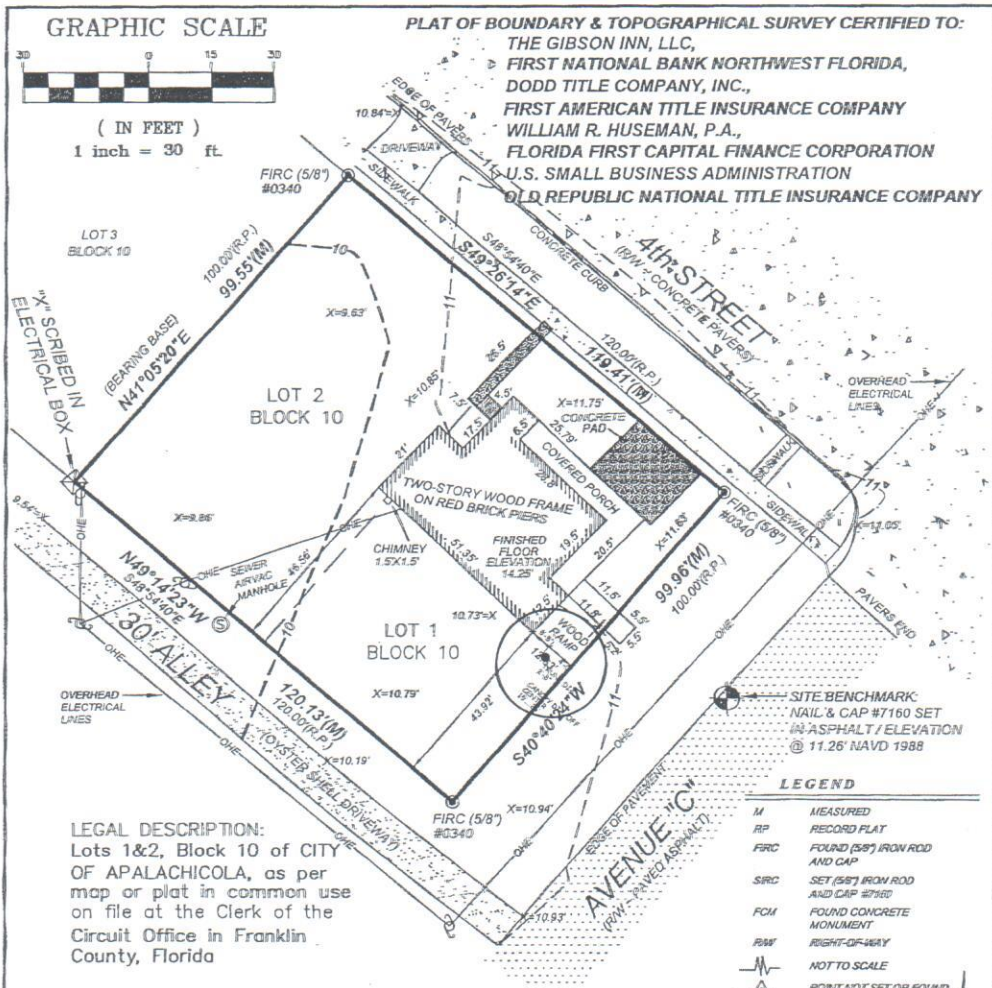
**GRAPHIC SCALE**



( IN FEET )  
1 inch = 30 ft.

**PLAT OF BOUNDARY & TOPOGRAPHICAL SURVEY CERTIFIED TO:**

- THE GIBSON INN, LLC,
- FIRST NATIONAL BANK NORTHWEST FLORIDA,
- DODD TITLE COMPANY, INC.,
- FIRST AMERICAN TITLE INSURANCE COMPANY
- WILLIAM R. HUSEMAN, P.A.,
- FLORIDA FIRST CAPITAL FINANCE CORPORATION
- U.S. SMALL BUSINESS ADMINISTRATION
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY



**LEGAL DESCRIPTION:**  
Lots 1&2, Block 10 of CITY OF APALACHICOLA, as per map or plat in common use on file at the Clerk of the Circuit Office in Franklin County, Florida

**LEGEND**

M	MEASURED
RP	RECORD PLAT
FIRC	FOUND (5/8") IRON ROD AND CAP
SIRC	SET (5/8") IRON ROD AND CAP SET
FCM	FOUND CONCRETE MONUMENT
ROW	RIGHT-OF-WAY
NTS	NOT TO SCALE
▲	POINT NOT SET OR FOUND
⊙	POWER POLE
X=10.93'	GROUND ELEVATION

**NOTES:**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northwesterly boundary of subject parcel having a bearing of North 41 degrees 05 minutes 20 seconds East as per previous job performed by this firm (job# 94-416, dated 04/04/03).
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. ELEVATIONS depicted hereon were established using NAVD 1988 datum.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 51-17.05/M 020).

The undersigned surveyor has not been provided a current title opinion or abstract-of-matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

*James T. Roddenberry*

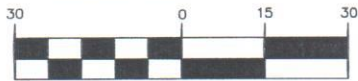
JAMES T. RODDENBERRY  
Surveyor and Mapper  
Florida Certificate No. 4261

**FLOOD ZONE INFORMATION:**  
Subject property is located in Zone "X (0.2%) as per Flood Insurance Rate Map Community Panel No: 120089 0526F, index date: February 5, 2014, Franklin County, Florida.

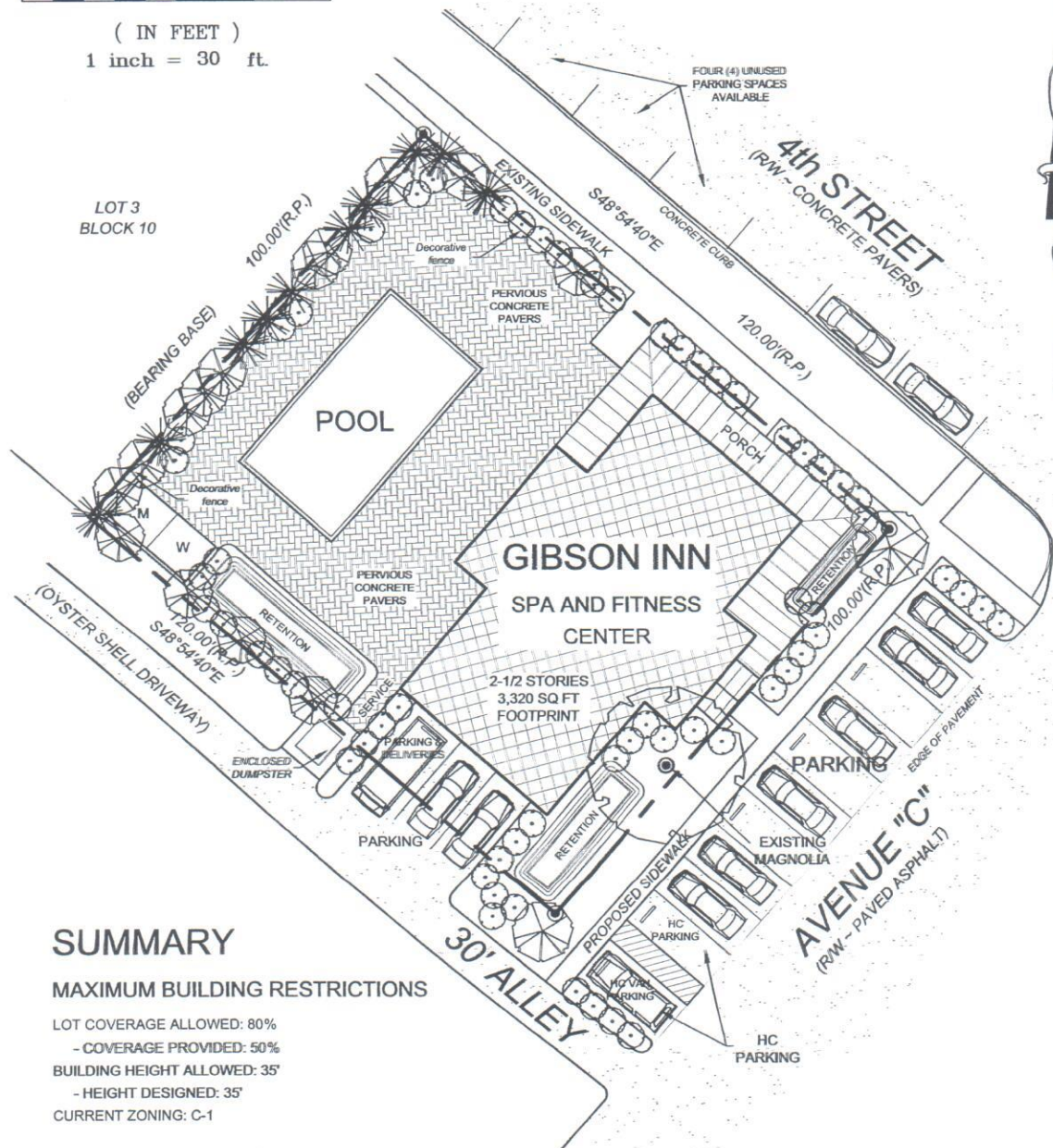
<b>TR &amp; A</b>	<b>THURMAN RODDENBERRY &amp; ASSOCIATES, INC.</b>		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358 PHONE NUMBER: 850-462-2200 FAX NUMBER: 850-462-2210 L.S. # 7140		
DATE: 08/17/18	DRAWN BY: MD/BB	PLAT	COUNTY: FRANKLIN
FILE: 03152.DWG	DATE OF LAST FIELD WORK: 08/16/18	JOB NUMBER: 03-152	



## GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.



## SUMMARY

### MAXIMUM BUILDING RESTRICTIONS

- LOT COVERAGE ALLOWED: 80%
- COVERAGE PROVIDED: 50%
- BUILDING HEIGHT ALLOWED: 35'
- HEIGHT DESIGNED: 35'
- CURRENT ZONING: C-1

### REQUIRED PARKING

- DWELLING - ONE (1) SPACE PER UNIT = 12 SPACES
- EMPLOYEE - ONE (1) SPACE FOR 2 EMPLOYEES = 1 SPACE
- SPA AND SALON - ONE (1) SPACE PER 500 SQ FT - 1,280 SQ FT = 3 SPACES
- TOTAL REQUIRED PARKING: 16 SPACES
- PARKING PROVIDED: 16 SPACES

### STORM WATER MANAGEMENT

- SECTION VIII.B - PROVIDE FLOOD PROTECTION FOR 25-YEAR 24-HOUR DURATION
- STORM EVENT SHALL BE PROTECTED BY A DETENTION FACILITY
- STORM WATER MANAGEMENT PROVIDED: SCE CIVIL ENGINEERING TO DESIGN
- REQUIRED DETENTION AND STORM WATER MANAGEMENT FACILITIES

**GIBSON INN**  
**SPA AND FITNESS CENTER**  
4TH STREET AND AVENUE "C"  
APALACHICOLA, FLORIDA

SITE PLAN  
DRAWING NAME  
08.27.18  
DATE

**FREDERICK ETCHEN ARCHITECT**  
ARCHITECTURE - PLANNING - LANDSCAPE DESIGN  
8862 HENDRICKS DRIVE  
BRIGHTON, MICHIGAN 48116  
502-435-0477  
fredetchen@aol.com





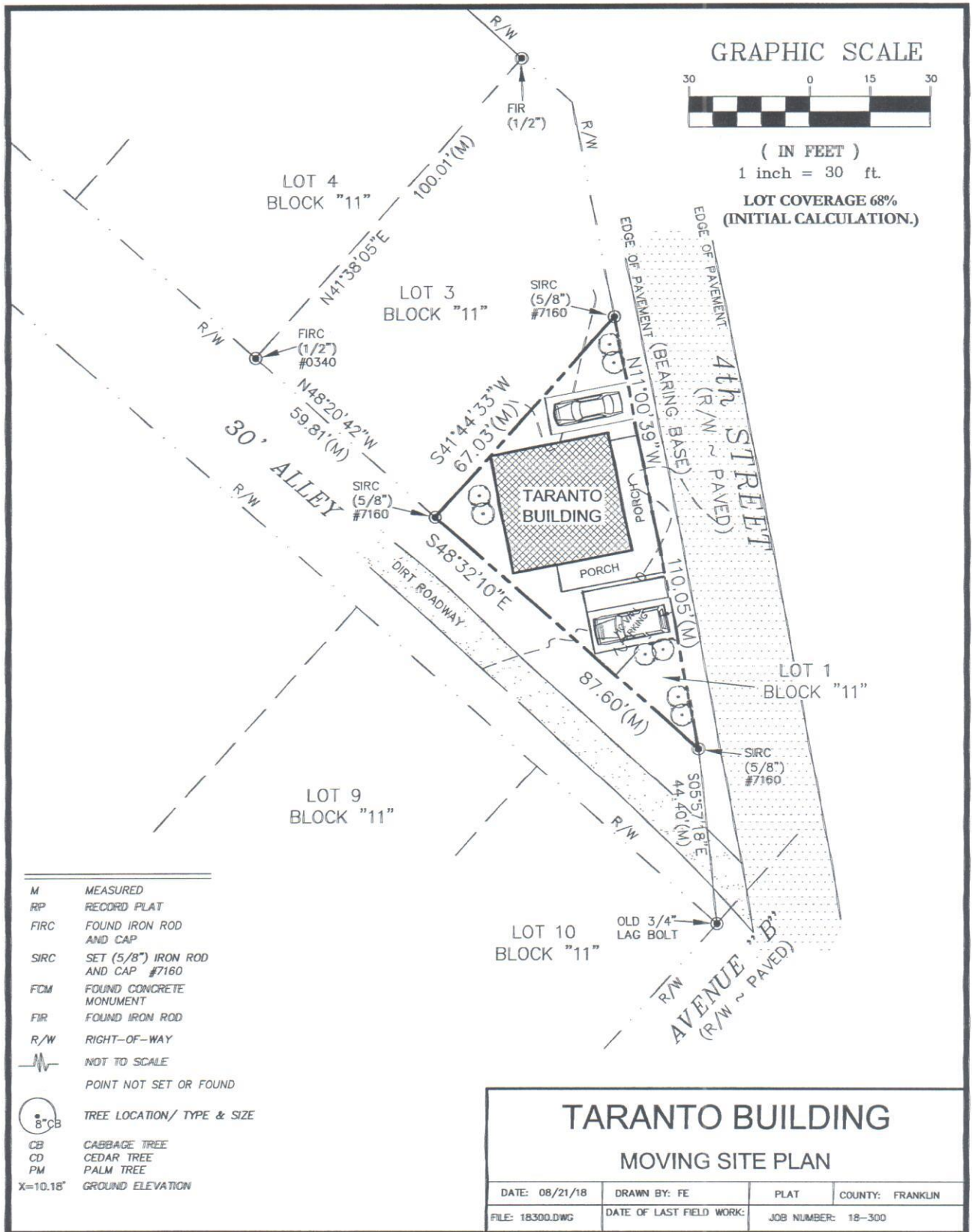
### GRAPHIC SCALE



( IN FEET )

1 inch = 30 ft.

**LOT COVERAGE 68%  
(INITIAL CALCULATION.)**

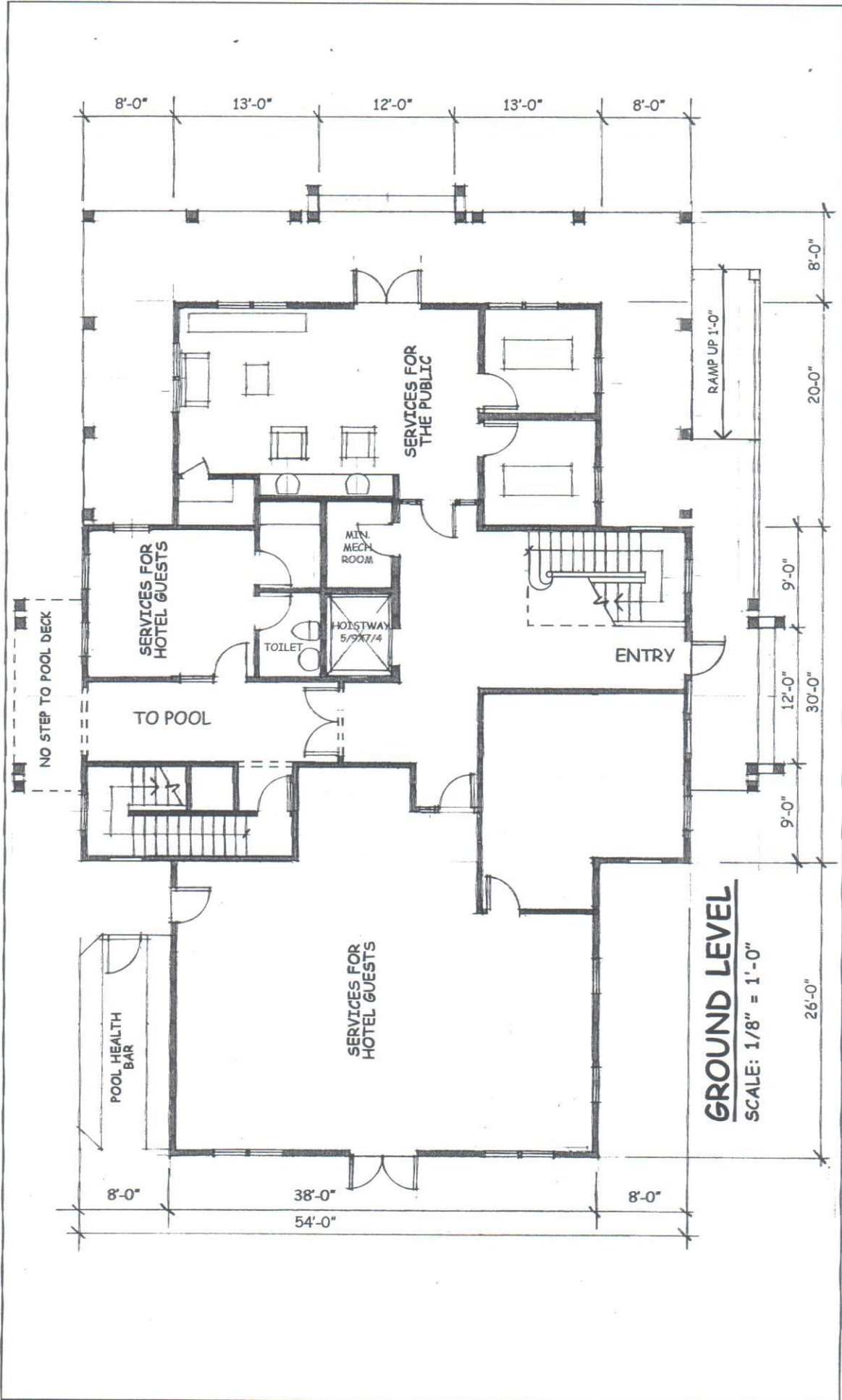


- M MEASURED
- RP RECORD PLAT
- FIRC FOUND IRON ROD AND CAP
- SIRC SET (5/8") IRON ROD AND CAP #7160
- FCM FOUND CONCRETE MONUMENT
- FIR FOUND IRON ROD
- R/W RIGHT-OF-WAY
- NOT TO SCALE
- POINT NOT SET OR FOUND
- 8"CB TREE LOCATION/ TYPE & SIZE
- CB CABBAGE TREE
- CD CEDAR TREE
- PM PALM TREE
- X=10.18" GROUND ELEVATION

## TARANTO BUILDING

### MOVING SITE PLAN

DATE: 08/21/18	DRAWN BY: FE	PLAT	COUNTY: FRANKLIN
FILE: 18300.DWG	DATE OF LAST FIELD WORK:	JOB NUMBER: 18-300	



**GROUND LEVEL**  
SCALE: 1/8" = 1'-0"

**GIBSON INN / SPA BUILDING**

SCALE: AS SHOWN

DATE: AUGUST 27, 2018

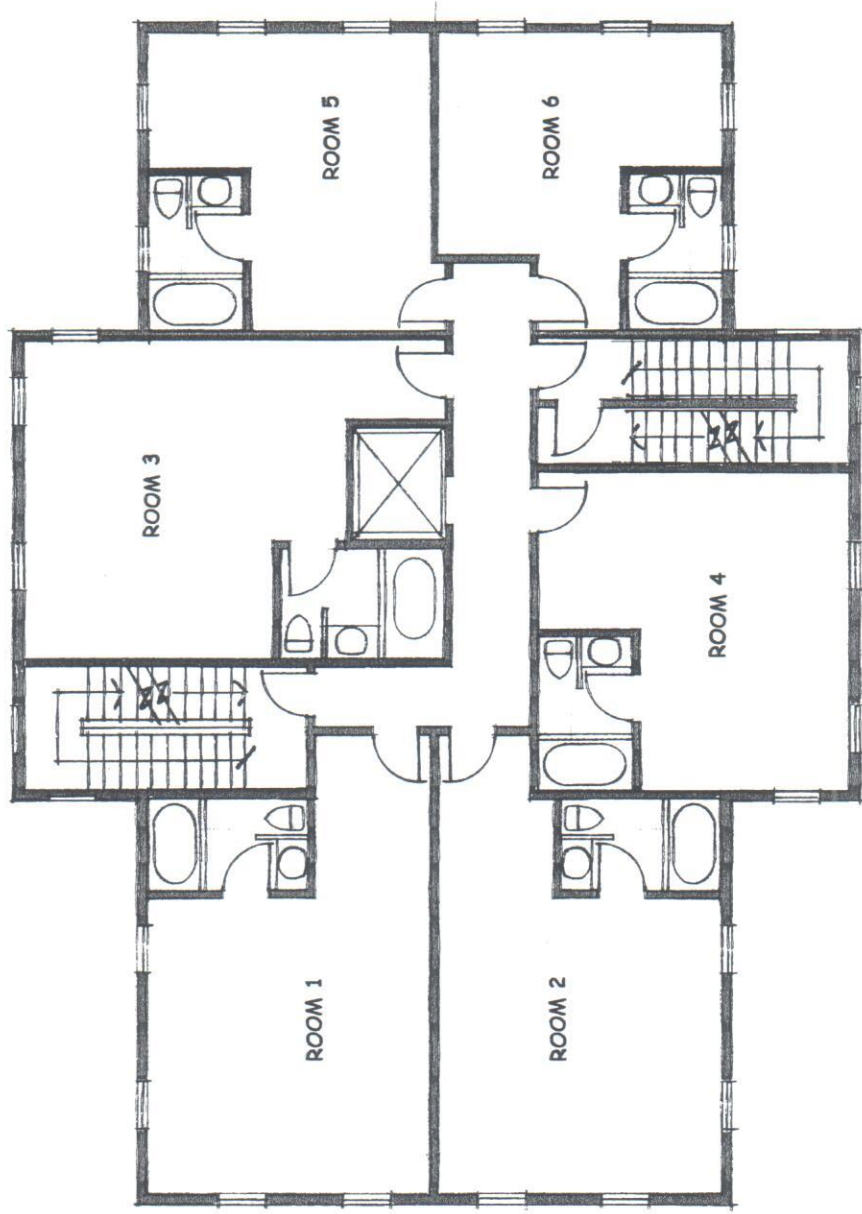
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A2



**2ND FLOOR LEVEL**

SCALE: 1/8" = 1'-0"

**GIBSON INN / SPA BUILDING**

SCALE: AS SHOWN

DATE: AUGUST 27, 2018

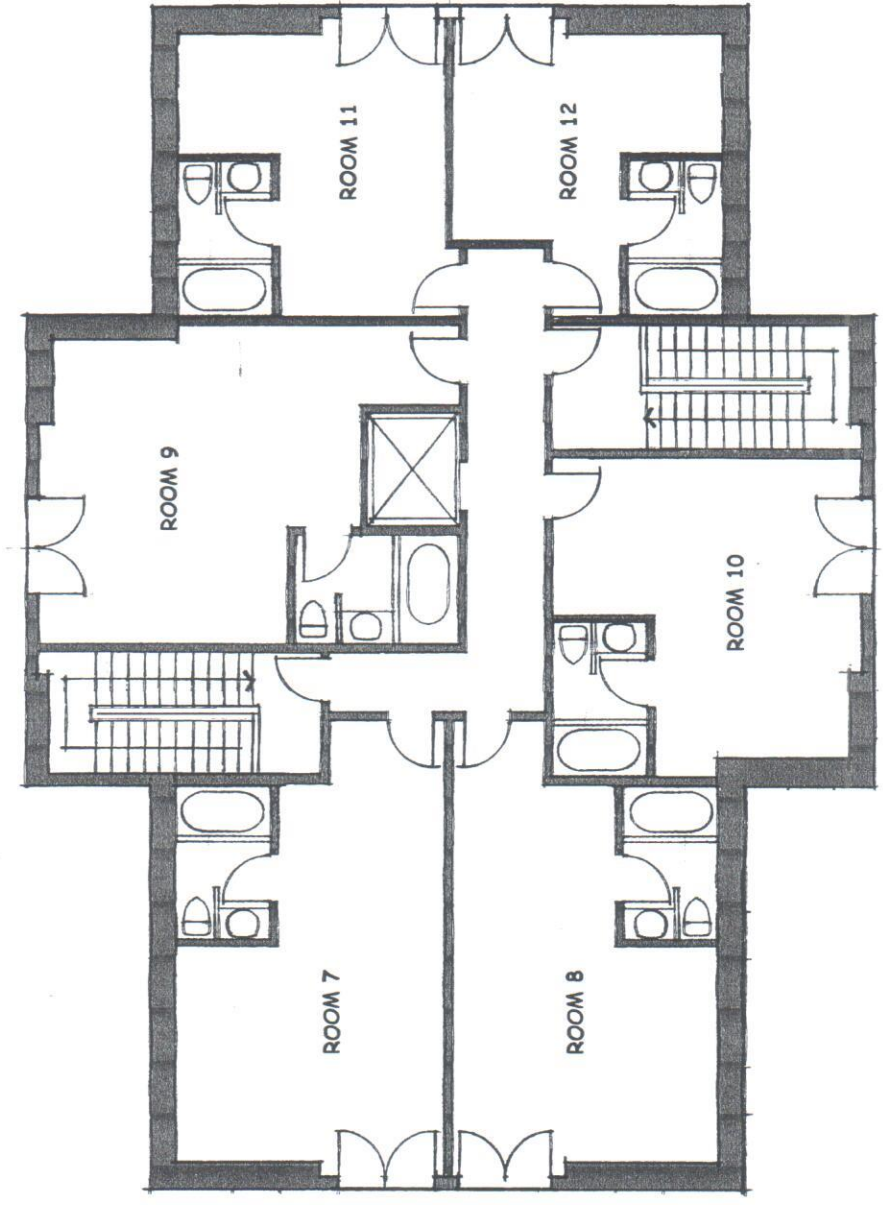
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**A3**





**3RD FLOOR LEVEL**  
 SCALE: 1/8" = 1'-0"

**GIBSON INN / SPA BUILDING**

SCALE: AS SHOWN

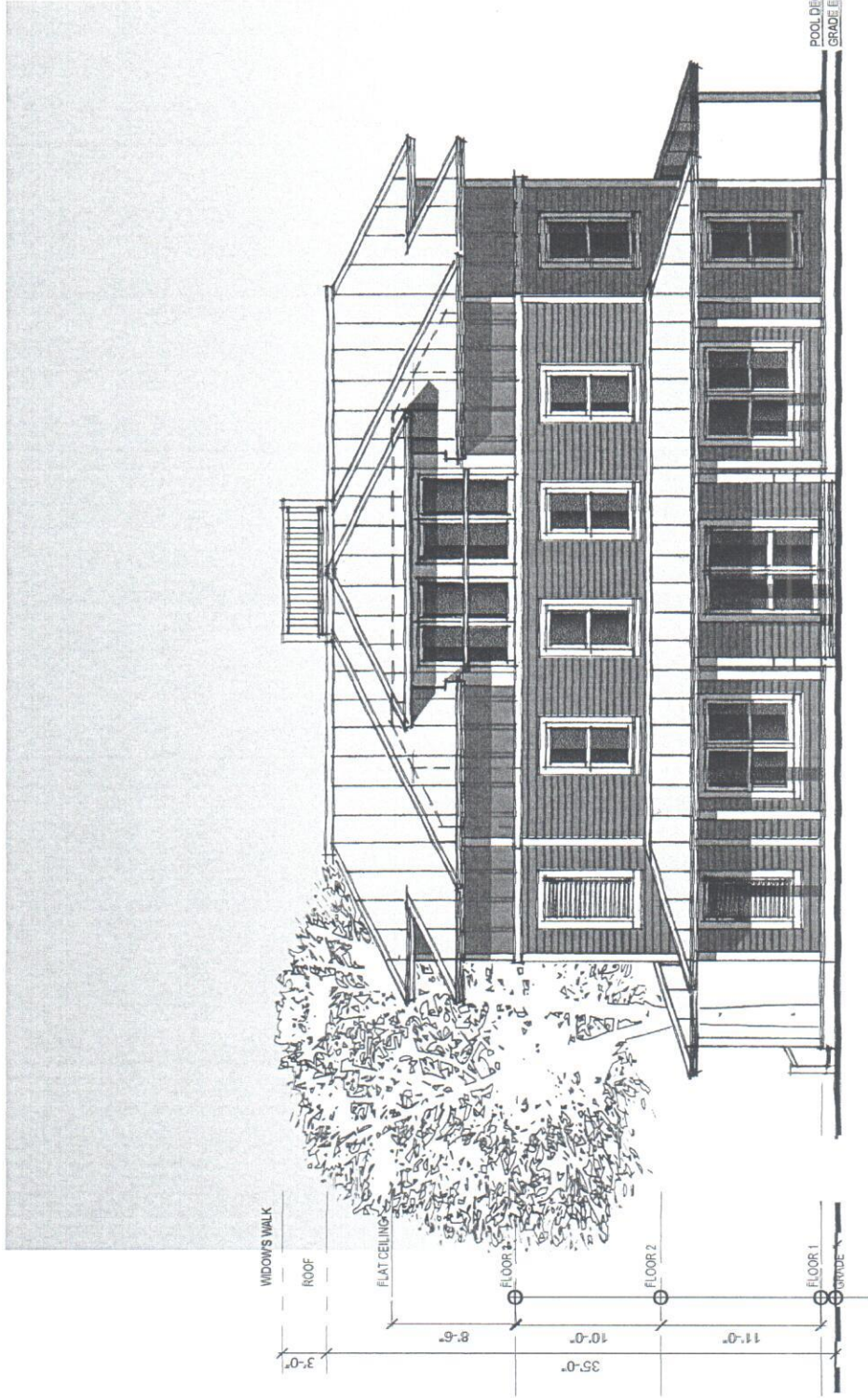
DATE: AUGUST 27, 2018

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A4



**4TH STREET VIEW**  
 SCALE: 1/8"

**GIBSON INN / SPA BUILDING**

SCALE: AS SHOWN

DATE: AUGUST 27, 2018

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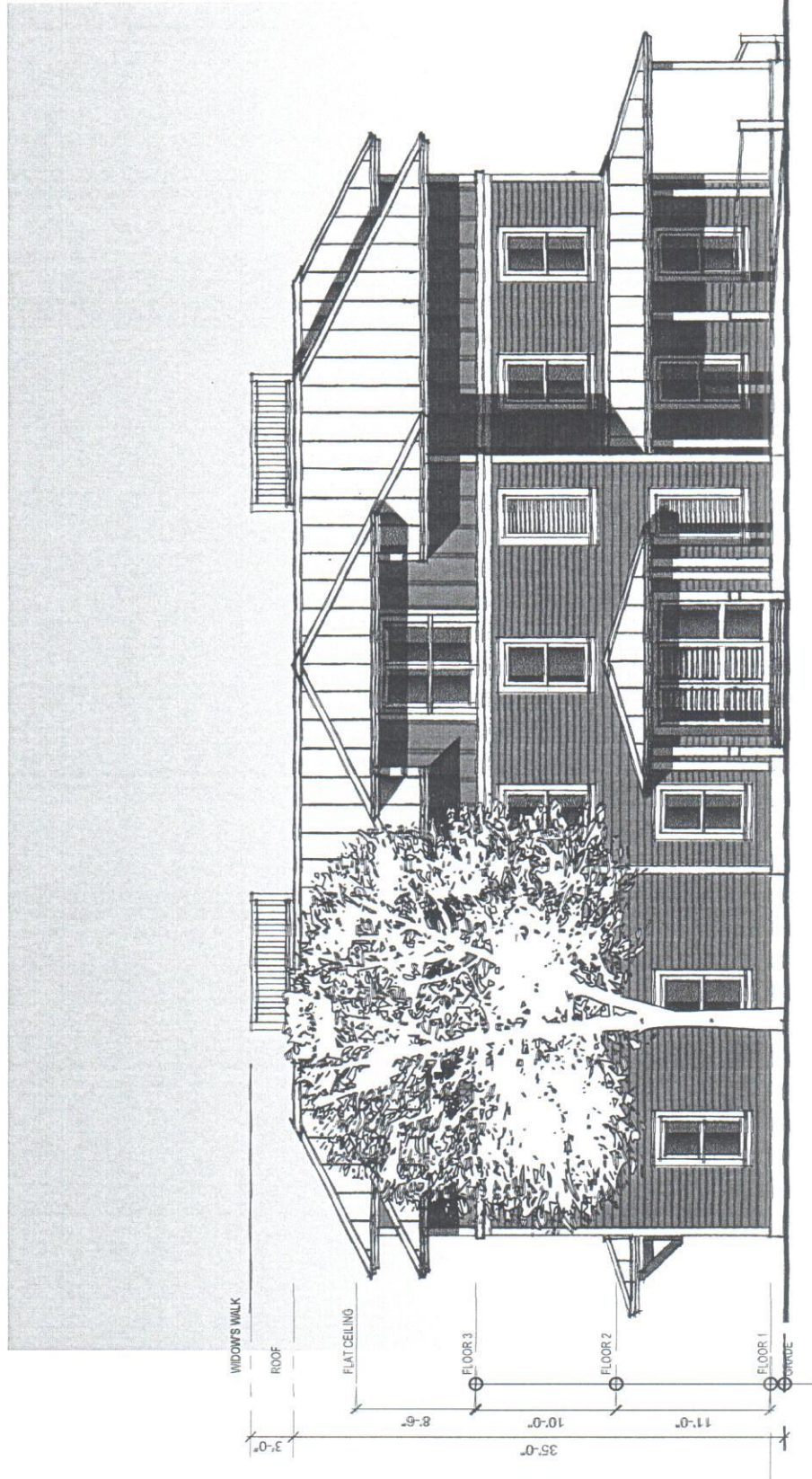
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A6





**AVENUE "C" VIEW**  
 SCALE: 1/8"

**GIBSON INN / SPA BUILDING**

SCALE: AS SHOWN

DATE: AUGUST 27, 2018

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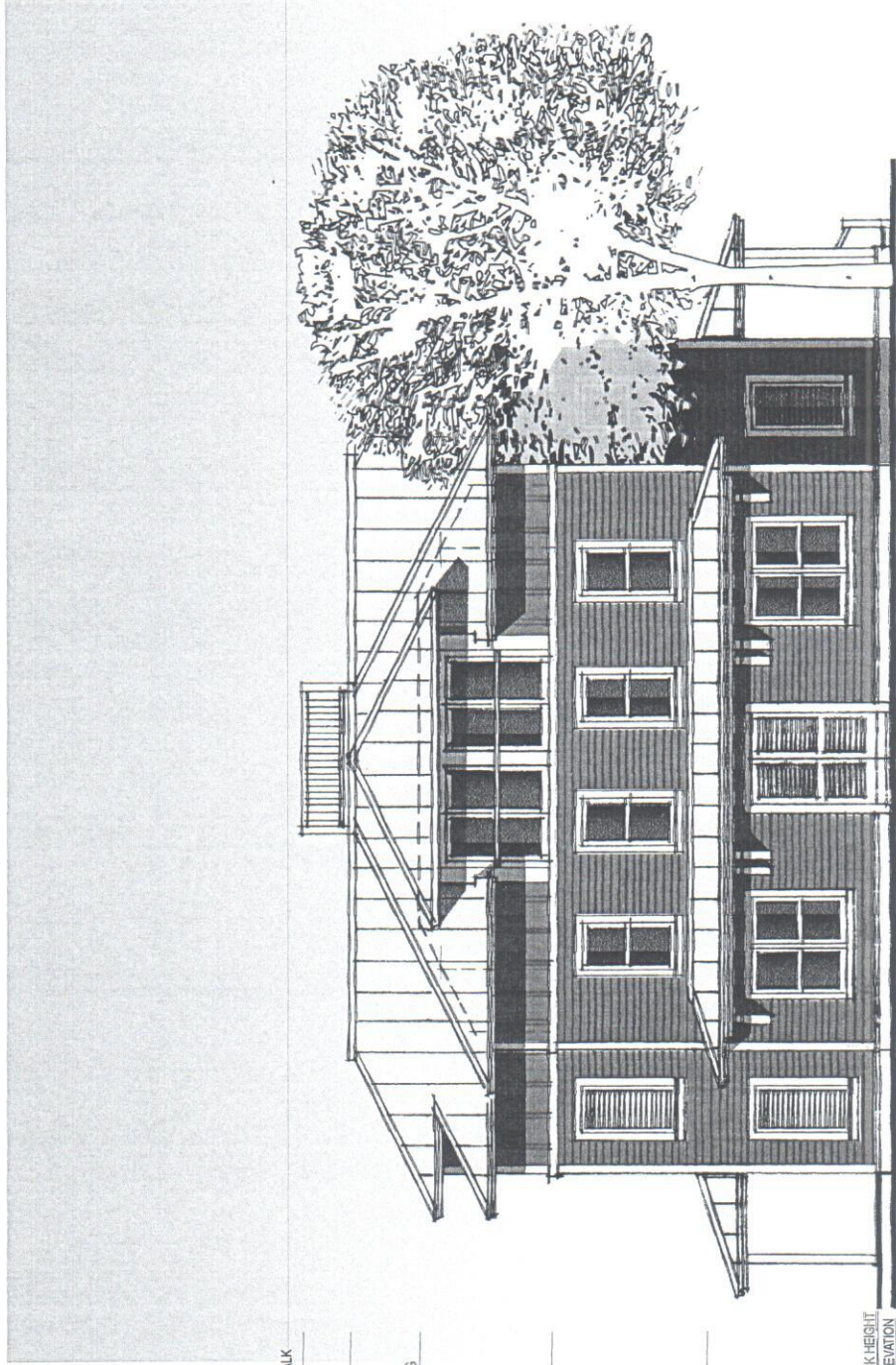
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Architecture  
 Planning  
 Interiors  
**LUCAS**  
 ASSOCIATES  
 Architects

**A7**





**ALLEY VIEW / SERVICE**  
**SCALE: 1/8"**

**GIBSON INN / SPA BUILDING**

SCALE: AS SHOWN

DATE: AUGUST 27, 2018

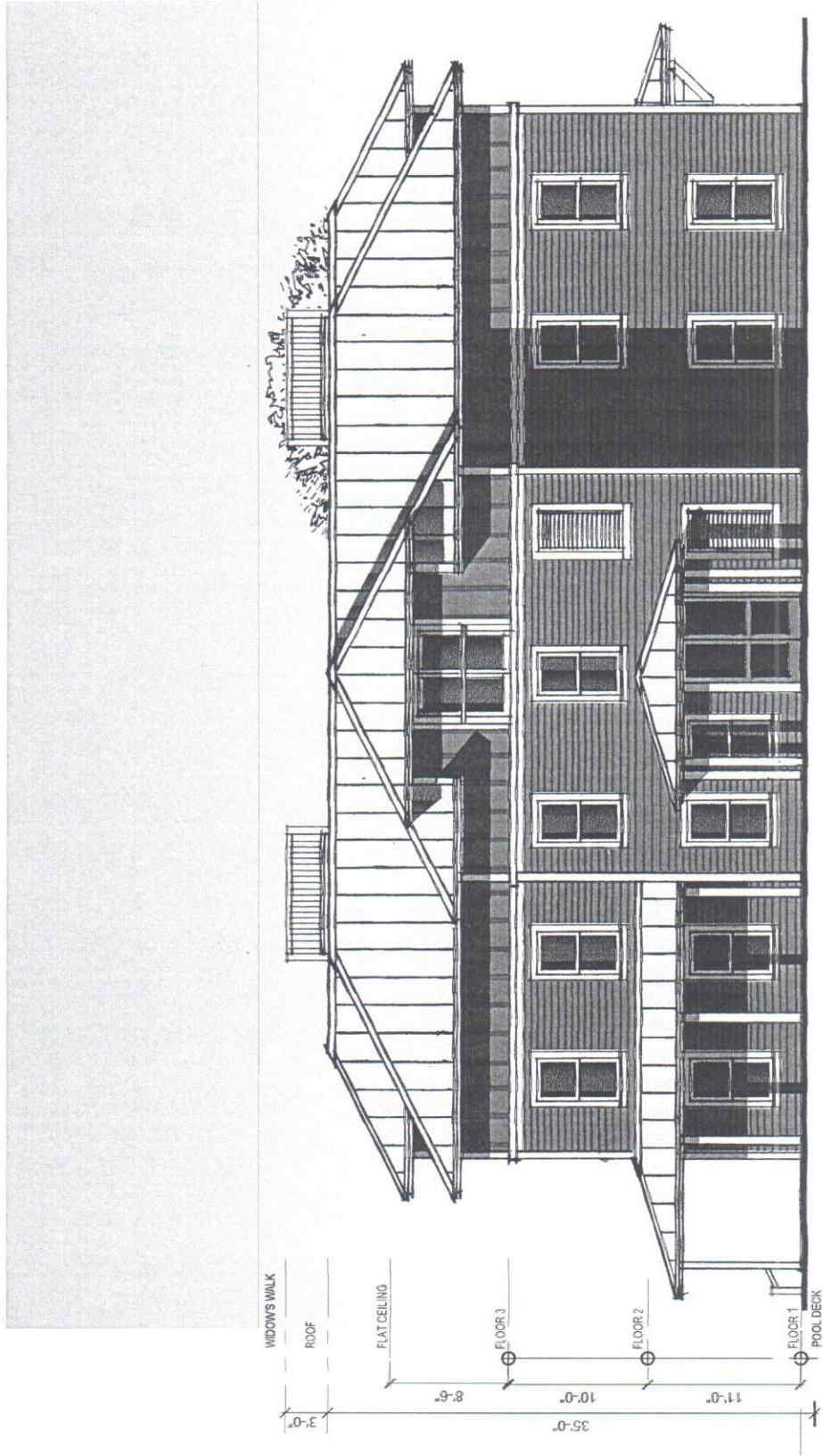
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A8





**POOL SIDE VIEW**  
 SCALE: 1/8"

**GIBSON INN / SPA BUILDING**

SCALE: AS SHOWN

DATE: AUGUST 27, 2018

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A9